

**OFFICIALS**

Joe Stear, Mayor  
 Chris Bruce, Council President  
 Greg McPherson, Council Member  
 Matt Biggs, Council Member  
 John Laraway, Council Member

**CITY OF KUNA**  
**Kuna City Hall Council Chamber, 751 W 4th Street, Kuna, Idaho 83634**

**City Council Meeting**  
**AGENDA**  
**Tuesday, January 06, 2026**

**6:00 P.M. REGULAR CITY COUNCIL**

*For questions, please call the Kuna City Clerk's Office at (208) 387-7726.*

ALL ITEMS ON THE KUNA CITY COUNCIL AGENDA ARE CONSIDERED ACTION ITEMS UNLESS OTHERWISE INSTRUCTED BY THE CITY COUNCIL.

**1. Call to Order and Roll Call**

**2. Invocation**

**3. Pledge of Allegiance: Mayor Stear**

**4. Consent Agenda: ACTION ITEMS**

*All items listed under the Consent Agenda are considered to be routine and are acted on with one motion by the City Council. There will be no separate discussion on these items unless the Mayor, Council Member, or City Staff requests an item to be removed from the Consent Agenda for discussion. Items removed from the Consent Agenda will be placed on the Regular Agenda under Business or as instructed by the City Council.*

**A. Regular City Council Meeting Minutes Dated December 16, 2025**

**B. Accounts Payable Dated December 30, 2025, in the amount of \$682,081.56**

**5. Swearing in of Newly Elected Officials Michael Rocco and Chris Bruce. Service Award for John Laraway.**

**A. Nathan Stanley, City Clerk**

**B. Awarding Former Council Member John Laraway "The City of Kuna Commitment To Service Award" – Mayor Stear**

**6. Recess for Change of Council**

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**OFFICIALS**

Joe Stear, Mayor  
Chris Bruce, Council President  
Greg McPherson, Council Member  
Matt Biggs, Council Member  
Michael Rocco, Council Member



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**1. Reconvene Council Meeting**

**2. Call to Order and Roll Call**

**3. Elect Council President – Action Item**

**4. Consent Agenda: (Continued) ACTION ITEMS**

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**A. Decision and Reason Statements**

- 1. Case Nos. 24-08-AN & 24-05-S (Madrone Villages Subdivision)

**B. Resolutions**

- 1. Resolution R01-2026

A RESOLUTION OF THE CITY COUNCIL OF KUNA, IDAHO APPROVING A PERFORMANCE BOND BY M3 ID FALCON CREST LLC, AN ARIZONA LIMITED LIABILITY COMPANY AUTHORIZED TO DO BUSINESS WITHIN THE STATE OF

IDAHO, FOR FALCON CREST SUBDIVISION PHASE NO. 8 FOR UNCOMPLETED WORK FOR LANDSCAPING PURSUANTANT TO THE TERMS OF THIS RESOLUTION.

2. Resolution R02-2026

A RESOLUTION OF THE CITY COUNCIL OF KUNA, IDAHO APPROVING A PERFORMANCE BOND BY M3 ID GOLF VILLAS LLC, AN ARIZONA LIMITED LIABILITY COMPANY AUTHORIZED TO DO BUSINESS WITHIN THE STATE OF IDAHO, FOR FALCON CREST SUBDIVISION PHASE NO. 8 FOR UNCOMPLETED WORK FOR STREETLIGHTING PURSUANTANT TO THE TERMS OF THIS RESOLUTION.

3. Resolution R03-2026

A RESOLUTION OF THE CITY COUNCIL OF KUNA, IDAHO, APPROVING THE “ADMINISTRATIVE AND SUPPORT SERVICES AGREEMENT” WITH THE KUNA URBAN RENEWAL AGENCY; AND AUTHORIZING THE MAYOR TO EXECUTE THE AGREEMENT; AND THE CITY CLERK TO ATTEST TO SAID SIGNATURE.

4. Resolution R05-2026

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF KUNA, IDAHO: AUTHORIZING THE MAYOR TO SIGN A COMMERCIAL LICENSE AGREEMENT FOR 757 WEST 4<sup>TH</sup> STREET, KUNA, IDAHO 83634, “THE NEW CITY COUNCIL CHAMBERS BUILDING,” RELATING TO A PUBLIC INFRASTRUCTURE SOFFIT, “OVERHANG,” ABOVE ADA COUNTY HIGHWAY DISTRICT’S PUBLIC RIGHT-OF-WAY, “THE SIDEWALK,”; AND AUTHORIZING THE CITY CLERK TO ATTEST TO SAID SIGNATURE.

## 5. Public Comment

## 6. Reports/Presentations

## 7. Public Hearings:

*Public Hearing Process: Items begin with the presentation of the project by staff for up to 15 minutes. The applicant is then allowed 10 minutes to present their project. Members of the public are allowed up to 3 minutes each, to address City Council with testimony restricted to the matter at hand. After all public testimony, the applicant is allowed 5 minutes for rebuttal.*

*City Council members may ask questions throughout the public hearing process.*

*Once the public hearing is closed, no further testimony or comments are heard.*

*City Council may move to continue the application to a future meeting or approve or deny the application.*

**8. Business Items:**

- A. Resolution R04-2026 Amending the City of Kuna Downtown Design Standards. Marina Lundy, Planner ACTION ITEM

**9. Ordinances:**

**10. Executive Session:**

**11. Mayor/Council Announcements:**

**12. Adjournment:**

**OFFICIALS**

Joe Stear, Mayor  
 Chris Bruce, Council President  
 Greg McPherson, Council Member  
 Matt Biggs, Council Member  
 John Laraway, Council Member

**CITY OF KUNA**  
**Kuna City Hall Council Chamber, 751 W 4th Street, Kuna, Idaho 83634**

**City Council Meeting**  
**MINUTES**

**Tuesday, December 16, 2025**

**6:00 P.M. REGULAR CITY COUNCIL**

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ALL ITEMS ON THE KUNA CITY COUNCIL AGENDA ARE CONSIDERED ACTION ITEMS UNLESS OTHERWISE INSTRUCTED BY THE CITY COUNCIL.

**1. Call to Order and Roll Call**

*(Timestamp 00:00:01)*

**COUNCIL MEMBERS PRESENT:**

Mayor Joe Stear - Present  
 Council President Chris Bruce - Present  
 Council Member John Laraway - Present  
 Council Member Matt Biggs - Present  
 Council Member Greg McPherson - Present

**CITY STAFF PRESENT:**

Marc Bybee, City Attorney  
 Jared Empey, City Treasurer  
 Mike Fratusco, Kuna Police Chief  
 Adam Wenger, Public Works Director  
 Doug Hanson, Planning & Zoning Director  
 Michelle Covert, Economic Development Administrator  
 Troy Behunin, Senior Planner  
 Marina Lundy, Planner  
 Morgan Webb, Deputy Parks & Recreation Director  
 Nancy Stauffer, Human Resources Director  
 Nathan Stanley, City Clerk

**Mayor Stear** All right. Welcome, everybody. We'll go ahead and call this meeting to order. Nathan, would you take the roll, please?

**City Clerk Nathan Stanley** Council Member McPherson.

**Council Member McPherson** Here.

**City Clerk Nathan Stanley** Council Member Biggs.

**Council Member Biggs** Here.

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**City Clerk Nathan Stanley** Council Member Laraway.

**Council Member Laraway** Yes.

**City Clerk Nathan Stanley** Council President Bruce.

**Council President Bruce** Here.

**City Clerk Nathan Stanley** Mayor Stear.

**Mayor Stear** Here.

## **2. Pledge of Allegiance: Mayor Stear**

*(Timestamp 00:00:25)*

**Mayor Stear** And if you'll joined me for the Pledge of Allegiance.

**Multiple Speakers** I pledge allegiance to the flag of the United States of America and to the Republic for which it stands, one nation under God, indivisible, with liberty and justice for all.

**Mayor Stear** Very good. Thank you.

## **3. Consent Agenda: ACTION ITEMS**

*All items listed under the Consent Agenda are considered to be routine and are acted on with one motion by the City Council. There will be no separate discussion on these items unless the Mayor, Council Member, or City Staff requests an item to be removed from the Consent Agenda for discussion. Items removed from the Consent Agenda will be placed on the Regular Agenda under Business or as instructed by the City Council.*  
*(Timestamp 00:00:48)*

**A.** Regular City Council Meeting Minutes Dated December 2, 2025

**B.** Accounts Payable Dated December 11, 2025, in the amount of \$1,340,831.54

**C.** Final Plats

1. Case No. 25-26-FP (Final Plat)

**D.** Decision and Reason Statement

1. Case Nos. 25-08-S Valor North Subdivision

*(Timestamp 00:00:48)*

**Mayor Stear** First item is the consent agenda. Questions or comments?

**Council Member Biggs** I didn't have any.

**Council President Bruce** I move we approve the consent agenda as published.

**Council Member McPherson** Second.

**Mayor Stear** Motion is made and seconded for approval of the consent agenda, is there any discussion on that motion? Nathan, would you call the Council, please?

**City Clerk Nathan Stanley** Council Member McPherson.

**Council Member McPherson** Yes.

**City Clerk Nathan Stanley** Council Member Biggs.

**Council Member Biggs** Yes.

**City Clerk Nathan Stanley** Council Member Laraway.

**Council Member Laraway** Yes.

**City Clerk Nathan Stanley** Council President Bruce.

**Council President Bruce** Yes.

**Mayor Stear** And that motion carries.

*(Timestamp 00:00:55)*

**Motion To:** Approve The Consent Agenda

**Motion By:** Council Member Bruce

**Seconded By:** Council Member McPherson

**Further Discussion:** None

**Members Voting Aye:** Council Members Laraway, McPherson, Biggs, Bruce

**Members Voting Nay:** None

**Members Absent:** None

**Via:** Roll Call Vote

**4-0-0**

#### **4. Public Comment**

*(Timestamp 00:01:17)*

**Mayor Stear** That takes us to public comment. I had a couple of people sign up. Cindy Geisen, you may take the microphone and. State your name and address for the record please.

**Council Member McPherson** *Turn the...*

**City Clerk Nathan Stanley** *Ms. Giesen, can you turn the mic on please? Tap the red.*

**Mayor Stear** *Push the base.*

**Cindy Giesen** Council Members and Mayor, my name is Cindy Geisen at 1363 S Ash Ave. Kuna, Idaho. And I just wanted to come up and once again say what a beautiful job you did in our parks and on our Main Street with your lighting. That's greatly appreciated. And I love it and it's better than a lot of little cities like us. Well, we're semi-little. I also wanted to point out there's a I was going through the packet and I noticed that there's going to make some decisions made that we can't speak on and one of them addresses lighting some plans that you're making for the future and in particular it's the lighting on our

green. -- Our Greenway. Greenbelt and also downtown. Before you make a decision on that, I ask that you go out and you look at our lights downtown and what they are is they're fairly good dark sky lights where they're shielded. They aren't hard on your eyes and then go out and look at the green built and everybody knows those are super bright. And they probably disturbed the birds and things around there and I see that you're planning the same kind to continue on that. So just ask that you go look at the difference, look at the glare there, the disturbance and you could do a lot better job than what you're proposing to continue to do. But thanks for the Christmas lights.

**Mayor Stear** Okay, yeah. The Parks Department, they take a lot of pride in and they're very.

**Cindy Giesen** The candles are cute, but they aren't efficient. You can do a lot, do a lot...

**Mayor Stear** Very good. All right.

**Cindy Giesen** More light with less.

**Mayor Stear** All right. Point taken, thank you. I can't read the last name here, but Len?

**Council Member McPherson** *I think it's...*

**Len Tabor** Len Tabor. I live at 741 W Tanzanite Dr. Kuna. I have kind of a two-part question. If we're going to allow, I don't know if this is the right place to discuss it, but if we're going to allow it to any kind of development and they have to dig into a road to run their infrastructure, can we make them repave the entire road in front of their development instead of doing -- I don't think there's anybody in any state, any company that can patch a road after a three foot - it's been dugout. And the second part of the question is, how much are we charging? Let's say a developer is going to build. I don't know, let's say 500 homes. How much are we charging the developer per home so that we can get more police officers, more teachers, more people to fix roads and everything else? I would think it'd have to be at least 10 to 12% of the estimated taxable price of the house when it's built. And that would be my questions on that.

**Mayor Stear** Okay. Well, would you charge impact fees. Unfortunately law does not allow us to charge impact fees for Schools. Ada County Highway District just increased their fees. So those will be going up. But, we do charge for Police, and Fire, and Parks and all of those kind of things.

**Len Tabor** Yeah, because it seems like we need. They're going to be putting another thing so we can get more money for the high school, even though didn't we last year, the year before we gave them was at 4 point something or 7 million, a bond. And now they hear they need more money.

**Mayor Stear** Yeah, I think that I think they ran a, not a bond, but a levy to help increase teachers and supplies and things like that.

**Len Tabor** But what percent are you charging per?

**Mayor Stear** We can't charge impact fees for schools.

**Len Tabor** I now understand that, but I mean so we can hire more police, city workers. The impact fees...

**Mayor Stear** We can get you the list of what that is per household and that. So yeah, if you would just get a hold of the City Clerk tomorrow and we can get.

**Len Tabor** Okay. All right.

**Mayor Stear** Very good. Thank you. And that's all I had signed up was for public comment on that. Is there anybody else who wishes to? All right. Thank you.

## 5. External Reports / Proclamations

### 6. Public Hearings:

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(Timestamp 00:06:24)

- A.** Consideration to approve Case Nos. 25-01-PUD (Planned Unit Development), 25-04-S (Preliminary Plat) & 25-03-ZC (Rezone) Napa Vineyards Subdivision – Applicant requests PUD & Preliminary Plat approval for approx. 242.03 acres in Kuna City using the following zones, P, R-6, R-20, C-1 & C-3. The Preliminary Plat proposes to subdivide the lands into 1,495 total residential, multiple common lots & common driveways, a School Site, Fire Station & a City Park in compliance with the approved Development Agreement. The applicant proposes Rezone approx. 3.13 ac. The site is in Sec. 12, T2N, R1W (APN's; S1312212400, R7135690180, S1312417410. – Troy Behunin, Senior Planner **ACTION ITEM**

*Open Public Hearing*

*Receive evidence*

*Consideration to close evidence presentation and proceed to deliberation*

(Timestamp 00:06:24)

**Mayor Stear** That takes us to public hearings, consideration to approve case #25-01-PUD, #25-04-S.2503 ZC and that's it, Troy.

**Senior Planner Troy Behunin** Good evening, Mr. Mayor, and the Members of the Council. For the record Troy Behunin, Kuna Development Services Department. The applications before you this evening are requesting a PUD, which is a planned unit development. A preliminary plat to accompany that and approval for those over about 242 acres. And there's also a request for a rezone for approximately 4.3 acres, and all of this land is already in the city limits. This was annexed into the city in 2009. They are using and proposing or -- They're using the current zones that are already on the property, which are Public, R-6, R-20, C-1, and C-3. The preliminary plat proposes to subdivide the lands into approximately 1495 residential units, Multi multiple common lots and common driveways. They are proposing a school site, a fire station, a City Park, all in compliance with the recently approved development agreement modification that this body of decision makers made last November in 2024. The site is adjacent to Meridian Rd. Between Hubbard Rd. and Columbia Rd. The city's comprehensive plan identifies the subject property as mixed-use and medium density residential on the city's future land use map and the application complies with the Future Land Use Map, which we also call the FLUM.

Staff, would like to just take a moment if you'll indulge staff with a little highlight and the history on the parcel and the project because it does stretch back a long way. The project originally came before the Planning & Zoning Commission as a PUD, a rezone, a pre plat, a special use permit, and design review application on August 28th, 2008 and it was continued until September 11th, 2008. The application was approved by the City Council January 20th of 2009. In 2008, the developer proposed the C-3, C-1, the R-6, the R-12 zones, and that also included senior and assisted living facilities. It included a lot for a school, a fire station lot and approximately 25 acres of commercial with 1496 total residential units or lots with an overall net density of approximately 6.2 dwelling units per acre project wide. A development agreement, was also crafted and agreed to and would be recorded with the County Recorders Office in April of 2009. The project was annexed into the city limits in March of 2009. The project was acquired by the current owner approximately in 2019. On October 15th, 2024, the development agreement went to City Council. This City Council applying the public hearing process in order to modify the project to move the fire station and the C-1 commercial in the northern part of the project to a more appropriate location that functions better for the public and also for the Kuna Rural Fire District by removing and also removing the senior housing requirement to an age restriction for just the R-20 zone. The City Council determined the project does meet the city's mixed-use goals and on November 19th, 2024, the City Council approved a development agreement modification request, which included a project infrastructure condition providing a corridor for the future upcoming Mason Creek Sewer trunk line project.

The applicant proposes a rezone of approximately 1.4 acres of Public to C-1, and to rezone approximately 2.89 acres from C-1 to Public for purposes of the fire station. The remainder of the site will keep the original zone boundaries, and the developer proposes a preliminary plat in order to subdivide the previously approved zones into C-3 commercial lots for approximately 17.49 acres, 653 residential single family lots, 65 common lots, 14 common driveways with the proposed project density of around 3.79 dwelling units per acre. The proposal also requires – requests 842 units within the R-20 zone that will have a proposed density of about 17.8 units per acre -- Units per acre. This proposal also provides approximately 5.6 acre School site and 5.67 acres for a City Park.

Staff would like to highlight that this project was annexed into the city in 2009, with the zones previously described and the Council approved a development agreement modification last November of 2024. Staff has reviewed the proposed PUD, the rezone, and the preliminary plat for compliance with Kuna city code. The recently approved development agreement, and finds that it is technically compliant with the with the zones that were approved and that are in place and on October 28th of 2025, the Planning & Zoning Commission approved the design review for the common spaces, and they also are recommending approval of the PUD, the pre plat and the zone change the Rezone. I will be here tonight if you have any questions about the application. I know that the applicant is here. They have quite a lot to cover in a short period of time and they're requesting at about a 5-minute addition to the typical 10 minute. That's up for the Council to decide, but staff will be here to answer any questions that you have.

**Mayor Stear** Okay. So Troy, can you describe for us what Council has the ability to approve or deny tonight with this application? I mean a lot of it's already in place and approved and I think it would be good to clarify what Council has the ability to....to do here tonight.

**Senior Planner Troy Behunin** Excellent question, Mr. Mayor. Yes, for the record, Troy Behunin. So realistically, because the development agreement was modified last year, the zones are already in place. It's already in the city. This is by all means a technical compliance review. Does it fit the zoning

requirements? If the Council finds that that there's a deficiency in the application and it doesn't follow city code, then that would be something that they would have to discuss and they did have to bring that forward and that could be an item of contention. But realistically, because the development agreement is already in place, the zones have been in place since 2008, 9. This is a technical compliance application, realistically.

**Council President Bruce** Mr. Mayor, if I may...

**Mayor Stear** Okay. Yes, you may.

**Council President Bruce** I'm going to kind of push back on that a little because I think when we agreed to move this application forward in 2024, we didn't have any traffic studies. None of that information was in there... was in the packet. I know we talked about it back in the minutes, so. Because we had just updated the zoning, we didn't know what it's going to look like, what it's going to impact, so. I think there's more to just saying, hey, we're good to go. We're just going to move through. I think. I don't want to just leave it like that. I think there's more interpretation from the Council.

**Senior Planner Troy Behunin** Mr. Mayor, Council Member Bruce, actually, the Council didn't approve the zoning last November. You modified....

**Council President Bruce** The agreement for the trunk line and for the fire station.

**Senior Planner Troy Behunin** Correct and also a switch of two zones from one side of the road to the other, but the zoning is in place.

**Council President Bruce** But this is a rezone.

**Senior Planner Troy Behunin** for three-point or 4.3 acres.

**Council President Bruce** But to say, I mean we still have authority over that even if we decide not to move forward. So, saying that it's just checking boxes I just...

**Senior Planner Troy Behunin** Well, it's either in place with the proposed reason or it's in place with how it was. So, if the Council, I'm sorry for the record, Troy Behunin, if the Council decides they don't want to grant the rezone, the C-1 and the public is still in place...

**Council President Bruce** Right.

**Senior Planner Troy Behunin** As it was proposed.

**Council President Bruce** Right. I mean, I just want to clarify that right.

**Mayor Stear** Okay. Yeah, I get your point. Good. Thank you. I just thought we good to clarify all that before we get too deep here.

**Senior Planner Troy Behunin** Sure.

**Council President Bruce** Well, and I kind of feel like it's that is saying, hey, you guys are you don't have nothing to do up here. Just look at it and move on. That's how that felt to me.

**Mayor Stear** Sure.

**Council President Bruce** So, I think we should be aware that we make the decision.

**Council Member Biggs** What's the point of all the other stuff, I guess?

**Council President Bruce** Right.

**Mayor Stear** Okay. All right. So, if the so -- the applicant has requested extended time. Is that -- Is the Council in favor of that, or?

**Council President Bruce** I don't mind.

**Council Member McPherson** It's fine. It's a big project that's here.

**Mayor Stear** All good? Okay.

**Council President Bruce** Councilman Laraway, are you good with the? John, you good with the extended time?

**Council Member McPherson** He's deep in thought.

**City Clerk Nathan Stanley** That's 15 Minutes.

**Council President Bruce** 15 minutes? Okay.

**Council Member Laraway** 10 minutes.

**Council President Bruce** 15.

**Council Member Laraway** Yeah, good.

**Council President Bruce** He was reading.

**Mayor Stear** So, if the applicant would like to present.

**City Clerk Nathan Stanley** *You can control with the mouse on the podium.*

**Stephanie Hopkins KM Engineering** *Okay. Thank you.* Thank you. Good evening, Mr. Mayor, Members of Council. My name is Stephanie Hopkins with KM Engineering. Our address is 5725 N Discovery way in Boise. I'm here representing the applicant and property owner, developer on Napa Vineyard Subdivision. We've been working on this project for a long time, so I'm very excited to speak with you this evening about it this evening. and I think it'll be a really great benefit to Kuna. I do have Sonia Daleiden with us. She'll be here to cover some of the traffic specifics and then here as well as other members of our development team. So there any questions that arise that I can't answer, I will look to my support group. Thank you to Troy for the presentation. He's been very helpful throughout this process. We really appreciate working with him and I will kind of fill in any gaps and try not to repeat too much. So, Napa Vineyard subdivision, as Troy mentioned, was annexed and zoned in 2009. At the time, a lot of this wasn't developed, so many of these subdivisions and a lot of these zoning districts weren't in place at that time. But since 2009, a lot has happened in Kuna, and this is now an optimal place to develop. It's - it would be considered infill development at this point because it is adjacent to so many things that are annexed and zoned and currently developed. So, we are requesting a preliminary plat with a variety of single-family residential lot, a park lot, a school lot, fire station lot, and commercial lots. The multifamily portion of this development will be included at a later phase, so the lots that are included for that are not

included in our total lot count. Our total lot count is 747 with 668 buildable lots. We are also requesting a planning development to allow some flexibility for some of the R-6 single family lots to allow a product type that goes below the 4000 square foot that's typically included within that district...

**Mayor Stear** Pardon me just a Sec. Do we have somebody that can grab a couple of more chairs to sit there?

**City Clerk Nathan Stanley** *There's another seat up here.*

**Mayor Stear** Okay, thank you.

**Stephanie Hopkins KM Engineering** Thank you. So, as was mentioned, there was a development agreement modification that was approved last fall that was to bring the plan up to current code requirements and to align it with ACHD's current requirements. Some of the stuff that was in the original development agreement was old and basically doesn't work with what the city or ACHD expect for sidewalk and landscape buffers and some of that stuff. We also resituated, which now commercial lot here with the fire station lot that's been shifted and that's part of the rezone request that's included tonight to increase the acreage of the fire station lot and that was through coordination with the fire district to understand exactly what they need. It makes sense also for them to be on two major thoroughfares for ease of access. So, the development agreement included requirement to be generally consistent with the development plan. This is the concept plan that's attached to the development agreement and that's what we used as our foundation for the preliminary plat. These are the existing zoning districts: 1.84 acres of the C-1 neighborhood commercial. So that's in the northwest corner. Majority of it's R6, 172.5 acres. We have about 18 acres of C-3, which is a service commercial down in the southeast corner next to Meridian Rd. which is the state highway and Hubbard and then the R-20 District is the multifamily density residential or district that would allow for the multifamily units that we're not proposing at this time.

So this is the preliminary plat, our layout, there are 747 lots, 1 C-1 lot that's up here that will be kind of an ancillary neighborhood serving type of use. We don't have anything determined yet. The fire station lot which is that public zoning district there's a school lot and a park lot. So this is the Kuna School District has the right of first refusal on this and it could or it could potentially develop into another public school if they aren't able to get funding to develop it. There are 655 buildable lots within the R-6 district. The medium density District, 375 of those are your standard single family residential detached lots. We have 24 courtyard lots that are just north of the school, a little bit smaller, kind of a shared driveways. And then we have 254 what we're calling Parkside lots and those are the lots that go below that 4000 square feet on occasion. We have a portion of those that do. The one the school lot that I mentioned in the park later in the center and those have been located there to be easily accessed. We have 65 common lots and 14 common driveway lots. Open space and amenities exceed the requirements we have 18.7% of the overall site is open space. That's about 45 acres of the overall 242 acres. We centrally located a park here that will have a clubhouse with pool, and then there's a dog park with some dog park station dog way stations up against what will be the Mason Creek pathway, which is a city pathway installed on the East part of the site. And there are micro pathways and other pedestrian amenities throughout the development. So, access and connectivity is a big discussion point for us in this development. And so, Mason Creek is a new collector roadway that will be constructed in the middle of the site that will connect what is another collector Kay Ave. on the going through the site. And then also on the West boundary of the site Kay Ave. connects from Hubbard to Columbia and Mason Creek Rd. Connects from State Hwy. 69 Meridian Rd. to

Kay. So those will both be constructed as part of this project. Hubbard Rd. is a principal arterial that's on the South boundary and Columbia Rd. is also a principal arterial on the north boundary. Those roads are intended to move a decent amount of traffic and they will be extended to five lanes. So, the traffic impact study. Well, let me go to this. So I might have Sonia come up and talk about this slide, which is the overview of the transportation study. Kittleson did a comprehensive traffic impact study that's been accepted and reviewed by ACHD and ITD so she'll...*if you want to come up and talk...*

**Sonia Daleiden, Kittleson & Associates** Thank you, Stephanie. I'm Sonia Daleiden with Kittleson & Associates. And as Stephanie mentioned, we completed the traffic impact study for the development. We assumed a 10 year build out scenario. So, we studied up to the year 2035 in this traffic study. As this slide shows we had twelve overall study intersections, so essentially studying state Hwy. 69 from Lake Hazel down to Deer Flat. And studied Linder Rd., Hubbard Rd., Deer Flat Rd., and then Kay Ave. as a new collector as well as where it is an existing collector, and then in addition, we studied 6 roadway segments in addition to those studied city intersections. As Stephanie mentioned, the study has been reviewed and accepted by both ADHD and ITD, and they have also issued conditions of approval and staff reports for this development.

*Maybe I'll skip this slide and go to this slide.* This slide has a lot of information on it, so not expecting you to read this in detail, but just wanted to highlight I think some of the key transportation mitigations and improvements that are going to be going in along with this development. So as Stephanie mentioned, constructing 2 new collector roadways: One, Kay Avenue between Colombia and Hubbard and then Mason Creek from Meridian Rd./ State Highway 69; Two, Kay Mason Creek will extend through to Linder as well in the future when that property develops. You can see here there's numerous traffic signals and/or roundabouts that will be constructed. Kay and Columbia, Kay and Hubbard, State Hwy. 69 and Mason Creek. So those are all new traffic signals. And then I won't go through them all in detail, but they'll be numerous additional lanes. And turn lanes at most of these study intersections as well that have been conditioned on the development.

ITD is currently in process of wrapping up a state Hwy. 69 study and they do have plans to widen State Hwy. 69 to 3 through lanes, essentially from the freeway all the way down into Kuna. As part of that, this development will contribute about \$465,000 to ITD to implement some of those improvements and widenings on state Hwy. 69 and that's in addition to also constructing turn lanes at Columbia, 69, and Hubbard and 69, and then the traffic signal at Mason Creek and 69. And then, of course, there also will be paying ACHD traffic impact fees that will go to regional projects to support traffic flow and traffic capacity upgrades as well. And then yeah, happy to answer any more detailed questions after the presentation.

**Mayor Stear** Okay.

**Stephanie Hopkins KM Engineering** I think an important thing to note here is that these are all developer funded improvements for this development specifically that have been decided upon by ACHD and ITD and they're not funded by property taxes. This is just born by the developer and required by them as part of the development. So, Sonia mentioned impact fees, and that's a very important thing that this development will contribute to the Community, so as the mayor mentioned ACHD just increased their impact fees pretty substantially. So, they're about \$5800 per lot now. So about \$3.8 million will go to ACHD just from the number of proposed lots that we have in this development, which is 653 buildable

lots with this preliminary plot, so that doesn't include the multifamily units that would come later, which would also have separate impact fees. So, in total, so impact fees, benefit parks, police, fire. As mentioned, they don't pay for schools unfortunately, but these entities and services will be positively impacted by the development and \$6.8 million will be contributed just from Napa vineyards to these agencies to help with to help mitigate growth, specifically from this development and pay for services.

So, there are other developments obviously that that are from that come from this development. The Mason Creek trunk line being probably one of the main things. Sewer capacity will be increased. There will be an easement that will be brought through the development to help to help the Mason Creek trunk line be constructed. And obviously the fire station lot that is in the northern part of the development is a huge benefit. This developer is actually working with the Kuna Rural Fire District to they donated property in a in a previous project, and they are currently under construction on that fire station lot now. There's also the school lot in the center. That is for the school district to develop and commercial opportunities as well. State Hwy. 69 is a great corridor for commercial and mixed-use opportunities, and this will be a really great opportunity for some great retailers or anchor commercial tenants to locate. So, we are really excited about this project. I'm happy to stand for questions and thank you for your consideration.

**Mayor Stear** Okay. Any questions for the applicant at this point?

**Council President Bruce** I'll wait till the end.

**Mayor Stear** Okay, all right. That's all we have for right now.

**Council President Bruce** Thank you.

**Stephanie Hopkins KM Engineering** Thank you. *I was going to scroll to the picture.* Okay, thanks.

**Mayor Stear** All right, this is a public hearing. I've had some people sign up here to testify. Dave Szplett.

**Dave Szplett** My name is Dave Splatt. I live at 970 Ashwood Ct. Surprisingly it's in Kuna. *That's a joke.* I am very concerned about this, and I believe that that this project is doing a great disservice to you, me and all the drivers in this part of the county. You notice that traffic study didn't go north of Lake Hazel Rd. But anybody who's can drive knows that both Ten Mile and Meridian Rd. are way over capacity. And Troy was right, there's very little you can do about the zoning, but you can delay or defer building permits until there is sufficient roadway capacity. I didn't read the whole traffic study, but the numbers of the site generated traffic is equivalent to an ACHD 4 lane roadway. And anybody can see that there isn't another 4 lane roadway between Kuna and the freeway. And ACHD makes it worse. They even *doink* that traffic signal. I mean, traffic circle. *Doink* is a technical term that we use for screwed up the traffic circle. It was it amity or Victory at Ten Mile. Anyway, and my and any vacancy that there's a long queue. Anyway, my point is that there's way more traffic than the roadway can handle. And the traffic study just acknowledge that they didn't Look North of Lake Hazel Rd. And anyone can see that those queues sometimes are two miles long. So, you're *doinking*. Then there's that technical firm again, you, me, and the entire city by approving this, I suggest that you go with your zoning, but you defer building permits until there's sufficient roadway capacity. And that's the end of my presentation. I'll, I'll show next time, mayor, because there's other traffic, a similar traffic issue that ACHD, identified that they're blaming on the city. So, but this isn't the place for that. I'll come next time. Did I say everything clearly?

**Mayor Stear** Okay. Any questions for Mr. Szplett?

**Council Member Biggs** No, thank you.

**Council President Bruce** No, Sir. Thank you, Mr. Szplett.

**Mayor Stear** Melissa Dean.

**Melissa Dean** Good evening, Mayor, and City Council Members. Melissa Dean, 2574 N Hose Gulch Ave., Kuna. I'd also like to stand up here and ask you to review more information and listen to the public regarding traffic as well. The current roads are obviously are not well in capacity, but -- And I didn't read the traffic study, but I didn't see anything presented about the timeline. The timeline does not say when they were to update the roads, so if they're going to continue to build the homes and not update the roads, that's going to be a huge disservice to all of us. The infrastructure currently doesn't have sidewalks, neither the roads, Columbia or Hubbard. We don't have they been dedicated. We have a small, dedicated turn lane on in Hubbard, but don't turn lane on Columbia currently right now. So once the developers get in there start building houses, there's no turn lanes for them to get in or out. Also, for the residents get in. Currently I would have liked to see more information on the traffic study, maybe they can update the road sooner than building, possibly. At least just get some extra sidewalks and extra turn lanes in for the time being before building is permitted. I just believe infrastructure right now is not adequate. It's not safe for the current traffic flow. It's not safe for our current public and for the kids that have to walk to the school bus. There's no sidewalks for them. I'd also like you guys to determine like the gentleman said there, there is no other 4 lane roads in the area, so the ACHD kind of like over promising, can they really put further? That is, we're not sure. And also, where you wrote and Ten mile are very much over capacity right now. So just infrastructure really worries me but also the influx of traffic is really bad too.

**Mayor Stear** Okay, very good. Any questions for? Thank you very much.

**Council President Bruce** Thank you, Ms. Dean.

**Mayor Stear** Cheryl Perkins.

**Cheryl Perkins** Cheryl Perkins, 1907 North Ryde Ave. Kuna. I'm just concerned. I sort of feel like I've been drinking from a fire hose, listening to all the numbers. I was under the impression that there were 15 – Almost 1500 homes going in, but from what we saw it looks like there 267, plus some additional not counting apartments is that with the multifamily home situation is? But I'm concerned also, as has been expressed, the traffic situation, how long we see when they did some little bit of road work on Locust Grove, it was shut down for two months to do a little bit of, I guess, sewage connection or something.\So, to do a long addition to the width of Meridian, how long is that going to take? How long are they planning to take in building all these homes? The schools are already overcrowded. I think we're all concerned about the infrastructure of Kuna. It sounds like a well-planned section. **But in just** the past year or so, they've added to our subdivision 300 homes. They've added a Patagonia. They've added to Ledgestone. That's a lot of extra homes. I have friends that live in ledge ledgestone now that say that the water pressure is dropping. So, I'm wondering, what about the water? In the area as well as the traffic and the impact to the schools, that's all.

**Council President Bruce** Thank you.

**Council Member Biggs** Thank you.

**Mayor Stear** Thank you, very much. Tim Jensen.

**Tim Jensen, Kuna School District** Tim Jensen with Kuna School District, 711 E Porter St. here in Kuna. We just -- I just want to come up and first we appreciate the partnership with the developer and taking into consideration the impact that this is going to have on schools by donating the lot. And the other pieces that are always concerns for us, when it comes to the transportation piece and with the things that were presented, obviously school buses you know, can get in and out adequately. We don't go into subdivisions anymore. So, with the mid-mile road and the other ones being built are it would allow our buses to get in and out and so. But we just want to come up and, you know, show appreciation for the partnership and stand for any questions.

**Mayor Stear** Okay, questions for Mr. Jensen?

**Council Member Laraway** Yes. School buses do go into subdivision because they come into mine.

**Tim Jensen, Kuna School District** Some of our -- some of our special busing and I thank you for clarifying. Yeah. Some of our special busing.

**Council Member Laraway** The elementary school bus comes in there. The second thing I had a question on us and we and we, Councilman Bruce has brought this up before. This letter of partnership. It doesn't give you capacity. It gives you items. So, I'm curious why the school district claims partnerships when you get items out of it, you get a bus, you get a lawn mower. I don't understand that.

**Tim Jensen, Kuna School District** Yeah. And as I've explained before, we have one Ave. to increase capacity and that's by passing bonds. But we also the growth is here and it's coming, it's already hitting us, you know and so we have to also address not just facilities, but we've also got to address, You know, different capital projects like expansion and parking lots and different, you know fencing and AC issues going on and building stuff like that. And so, when we when we build these partnerships and when we go out for bonds, what that allows us to do is ask for less on our bonds based on You know these different partnerships that have been brought forward to us and like this past week in front of our school board, I presented almost right at half of a million dollars' worth of these, you know partnerships and projects and that's half \$1,000,000 less that we would have to ask for on bonds because we're able to get some of these capital projects you know taken care of and so. But yeah, we and like I to reiterate, we have one way in Idaho to build capacity and that's by passing bonds for public schools. And right now, you know that that takes a, you know, super majority vote to do that. So, it's a challenge but. It's out there for sure.

**Council President Bruce** Mr. Mayor. May I?

**Mayor Stear** Yes, Sir.

**Council President Bruce** So that -- I know that passing a bond how you build a school, but you still have the option of putting mobile units in you know things like that, which will still add capacity that could take the kids from this development, but a development of this size, you have the land, right? But there's no even bond on the forefront right to be able to pass it. And history shows that it hasn't been feasible in our area. Can you tell me what the capacity of all the schools are now? Do you have that information with you, the high school?

**Tim Jensen, Kuna School District** I don't have that with me tonight that -- I know you know approximately Like Kuna High School has about 1800 students in it. That is at Kuna High in Swan Falls. Capacity and I'm principal at Fremont Middle School, passing our building is just under 600 and we're over 600 right now and so. But yeah, it's we understand that. And right now, there's kind of in our district, there's kind of a hold on a lot of things because we're in the process of hiring a new Superintendent. And so, yeah, that's one of those things. The new Superintendent comes in and might have a different idea about a lot of things. And so, they're, you know, some of these things as far as bonds and stuff like that are just like I said, being put on hold until we see what that person the vision is and what they want to do for the district and.

**Council President Bruce** And I appreciate everything you do. I think just you know, for us or for me personally when you come in and say, well, we're going to build a parking lot or we're going to add some buses, but we're going to, we're we going to put 700 kids you know? Or 300 kids that that just needs to be stressed to the to whoever's on your planning committee that it's okay to send a letter with... Because you used to send a letter that set capacities and because we have so many developments, do you know why they stopped sending that?

**Tim Jensen, Kuna School District** And I don't. This letter was sent for this project was sent before I took over this position and so I'm not sure why that wasn't included in the.

**Council President Bruce** Well, they used to send letters that said, hey, these are all the developments that are outstanding. These are the do you know why they stopped sending those? You remember those letters, right?

**Tim Jensen, Kuna School District** No, but it's definitely something I can...

**Council President Bruce** You could ask about.

**Tim Jensen, Kuna School District** Yeah.

**Council President Bruce** Thank you. I appreciate all you do. Thank you for serving the students.

**Tim Jensen, Kuna School District** Yeah. And like I said, we, I talked at the last meeting, we've put the portable units on that, those capital projects list for developers to you know, because it like I explained, they're not cheap to put in anymore either. It used to be those are fairly inexpensive and now they're pretty expensive. And so, we have those on the list to work with developers on as well to help us with.

**Council President Bruce** And we do have charter schools that are coming in that will help ease capacity as well. So, thank you.

**Tim Jensen, Kuna School District** Yeah.

**Council Member Laraway** Thank you.

**Council Member Biggs** Mr. Mayor.

**Mayor Stear** Yes, Council Member Biggs.

**Council Member Biggs** So thank you for coming against Tim. And so, I'm just looking at the numbers that you prove that was provided from the letter from August the 22nd. And it's concerning to me, even if you use the .5 calculation for 1495, once it's fully built out project.

**Tim Jensen, Kuna School District** Right.

**Council Member Biggs** Also taking into the account of, there's going to be charter schools to offset a little bit, even if -- Even if it's half that number, that's still going to take us way over 100% for the entire School District right now it says 90%. KHS is 110%, Fremont is 105% and then this goes on so understanding that we do need a bond to pass. I really hope the partnership is very significant because...

**Tim Jensen, Kuna School District** Yeah.

**Council Member Biggs** We need to do something to address the capacity, as you've acknowledged.

**Tim Jensen, Kuna School District** And believe me, nobody knows that better than, you know -- Or everybody working in the district and so yeah, we hear you. Believe me, and so.

**Council Member Biggs** And we hear you right, it's reciprocal.

**Tim Jensen, Kuna School District** Yeah, we appreciate that.

**Mayor Stear** Okay, Council member McPherson.

**Council Member McPherson** A lot of developments, you know, and I don't know if it's an attempt to do a tax write off form or if they're truly concerned, but a lot of developments try to give the school a site or, you know, whatever, is this an actual area where you see feasible for a development to go? I know there's been others that you've turned down or You're sitting on what to do with them, you know, whatever is this to me, it seems like a very good location for one, especially with all the, You know, to the South of there you've got all the Gray Hawk, all that you've got Patagonia over there and this is this a feasible site for you guys to accept?

**Tim Jensen, Kuna School District** And just clarify you're asking for like a feasible school site location?

**Council Member McPherson** Yes, but probably an elementary based on the size of the lot.

**Tim Jensen, Kuna School District** Yeah, yeah, this especially in elementary school. This site isn't large enough to put a middle school or high school on. So, it be an elementary and two of the main schools that this would elementary. This would help out would be silver trail and Reed Elementary, which are historically always at or over capacity and so this this is kind of where this is located. Obviously, it would require rewriting boundaries, but we would do that and it would take some of that pressure out of Silver Trail and Reed and so...

**Council Member McPherson** Good. Thank you.

**Mayor Stear** Okay, anything further?

**Council Member Laraway** No, sir.

**Mayor Stear** Thank you, very much. Appreciate you.

**Tim Jensen, Kuna School District** Thank you.

**Mayor Stear** Cindy Giesen.

**Cindy Giesen** Good evening again, Cindy Giesen, 1363 S Ash Ave. Kuna. I asked that you oppose this request and the reason for that is the commercial area, the high density, every FLUM Map that I've looked at since 2018 has shown that as a commercial -- Meridian is a commercial strip, Okay? And I see our future of Kuna needing that because I am tired and I'm sure all these people are of going to Meridian or Boise to shop. Okay, they're being very generous here with 17 acres. And what I propose is that they take the whole frontage, remove some of that high density, which they've already said that they aren't committed to. So, it seems like it's a flexible option for you to propose to improve this plan, to remove it and make it you might, we might be able to get some kind of mall that would give us anchor stores like it's clothing store, hardware, you know, big hardware, lumber store, bowling alley -- I always have to include that, and a restaurant that we could --- actually a couple of restaurants we could choose from and actually sit down, okay? We want Kuna to be independent, and it isn't. All it is a bedroom community for Boise and Meridian. We don't need more housing; we need a community. And for the last four years, all the economic development focus has been on our Urban Development, our META Center. And now you have an opportunity to start over fresh. I've seen FLUM plans that always show this. It was showing commercial. It never showed this plan that's on the GIS right now. I never saw. I'm flabbergasted that PUD got developed and I missed it. Got approved, you know, of some sort. And I don't think it really is approved yet, but it's on the big map. But even with the Committee that got together in 2024, it showed a strip of commercial and ag and there's no transition consideration on this plan for the ag that's around it. And you know, the more you build all that's going to disappear. There's a bunch of lambs across the street, huge amount of land. But anyway, my main concern is this commercial area that it's never been shown as a PUD area, and this is a surprise to me. You know, you listen to it in July. You did something in October. That something, something that changed the map completely and took out all the commercial along our corridor. And you obviously know that our traffic and this kind of density is not going to work and we're tired of having our roads shut down for seven to nine months for the whole time I've been here with promises of things happening, you know, and give us a break and go back and sit down and do some planning with your new economic development team. Start the community effort over again, they haven't had -- They haven't had a meeting with the public since Morgan was here. So, it's time to look back if you can change this in 2000. If you can say you made changes to this since 2009, I don't see why you can't say you can continue to make changes. It's ridiculous to have something from 2009 that got approved and planned to think that it works today. It doesn't. So anyway, please help us.

**Mayor Stear** Okay, thank you. Jan Zarr.

**Jann Zarr** Jann Zarr, 412 E Boise St. Kuna. Don't want to sound like a broken record, but we all know about the infrastructure, and I think it was a couple months ago that we had it. Maybe it wasn't in a couple of months ago when we did have ACHD come in and they talked about Meridian and all the improvements that would be happening. But that was 2036, 2040 when those things might be approved, but they really have kicked that can down the road. So, I know there's a lot of impact fees that come to this, but also it goes into the general fund and when ACHD sees that there's another project that is more important, we heard about this during. I think it was Valor Community was here and they're talking about, is it Locust Grove there? Right. So, that is another corridor that has been promised that they're going to widen, et cetera and that has been kicked down can down the road too and they just approved some sort of

*fare through* that's running out to Micron. So anyway, those are my thoughts. I'm real concerned about the infrastructure more than anything at this point. So okay, thank you.

**Mayor Stear** Okay. Appreciate that. Thank you.

**Council Member Biggs** Thank you.

**Mayor Stear** David Wardell.

**David Wardell** David Wardell, 2230 E Condor Lane, Kuna. And before I start, I want to give kudos to the Parks Department. Their lighting is exceptional and we do enjoy it and appreciate it. My concern is that growth is inevitable and the thing is that the growth needs to be controlled and done correctly. And currently I don't believe that you have a building department that's capable of providing code compliant structures. They're not doing it now. And as you grow with this, with this much growth, they aren't going to be able to do it and you need to, I would suggest that you address -- They claim they don't have the time to inspect everything. And they, which means they may need more people. That I would suggest as you grow, you take a look at your building department and make sure they're staffed and trained and have the proper focus on the scope and the purpose of there. And hopefully there are some things in the works I understand I'm not going to go into that, but anyway, I'd like to have that on record because this is a major you have several major subdivisions going in in addition to whatever else is going on and I have personally been around to a lot of them and I've yet to find a code compliant structure including commercial, so thank you.

**Council President Bruce** Thank you, David.

**Mayor Stear** Thank you. Michael Rocco.

**Michael Rocco** Michael Rocco, 1286 East Fort Erie St. in Kuna, ID. I just wanted to lower the pressure on the fire hose for Cheryl Perkins. This is -- they're talking about 653 homes. But in reality, when they get to the high density, it's 1495. That's lower the pressure a little bit for you 1495, not 653. I just wanted to make sure that I'm going to be sworn in as a City Councilman on the 6th of January 2026, but today I'm speaking as a private citizen. I want to be completely clear at the outset. This is not an anti-growth statement, and it is not criticism of the staff or any specific applicant. My goal is to help the residents understand how growth decisions relate to infrastructure and how they can continue improving clarity as Kuna grows. Large annexations and zoning decisions often rely on infrastructure that is planned for the future. Not in place today. Once annexation or zoning is approved, the city's ability to influence timing is limited, but the responsibility for the residents remain. With that in mind, I'd like to briefly share 4 practical ideas that focus on clarity, safety, and transparency. First, when evaluating larger developments, I believe it helps to look at traffic impacts the way residents experience them across entire corridors, not on this one project. Roads don't feel congestion from a single subdivision. They feel it from many projects, adding traffic to the same streets. Looking at the full picture helps everyone's understand the real-world impacts second. Growth works best when it moves at the same pace as infrastructure development doesn't need to stop. The later phases should line up with real completed road improvements rather than relying on future plans. This helps keep neighborhoods safe and avoids congesting getting ahead of capacity. Third, while staff already reviews traffic, utilities, schools and emergency access, residents often struggle to understand what is built today versus what is planned for later. A simple one-page summary for large projects showing what exists now, what comes later and who is responsible

would go a long way towards the public understanding and having trust. Fourth, I encourage the city to give residents better context about transportation planning by clearly distinguishing between near-term road improvements and long range or conceptual projects. In plain terms, it helps people to know which roads are come -- which road fixes are coming soon, and which will be many years away. These ideas are forward-looking and offered in the spirit of helping Kuna grow responsibly while keeping safety, traffic safety, emergency response, and quality of life front and center. They are ideas that I intend to follow up when I'm sworn in. Thank you for the opportunity to testify and thank you for your service to the Community.

**Mayor Stear** Thank you.

**Council Member Biggs** Thank you.

**Mayor Stear** Let's see David Crawford, did you wish to testify?

**David Crawford** Yeah, thank you. David Crawford, I live at 8532 S Chugiak St. which is right adjacent to the proposed develop. And while I'm not against growth, I just think we heard it already earlier today when he said technically it works. But I think that's the key. Technically it might work on paper, but if you look at it from my neighborhood, from where I live, from where I live, from where I look out, it doesn't work. If you consider the growth on the north side of Columbia, I'd like to know what their traffic impact study looks like with the growth that's going in there compared against this one, we're doubling, we might not be comparing the same thing. We might have double, that we're not looking at. My -- the other concern that I have is it just doesn't fit, it doesn't fit Kuna. It doesn't fit. Look at every other neighborhood. What are we trying to do here? Just stuff a bunch of boxes to make money. I don't know. It doesn't fit too. So, while I'm not against growth and I think the plan looks nice on paper, I feel like it's over. It's just too much. It's going to create too much bottleneaking. You can hardly turn left out of my street already on to Columbia. Let alone with 1400 more homes going up this way or people and residences. About the schools, if you already have that many new homes proposed and say you even have one child per home, the school doesn't help capacity, you're already going to fill it up before You know, before you get it built. So there probably has two other considerations to look at. I like the plan. I like the green space. I think it would be a much better look if it was had bare lots. Something like what we have on the north or on the east and the West, I'm on the east side and the Lots are acre plus. It kind of breaks my heart to look across the irrigation ditch and think that I'm going to see 12 homes in the space of my lot. That doesn't make sense. It just doesn't fit. It doesn't feel right. Thank you.

**Mayor Stear** Let's see, Dan Crib. Did you wish to testify? You didn't check a box?

**Dan Crib** *[From Audience]* No, I was going to do a song, but I *[Inaudible]*

**Mayor Stear** We had a guy come in and sing 'Home, home on the range' one time. That was awesome. All right. That's all I had signed up to testify. Is there anybody else who didn't get a chance to sign in and who wishes to? Okay.

*[Brief Pause In Proceedings As Members of the Public Sign-In To Testify]*

**Seamus Hodges** Yeah. For the, Seamus Hodges, 8105 S Chugiak Pl. Meridian. Also, I'm speaking on behalf for Poppy Field subdivision. We just have some, you know, I'm the same thing. Like you said, I'm not opposed to growth. I own a company that benefits from, you know, from this kind of growth and

whatnot. It just doesn't fit the surrounding areas. I mean we got acre plus lots here and then 3600 square foot, You know lots and backed up right next to the big acre lots and you know it's one of those things that as we talked about you know through that homeowners association there it's like if or more single-family single-level, 8000 square foot lots with a three car garage. You know something more of that effect. You know where it better fits, you know, like it like it is, you know it's going around other neighborhoods around and it's one of those one of those things. There's just a lot of house, a lot of a lot of extra stress in the schools and wife schoolteacher had brought up multiple times, you know, in business there. And I know it's your -- It's a state at the state level that way and so but if we don't speak up and say something, nothing's ever going to happen on that part and I get being you know as a developer you know I get his struggle that way too. He's you know we're on the same boat that way trying to figure this all out. And something's got to happen, get figured out, and with it, because, you know, my wife's first grade teacher, Silver trail. And it's extremely frustrating. Amount of, you know, kids, they got to deal with and they don't have enough staff with to help out with all the special with special needs now coming to school. They're just, they're understaffed and so it's one of those things we got to step back and look like, do we got to put a moratorium on building till we figure out some of the stuff at the state level, you know, more pressure that way for legislation to get some things changed to help everything out questions we got, we got to ask. You know. You know, with the, I know there's some, you know, concerns with this kind of density of housing, you know with, you know, a lot of maybe starter homes or rentals and stuff ending up there and what's crime like going to look at in 10 years. You know, with a with the fees are coming off this 171,000 to go towards, you know police. You know it's that doesn't go very far. Today's world, you know, as far as overall and just looking at as brought up before not beating dead horse but the traffic impact that way. One of things that brought up is Columbia Rd. is brings a lot of people from Nampa. Has there been further traffic study developments are going that way. Have they looked at anything that way is coming in and also up on Lake Hazel when we're turning dirt up there. You know what all you know, going clear up to the freeway, it's already a nightmare trying to go to, to Boise as it is. You know this amount of Homes going in there. I just feel like the infrastructure between definitely on the roads that way. We're struggling that when I know there's plans to widen, you know, Meridian, but.

And what about our wells? You know, we have private wells, you know, have there been water service studies done? I know we're doing injection wells in Boise trying to make up for it by the airport, trying to make up for water that we're lacking here with amount of homes going in. We look at that and we. Yeah, the study of the schools of the other things and with the traffic too. But yeah. And then with, you know, and I don't know where we're at the planning stages, but asking on that density of those house, you know that was one of the things that brought up. Is there a way to work with their this development goes there. Is there a way to flop? Some of the higher density...

**City Clerk Nathan Stanley** Sir, that was your time. If you can finalize your comments.

**Seamus Hodges** Yeah. Thank you. Yeah. So that's from the Homeowners association and *myself* [Audio Unclear]. I appreciate you guys all do and thank you for the time.

**Council President Bruce** Thank you, Seamus.

**Mayor Stear** Okay. Thank you very much. Gale Zarr.

**Gale Zarr** Gale Zarr, 412 E Boise here in Kuna. Good evening, this is getting to be a regular thing. I just wanted to summarize. So, we have 90% against this. And we heard from the first gentleman who left that

you can't deny it, but possibly you can delay it. Admittedly, I don't know. I intend to find out, but I want you to listen to him. I also wanted to repeat a couple things. I thought we were here at a meeting and ITD did a presentation and I came in late, but their presentation was about expanding Meridian and they said there was no money, and it wasn't planned yet. So that directly conflicts what you said I'm not saying you're wrong, or whatever. But I'm just seeing where I feel like we're getting different information. And then also it was mentioned that ACHD also came here at and it was -- was the Valor? Where they said our impact fees are going elsewhere, so we have no assurance that these fees are actually going to come into this community. Also with the school I would also like to hear about capacity. I think that should probably be something that the Council requires when they're making these partnerships. I think as a community we deserve to know. And we want to have confidence that they're aware of the number of kids in the in the school district. And that's all I got for you guys. Thank you.

**Mayor Stear** Very good. Thank you.

**Council President Bruce** Thank you, Ms. Zarr

**Mayor Stear** Mr. Pop.

**Ilie Pop** Good evening, my name is Ilie Pop and I live at 8171 S Chugiak place. As my neighbors, I want to raise my concern about this development, which not against, but totally against by the builder to put behind our properties, which are -- we have 9 houses along the Creek. All of them has more than one lot, and they're going to put those houses, as my neighbor said, like boxes. Row houses that you don't need to jump from roof to roof, you can walk. And then...

*[Laughter]*

**Ilie Pop** Yeah, yeah. Stretch your hand and you reach the gutters. So it's not fair to do this thing. It's going to bring our property values way down and this is the main concern. Everything else I kind of agree with to build those things behind our property in front of our properties. That's ridiculous. Thanks so much.

**Council President Bruce** Thank you.

**Council Member Biggs** Thank you.

**Mayor Stear** Very good, thank you. That's all I have. Is anybody else who wishes to testify? All right, very good, thank you. The applicant would like to step up for everybody.

**Stephanie Hopkins KM Engineering** Thank you, Mr. Mayor, Members of Council. Again, Stephanie Hopkins, 5725 N Discovery Way in Boise. Sonia is going to come up to discuss traffic, but I will talk about some of the land use concerns that were brought up by everyone. Really appreciate all the neighbors showing up. We've had quite a few neighborhood meetings on this. I recognize some of the faces that we've seen throughout and I think concerns have been consistent. So it's -- change is difficult and I think one thing to remember is that this project was entitled back in 2009, so quite a few of the residential lots the adjacent to it. So Paloma Ridge obviously to the West and then properties that are to the West and North were developed after this was initially annexed and zoned into the city of Kuna. Those lots obviously are consistent with what we are proposing. There were concerns brought up about the consistency and that this just doesn't fit with Kuna and says the majority of this is zoned R-6 and the majority of it is conforming with the R-6 districts. That's a very, very consistent with Kuna. That's a very

common zoning district within Kuna, and we've done the best we can to buffer in areas. I was going to show you a little diagram we put together. So the Chugiak properties are Ada County subdivision. I actually don't know when most of those homes were built, so I'm sure folks in the audience could... Pre 2008 Okay. '95, Okay. So, they've been around for a little while. We, we do have -- So the Mason Creek pathway is going to be here as well as Mason Creek easement. There's about 120 feet that will be just vegetative buffer between, including that pathway and the easement, between the edge of those homes that are on the western boundary of this Chugiak place. So that provides a decent buffer and then.

The property I have talked with Ginger a couple of times and this property here there will be about 300 feet of buffer between their primary residence and Mason Creek. I think they're obviously the most impacted by the proposed development. There's about 80 -- 70 to 80 feet of vegetative buffer that will be between their property and the homes that are proposed on the western boundary. So, we've done what we can to align with what was required in the development agreement, the concept plan to make sure that we're providing the number of homes and the general layout that was proposed and to provide a little bit of a buffer to those existing larger lots, that would not be permitted if they were annexed and zoned in Kuna, or wouldn't likely develop in that manner if they were annexed and zoned in Kuna. One other -- Mr. Rocco and Ms. Perkins came up and spoke about the number of lots. So Mr. Rocco clarified, yes, there are 653 single family buildable lots proposed in the preliminary plot that you are considering this evening. The multifamily lots could potentially be 842. That is what is permitted in the development agreement that was approved. That is not what's being proposed tonight. That's an application that would go before Planning & Zoning Commission with the Condition Use Permit at a later date. That's a discretionary application. At that point, they would consider traffic, which would be an additional traffic impact study, among other studies, will be required for that portion of the development. They'll consider a load of new evidence when that application comes in. This project is phased as well. So, there are 11 phases proposed overall, and then pull that for you, we have a lot of exhibits we didn't use because we wanted to keep our presentation short. So, there are 11 phases proposed overall. So north is going to the left. The first phase is in the northwest corner of the development. There are 69, around 70 buildable lots. The multifamily portion of development is phase 10. Phase 11 is the commercial and then we have the school lots actually been in phase two intentionally to give them that property sooner rather than later, or to make sure that it could develop into a school if the funds are available and it's ready to go. All that to say, this project is large. It's 242 acres. I think most of the preliminary plats and subdivisions that come before you are likely 40 to 80 acres. This is, you know, 8 times the size of what is typically seen. These boxes look very small on this -- in this platform. Typically you'd be looking at just a portion, so you'd look at, you know, maybe the northern portion here where there'd be 150 lots and it would seem a lot less dense than it does on this. I know that looking at these lots compared to 1 acre lots is going to be different, but county development is always different than city development and there are many reasons for that. It's more efficient and better for the city to have smaller lot. So that property taxes are were beneficial. You have services that are more efficient, they're traffic is more concentrated. There are lots of reasons to have more density in the city. This is all stuff that's contemplated back in 2009 when the zoning districts were assigned. So, my main point being with all of these phases, this is going to be an iterative process. It's going to develop over a long period of time, and if I could have more time to have our traffic engineer come up because I think that was the primary. Those are the primary questions that would be awesome.

**Mayor Stear** Okay.

**Stephanie Hopkins KM Engineering** And I'll -- I'm done talking about my stuff. Thank you.

**Sonia Daleiden, Kittleson & Associates** Thank you, Mayor, Council Members. Again. Sonia Daleiden with Kittleson & Associates. I'll try to touch on several of the comments related to transportation infrastructure that were raised. So first, how was the traffic impact study boundary determined? That's determined based on ADHD and ITD policy. Any development if we couldn't study exactly the far expense of where our trips go, but ACHD and ID policy determine that you need to study any roadway where your developments traffic is going to increase traffic on that roadway segment or intersection by 10% or more, and so that's what the study how the study area boundaries were determined and they were determined by ADHD and ITD staff. I really appreciated the comments about looking at traffic holistically. We don't just want to look at this development. We need to understand how it is going to play out over time with growth from this development, but also elsewhere. And that is exactly what the traffic study does. It accounts for general regional background growth. It accounts for traffic specifically from other adjacent developments as well as its own traffic and looks at the impacts accumulatively from all of that work. And we also do look at what is needed in the short term and what is needed in the long term. In the short term, if we go to that slide that looks at the turn lanes, the additional roadways that will be constructed, there will be two additional 3-lane roadways constructed as part of this development. The turn lanes, the traffic signals, those are all near term, needed transportation infrastructure improvements that will be done exclusively funded by this development. And then in terms of addressing their longer-term impacts, that is what traffic impact fees go towards. So, we don't know exactly where those will be spent or how those will be spent by ACHD, but that is how this development contributes to its longer term regional impacts and Stephanie had the numbers for that.

I will address the ITD project on State Hwy. 69. ITD does have a plan for State Hwy. 69 and desired improvements. I will agree they don't have government funding or taxpayer funding to implement that project, which is why they're asking this development to contribute about half a \$1,000,000 towards it to offset its impacts, as well as additional turn lanes. It's asking other developments to do the same. I know the apex development is upfront and costs of improvements and implementing improvements as well and ITD will be doing that of other new growth to try and get those improvements in since it doesn't have government funded or government money to do that. And so that's how those improvements will be constructed when the lack of other funding available. Happy to answer any other more detailed or specific questions, but hopefully that addresses some of the questions that came up through testimony.

**Mayor Stear** Okay. Questions for the applicant?

**Council Member Laraway** I have a simple one. You just mentioned that *Excuse me*, the developer is going to put up \$500,000 to subsidize ITD. That's -- that, that won't even pay for a stoplight.

**Sonia Daleiden, Kittleson & Associates** So what that is doing is providing them -- I agree that that is not going to fund the full cost of those improvements on State Hwy. 69, but what they're asking each development along this corridor to do is to pay their proportional fair share. One thing you have to -- we have to recognize is that the needed improvements on state Hwy. 69 are not only the results of development that has yet to happen. They're also addressing existing concerns. But they're asking development to fund and pay for their proportional share of that development. And if each development is contributing that it does give ITD significant funding to go and then implement those improvements. But

I agree with your statement that just the money from this one development is not going to pay for all of those improvements. I agree with that.

**Council Member Laraway** And I and I guess that's part of the follow up question. I mean I don't know if the traffic study at Lake Hazel included Costco, the traffic that's going to draw in. And then you have other box stores that might be going in or around South of Columbia. That hasn't been accounted for. Even if those businesses decided to pitch in \$500,000. It's no we're going to fix the cost of what it's going to take to help this situation out.

**Sonia Daleiden, Kittleson & Associates** Mayor, and Council Members. So, our study did include all of that other regional development that's going on and their studies included this development as well. We do look at that comprehensively. The well, it's not related to this specific development that Costco Apex development, they're widening almost a mile of state Hwy. 69 as part of their development, they're up fronting that cost and then they're using star agreements to get reimbursed for what's above and beyond their proportional share. Because this is a residential development, we don't have the ability to use that, that tax financing, sales tax financing, but we are providing upfront right at the beginning that half a million proportional share for our costs as well. So ITD can take it and use it to implement more of the project. I will also add that if you look at ITD's report as well as ADHD staff report, they do have specific timing and triggers for all of these improvements about when they need to go in. It's not just someday or at some point in the future or 2036 which I think was mentioned they have specific units, you know, at 5 at 50 homes at 200 homes is when you need to do each of these improvements. So, they will be timed exactly when they're needed to serve this development.

**Council Member Laraway** Thank you.

**Mayor Stear** Okay...

**Council Member Biggs** Mr. Mayor.

**Mayor Stear** Anything further? Yes. Council Member Biggs.

**Council Member Biggs** Yeah. So going back to the 2036 to 2040 build out from what I understand Columbia build out for that five lane isn't until 2036 to 2040, there's a 5 lane build out for Hubbard to Locust Grove in that same time period. But that's to the east. So Hubbard to the West, there is not a build out yet that I'm that I'm aware of. I may be wrong. There's a lot of details in here of the 5 million build out from on Hubbard, maybe they don't have the right-of-way, I don't know. But that's a concern because it always seems like, in general, projects are more reactive as far as traffic and is more reactive than proactive. I think we could probably all agree a little bit about that, but specifically I did want to call I want to address the traffic study scope. We're going by this is what the limits are. This is what ITD requires and what ADHD requires. I personally think, and I think there are some other people who stated that the impact of 1500 homes eventually is going to extend far beyond Lake Hazel and also to the West. We haven't really talked much about going towards Nampa, there's quite a bit of traffic that goes that way and then of course to the east. But we can only go with what I guess is in the legal limits that that you that you cited your traffic study on. So, I guess I really can't find any fault in that. I did specifically want to call out the Linder and Columbia Rd. intersection where that that it says, typically the applicant would be required to improve the intersection of Linder Rd. and Columbia Rd. with turn lanes as recommended the traffic study. However, there is not enough right-of-way available to accommodate the recommended

mitigation. Making this improvement infeasible. Therefore, no mitigation is required at this intersection. I understand it may not be required. That sounds like a safety issue to me. If we're going to. If we're going to jam that intersection, we just can't build out on it. What about I mean, eminent domain potentially by ACHD? It can. Is that something that can be required? I don't know if the city can require that, but recommend before we start building out and cause a problem at Linder and Columbia. That's all I have .

**Mayor Stear** Yeah. So typically even if they use eminent domain, they have to pay for the right-of-way. So that's usually the hold up with ADHD or even ITD doing any expansion or improvement is they don't own the right-of-way and they don't want to use their funding to pay for the right away. So, until development occurs and they get the free right of way, they hold off on that. That that's how that typically works. And that's why because Colombia and Linder, that intersection is -- it's just way short. It's hard for anybody if you're pulling the trailer and you try to get around that corner it's not an easy path, so that should have been done when they did the traffic light, but...

**Council Member Biggs** And I was going to say.

**Mayor Stear** But we are where we.

**Council Member Biggs** Yes, Sir. And I was going to say also, how many school buses go back and forth between Kuna High and Swan Falls via that intersection and kids driving themselves. Still a little bit of concern on the on that particular intersection.

**Mayor Stear** Okay. Was there further questions for the applicant from the Council?

**Council Member McPherson** No.

**Sonia Daleiden, Kittleson & Associates** Mayor. May I ?

**Mayor Stear** Yes, you may.

**Sonia Daleiden, Kittleson & Associates** May I just clarify and respond to the I think there was a question in there. There was been discussion about the need for five lanes on Columbia and Hubbard and that is that is one of those long-range needs and projects that ACHD has identified in their twenty year plan and that is in there. That is not a need that's triggered specifically by this development. This development is triggering the need to widen to three lanes to provide the center left turn lane to install traffic signals along at Kay and Columbia and improve turn lanes at Columbia in 69. So, this development will be implementing those improvements which are you could maybe consider those a first phase of getting to that ultimate 5 lane configuration. And so this development is doing what it is triggering and the mitigations it is requiring to help ADHD get there. But this development itself is not triggering the need to go all the way to that five-lane full configuration and ACHD's long term. So that is why that time frame in their twenty year plan is beyond the this the study year for this development. So hopefully that helps with that.

**Mayor Stear** Okay

**Council President Bruce** I have a question.

**Mayor Stear** Yes, Council Member Bruce.

**Council President Bruce** Thank you for all the input. I do appreciate it. It is concerning that they didn't give us a level of service on Hwy. 69, but they did give us a level of service on Columbia and Hubbard and I just wanted your thoughts on what 'Better than E' means. Because if you look at E as unstable, significant delays in queues. But 'Better than E' is not really a, you know, it's not 'D.' But it's it --It's what they give the rating for level of service for Columbia and Hubbard. So ACHD provided in their statement, they said the level of service is 'Better than E.'

**Sonia Daleiden, Kittleson & Associates** Okay.

**Council President Bruce** What does that mean to you?

**Sonia Daleiden, Kittleson & Associates** So that -- level of service E is ACHD's adopted standard or threshold, so they need there -- That intersection needs to meet E or be better than that. And what they're saying is that in our traffic analysis and our traffic study it showed that that intersection is meeting their standards, so it's better than what their minimum standard.

**Council President Bruce** Right, what I'm saying, and I think that's a problem with ADHD in general because that's probably a whole county traffic thing and that's probably why we're seeing the traffic just in general. Is better than E you would think they would rate it a D. I don't know what I mean. I reached out to ACHD. I just wanted to get your thoughts on, does that mean that the threshold is lower? But I'll take your explanation. I think that I don't think it's actually a rating. I think I'm just confused why they would say better than E and not give it a D.

**Sonia Daleiden, Kittleson & Associates** Well they're outlining just what their minimum standard for that intersect for an arterial intersection is, so they're minimum means it has to operate at level of service E, and if it's below E or F it would mean it's not meeting their standard. I believe that's what that statement is referring to and I will say level of service E, although it would say it's that and that's a peak hour peak, 15 minute threshold. And so while it would be busy and congested, if it's meeting level of service E, it is still under capacity from a traffic operation standpoint.

**Council President Bruce** And the other question I had was. Well, actually this won't be for you. It'll be for Troy, so thank you.

**Sonia Daleiden, Kittleson & Associates** Okay. Thank you. Appreciate the question.

**Mayor Stear** Okay. Thank you very much.

**Council Member Biggs** Thank you.

**Council Member Laraway** Thank you.

**Mayor Stear** Yeah, you can go and ask away if you'd like.

**Council President Bruce** Troy, what on the Mason trunk line have we secured the rest of the portions that we need to complete that project other than this one?

**Senior Planner Troy Behunin** For the record, Troy Behunin.

**Council President Bruce** Or do we have other land owners that that we need to work with to secure that trunk line?

**Senior Planner Troy Behunin** For the record, Troy Behunin DSD, Kuna DSD. I believe that's probably a question for public works, but are you talking in other relations to this budget or?

**Council President Bruce** Because we, we dealt with the Durrants portion of it, right and we dealt with, now we're looking at this portion with the they're allocating to it. I know that there were more land owners that owned the property through there, so I didn't know. Usually when I asked Doug, he has the information. So maybe it's a Doug question and not necessarily a...Unless you know Adam.

**Public Works Director Adam Wenger** Good evening, Council President Bruce. Adam Wenger, city of Kuna, 6950, S Ten mile Rd. The remaining easements to service this, which would be phase three of Mason Creek, requires securing easements from this developer in this development and another development. And then another party, another developer just north of this, has easements through their land as well. So there's no more private ownership easements to acquire. There's two from two different developers, of which one is a developer and one is another, which is already under contract to continue building.

**Council President Bruce** Okay.

**Senior Planner Troy Behunin** Mr. Mayor, for the record, Troy Behunin. Because Council Member Biggs brought up the specific in intersection of Columbia and Linder, it's important to note that the southeast corner of that is a commercial, commercially approved subdivision within the Paloma Ridge Subdivision, which is moving forward. So, there will be additional right away that is required, acquired and they will do a lot of improvements along that frontage on the southeast corner and the South leg of Linder Rd. there is also another project is coming and talking with us on the northwest corner. So there's a lot of movement for that specific intersection. It's important to note that this intersection is more than 1/4 mile West of this project.

**Mayor Stear** Okay. Thank you.

**Council Member McPherson** I have a question.

**Mayor Stear** Council Member McPherson.

**Council Member McPherson** Back Rewind 2008, 2009 when this was originally annexed, it was platted then, correct?

**Senior Planner Troy Behunin** Council Member McPherson actually it was approved. Yes, preliminary plat was approved back then.

**Council Member McPherson** So, from that day forward, we've been doing this all wrong because there was already a traffic issue when that was plotted in 2008 or 9. And all these other subdivisions were put in, not accounting for what this one had the potential to bring whenever it broke ground. Is that a fair statement like we've been doing it wrong all along. This was already in the works, but subdivision B, C, &D over here came in later built. Now we got a traffic problem when they already had. It's like sewer obligations, right? This has sewer obligations already in the works. Others had to come in and buy into it, and then for them to say, well, the pipes full, they already had a piece of the pie. Does that make sense to everybody? Like I think we've been looking at this. Yes, it's a traffic issue, I agree 100%. I drive in it all day, it's horrible. But I think we've been doing this all wrong where this was already accounted for. So

maybe Patagonia should have never went in because of the traffic impact happening from this down the road. We didn't know when it was going to happen, but growth is inevitable. It's going to control it or to, you know, make it better. I mean, it is what it is, is to control it and we haven't controlled it in...

**Council President Bruce** Yeah.

**Council Member McPherson** The aspect that We didn't account for all this previous approved development that now this comes forward with their project. They're ready to go. They already have their piece of the pie. They have their sewer connections and a platform almost 30 years, 20 years ago and Now we're saying, Oh no. Roads are full or whatever. We'll. Yeah, they're full. They always have been, but and. And I'm not saying that it's good or, you know, going to get better. It's obviously always going to get worse. This valley is growing, but we've just done this all backwards.

**Council President Bruce** Yeah, well. I think that's probably up, you know once we get to debate. Right. If we have quite, I guess we can wait till we close and debate, you know or just discuss that. But yeah, I see what you're saying. I didn't have anything further for Troy.

**Mayor Stear** Any further questions for?

**Council Member McPherson** Not yet.

**Council President Bruce** I move we... I guess we're good with evidence? I move we close evidence presentation and move to deliberation.

**Council Member Laraway** Second.

**Mayor Stear** Motion is made in second. Any further discussion on that motion? All those in favor say 'aye.'

**All Council Members** Aye.

**Mayor Stear** Any opposed? Motion carries.

*(Timestamp 01:34:46)*

**Motion To:** Close Evidence Presentation And Proceed To Deliberation

**Motion By:** Council Member Bruce

**Seconded By:** Council Member Laraway

**Further Discussion:** None

**Members Voting Aye:** Council Members Laraway, McPherson, Biggs, Bruce

**Members Voting Nay:** None

**Members Absent:** None

**Via:** Voice Vote

**4-0-0**

**Mayor Stear** I certainly can't argue the traffic. Anybody that drives in it sees it. No matter what ACHD impact level of service says, when you're in it.

**Council President Bruce** Yeah.

**Mayor Stear** We don't care if it says ABCD or F, you're in it and you know it's an F.

**Council President Bruce** Well and You know, I get. I understand what Greg is saying is we should have looked at and maybe still something moving forward because I wasn't on that Council with some of those developments over there were approved. Look at the stuff that's outstanding, maybe even if it was 20 years ago and take that into account moving forward. So, we're not in this position again, but I think that's hindsight and I think when we look at this project like she said, this is like 8 developments in one right even it's going to be over a certain amount of time. We still have three that are currently moving on 10 mile. I mean that there's a handful more. I mean, there's just, there's a lot going on that we were kind of handcuffed with moving forward from previous, you know, previous councils. I think the traffic has become not only a hazard but a quality of life thing for our community as well. And at some point maybe we need to take a step back and look at all the projects and have a traffic study of the entire area of what it's going to look like, because I think that, you know, when she said yes, we look at certain developments. Maybe they're not looking at some that were already approved, that they haven't dug around yet. You know that that's going to put us back in the same problem.

**Mayor Stear** I think some clarity on that would be good to know exactly what ACHD requires when they do their studies, so that we're better educated on that.

**Council President Bruce** I think that ADHD, when they came and talked with us, they were talking 2030, -40 and beyond before they upgrade any of the roads around here. I mean, we had to fight just to get them to move forward with a roundabout at Deer Flat, and that's still 2 years out, you know? And they've already moved it up their list, so...

**Mayor Stear** It took quite a few years of this to be a traffic light at Kay and Avalon and that was a -- It was a digging claw for a while.

**Council President Bruce** Yeah, and now this is nothing on the developer. I think he's gone a long way with bringing schools on some of the developments, easing capacity, giving land, doing everything that he could. But me personally, I'm not comfortable with adding this layer. You know the traffic that will impact 69 and the roads around it. So, but I'll listen to what everyone has to say and then we can kind of decide.

**Council Member Biggs** I'll speak, I guess I agree with the traffic issues which we don't want to belabor anymore, but it's not just traffic, it's safety. And I think safety should be paramount, when we're designing our city and paying for the sins of our predecessors, I guess that's kind of what we're facing here. And I'm not saying since is and this is a bad project because it made sense in 2008. 2025 it's a little bit different, but I also I'm going to go right back to the schools. I understand it and appreciate that there's an agreement between the school, the schools, and it would be nice to know what they are doing to mitigate this, because quality of life is what, as far as I'm concerned for our children of our community. Adding possibly 700 or more students, even if even if we just go by the 600 and 600+ development for right now, that's still 3- to 400 students potentially in Kuna School District that we may not be able to handle. I've got. I've got to trust the school judgment, but we also had the schools here a week ago or two weeks ago

for 88, was it 88? I think it was the development and they didn't support that one referring to school capacity, so which is it? I just wrestle. We always wrestle with that pretty much every meeting, so... that's all I have to say, Sir.

**Mayor Stear** Okay, well and I do -- the this developer in particular has actually brought charter schools in to build a school so that those are funded. And I don't know what agreement is with the school on this property, but that same thing could be done possibly here, but I don't I don't know what kind of agreements been made with school district on property there, but...

**Council President Bruce** And I think the previous developments had said, hey, we've identified a school who's ready to come here. And even if this is a 8 to 8 year, 10 year project with what ACHD's doing with everything that's going on in the north and on the east of the county now with Micron, they may be the only improvements they do are those. You know and we've seen some of the queues that we sit in now towards Hubbard and up 69.

**Council Member Laraway** My turn?

**Council President Bruce** Yes, sir.

**Mayor Stear** Council Member Laraway.

**Council Member Laraway** The traffic is going to going to be terrible. I don't know what we're going to do with the hovercrafts in 12 years.

*[Laughter]*

Well, it's the same problem we're talking about where this was done in 2009. We had no concept of the problems it was going to bring. Now we're talking about traffic. We'll be in hovercrafts by that time. So we don't have...

**Mayor Stear** That's what we thought in 2009.

**Council Member Laraway** Well, yeah. We just can't think that far ahead...

**Council President Bruce** That's what I thought in '85

**Council Member Laraway** I got to be really honest. I'm not an R-20 guy and it reminds me of living in Meridian. Every time you turn a corner there's this multi complex on both sides of the street. I think it's ugly, personal opinion and this is my last meeting, so throw bricks at me.

*[Laughter]*

This is this is a huge project. You know, we're used to -- We're used to something 1/4 of this size having these kind of discussions. I don't understand why R-20 superseded commercial buildings down Hwy. 69 to where it's -- Calls a target that I don't. I don't understand that. Of course I'm not the Developer.

**Council Member McPherson** You want your wife to go shopping, don't you?

**Council Member Laraway** What's that?

**Council Member McPherson** You want your wife to go shopping don't you?

**Council Member Laraway** Anyway. I hate coming to these meetings and listen to the public talk about traffic. I completely agree with you. ACHD ties our hands. These traffic studies are rarely done by ACHD. They're done by the developers. Their developers traffic studies are better than the ACHD, so they can't disrespect the traffic study. But again, I don't have to like it. I wish there was something we could do. We can provide police service, we can provide fire service, we can supply, sewer, water. I don't know if we can supply the school service. That's always an issue with us. And it doesn't help when the school district sends a letter to going *[thumbs up gesture]* 'They bought us a bus.' It's hard for me to agree with that. It doesn't solve our problem here on the bench. It makes it more difficult.

**Mayor Stear** Well, I think that's a lot of the problem is, is we don't have traffic engineers, so we don't do that. So, if ACHD gives it a thumbs up. The school gives it a thumbs up. We give it a thumbs up because they're providing what we need them to provide so that we can provide water and sewer and police and that they're doing what they need to do to help the fire district. So, the fire districts, not opposed to it, it's really hard when all the entities. They're all together saying, Yep, this is cool. Here we go.

**Council President Bruce** Yeah, but I think that takes it that, I mean, then why are we even up here? Why? Why don't we just use AI, right? I mean, I think you can. You can look at what it says on paper. But realistically, how's it going to affect everybody in our community?

**Council Member McPherson** We have a great audience. That spoke, you know, very emotional. You know, tempers were up a little bit and some of the conversation you could tell. But do they do this same thing at an ACHD meeting? Do they do this to their legislatures? Do they reach out? Do they mail them, e-mail them? Whatever? I'm not. I'm not blaming anyone for not doing that.

**City Clerk Nathan Stanley** Members of the audience please do not speak out why Council is in deliberation. Thank you.

**Council Member McPherson** I'm just saying that we get a good, you know, audience here to speak to us and you know we leave these meetings sometimes with egg on our face. It happens or bricks in your case but. We're only one level of this, you know, so many of these other levels could be addressed: School Board Meetings, ACHD meetings, ITD meetings, the Legislature. How many people ever do you get a lot of people that that mail, you e-mail you, whatever, and complain about traffic in schools and on and on and on? We are one voice here, but like the Mayor said, ACHD went 'yep,' fire department went 'yep,' schools went 'yep.' So, we are the final step of everything was in line and like John said, we might not agree with it. We -- I drove 140 miles in this garbage today in a semi. I mean I'm not in a little car like yours or an F-150. I'm in an 18-Wheeler with 80,000 lbs. of grass on it. It's tough, it's tough to bear these roads, it really is. But they have given it the green light, so we cannot like it. But what we're up here to approve or deny is what Troy said. It basically is a three-point something acre chunk that's a rezone. The rest of this has been approved a long time ago.

**Council President Bruce** I look at that different. I -- even though it does say hey, we can do it I think. We are seeing they may put it on paper but is vastly different than what it had and I'm not -- I wasn't elected by these people to sit up here and say, 'oh, well, they say we're good moving on forward.' They want us up here to really look at these decisions that we're making. And not just check a box not be ACHD or the fire department or whoever else, and said well, it looks good on paper. You know, I mean, maybe we do get challenged somewhere down the line in court and maybe somebody uses some logic of reason and say, hey, these maybe they're wrong.

**Council Member Laraway** The part of the problem, and this is going to sound really bad, but again it's my last meeting, the problem I see with this is ACHD you checking a box, ACHD gets money out of it, fire district gets money or a building out of it is everybody's getting something that is checked. The box we're stuck with holding the bucket. We have a public that is going. We don't want this.

**Council Member McPherson** I agree, but in this particular project. It was approved the follow all of those other projects that spoke with the exception of Chugiak...

**Council Member Laraway** Before John.

**Council Member McPherson** Correct and before any of us and probably anybody over there as well or maybe Troy might have been on some of that, I'm not sure, but. I agree it's wrong on so many levels. Traffic and schools being the top 2. It's a nice product if you know it's laid out good. Maybe the commercial and the R-20...

**Council Member Laraway** How is it laid out good? I'm just asking.

**Council Member McPherson** How much has it changed since the initial concept in 2008 or -9? Did you look at those?

**Council Member Laraway** I wasn't here in 2009.

**Council Member McPherson** I know but you haven't looked at any of those?

**Council Member Laraway** Just these.

**Council Member McPherson** Lot sizes are better to meet current standards and everything. The projects changed multiple times and got better with each thing. But, I don't see how we...

**Council Member Laraway** Sometimes I'm trying to look too far down the road, but a lot of it depends. I know they're going to sound bad. It's going to depend on who the builder is, because if part of the problem is you throw this R-6 in there and it looks really good. But you put a 2 car garage and all of a sudden on the cars are parking on the street.

**Council Member McPherson** Sure.

**Council Member Laraway** So we're creating a problem.

**Council Member McPherson** I agree with that.

**Council Member Laraway** Then vote with me.

**Council Member McPherson** How do we -- how do we say no to something that's already approved?

**Council Member Laraway** Anyway, I understand where you're coming from.

**Council Member McPherson** I understand all of your sides as well.

**Council Member Laraway** My job tells me you're right. My heart tells me I'm wrong.

**Council President Bruce** And maybe that's something we look at is just a broad moratorium until we can figure out what the process is. Like, what does it look like? Why are we not factoring in all of these neighborhoods?

**Council Member Laraway** Marc's grabbing is his mic.

**City Attorney Marc Bybee** If I'm allowed to speak, Marc Bybee, City Attorney.

**Mayor Stear** Marc Bybee, go ahead, yes.

**City Attorney Marc Bybee** If you don't want any input, I won't weigh in. But when I hear the word moratorium, I feel the need to weigh in that there are limit legal limits on what a moratorium can be. Only up to 180 days. And then if you're going to extend, you're going to have to have cost to do it. You're going to have to identify the reasons why you're entering a moratorium like what you're working to fix. So, I know it's a political talking point that comes up, but it's a legally loaded political talking point.

**Council President Bruce** And I did my research before I used the term. I know what it would take, so I appreciate it, but...And I still stand by that statement, right? Because we're saying, 'hey, we have all these developments that are approved, we approve these other ones.' And so now how many have been approved that we're not even taking into account we approved this one and we've got other ones sitting here. You know, at some point we've got to look at what we want our city to look like as a whole. And it's just been, you know, and not because we want to just because we've been handcuffed to do it.

**Council Member Biggs** How many other projects out there that I'm not thinking of right now that will be coming up because they were approved by our predecessors years and years ago?

**Council Member Laraway** I think we've all learned a lesson, actually. We weren't involved in it, but we're catching it ss that with these developments are approved hypothetically, 2009. there should be something that says within five years you, this has to come before the Council again. Because this is something that's 16 years old, is biting us. And it just doesn't seem like it's -- it didn't seem like it's fair to the public or fair to us to be obliged by something that was 16 years ago. That everything has changed dynamically. Traffic has changed, the roads have changed, impacts changed and everything's changed. But we're still obligated to 2009. It just doesn't seem right.

**Council Member Biggs** I guess I'm -- My I guess my final thought on this is the school did check off on this. It went back to the school thing. The school did check off on this. However, if they aren't going to provide us how they're going to mitigate. And I know they're not legally bound to if they're, how are we? How do we know that? We know that the capacity is going to go, it's going to go over for the entire school district. That's a safety issue and it's a quality of education issue to me.

**Council President Bruce** Well, and they're checking the box too, saying, you know, saying oh, yeah, well, we've got this school lot. They have no bond in sight, so if you look at the whole pie, they can't really check the box because they don't know. They're saying, yeah, we got a piece of land. But what are you going to do with it? I don't know.

**Council Member Laraway** It's a park. That's what it says School / Park.

**Council President Bruce** Well, I'm just saying if the if the school doesn't move forward, right? But when they sent us a letter and said, oh, well, we're checking the box, they really don't know.

**Council Member Biggs** And it's for that, you know, the quality. You know, going back to what Troy was saying. The technical stuff. Technically they did check the box, but...

**Council President Bruce** I'd like to have more clarification of yes, we have a school piece of property here. We know what school is going to go there to offset some of that issue, we don't know.

**Council Member Biggs** How are they? How are they going to mitigate?

**Council President Bruce** We do not know right now that a school is going to go there.

**Council Member Biggs** Because based off what we've been told numerous times before, there is no mitigation.

**Council President Bruce** But like the other ones we've looked at, hey, this is a school site. Here's the school they're building here. They love kuna. We know it's going to we know they're going to build here.

**Council Member Laraway** Well, I think we've been on here long enough to know that the priority for a school across the railroad tracks. That would mean the first logical place to do it second would be over on the other side of Hwy. 69. This is third place in my thinking. But we we've kicked this to death, we none of us like it.

**Council President Bruce** Yeah.

**Council Member Laraway** But we're we have, we're stuck with it.

**Council President Bruce** Not me.

**Council Member Laraway** Legally.

**Council President Bruce** That's for a judge to decide, right? I mean, it will like, really, what are we just going to be hand and say we have no choice but to do it?

**Council Member Laraway** That's his thing.

**Council President Bruce** He's getting paid to say... I mean, I'm serious. This is 8 developments.

**Council Member McPherson** I mean I see your point, but...

**Council President Bruce** We weren't put up here just to just and we've rubber. We've pushed stuff through because we've had no choice. But this is 8 developments we're looking at in one. We do not know if a school is actually going to be provided there or show up and we know the traffic is going to be way heavier than what the traffic study says.

**Council Member McPherson** I don't disagree. So forward think again because we didn't do that in 2009, right? We don't, we don't do anything here with this. Then we get sued. Now that was a great use of our taxpayer dollars because it's going to be how many millions in court and then the judge may or may not say build it anyway. I mean the what ifs? You know, what if the frog had wings that wouldn't bump its butt on the ground.

**Council President Bruce** Right, I get it. But I can only make the decision from what I'm looking at and what.

**Council Member McPherson** and I respect that about you. You vote the way you say and what you think and express, I get it. To me, it's. I don't know I.

**Council President Bruce** I've said I've said a lot, so.

**Council Member Laraway** I'll say it for you. It's my last one.

**Council President Bruce** Yeah, I've, I've said a lot. I'll entertain a motion. I think that we know where it's at, where we're going. I just.

**Council Member Laraway** I don't have the legal reason to turn this down and it upsets me. I agree with you. But I'm not going to put the city at risk for a lawsuit Because my heart says I don't like that.

**Council President Bruce** I think what I lean on is the and when we are a quasi-legislative and judicial body, right, we take in information and we are the judges to decide. We have decided it. Now, there may be an argument down the road and we find out we're right or wrong, they could say, hey, you're right that the traffic improvements are not going to be done for way long or hey, there's no real. You don't see a school on this horizon anywhere. You see a piece of.

Land slash a park. So we're saying, look, we don't know if the school is actually going to be able to ease capacity with this development, we don't know. Now traffic, we can fight. What better than E means all the time? That's crazy to me. That better than E.

**Council Member McPherson** Well, and that should be a challenge to all of us to petition ACHD for these things in it'd like.

**Council President Bruce** Yeah.

**Council Member McPherson** The numbers, what do they really mean? What is the 5 year, 10 year, 20 year build out on these things and that's....

**Council President Bruce** And maybe we ask something.

**Council Member McPherson** We haven't, we don't do, but maybe that's where we need to turn some focus.

**Council President Bruce** Or we start having it putting our packets. What's their top? What are their? What's every year They put out a an updated list? Put it in the packet. What roads are updated in our city? You know, that way we know we can look at it and say, hey, these aren't even on it. These aren't even nowhere near on it. So but for me, I just I'm going to lean on the fact that yes they are getting a school site but we do not I do not know if there's going to be a school there and we know everything's at capacity with the schools.

**Council Member McPherson** I agree wholeheartedly. I do.

**Council President Bruce** So that's where I stand.

**Council Member McPherson** It's rough, man. I used to farm every said acre of this entire development. I mean, that was my livelihood. That's -- I worked on all that ground there for 15, 20 years till it was sold. Land changes hands development happens '08, '09 come along at different person bought it. Here we are

now, people thought right? And it's horrible. I mean, I agree the traffic's horrible. But we got to get back to where we what we started this meeting for was what are we doing with this project?

**Council Member Laraway** I'll take another lesson that we've learned here. Tonight is next time a piece of property comes up for annexation. We really have to look at Rule 2009.

**Council Member McPherson** Yeah, 100%.

**Council Member Laraway** *Cuz* ' It will bite us 16 years down the road.

**Council President Bruce** I'll entertain a motion from one of you fine gentlemen.

**Mayor Stear** Well I guess what I would say is I would caution and you kind of talked about it, but if denial is the way this is going to end up going, make sure that you give the Planning & Zoning department fuel for their Reasoning statement. Otherwise it will go to court and we'll be right back here and all these people come back and we'll talk about the same thing again. So.

**Council Member McPherson** And they'll bring more bricks.

**Council President Bruce** And that's why I leaned on this. The that's why I stated the school aspect. Yeah, that that's.

**Mayor Stear** And I think that's good. Marc?

**City Attorney Marc Bybee** Marc Bybee, City Attorney. And if it's going that way, Idaho Code §67-6519 says that in the application to subsection 5 of that section, if you're if there's a denial part of the criteria that. It has to be in the decision of the Council is that you have to identify ordinance and standards in evaluating the application that staff and I are prepared to prepare from the record the reasons for approval or denial, so identifying clearly what the reasons were, the actions, if it when you make a denial, one of the things that has to be put into the decision, the actions if any of the applicant could take to obtain approval, that's something required by State Code, so if they're like, what is there? If there's a reason for denial, what is it? What actions can be taken to by the applicant to fix that issue?

**Mayor Stear** And that's the thing then then you have to give them a reason or what it is they can do to fix it so.

**Council President Bruce** That's what Well, and that's why I stayed at schools, right? That what he's been great with easing capacity more than any other person I've seen anywhere in the valley, right? So...

**Council Member Laraway** Can we approve that?

**Council President Bruce** Yeah. And that's our section of code, right? Yeah. So that that's what the section of code we updated that says that schools are not at capacity. We have a section of code in our city ordinances that we can deny a project. Remember we updated that when we did our code rewrite?

**City Attorney Marc Bybee** Marc Bybee, City Attorney. I'm probably going to have to defer to Troy on the particulars of the city code because he lives and breathes it far more than I do. So I do know that there's some stuff put in there about considering city or impacts on the on the school district that's getting what I recall is pretty consistent with the language in State code as far as providing for mitigation and that's.

**Council President Bruce** No, this is 5-8-103.

**City Attorney Marc Bybee** Okay, so I don't know that off the top of my head that section you're referring to. Sorry, Troy, do you -- are you familiar with that?

**Council President Bruce** He's going to look at it real quick...-103. I just don't think traffic by itself is a reason to deny it. Even though it's horrible, I think with ADHD and their traffic study, I think.

**Council Member McPherson** I don't disagree.

**Council President Bruce** That that doesn't give us a legal reasoning to be able to, yeah.

**Council Member Laraway** Because then you'll be defying ACHD's expertise.

**Council President Bruce** Yeah, but just the fact that we, we do not see a path forward for an actual easement of capacity because...

**City Attorney Marc Bybee** Councilman Bruce just jumping to try and answer your question, more specifically, the language from city code 5-8-103(D)(4), it says 'pursuant to item code 6765 eleven the city shall give particular consideration to the effects of any proposed zone change. Any proposed zone change will have on political subdivisions within the city's planning jurisdiction, including School districts to provide services, therefore, evidence of demonstrable unmitigated adverse impacts to a political subdivision may provide the basis to deny an application.' I do need to address, though, that this is in the rezoning process. This is an application item or code section. The zone only rezoning happening here. If I understood the presentations correctly was rezoning of current parcel that is a public law to AC one law and then also rezoning a sorry one that's going from C-1 to public and the other one is going from public to C-1. So, you need if it's going to be tied to a zoning issue you need you need to connect to how that zoning change grading demonstrable unmitigated adverse impacts on the school district, going from a public to C-1 or C-1 to a public.

**Council President Bruce** Does that answer? So the schools are not in that section?

**Council Member Laraway** I tried.

**Council President Bruce** Right. Yeah. No, no, I was just answering your question for you, so.

**Council Member Laraway** Oh well.

**Council President Bruce** I'll stand for a motion.

**Mayor Stear** Mr. Biggs, make a motion.

**Council Member Laraway** I'm just, I don't know. I'll make the motion make the motion.

**Council President Bruce** Well, actually I can I have one more question before you.

**Mayor Stear** Yes, sure.

**Council President Bruce** So I did mention that traffic right does not and I may have misstated. Since we are a legislative body and a judicial body at the same time, looking at the data, does traffic give us a standard for denial?

**City Attorney Marc Bybee** I'm going to correct some of what you said right there as far as you are quasi-judicial in the capacity, you're acting right now. The things you're doing at this moment in time are not legislated this.

**Council President Bruce** I'm just saying I just meant like as a body.

**City Attorney Marc Bybee** And I know as a body you are, but I think it's important. It like really important to distinguish that when you sit on land use decision making you are acting in a quasi-judicial capacity. This is an annexation it'd jump to legislative, but this isn't annexation. You're being asked to make a decision about a plot application, a CUP application, and a rezone application, and so you're not acting legislatively right now. You are acting quasi-judicially, and as far as you know, standards being applied when you talk about traffic, I think those issues are reached to rezoning questions that are much more about like it's like, okay, this is going from, let's say, pulled into the if it's coming from the county, pulled in from ag getting rezoned...something else. Those traffic analysis, in my opinion, are critical at that time of rezoning. But when you're getting down to plotting decisions, you heard Troy use that, that phrase, technical compliance. And it's because we're looking at, okay, what are the requirements for the plat we're now taking this big lot, splitting it down to smaller lots. What technical standards was must we comply with? And so the zoning designation that's been assigned is really important. Because There's going to be limitations on the size of lots. There's going to be standards related to the develop, like the size of streets. Those are the technical compliance standards that are being considered. When you're looking at plotting because ultimately like when you look at code like what's a plat A platter drawing? I know that sounds really like crude and rudimentary, but ultimately that's what it is. But it's a drawing that must be according to certain standards, those standards are pulled from your code. They're pulled from zone Code you'll often have design standards, in this case, a PhD is the body that influences St. design standards. It influences these traffic questions and so when you look at plats, you're really looking about, does the drawing comply with the standards that these drawings must comply with.

**Council President Bruce** And you mentioned reasons or annexations. But how would we make that decision if we would there be no traffic study at those?

**City Attorney Marc Bybee** And it's a fair question. If we're going to, if we're going to approve a dense...a certain density, why are we not engaged in a traffic impact study? That's a fair question because that's where you're going to assign density. That's going to have future ramifications. And we're, we're this Council today is my understanding. You're not asked being asked to make any density answers other than.

**Council President Bruce** Yeah. Yeah. That was just a question.

**City Attorney Marc Bybee** That's a fair question. I'm not sure I have the answer for you.

**Council President Bruce** All right. That answered my question.

**Mayor Stear** You going with a ball of fire or going out with the ball of fire?

**Council Member Laraway** Can we have a minute?

**Council Member Laraway** I don't. I'm not going to do it. Okay, I'll make a motion that we approve Case #25-01-PUD, also #25-04-S preliminary plat, and #25-03-ZC and they follow staff's recommendations. There, that's the motion that's on the table.

**Mayor Stear** Okay, we have a motion. Do we have a second?

**Council Member McPherson** Second. And I'm going to get the bricks because I'm closer than you.

**Mayor Stear** All right. We have a motion and a second for approval. Is any further discussion on that motion?

**Council President Bruce** I just...

**Mayor Stear** Go ahead.

**Council President Bruce** Just super frustrated by whoever put us in this position and we need to take the adequate steps to make sure this is not happening to a future count. Because it's not fair to the community, it's not fair to the developers. It's not fair to the Council that we're stuck here and we have our attorney saying, well, you have no way to deny it. Building says you have no way to deny it, but we know we're going to put all these people in that. Position is a quality of life thing and that is not what we want to. That's not what I want to Kuna.

**Council Member Laraway** I agree with you and I think there ought to be term limits on these approvals.

**Council President Bruce** Five years and it's done.

**Council Member McPherson** I agree too.

**Council President Bruce** So whatever that whatever....

**Mayor Stear** Actually part of a development agreement that it has to be...

**Council President Bruce** So, whatever that looks like.

**Mayor Stear** ...that has to be part of a development agreement. At least started at whatever point.

**Council Member Laraway** Troy, do you hear that?

**Senior Planner Troy Behunin** I'm sorry? Go ahead. I was talking with the City Attorney.

**Mayor Stear** So we're talking about time limits on beginning. So, if an approval is made there, I don't know if it's part of a development agreement or what. But there's a 5 year trigger. It needs to be started by then or.

**Senior Planner Troy Behunin** Yes, code does. Sorry for the record Troy Behunin, Kuna DSD. There is a time limit. This approval will be good for two years, right out of the gate. And if for any reason the first plat cannot be recorded, then it would -- It would. It would need to get come back for a time extension request.

**Mayor Stear** But you're. But you're talking about what we're doing here tonight. We're talking about an entirety of project.

**Senior Planner Troy Behunin** That's just the pre-plat.

**Council President Bruce** Like that...

**Senior Planner Troy Behunin** As long as... I'm sorry.

**Council President Bruce** That happened in that that this was originally approved. That we're, what, 6, 18 years? How many years?

**Mayor Stear** Yeah, it was 2009.

**Council Member Laraway** Sixteen years.

**Mayor Stear** That time would have expired way before now.

**Senior Planner Troy Behunin** Correct and technically the reason why we're back here is because the pre plat and the special use permit and all of those things that are related to technical compliance. They did. They did fall down the, but the zoning was in place and the development agreement remained. Those still do not have time limits unless it's built in.

**Mayor Stear** But the annexation can also be.

**Senior Planner Troy Behunin** Annexations do not have.

**Mayor Stear** That's what I'm talking about. So there could be a development agreement that starts a trigger that brings us back to point 0 if something doesn't happen within five years. Not back. We know we're back to where we are because of the timeline and all of that, but I think we're talking about the entirety of the project. So we don't end up here again.

**Council President Bruce** And I'd like to also see, you know, a list of all the upgrades form from ACHD and ITD of what they're -- You know what they're preparing in the packet and annexation so that we know before any of these get approved how far out they are. So we're not going back and forth with...

**Council Member Laraway** Thank you, Troy. Make it happen.

**Council Member McPherson** You know, we thought Cardoza went out with a bang...this guy's going for it.

**Mayor Stear** Yeah, he knows what he's doing.

**Council Member Laraway** Okay, we have a motion on the table.

**Council Member McPherson** I seconded that one.

**Mayor Stear** Okay, a motion and a second, any further discussion on that motion? All those in favor say 'aye.'

**Council Members** Aye.

**Mayor Stear** Any opposed?

**Council Members** Nay.

**Mayor Stear** All right, we'll have to do a roll call vote, please.

**City Clerk Nathan Stanley** Council Member Biggs.

**Council Member Biggs** No.

**City Clerk Nathan Stanley** Council Member McPherson.

**Council Member McPherson** Yes.

**City Clerk Nathan Stanley** Council President Bruce.

**Council President Bruce** No.

**City Clerk Nathan Stanley** Council Member Laraway.

**Council Member Laraway** Yes.

**City Clerk Nathan Stanley** Council President Bruce.

**Council President Bruce** No.

**City Clerk Nathan Stanley** Mayor, we have a tie.

**Mayor Stear** I just want to keep us out of hot water here, so I will vote yes. That motion carries.

*(Timestamp 02:06:52)*

**Motion To:** Approve Case #25-01-PUD, #25-04-S, and #25-03-ZC With Conditions

**Motion By:** Council Member Laraway

**Seconded By:** Council Member McPherson

**Further Discussion:** Yes

**Members Voting Aye:** Council Members Laraway, McPherson, Mayor Stear

**Members Voting Nay:** Council Member Biggs, Bruce

**Members Absent:** None

**Via:** Voice Vote; Subsequent Roll Call Vote

**3-2-0**

**Mayor Stear** So we'll take just a short recess to change out and then go to Business Items.

*Clerk's Note: Audio Recording Ends Here.*

Recess From 8:11PM To 8:21PM

*Clerk's Note: New Audio Recording Begins Here.*

## 7. Business Items:

(Timestamp 00:00:23)

- A. Downtown Design Standards Amendment – The Kuna Development Services Department** respectfully submits a proposed amendment to the “City of Kuna Downtown Design Standards” – Marina Lundy, Planner **ACTION ITEM**

(Timestamp 00:00:23)

**Mayor Stear** All right, the meeting is back in order. We are on item 7A. There is not a resolution to go with that, so this is kind of informational only and will be on the next agenda for approval. So, we won't take any action on that one tonight, unless you had any questions on any of that. But I think we'll just kind of take it under advisement to the next meeting.

**Council President Bruce** And this is the, what we were talking about, the lights?

**Mayor Stear** This is downtown design standards amendments and how that works.

**Council President Bruce** Okay.

*Clerk Note: No Council Action Taken.*

- B. Consideration to approve the update to the Development Services Compliance Inspection Form.** Doug Hanson, Planning and Zoning Director **ACTION ITEM**

(Timestamp 00:01:02)

**Mayor Stear** That takes us to item 7B. Consideration to approve the update to the Development Services Compliance Inspection Form, Troy.

**Senior Planner Troy Behunin** Thank you, Mr. Mayor, standing in for Doug Hanson, Troy Behunin, Kuna DSD. This is a real simple change to the form. There was some overlapping inspections for subdivisions, both commercial and residential, for street lights. They were being inspected by two different departments at different times. It just makes more sense to eliminate one of them and have one department focus on it and that would be a better fit for the public works department for the compliance inspections. What we check for is spacing and that they're in the right spot where they said they were going to put them and also for illumination and numbering.

**Mayor Stear** And by the time you did your inspection, it was too late to make any changes. Is that correct?

**Senior Planner Troy Behunin** Yeah, we would go out, the Planning & Zoning department, we would go out for compliance inspections. We were looking only at spacing. We were not looking at illumination that was done by Public works. So, by the time we go out and look at it, yeah, streets are in, sidewalks are in, trees are planted, fences are in. If it needs to move across the street and they put it in the wrong spot, it's way too late.

**Council President Bruce** Or expensive.

**Senior Planner Troy Behunin** Or very expensive.

**Council President Bruce** Anybody else have anything?

**Council Members** No.

**Council President Bruce** I move we approve the development service compliance inspection form, the update to it.

**Council Member McPherson** Second.

**Mayor Stear** Motion's made and seconded for approval. Any further discussion on that motion? All those in favor say 'aye.'

**All Council Members** Aye.

**Mayor Stear** Any opposed? And that motion carries.

*(Timestamp 00:02:52)*

**Motion To:** Approve Update To The Development Services Compliance Inspection Form

**Motion By:** Council Member Bruce

**Seconded By:** Council Member McPherson

**Further Discussion:** None

**Members Voting Aye:** Council Members Laraway, McPherson, Biggs, Bruce

**Members Voting Nay:** None

**Members Absent:** None

**Via:** Voice Vote

**4-0-0**

C. Consideration to approve the Comprehensive Plan Request for Qualifications (RFQ).

Doug Hanson, Planning and Zoning Director **ACTION ITEM**

*(Timestamp 00:03:09)*

**Mayor Stear** Consideration to approve the comprehensive plan request for qualifications (RFQ), Troy again.

**Senior Planner Troy Behunin** Mr. Mayor, standing in for Doug Hanson, Troy Behun and Kuna DSD.

Just a simple request for qualifications, the RFQ, in order to begin the process for updating our comprehensive plan and selecting a candidate for that.

**Mayor Stear** When was the last time we did a comprehensive plan update? Do you recall?

**Senior Planner Troy Behunin** 2018? 2019, I think it was approved.

**Mayor Stear** So it's been a while.

*[Multiple Speakers]*

**Council President Bruce** There was a redo first year I ran, so '19.

**Mayor Stear** Oh, Okay.

**Senior Planner Troy Behunin** That's an 18-month process.

**Council President Bruce** Yeah.

**Council Member Laraway** Troy, this RFQ, is that for us to go outside and hire a developer, not a developer, but a plan to put it all together?

**Council President Bruce** Or do you have one in mind?

**Senior Planner Troy Behunin** For the record, Troy Behunin, Council Member Laraway, that's actually, we put it out, we say, 'hey, send us your request, or send us your qualifications,' and it's for anybody who responds. But yes, it would likely be It will be out of out of house.

**Council President Bruce** Okay. I move we approve the comprehensive plan request for qualifications or RFQ to send out to update the comprehensive plan.

**Council Member McPherson** Second.

**Mayor Stear** Motion is made and seconded. All in favor say 'aye.'

**All Council Members** Aye.

**Mayor Stear** Any opposed? And that motion carries.

*(Timestamp 00:04:24)*

**Motion To:** Approve Request For Qualifications To Update The Comprehensive Map

**Motion By:** Council Member Bruce

**Seconded By:** Council Member McPherson

**Further Discussion:** None

**Members Voting Aye:** Council Members Laraway, McPherson, Biggs, Bruce

**Members Voting Nay:** None

**Members Absent:** None

**Via:** Voice Vote

**4-0-0**

**8. Ordinances:***(Timestamp 00:04:54)***A. Consideration to approve Ordinance 2025-16A ACTION ITEM**

A MUNICIPAL ANNEXATION AND ZONING ORDINANCE OF THE CITY COUNCIL OF THE CITY OF KUNA:

- MAKING CERTAIN FINDINGS AND DECLARATION OF AUTHORITY; AND
- ANNEXING CERTAIN REAL PROPERTY, TO-WIT: ADA COUNTY ASSESSOR'S PARCEL NO. S2005336002 OWNED BY BRIAN T STOREY AND ALEXA L STOREY, WITHIN UNINCORPORATED AREA OF ADA COUNTY, IDAHO AND CONTIGUOUS TO THE CORPORATE LIMITS OF THE CITY OF KUNA, INTO THE CITY OF KUNA, IDAHO; AND
- ESTABLISHING THE ZONING CLASSIFICATIONS OF SAID REAL PROPERTY; AND
- DIRECTING THE CITY ENGINEER AND THE CITY CLERK; AND
- PROVIDING AN EFFECTIVE DATE.

*Consideration to waive three readings*

*Consideration to approve Ordinance*

*(Timestamp 00:04:54)*

**Mayor Stear** Ordinances, item A, consideration to approve ordinance 2025-16A, a municipal annexation and zoning ordinance of the city council of the city of Kuna, making certain findings and declaration of authority, annexing certain real property, to wit Ada county assessor's parcel number, S2005336002 owned by Brian T. Story and Alexa L. Story within the unincorporated area of Ada County, Idaho and contiguous to the corporate limits of the city of Kuna into the city of Kuna, Idaho, and establishing the zoning classification of said real property and directing the city engineer and the city clerk and providing an effective date.

**Council President Bruce** I move we waive 3 readings of ordinance 2025-16A.

**Council Member McPherson** Second.

**Mayor Stear** Motion is made and seconded to waive the three readings. All those in favor say 'aye.'

**All Council Members** Aye.

**Mayor Stear** Any opposed? Motion carries.

*(Timestamp 00:05:46)*

**Motion To:** Waive 3 Readings of Ordinance 2025-16A

**Motion By:** Council Member Bruce

**Seconded By:** Council Member McPherson

**Further Discussion:** None

**Members Voting Aye:** Council Members Laraway, McPherson, Biggs, Bruce

**Members Voting Nay:** None

**Members Absent:** None

**Via:** Voice Vote

**4-0-0**

**Council President Bruce** I move we approve ordinance 2025-16A.

**Council Member McPherson** Second.

**Mayor Stear** Motion's made and seconded for approval. Nathan, would you call the council?

**City Clerk Nathan Stanley** Council Member McPherson.

**Council Member McPherson** Yes.

**City Clerk Nathan Stanley** Council Member Biggs.

**Council Member Biggs** Yes.

**City Clerk Nathan Stanley** Council Member Laraway.

**Council Member Laraway** Yes.

**City Clerk Nathan Stanley** Council President Bruce.

**Council President Bruce** Yes.

**Mayor Stear** And that motion carries.

*(Timestamp 00:06:00)*

**Motion To:** Approve Ordinance 2025-16A

**Motion By:** Council Member Bruce

**Seconded By:** Council Member McPherson

**Further Discussion:** None

**Members Voting Aye:** Council Members Laraway, McPherson, Biggs, Bruce

**Members Voting Nay:** None

**Members Absent:** None

**Via:** Roll Call Vote

**4-0-0**

**B. Consideration to approve Ordinance 2025-04A ACTION ITEM**

A MUNICIPAL ANNEXATION AND ZONING ORDINANCE OF THE CITY COUNCIL OF THE CITY OF KUNA:

- MAKING CERTAIN FINDINGS AND DECLARATION OF AUTHORITY; AND
- ANNEXING CERTAIN REAL PROPERTY, TO-WIT: ADA COUNTY ASSESSOR’S PARCEL NO. S2006110005 OWNED BY DANIEL ISBELL, WITHIN UNINCORPORATED AREA OF ADA COUNTY, IDAHO AND CONTIGUOUS TO THE CORPORATE LIMITS OF THE CITY OF KUNA, INTO THE CITY OF KUNA, IDAHO; AND
- ESTABLISHING THE ZONING CLASSIFICATIONS OF SAID REAL PROPERTY; AND
- DIRECTING THE CITY ENGINEER AND THE CITY CLERK; AND
- PROVIDING AN EFFECTIVE DATE.

*Consideration to waive three readings*

*Consideration to approve Ordinance  
(Timestamp 00:06:23)*

**Mayor Stear** Consideration to approve ordinance 2025-04A. A municipal annexation and zoning ordinance of the City Council and the City of Kuna making certain findings and declaration of authority and annexing certain real property, to-wit: Ada County Assessors parcel number S0 sorry let me start that number again parcel number S200611005 owned by Daniel Isbell within the unincorporated area of Ada County, Idaho, and contiguous to the corporate limits of the city of Kuna into the city of Kuna, Idaho, and establishing the zoning classifications of said real property and directing the city engineer and the city clerk and providing an effective date.

**Council President Bruce** I move we waive 3 readings of Ordinance 2025-04A, as in Apple. I don't know why I said that, but hey.

**Council Member McPherson** Second.

**Council Member Laraway** You're hungry.

**Mayor Stear** Do we have a second?

**Council Member McPherson** Yes, second.

**Mayor Stear** Motion is made and seconded to waive the three readings. All those in favor say 'aye.'

**All Council Members** Aye.

**Mayor Stear** Any opposed? Motion carries.

*(Timestamp 00:07:17)*

**Motion To:** Waive 3 Readings Of Ordinance 2025-04A

**Motion By:** Council Member Bruce

**Seconded By:** Council Member McPherson

**Further Discussion:** None

**Members Voting Aye:** Council Members Laraway, McPherson, Biggs, Bruce

**Members Voting Nay:** None

**Members Absent:** None

**Via:** Voice Vote

**4-0-0**

**Council President Bruce** I move we approve ordinance 2025-04A.

**Council Member McPherson** Second.

**Mayor Stear** Motion is made and seconded for approval. Nathan, would you poll the council?

**City Clerk Nathan Stanley** Council Member McPherson.

**Council Member McPherson** Yes.

**City Clerk Nathan Stanley** Council Member Biggs.

**Council Member Biggs** Yes.

**City Clerk Nathan Stanley** Council Member Laraway.

**Council Member Laraway** Yes.

**City Clerk Nathan Stanley** Council President Bruce.

**Council President Bruce** Yes.

**Mayor Stear** And that motion carries.

*(Timestamp 00:07:37)*

**Motion To:** Approve Ordinance 2025-04A

**Motion By:** Council Member Bruce

**Seconded By:** Council Member McPherson

**Further Discussion:** None

**Members Voting Aye:** Council Members Laraway, McPherson, Biggs, Bruce

**Members Voting Nay:** None

**Members Absent:** None

**Via:** Roll Call Vote

**4-0-0**

**C. Consideration to approve Ordinance 2025-17A ACTION ITEM**

AN ORDINANCE EXCLUDING CERTAIN REAL PROPERTY, KNOWN AS PARCEL NUMBER S1302233715, CURRENTLY SITUATED IN THE CITY OF KUNA, IDAHO; FROM THE CITY OF KUNA BACK INTO THE UNINCORPORATED AREA OF ADA COUNY, IDAHO; REVERTING THE ZONING CLASSIFICATION OF SAID REAL PROPERTY; DIRECTING THE COPIES OF THE ORDINANCE BE FILED BY LAW; AND PROVIDING AN EFFECTIVE DATE.

*Consideration to waive three readings*

*Consideration to approve Ordinance*

*(Timestamp 00:08:01)*

**Mayor Stear** Consideration to approve ordinance 2025-17A, an ordinance excluding certain real property known as parcel number S1302233715, currently situated in the city of Kuna, Idaho, from the city of Kuna back into the unincorporated area of Ada County, Idaho, reverting the zoning classification of said real property, directing copies of the ordinance to be filed by law, and providing an effective date.

**Council President Bruce** I move we waive 3 readings of ordinance 2025-17A.

**Council Member McPherson** Second.

**Mayor Stear** Motion's made and seconded. All those in favor say 'aye.'

**All Council Members** Aye.

**Mayor Stear** Any opposed? That motion carries.

*(Timestamp 00:08:35)*

**Motion To:** Waive 3 Readings Of Ordinance 2025-17A

**Motion By:** Council Member Bruce

**Seconded By:** Council Member McPherson

**Further Discussion:** None

**Members Voting Aye:** Council Members Laraway, McPherson, Biggs, Bruce

**Members Voting Nay:** None

**Members Absent:** None

**Via:** Voice Vote

**4-0-0**

**Council President Bruce** I move we approve ordinance 2025-17A.

**Council Member McPherson** Second.

**Mayor Stear** Motion's made and seconded for approval. Nathan, would you poll the council?

**City Clerk Nathan Stanley** Council President Bruce.

**Council President Bruce** Yes.

**City Clerk Nathan Stanley** Council Member Laraway.

**Council Member Laraway** Yes.

**City Clerk Nathan Stanley** Council Member Biggs.

**Council Member Biggs** Yes.

**City Clerk Nathan Stanley** Council Member McPherson.

**Council Member McPherson** Yes.

**Mayor Stear** And that motion carries.

*(Timestamp 00:08:49)*

**Motion To:** Approve Ordinance 2025-17A

**Motion By:** Council Member Bruce

**Seconded By:** Council Member McPherson

**Further Discussion:** None

**Members Voting Aye:** Council Members Laraway, McPherson, Biggs, Bruce

**Members Voting Nay:** None

**Members Absent:** None

**Via:** Roll Call Vote

**4-0-0**

**D. Consideration to approve Ordinance 2025-10A ACTION ITEM**

A MUNICIPAL ANNEXATION AND ZONING ORDINANCE OF THE CITY COUNCIL OF THE CITY OF KUNA:

- MAKING CERTAIN FINDINGS AND DECLARATION OF AUTHORITY; AND
- ANNEXING CERTAIN REAL PROPERTIES, TO WIT: ADA COUNTY ASSESSOR'S PARCEL NO. S1310336400 OWNED BY STEVEN G & CHARLENE J WISCOMBE WITHIN UNINCORPORATED AREA OF ADA COUNTY, IDAHO AND CONTIGUOUS TO THE CORPORATE LIMITS OF THE CITY OF KUNA, INTO THE CITY OF KUNA, IDAHO; AND
- ESTABLISHING THE ZONING CLASSIFICATIONS OF SAID REAL PROPERTIES; AND
- DIRECTING THE CITY ENGINEER AND THE CITY CLERK; AND
- PROVIDING AN EFFECTIVE DATE.

*Consideration to waive three readings*

*Consideration to approve Ordinance*

*(Timestamp 00:09:08)*

**Mayor Stear** Consideration to approve ordinance 2025-10A. A municipal annexation and zoning ordinance of the City Council of the City of Kuna, making certain findings and declaration of authority and annexing certain real properties, to-wit: Ada County Assessors, parcel number S1310336400, owned by Stephen and Charlene J. Wiscombe, within the unincorporated area of Ada County, Idaho, and contiguous to the corporate limits of the city of Kuna into the city of Kuna, Idaho, and establishing the zoning classifications of said real properties and directing the city engineer and the city clerk and providing an effective date.

**Council President Bruce** I move we waive 3 readings of 2025-10A.

**Council Member McPherson** Second.

**Mayor Stear** Motion is made and seconded to wave 3 readings. All those in favor say 'aye.'

**All Council Members** Aye.

**Mayor Stear** Any opposed? Motion carries.

*(Timestamp 00:09:56)*

**Motion To:** Waive 3 Readings Of Ordinance 2025-10A

**Motion By:** Council Member Bruce

**Seconded By:** Council Member McPherson

**Further Discussion:** None

**Members Voting Aye:** Council Members Laraway, McPherson, Biggs, Bruce

**Members Voting Nay:** None

**Members Absent:** None

**Via:** Voice Vote

**4-0-0**

**Council President Bruce** I move we approve ordinance 2025-10A.

**Council Member McPherson** Second.

**Mayor Stear** Motion is made and seconded for approval. Nathan, would you poll the council?

**City Clerk Nathan Stanley** Council President Bruce.

**Council President Bruce** Yes.

**City Clerk Nathan Stanley** Council Member Laraway.

**Council Member Laraway** Yes.

**City Clerk Nathan Stanley** Council Member Biggs.

**Council Member Biggs** Yes.

**City Clerk Nathan Stanley** Council Member McPherson.

**Council Member McPherson** Yes.

**Mayor Stear** And that motion carries.

**Council President Bruce** Going backwards today, you're throwing me off.

*(Timestamp 00:10:10)*

**Motion To:** Approve Ordinance 2025-10A

**Motion By:** Council Member Bruce

**Seconded By:** Council Member McPherson

**Further Discussion:** None

**Members Voting Aye:** Council Members Laraway, McPherson, Biggs, Bruce

**Members Voting Nay:** None

**Members Absent:** None

**Via:** Roll Call Vote

**4-0-0**

**E. Consideration to approve Ordinance 2025-03A ACTION ITEM**

A MUNICIPAL ANNEXATION AND ZONING ORDINANCE OF THE CITY COUNCIL OF THE CITY OF KUNA:

- MAKING CERTAIN FINDINGS AND DECLARATION OF AUTHORITY; AND
- ANNEXING CERTAIN REAL PROPERTY, TO-WIT: ADA COUNTY ASSESSOR’S PARCEL NO. R7321001020 OWNED BY KUNA RURAL FIRE DISTRICT, WITHIN UNINCORPORATED AREA OF ADA COUNTY, IDAHO AND CONTIGUOUS TO THE CORPORATE LIMITS OF THE CITY OF KUNA, INTO THE CITY OF KUNA, IDAHO; AND
- ESTABLISHING THE ZONING CLASSIFICATIONS OF SAID REAL PROPERTY; AND
- DIRECTING THE CITY ENGINEER AND THE CITY CLERK; AND
- PROVIDING AN EFFECTIVE DATE.

*Consideration to waive three readings  
Consideration to approve Ordinance  
(Timestamp 00:10:34)*

**Mayor Stear** Consideration to approve ordinance 2025-03A, a municipal annexation and zoning ordinance of the City Council of the City of Kuna, making certain findings and declaration of authority and annexing certain real property, to-wit: Ada County Assessor's parcel number. R7321001020 owned by Kuna Rural Fire District within the unincorporated area of Ada County, Idaho, and contiguous to the corporate limits of the city of Kuna into the city of Kuna, Idaho, and establishing zoning classifications of said rural property and directing the city engineer and the city clerk and providing an effective date.

**Council President Bruce** I move we waive 3 readings of Ordinance 2025-03A.

**Council Member McPherson** Second.

**Mayor Stear** Motion is made and seconded. All those in favor say ‘aye.’

**All Council Members** Aye.

**Mayor Stear** Any opposed? That motion carries.

*(Timestamp 00:11:20)*

**Motion To:** Waive 3 Readings Of Ordinance 2025-03A

**Motion By:** Council Member Bruce

**Seconded By:** Council Member McPherson

**Further Discussion:** None

**Members Voting Aye:** Council Members Laraway, McPherson, Biggs, Bruce

**Members Voting Nay:** None

**Members Absent:** None

**Via:** Voice Vote

**4-0-0**

**Council President Bruce** I move we approve Ordinance 2025-03A.

**Council Member McPherson** Second.

**Mayor Stear** Motion is made and seconded for approval. Nathan, would you poll the Council?

**City Clerk Nathan Stanley** Council President Bruce.

**Council President Bruce** Yes.

**City Clerk Nathan Stanley** Council Member Laraway.

**Council Member Laraway** Yes.

**City Clerk Nathan Stanley** Council Member McPherson.

**Council Member McPherson** Yes.

**City Clerk Nathan Stanley** Council Member Biggs.

**Council Member Biggs** Yes.

**Mayor Stear** And that motion carries.

*(Timestamp 00:11:33)*

**Motion To:** Approve Ordinance 2025-03A

**Motion By:** Council Member Bruce

**Seconded By:** Council Member McPherson

**Further Discussion:** None

**Members Voting Aye:** Council Members Laraway, McPherson, Biggs, Bruce

**Members Voting Nay:** None

**Members Absent:** None

**Via:** Roll Call Vote

**4-0-0**

**F. Consideration to approve Ordinance 2025-23A ACTION ITEM**

A MUNICIPAL ANNEXATION AND ZONING ORDINANCE OF THE CITY COUNCIL OF THE CITY OF KUNA:

- MAKING CERTAIN FINDINGS AND DECLARATION OF AUTHORITY; AND
- ANNEXING CERTAIN REAL PROPERTY, TO-WIT: ADA COUNTY ASSESSOR'S PARCEL NO. R5070502020 OWNED BY MISTY AND NOEL HUDON, WITHIN UNINCORPORATED AREA OF ADA COUNTY, IDAHO AND CONTIGUOUS TO THE CORPORATE LIMITS OF THE CITY OF KUNA, INTO THE CITY OF KUNA, IDAHO; AND
- ESTABLISHING THE ZONING CLASSIFICATIONS OF SAID REAL PROPERTY; AND
- DIRECTING THE CITY ENGINEER AND THE CITY CLERK; AND
- PROVIDING AN EFFECTIVE DATE.

*Consideration to waive three readings*

*Consideration to approve Ordinance*

*(Timestamp 00:11:52)*

**Mayor Stear** Consideration to approve ordinance 2025-23A, a municipal annexation and zoning ordinance of the City Council of the City of Kuna, making certain findings and declaration of authority and annexing certain real property, to-wit: Ada County Assessor's parcel number R5070502020 owned by Misty and Noel Hudon within the unincorporated area of Ada County and contiguous to the corporate limits of the city of Kuna into the city of Kuna, Idaho, and establishing the zoning classifications of said real property and directing the city clerk, or excuse me, the city engineer and the city clerk, and providing an effective date.

**Council President Bruce** Mr. Mayor, I have a question about this one.

**Mayor Stear** Yes.

**Council President Bruce Adam**, is this, did we update something with Noel or is this a follow-up of what we approved?

**City Clerk Nathan Stanley** I can answer that too.

**Council President Bruce** Okay. Yeah?

**City Clerk Nathan Stanley** So you're seeing all these ordinances because Idaho State Tax Commission had issues with the map. So, the legal description in the ordinance itself has not changed.

**Council President Bruce** Okay.

**City Clerk Nathan Stanley** The county accepted them. So, they're just coming forward after a very small change to the map.

**Council President Bruce** Okay. You see that name in -- I just want to make sure it's correct. Yeah.

**Council President Bruce** I move we waive 3 readings of ordinance 2025-23A.

**Council Member McPherson** Second.

**Mayor Stear** Motion is made and seconded. All those in favor say 'aye.'

**All Council Members** Aye.

**Mayor Stear** Any opposed? Motion carries.

*(Timestamp 00:13:23)*

**Motion To:** Waive 3 Readings Of Ordinance 2025-23A

**Motion By:** Council Member Bruce

**Seconded By:** Council Member McPherson

**Further Discussion:** None

**Members Voting Aye:** Council Members Laraway, McPherson, Biggs, Bruce

**Members Voting Nay:** None

**Members Absent:** None

**Via:** Voice Vote

**4-0-0**

**Council President Bruce** I move we approve ordinance 2025-23A.

**Council Member Biggs** Second.

**Mayor Stear** Motion is made and seconded for approval. Nathan, would you poll the council?

**City Clerk Nathan Stanley** Council Member Laraway.

**Council Member Laraway** Yes.

**City Clerk Nathan Stanley** Council President Bruce.

**Council President Bruce** Yes.

**City Clerk Nathan Stanley** Council Member McPherson.

**Council Member McPherson** Yes.

**City Clerk Nathan Stanley** Council Member Biggs.

**Council Member Biggs** Yes.

**Mayor Stear** And that motion carries.

*(Timestamp 00:13:36)*

**Motion To:** Approve Ordinance 2025-23A

**Motion By:** Council Member Bruce

**Seconded By:** Council Member Biggs

**Further Discussion:** None

**Members Voting Aye:** Council Members Laraway, McPherson, Biggs, Bruce

**Members Voting Nay:** None

**Members Absent:** None

**Via:** Roll Call Vote

**4-0-0**

**Council Member Biggs** You know, I almost went against all those re-readings just for, you know, big guy here's last meal.

**Cit Clerk Nathan Stanley** I would just make a note that these all had to be approved and completed before the end of the year, so that would probably have been a big problem.

**Council Member Biggs** I just wanted to, I didn't want to waive, I just wanted didn't want to waive 3 readings.

**Mayor Stear** Besides that, I'm the one that has to read them.

**Council President Bruce** We could have tabled all our votes and made Laraway come in, right.

**Council Member Biggs** Oh, yeah.

**9. Executive Session:**

*(Timestamp 00:14:23)*

**A.** Enter Executive Session under Idaho Code 74-206 (1) (f)

(f) To communicate with legal counsel for the public agency to discuss the legal ramifications of and legal options for pending litigation, or controversies not yet being litigated but imminently likely to be litigated. The mere presence of legal counsel at an executive session does not satisfy this requirement;

*(Timestamp 00:14:23)*

**Mayor Stear** All right, we need an executive session.

**Council President Bruce** Who do we need?

**Mayor Stear** So Council, and Mark Bybee and anybody else you want here, Marc?

**City Attorney Marc Bybee** I was just going to say, I put this on there and I think it's clear what we're going in on. I think, Nate, did you provide... I didn't really give you guys an opportunity to talk with each other and with me about it to the extent you wanted to. And so that's why it's on there. If there's a reason to go into executive session, I kind of leave that to the Council's discretion. But I wanted to give the opportunity if they want if you wanted to discuss this.

**Mayor Stear** So if you don't want to have a discussion about it, and it's not necessary if we don't need it.

**Council President Bruce** I mean, I thought it was pretty clear, at least myself. I know you want to talk about it, right?

**City Attorney Marc Bybee** We're working on what we have to work on. It's happening, but I just wanted to provide an opportunity if there needed to be discussion.

**Mayor Stear** All right, then we won't have an executive session.

**Council Member Laraway** That's our command decision.

*Clerk's Note: Executive Session Was Not Agreed To.*

## **10. Mayor/Council Announcements:**

*(Timestamp 00:15:30)*

**Mayor Stear** So update, the Giving Tree was very successful. We brought in over 450 items for the Kuna School District food pantry.

**Council President Bruce** Oh, wow.

**Mayor Stear** And that went really well. Holiday party was good, I'm told, although I decided to not let my back work that night, so I didn't go, but...

**Council Member Laraway** I had previous obligations.

**Mayor Stear** Sure you did. You're a short timer.

**Council President Bruce** The Christmas party was great. It was it was nicely put on the everything was good. I think Councilman Biggs tried to take the little plants on the table, but was denied.

**Council Member Biggs** I did.

00:16:14 Speaker 5 You did it in the dinner dance.

**Mayor Stear** He was stealing the center pieces?

**Council Member Laraway** He was like, 'Can we take this?' And she's like, 'No.'

**Council Member Biggs** They were neat little pine trees! My wife was talking about it, so I figured I'd ask.

**Mayor Stear** Where the police called?

**Council Member Biggs** I didn't want to be thrown away and wasted. I was thinking conservation.

**Council President Bruce** And, you know, HR did great. Thank you, Miss Justine. Tell everyone, Michelle, everyone else, it was great.

**Mayor Stear** So, and someone mentioned it tonight in public comment, but the always proud of our Parks Department and all the pride and hard work that goes into putting up all these lights around town. It just makes you feel good when you drive by and see that. So, I think it's worth everybody's effort that they do putting those up. I'm happy to see him up there. We're getting lots of compliments for them.

**Council President Bruce** I did get reached out to again by a gentleman looking at the skate park. So maybe if you have any ideas of I guess I can refer him to give your office a call. That way if they have ideas. I don't know what, I mean, it looks like a great skate park, so I don't know what the upgrade would be. Somebody above my head wouldn't...

**Mayor Stear** So there was some complaints about some cracks and stuff. Chris got his team together and they fixed all that stuff. That's all been repaired. What we've been hearing is that this is an advanced level skate park. And so, they want us to have something for the beginners and the intermediate. So, they're talking about doing an expansion of some kind. There's plenty of room down there to do that. So, we'll probably get there with that.

**City Clerk Nathan Stanley** I'll just say that Tony Hawk does have a grant program for skate parks for the country. I can get with Chris and his team and we can look at those opportunities for funding.

**Mayor Stear** Can you have Tony come down and do a presentation?

**Council President Bruce** Yeah, that's what I was just about to say.

**City Clerk Nathan Stanley** Yeah, we could probably work on that.

**Mayor Stear** I'll get a skateboard for him to sign whether I need to ride it or not. That's good. Okay, thanks.

**Council President Bruce** And then I'd like to, obviously, thanks for everything. Councilman Laraway, you've been great to work with. Not so easy on the eyes, but it's been nice working with. It's tough to look at, but yeah, no.

**Council Member Biggs** I remember when he lost his phone on Facebook. Anyone know this guy? Your wife's phone? Well, your picture on it.

**Council President Bruce** It's been a pleasure.

**Council Member Biggs** I Thank you.

**City Clerk Nathan Stanley** You will still get to see him one more time.

**Council Member Biggs** Oh, that's true. Yeah, we'll see him then. Mr. Mayor, I just want to say this is, there's a really cool thing that's -- the Kuna VFW. They have a IDVS claims person that will be coming in every Thursday at 9 o'clock. So, for veteran claims, with the VA and such, you don't have to go all the way down and make appointments and go down to downtown Boise. You're going to be able to do it here in Kuna. It's one day a week, but they're going to see how many people come and I figured some people might like that. I think that's a really big thing for Kuna.

**Council President Bruce** That's awesome.

**Mayor Stear** Good.

**Council Member Biggs** It'll be at the VFW building. I'm not exactly sure which day it starts, but they've been updating their webpage, or their Facebook page. That's how I found out about it.

**Mayor Stear** Good. And they're still enjoying the building?

**Council Member Biggs** Well, I'm told.

**Mayor Stear** Good. Well, I'm happy about that.

## **11. Adjournment:**

*(Timestamp 00:20:02)*

**Mayor Stear** Okay, I think that's all we have for tonight. Good discussion tonight. I appreciate all that. I think that they'll give us some homework.

**Council Member Bruce** Yeah.

**Mayor Stear** Good job, well done.

**Council Member Bruce** Thank you, gentlemen.

**Mayor Stear** And thank you all for caring about the city and the way we do things. And John, we'll see you one more time.

**Council Member Laraway** I'll be at the podium screaming.

**Council Member Biggs** Old man yells at cloud.

**Mayor Stear** Mr. Laraway, you may not have the floor.

*[Laughter]*

*Adjourned at 8:41 PM*

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Joe L. Stear, Mayor

ATTEST:

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Nathan Stanley, City Clerk

*Minutes prepared by Garrett Michaelson, Deputy City Clerk*  
*Date Approved: CCM 01.06.2026*



**CITY OF KUNA**  
 751 W 4<sup>th</sup> Street • Kuna, ID 83634  
 (208) 922-5546 • www.kunacity.id.gov



City Council Public Comment Sign-In Sheet  
**December 16, 2025**

**The City of Kuna welcomes Public Questions and/or Comments during the Public Comment Session, as noted in the agenda.**

In accordance with Idaho State Code, Public Comments may NOT include specific land use issues or cases. All comments regarding specific land use issues or cases MUST be heard in their associated Public Hearing(s). Idaho State Code also requires all comments and/or complaints regarding City personnel to be heard in Executive Session.

In all instances The Mayor and City Council may determine if your comments are appropriate for the Open Comment Session, particularly if your comments are covered by Idaho Code §74-206(1), and may notify you accordingly. If you are recognized to speak you may "have the floor" for up to three (3) minutes unless a separate time duration is determined by The Mayor and/or City Council.

|                                      |                                    |                  |
|--------------------------------------|------------------------------------|------------------|
| Name<br><i>Cindy Gieson</i>          | Name<br><del>DAVID WARDEN</del>    | Name             |
| Address<br><i>Ash Ave</i>            | Address<br><del>22305 E 6700</del> | Address          |
| City, State, ZIP<br><i>Kuna</i>      | City, State, ZIP                   | City, State, ZIP |
| Topic:<br><i>Lights</i>              | Topic:                             | Topic:           |
| Name<br><i>Len Talsch</i>            | Name                               | Name             |
| Address<br><i>741 W. Trazzani Dr</i> | Address                            | Address          |
| City, State, ZIP<br><i>83634</i>     | City, State, ZIP                   | City, State, ZIP |
| Topic:                               | Topic:                             | Topic:           |
| Name                                 | Name                               | Name             |
| Address                              | Address                            | Address          |
| City, State, ZIP                     | City, State, ZIP                   | City, State, ZIP |
| Topic:                               | Topic:                             | Topic:           |
| Name                                 | Name                               | Name             |
| Address                              | Address                            | Address          |
| City, State, ZIP                     | City, State, ZIP                   | City, State, ZIP |
| Topic:                               | Topic:                             | Topic:           |



**CITY OF KUNA**

751 W 4<sup>th</sup> Street • Kuna, ID 83634  
 (208) 922-5546 • www.KunaCity.ID.Gov

City Council Public Hearing Sign-In Sheet  
 December 16, 2025

**Case Nos.: 25-01-PUD, 25-04-S and 25-03-ZC.**

**Case Name: Napa Vineyards PUD Subdivision**

|  |  |
|--|--|
| <input checked="" type="checkbox"/> Testify <input type="checkbox"/> NOT Testify | <input checked="" type="checkbox"/> Testify <input type="checkbox"/> NOT Testify |
| Name<br>DAVE SZPLETT   | Name<br>Melissa Dean   |
| Address<br>970 Ashwood Ct  | Address<br>2574 N. Horse Gulch Ave   |
| City, State, ZIP<br>Kuna   | City, State, ZIP<br>Kuna ID 83634  |
| <input checked="" type="checkbox"/> Testify <input type="checkbox"/> NOT Testify | <input checked="" type="checkbox"/> Testify <input type="checkbox"/> NOT Testify |
| Name<br>Cheryle Perkins  | Name<br>TIM JENSEN-KSD   |
| Address<br>1907 N. RYDE AVE.   | Address<br>711 E. PORTER ST  |
| City, State, ZIP<br>Kuna 83634   | City, State, ZIP<br>KUNA ID 83634  |
| <input type="checkbox"/> Testify <input checked="" type="checkbox"/> NOT Testify | <input checked="" type="checkbox"/> Testify <input type="checkbox"/> NOT Testify |
| Name<br>Elizabeth Kocakantzi   | Name<br>Cindy Glesen   |
| Address<br>601 Barrock   | Address<br>Ash Ave   |
| City, State, ZIP<br>Boise ID 83702   | City, State, ZIP<br>Kuna   |
| <input checked="" type="checkbox"/> Testify <input type="checkbox"/> NOT Testify | <input checked="" type="checkbox"/> Testify <input type="checkbox"/> NOT Testify |
| Name<br>Jan Zaw  | Name<br>DAVID WARDELL  |
| Address<br>412 E. Boise St.  | Address<br>2230 W CONCORD LN   |
| City, State, ZIP<br>Kuna, ID 83634.  | City, State, ZIP<br>KUNA ID 83634  |

|  |  |
|--|--|
| <input type="checkbox"/> Testify <input checked="" type="checkbox"/> NOT Testify | <input checked="" type="checkbox"/> Testify <input type="checkbox"/> NOT Testify |
| Name<br>Denese Borun   | Name<br>Michael Rocco  |
| Address<br>1239 E Whig Dr  | Address<br>1086 E. Fort Erie St  |
| City, State, ZIP<br>Kuna ID 83634  | City, State, ZIP<br>KUNA ID 83634  |
| <input checked="" type="checkbox"/> Testify <input type="checkbox"/> NOT Testify | <input type="checkbox"/> Testify <input checked="" type="checkbox"/> NOT Testify |
| Name<br>David Crawford   | Name<br>Christine Keith  |
| Address<br>8532 S. Chugiak Pl  | Address<br>899 S. Rangipo Ave  |
| City, State, ZIP<br>Meridian, ID 83642   | City, State, ZIP<br>Kuna ID 83634  |
| <input checked="" type="checkbox"/> Testify <input type="checkbox"/> NOT Testify | <input type="checkbox"/> Testify <input checked="" type="checkbox"/> NOT Testify |
| Name<br>Seumas Hughes (Popp Field home care)                                     | Name<br>Dan Cribb  |
| Address<br>8105 S Chugiak Pl   | Address<br>899 S. Rangipo Ave  |
| City, State, ZIP<br>Meridian, ID 83642   | City, State, ZIP<br>KUNA   |
| <input checked="" type="checkbox"/> Testify <input type="checkbox"/> NOT Testify | <input type="checkbox"/> Testify <input type="checkbox"/> NOT Testify            |
| Name<br>Gail Farr  | Name   |
| Address<br>417 E Boise St  | Address  |
| City, State, ZIP<br>Kuna ID 83634  | City, State, ZIP   |
| <input checked="" type="checkbox"/> Testify <input type="checkbox"/> NOT Testify | <input type="checkbox"/> Testify <input type="checkbox"/> NOT Testify            |
| Name<br>Ilie Pop   | Name   |
| Address<br>8171 S Chugiak Pl   | Address  |
| City, State, Zip<br>Meridian 83642   | City, State, Zip   |

|   |   |
|---|---|
| <input type="checkbox"/> Testify <input type="checkbox"/> NOT Testify | <input type="checkbox"/> Testify <input type="checkbox"/> NOT Testify |
| Name  | Name  |
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| Name  | Name  |
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| Name  | Name  |
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| Name  | Name  |
| Address   | Address   |
| City, State, ZIP  | City, State, ZIP  |
| <input type="checkbox"/> Testify <input type="checkbox"/> NOT Testify | <input type="checkbox"/> Testify <input type="checkbox"/> NOT Testify |
| Name  | Name  |
| Address   | Address   |
| City, State, Zip  | City, State, Zip  |



12/16/2025

To Whom It May Concern:

Thank you for letting me voice my concerns in this letter as I am unable to attend the Kuna City Council Meeting in person this evening.

The Napa Vineyards development is being proposed along Meridian Road near Hubbard Road. As a resident who lives near this intersection I have some concerns. When does the city plan to expand this intersection? I would ask that the City Council try and leave town during the early morning hours, perhaps try and turn left on to Meridian Road, heading towards Meridian . On some mornings the traffic is backed up because the left turn lane only allows three to four vehicles depending on the vehicle. Then we add all the construction vehicles to this mix. It isn't safe, and it isn't fair to those of us who live near this area. Could we please fix this problem before adding more cars to the road? I see cars driving off to the side on the bumpy dirt section heading back towards Kuna. If someone has car trouble, there is no place to pull over. Before I would support any building near this intersection, I would ask that we address the roads supporting the people currently living in this area. Building as it stands would make it more difficult to live daily life.

My second concern is the demand on the water supply, both potable and irrigation water. Have we thought about the demand on the water tower we have in town? Do we have that secured ? Can our system support 1495 new homes? What is Kuna's plan to support such a demand on the water that we can't live without?

I appreciate your attention the details that we as citizens are concerned about.

I will include my information so you know the validity of my concerns.

2536 E Fitz Roy St Kuna Idaho is my current address.

Sincerely,



Maxine R Nell



City of Kuna

Payment Approval Report - City Council Approval

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Report dates: 12/12/2025-1/1/2026

Dec 30, 2025 02:40PM

| Vendor #                           | Vendor Name                 | Invoice Number | PO #  | Description  | Invoice Date | Net Invoice Amount | Amount Paid | GL Account and Title                 | GL Activity # | GL Period | Date Paid  | Voided |
|------------------------------------|-----------------------------|----------------|-------|--|--------------|--------------------|-------------|--------------------------------------|---------------|-----------|------------|--------|
|                                    |                             |                |       | <u>WATER</u>   | 12/11/2025   | 58.50              | 58.50       | 27-6265 TRAINING & SCHOOLING EXPENSE | 0             | 12/25     | 12/29/2025 |        |
| 1985                               | ARNOLD MACHINERY COMPANY    | S64644         |       | <u>FORKLIFT OPERATOR TRAINING FOR: P. BRYNER, B. VILLANUEVA, S. CAHILL, J. WARDEN, DEC '25</u> | 12/11/2025   | 780.00             | 780.00      | 01-6265 TRAINING & SCHOOLING EXPENSE | 1004          | 12/25     | 12/29/2025 |        |
| Total S64644:                      |                             |                |       |  |              | 1,755.00           | 1,755.00    |                                      |               |           |            |        |
| Total ARNOLD MACHINERY COMPANY:    |                             |                |       |  |              | 1,755.00           | 1,755.00    |                                      |               |           |            |        |
| <b>ASSOCIATION OF IDAHO CITIES</b> |                             |                |       |  |              |                    |             |                                      |               |           |            |        |
| 8                                  | ASSOCIATION OF IDAHO CITIES | 200013973      | 22352 | <u>CODC LUNCHEON AT CAPITAL, M.ROCCO, DEC. 25</u>  | 12/26/2025   | 50.00              | .00         | 01-6155 MEETINGS/COMMITTEES          | 0             | 12/25     |            |        |
| 8                                  | ASSOCIATION OF IDAHO CITIES | 200013973      | 22352 | <u>CODC LUNCHEON AT CAPITAL, MAYOR STEAR AND G. MICHAELSON, DEC. 25 - SEWER</u>                | 12/26/2025   | 4.00               | .00         | 21-6155 MEETINGS/COMMITTEES          | 0             | 12/25     |            |        |
| 8                                  | ASSOCIATION OF IDAHO CITIES | 200013973      | 22352 | <u>CODC LUNCHEON AT CAPITAL, MAYOR STEAR AND G. MICHAELSON, DEC. 25 - ADMIN</u>                | 12/26/2025   | 90.00              | .00         | 01-6155 MEETINGS/COMMITTEES          | 0             | 12/25     |            |        |
| 8                                  | ASSOCIATION OF IDAHO CITIES | 200013973      | 22352 | <u>CODC LUNCHEON AT CAPITAL, MAYOR STEAR AND G. MICHAELSON, DEC. 25 - WATER</u>                | 12/26/2025   | 4.00               | .00         | 20-6155 MEETINGS/COMMITTEES          | 0             | 12/25     |            |        |
| 8                                  | ASSOCIATION OF IDAHO CITIES | 200013973      | 22352 | <u>CODC LUNCHEON AT CAPITAL, MAYOR STEAR AND G. MICHAELSON, DEC. 25 - PI</u>                   | 12/26/2025   | 2.00               | .00         | 25-6155 MEETINGS/COMMITTEES          | 0             | 12/25     |            |        |
| Total 200013973:                   |                             |                |       |  |              | 150.00             | .00         |                                      |               |           |            |        |
| Total ASSOCIATION OF IDAHO CITIES: |                             |                |       |  |              | 150.00             | .00         |                                      |               |           |            |        |
| <b>BUTTE FENCE INC</b>             |                             |                |       |  |              |                    |             |                                      |               |           |            |        |
| 2177                               | BUTTE FENCE INC             | 128387-ADD     |       | <u>FENCE FOR PATAGONIA PARK, DEC '25</u>   | 12/10/2025   | 4,345.80           | 4,345.80    | 50-6045 CONTINGENCY                  | 0             | 12/25     | 12/19/2025 |        |

City of Kuna

Payment Approval Report - City Council Approval

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Dec 30, 2025 02:40PM

| Vendor #                   | Vendor Name         | Invoice Number | PO #  | Description  | Invoice Date | Net Invoice Amount | Amount Paid | GL Account and Title                | GL Activity # | GL Period | Date Paid  | Voided |
|----------------------------|---------------------|----------------|-------|--|--------------|--------------------|-------------|-------------------------------------|---------------|-----------|------------|--------|
| Total 128387-ADD:          |                     |                |       |  |              | 4,345.80           | 4,345.80    |                                     |               |           |            |        |
| Total BUTTE FENCE INC:     |                     |                |       |  |              | 4,345.80           | 4,345.80    |                                     |               |           |            |        |
| <b>CAPITAL PAVING CO</b>   |                     |                |       |  |              |                    |             |                                     |               |           |            |        |
| 20                         | CAPITAL PAVING CO   | 16621          | 22304 | ASPHALT PATCH FOR MAIN BREAK ON 215 CEDAR, R. JONES, DEC. 25 | 12/10/2025   | 627.48             | 627.48      | 20-6150 M & R - SYSTEM              | 0             | 12/25     | 12/19/2025 |        |
| Total 16621:               |                     |                |       |  |              | 627.48             | 627.48      |                                     |               |           |            |        |
| Total CAPITAL PAVING CO:   |                     |                |       |  |              | 627.48             | 627.48      |                                     |               |           |            |        |
| <b>CARDIO PARTNERS INC</b> |                     |                |       |  |              |                    |             |                                     |               |           |            |        |
| 2404                       | CARDIO PARTNERS INC | 600211552      | 22319 | AED SUPPLIES FOR PUBLIC WORKS, K.PEREZ, DEC.'25 - PI         | 12/19/2025   | 229.65             | .00         | 25-6230 SAFETY TRAINING & EQUIPMENT | 0             | 12/25     |            |        |
| 2404                       | CARDIO PARTNERS INC | 600211552      | 22319 | AED SUPPLIES FOR CITY HALL, K.PEREZ, DEC.'25 - ADMIN         | 12/19/2025   | 545.41             | .00         | 01-6230 SAFETY TRAINING & EQUIPMENT | 0             | 12/25     |            |        |
| 2404                       | CARDIO PARTNERS INC | 600211552      | 22319 | AED SUPPLIES FOR PUBLIC WORKS, K.PEREZ, DEC.'25 - SEWER      | 12/19/2025   | 602.82             | .00         | 21-6230 SAFETY TRAINING & EQUIPMENT | 0             | 12/25     |            |        |
| 2404                       | CARDIO PARTNERS INC | 600211552      | 22319 | AED SUPPLIES FOR CITY HALL, K.PEREZ, DEC.'25 - SEWER         | 12/19/2025   | 373.18             | .00         | 21-6230 SAFETY TRAINING & EQUIPMENT | 0             | 12/25     |            |        |
| 2404                       | CARDIO PARTNERS INC | 600211552      | 22319 | AED SUPPLIES FOR CITY HALL, K.PEREZ, DEC.'25 - PI            | 12/19/2025   | 143.52             | .00         | 25-6230 SAFETY TRAINING & EQUIPMENT | 0             | 12/25     |            |        |
| 2404                       | CARDIO PARTNERS INC | 600211552      | 22319 | AED SUPPLIES FOR PUBLIC WORKS, K.PEREZ, DEC.'25 - WATER      | 12/19/2025   | 602.82             | .00         | 20-6230 SAFETY TRAINING & EQUIPMENT | 0             | 12/25     |            |        |
| 2404                       | CARDIO PARTNERS INC | 600211552      | 22319 | AED SUPPLIES FOR PARKS, K.PEREZ, DEC.'25 - PARKS             | 12/19/2025   | 3,343.19           | .00         | 01-6230 SAFETY TRAINING & EQUIPMENT | 1004          | 12/25     |            |        |
| 2404                       | CARDIO PARTNERS INC | 600211552      | 22319 | AED SUPPLIES FOR CITY HALL, K.PEREZ, DEC.'25 - WATER         | 12/19/2025   | 373.18             | .00         | 20-6230 SAFETY TRAINING & EQUIPMENT | 0             | 12/25     |            |        |

City of Kuna

Payment Approval Report - City Council Approval  
Report dates: 12/12/2025-1/1/2026

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Dec 30, 2025 02:40PM

| Vendor #                   | Vendor Name | Invoice Number | PO # | Description   | Invoice Date | Net Invoice Amount | Amount Paid | GL Account and Title         | GL Activity # | GL Period | Date Paid  | Voided |
|----------------------------|-------------|----------------|------|---|--------------|--------------------|-------------|------------------------------|---------------|-----------|------------|--------|
| Total 600211552:           |             |                |      |   |              | 6,213.77           | .00         |                              |               |           |            |        |
| Total CARDIO PARTNERS INC: |             |                |      |   |              | 6,213.77           | .00         |                              |               |           |            |        |
| <b>CASELLE INC</b>         |             |                |      |   |              |                    |             |                              |               |           |            |        |
| 1239                       | CASELLE INC | INV-13476      |      | <u>MONTHLY MAINTENANCE AND SUPPORT, 1/1-1/30/2026 - PI</u>                              | 12/04/2025   | 241.20             | 241.20      | 25-6052<br>CONTRACT SERVICES | 0             | 12/25     | 12/19/2025 |        |
| 1239                       | CASELLE INC | INV-13476      |      | <u>MONTHLY MAINTENANCE AND SUPPORT, 1/1-1/30/2026 - ADMIN</u>                           | 12/04/2025   | 916.56             | 916.56      | 01-6052<br>CONTRACT SERVICES | 0             | 12/25     | 12/19/2025 |        |
| 1239                       | CASELLE INC | INV-13476      |      | <u>MONTHLY MAINTENANCE AND SUPPORT, 1/1-1/30/2026 - WATER</u>                           | 12/04/2025   | 627.12             | 627.12      | 20-6052<br>CONTRACT SERVICES | 0             | 12/25     | 12/19/2025 |        |
| 1239                       | CASELLE INC | INV-13476      |      | <u>MONTHLY MAINTENANCE AND SUPPORT, 1/1-1/30/2026 - SEWER</u>                           | 12/04/2025   | 627.12             | 627.12      | 21-6052<br>CONTRACT SERVICES | 0             | 12/25     | 12/19/2025 |        |
| Total INV-13476:           |             |                |      |   |              | 2,412.00           | 2,412.00    |                              |               |           |            |        |
| Total CASELLE INC:         |             |                |      |   |              | 2,412.00           | 2,412.00    |                              |               |           |            |        |
| <b>CENTURYLINK</b>         |             |                |      |   |              |                    |             |                              |               |           |            |        |
| 62                         | CENTURYLINK | 333719768123   |      | <u>INTERNET SERVICES FOR PARKS SHOP, AVE B FROM 12/25/25-01/24/26, DEC '25</u>          | 12/25/2025   | 108.01             | .00         | 01-6255<br>TELEPHONE EXPENSE | 1004          | 12/25     |            |        |
| Total 33371976812302025:   |             |                |      |   |              | 108.01             | .00         |                              |               |           |            |        |
| 62                         | CENTURYLINK | 333971613120   |      | <u>DEDICATED LANDLINE TO ELEVATOR AT CITY HALL, 12/7/2025-1/6/2026, DEC '25 - PI</u>    | 12/07/2025   | 8.04               | 8.04        | 25-6255<br>TELEPHONE EXPENSE | 0             | 12/25     | 12/19/2025 |        |
| 62                         | CENTURYLINK | 333971613120   |      | <u>DEDICATED LANDLINE TO ELEVATOR AT CITY HALL, 12/7/2025-1/6/2026, DEC '25 - SEWER</u> | 12/07/2025   | 20.90              | 20.90       | 21-6255<br>TELEPHONE EXPENSE | 0             | 12/25     | 12/19/2025 |        |

| Vendor #                   | Vendor Name         | Invoice Number | PO # | Description   | Invoice Date | Net Invoice Amount | Amount Paid | GL Account and Title       | GL Activity # | GL Period | Date Paid  | Voided |
|----------------------------|---------------------|----------------|------|---|--------------|--------------------|-------------|----------------------------|---------------|-----------|------------|--------|
| 62                         | CENTURYLINK         | 333971613120   |      | <u>DEDICATED LANDLINE TO ELEVATOR AT CITY HALL, 12/7/2025-1/6/2026, DEC '25 - WATER</u>   | 12/07/2025   | 20.90              | 20.90       | 20-6255 TELEPHONE EXPENSE  | 0             | 12/25     | 12/19/2025 |        |
| 62                         | CENTURYLINK         | 333971613120   |      | <u>DEDICATED LANDLINE TO ELEVATOR AT CITY HALL, 12/7/2025-1/6/2026, DEC '25 - ADMIN</u>   | 12/07/2025   | 22.49              | 22.49       | 01-6255 TELEPHONE EXPENSE  | 0             | 12/25     | 12/19/2025 |        |
| 62                         | CENTURYLINK         | 333971613120   |      | <u>DEDICATED LANDLINE TO ELEVATOR AT CITY HALL, 12/7/2025-1/6/2026, DEC '25 - P&amp;Z</u> | 12/07/2025   | 8.04               | 8.04        | 01-6255 TELEPHONE EXPENSE  | 1003          | 12/25     | 12/19/2025 |        |
| Total 33397161312072025:   |                     |                |      |   |              | 80.37              | 80.37       |                            |               |           |            |        |
| Total CENTURYLINK:         |                     |                |      |   |              | 188.38             | 80.37       |                            |               |           |            |        |
| <b>CHRISTENSEN INC</b>     |                     |                |      |   |              |                    |             |                            |               |           |            |        |
| 2186                       | CHRISTENSEN INC     | 0797086-IN     |      | <u>700 GALLONS OF DIESEL ADDITIVE, DEC '25</u>  | 12/09/2025   | 31.50              | 31.50       | 21-6300_FUEL               | 0             | 12/25     | 12/19/2025 |        |
| 2186                       | CHRISTENSEN INC     | 0797086-IN     |      | <u>700 GALLONS OF DIESEL FUEL, DEC '25</u>  | 12/09/2025   | 2,016.84           | 2,016.84    | 21-6300_FUEL               | 0             | 12/25     | 12/19/2025 |        |
| 2186                       | CHRISTENSEN INC     | 0797086-IN     |      | <u>652.10 GALLONS OF UNLEADED GASOLINE, DEC '25</u>                                       | 12/09/2025   | 1,597.75           | 1,597.75    | 21-6300_FUEL               | 0             | 12/25     | 12/19/2025 |        |
| Total 0797086-IN:          |                     |                |      |   |              | 3,646.09           | 3,646.09    |                            |               |           |            |        |
| Total CHRISTENSEN INC:     |                     |                |      |   |              | 3,646.09           | 3,646.09    |                            |               |           |            |        |
| <b>CMIT SOLUTIONS CORP</b> |                     |                |      |   |              |                    |             |                            |               |           |            |        |
| 2014                       | CMIT SOLUTIONS CORP | 12014          |      | <u>NEW SPARE DELL NOTEBOOK LAPTOP FOR CITY HALL, DEC '25 - ADMIN</u>                      | 12/17/2025   | 356.47             | 356.47      | 01-6141 IT SMALL EQUIPMENT | 0             | 12/25     | 12/19/2025 |        |
| 2014                       | CMIT SOLUTIONS CORP | 12014          |      | <u>NEW SPARE DELL NOTEBOOK LAPTOP FOR CITY HALL, DEC '25 - SEWER</u>                      | 12/17/2025   | 470.54             | 470.54      | 21-6141 IT SMALL EQUIPMENT | 0             | 12/25     | 12/19/2025 |        |
| 2014                       | CMIT SOLUTIONS CORP | 12014          |      | <u>NEW SPARE DELL NOTEBOOK LAPTOP FOR CITY HALL, DEC '25 - PI</u>                         | 12/17/2025   | 128.32             | 128.32      | 25-6141 IT SMALL EQUIPMENT | 0             | 12/25     | 12/19/2025 |        |

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| Vendor #                                  | Vendor Name                        | Invoice Number | PO #  | Description  | Invoice Date | Net Invoice Amount | Amount Paid | GL Account and Title                             | GL Activity # | GL Period | Date Paid  | Voided |
|---|------------------------------------|----------------|-------|--|--------------|--------------------|-------------|--|---------------|-----------|------------|--------|
| 2014                                      | CMIT SOLUTIONS CORP                | 12014          |       | <u>NEW SPARE DELL NOTEBOOK LAPTOP FOR CITY HALL, DEC '25 - WATER</u> | 12/17/2025   | 470.54             | 470.54      | <u>20-6141 IT SMALL EQUIPMENT</u>                | 0             | 12/25     | 12/19/2025 |        |
| Total 12014:                              |                                    |                |       |  |              | 1,425.87           | 1,425.87    |  |               |           |            |        |
| Total CMIT SOLUTIONS CORP:                |                                    |                |       |  |              | 1,425.87           | 1,425.87    |  |               |           |            |        |
| <b>COMMERCIAL TIRE INC</b>                |                                    |                |       |  |              |                    |             |  |               |           |            |        |
| 2204                                      | COMMERCIAL TIRE INC                | 45 - 34746     | 22278 | <u>TIRES FOR PARKS F350, J. DURHAM, DEC. 25</u>                      | 12/11/2025   | 1,318.00           | 1,318.00    | <u>01-6305 VEHICLE MAINTENANCE &amp; REPAIRS</u> | 1004          | 12/25     | 12/29/2025 |        |
| Total 45 - 34746:                         |                                    |                |       |  |              | 1,318.00           | 1,318.00    |  |               |           |            |        |
| Total COMMERCIAL TIRE INC:                |                                    |                |       |  |              | 1,318.00           | 1,318.00    |  |               |           |            |        |
| <b>CONCRETE CONSTRUCTION SUPPLY, INC.</b> |                                    |                |       |  |              |                    |             |  |               |           |            |        |
| 1531                                      | CONCRETE CONSTRUCTION SUPPLY, INC. | 644525         | 22279 | <u>CONCRETE PATCH FOR THE SKATE PARK, PARKS DPT, DEC '25</u>         | 12/11/2025   | 146.00             | 146.00      | <u>01-6150 M &amp; R - SYSTEM</u>                | 1004          | 12/25     | 12/29/2025 |        |
| Total 644525:                             |                                    |                |       |  |              | 146.00             | 146.00      |  |               |           |            |        |
| 1531                                      | CONCRETE CONSTRUCTION SUPPLY, INC. | 644570         | 22286 | <u>CONCRETE PATCH FOR SKATE PARK, S CAHILL, DEC '25</u>              | 12/12/2025   | 76.00              | 76.00       | <u>01-6150 M &amp; R - SYSTEM</u>                | 1004          | 12/25     | 12/29/2025 |        |
| Total 644570:                             |                                    |                |       |  |              | 76.00              | 76.00       |  |               |           |            |        |
| Total CONCRETE CONSTRUCTION SUPPLY, INC.: |                                    |                |       |  |              | 222.00             | 222.00      |  |               |           |            |        |
| <b>CORE &amp; MAIN LP</b>                 |                                    |                |       |  |              |                    |             |  |               |           |            |        |
| 63  | CORE & MAIN LP                     | Y285672        | 22315 | <u>STICKERS FOR STREET LIGHT NUMBERING, S.HOWELL, DEC.'25</u>        | 12/19/2025   | 80.00              | .00         | <u>01-6150 M &amp; R - SYSTEM</u>                | 1002          | 12/25     |            |        |
| Total Y285672:                            |                                    |                |       |  |              | 80.00              | .00         |  |               |           |            |        |

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| Vendor #                       | Vendor Name             | Invoice Number | PO #  | Description  | Invoice Date | Net Invoice Amount | Amount Paid | GL Account and Title                  | GL Activity # | GL Period | Date Paid  | Voided |
|--------------------------------|-------------------------|----------------|-------|--|--------------|--------------------|-------------|---------------------------------------|---------------|-----------|------------|--------|
| 63                             | CORE & MAIN LP          | Y292797        | 22321 | <u>100 WATER METERS AND 200 METER GASKETS. J.OSBORN. DEC.'25</u> | 12/19/2025   | 47,082.00          | .00         | <u>20-6020 CAPITAL IMPROVEMENTS</u>   | 0             | 12/25     |            |        |
| Total Y292797:                 |                         |                |       |  |              | 47,082.00          | .00         |                                       |               |           |            |        |
| Total CORE & MAIN LP:          |                         |                |       |  |              | 47,162.00          | .00         |                                       |               |           |            |        |
| <b>CRIME STOPPERS OF IDAHO</b> |                         |                |       |  |              |                    |             |                                       |               |           |            |        |
| 2187                           | CRIME STOPPERS OF IDAHO | 2255           |       | <u>FY2026 CRIME STOPPERS OF IDAHO SERVICE CONTRACT</u>           | 09/29/2025   | 3,465.00           | 3,465.00    | <u>01-6075 DUES &amp; MEMBERSHIPS</u> | 0             | 12/25     | 12/19/2025 |        |
| Total 2255:                    |                         |                |       |  |              | 3,465.00           | 3,465.00    |                                       |               |           |            |        |
| Total CRIME STOPPERS OF IDAHO: |                         |                |       |  |              | 3,465.00           | 3,465.00    |                                       |               |           |            |        |
| <b>D &amp; B SUPPLY</b>        |                         |                |       |  |              |                    |             |                                       |               |           |            |        |
| 75                             | D & B SUPPLY            | 4286           | 22269 | <u>WORK BOOTS FOR M. LUNDY. P&amp;Z. DEC '25 - ADMIN</u>         | 12/10/2025   | 116.99             | 116.99      | <u>01-6285 UNIFORMS EXPENSE</u>       | 1003          | 12/25     | 12/29/2025 |        |
| 75                             | D & B SUPPLY            | 4286           |       | <u>WORK BOOTS FOR M. LUNDY. P&amp;Z. DEC '25 - SEWER</u>         | 12/10/2025   | 5.85               | 5.85        | <u>21-6285 UNIFORMS EXPENSE</u>       | 0             | 12/25     | 12/29/2025 |        |
| 75                             | D & B SUPPLY            | 4286           |       | <u>WORK BOOTS FOR M. LUNDY. P&amp;Z. DEC '25 - PI</u>            | 12/10/2025   | 1.30               | 1.30        | <u>25-6285 UNIFORMS EXPENSE</u>       | 0             | 12/25     | 12/29/2025 |        |
| 75                             | D & B SUPPLY            | 4286           |       | <u>WORK BOOTS FOR M. LUNDY. P&amp;Z. DEC '25 - WATER</u>         | 12/10/2025   | 5.85               | 5.85        | <u>20-6285 UNIFORMS EXPENSE</u>       | 0             | 12/25     | 12/29/2025 |        |
| Total 4286:                    |                         |                |       |  |              | 129.99             | 129.99      |                                       |               |           |            |        |
| 75                             | D & B SUPPLY            | 4288           | 22270 | <u>WORK BOOTS FOR T. BEHUNIN. P&amp;Z. DEC '25 - ADMIN</u>       | 12/10/2025   | 125.99             | 125.99      | <u>01-6285 UNIFORMS EXPENSE</u>       | 1003          | 12/25     | 12/29/2025 |        |
| 75                             | D & B SUPPLY            | 4288           |       | <u>WORK BOOTS FOR T. BEHUNIN. P&amp;Z. DEC '25 - WATER</u>       | 12/10/2025   | 6.30               | 6.30        | <u>20-6285 UNIFORMS EXPENSE</u>       | 0             | 12/25     | 12/29/2025 |        |

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| Vendor #    | Vendor Name  | Invoice Number | PO #  | Description   | Invoice Date | Net Invoice Amount | Amount Paid | GL Account and Title                           | GL Activity # | GL Period | Date Paid  | Voided |
|-------------|--------------|----------------|-------|---|--------------|--------------------|-------------|--|---------------|-----------|------------|--------|
| 75          | D & B SUPPLY | 4288           |       | <u>WORK BOOTS FOR T. BEHUNIN, P&amp;Z, DEC '25 - SEWER</u>                  | 12/10/2025   | 6.30               | 6.30        | <u>21-6285 UNIFORMS EXPENSE</u>                | 0             | 12/25     | 12/29/2025 |        |
| 75          | D & B SUPPLY | 4288           |       | <u>WORK BOOTS FOR T. BEHUNIN, P&amp;Z, DEC '25 - PI</u>                     | 12/10/2025   | 1.40               | 1.40        | <u>25-6285 UNIFORMS EXPENSE</u>                | 0             | 12/25     | 12/29/2025 |        |
| Total 4288: |              |                |       |   |              | 139.99             | 139.99      |  |               |           |            |        |
| 75          | D & B SUPPLY | 4467           | 22280 | <u>GREASE ZERK COUPLER, B. VILLANUEVA, DEC. 25</u>                          | 12/11/2025   | 117.15             | 117.15      | <u>01-6150 M &amp; R - SYSTEM</u>              | 1004          | 12/25     | 12/29/2025 |        |
| Total 4467: |              |                |       |   |              | 117.15             | 117.15      |  |               |           |            |        |
| 75          | D & B SUPPLY | 4646           | 22287 | <u>5 PACK SANDING DISCS, M.PRICE, DEC.'25</u>                               | 12/12/2025   | 27.96              | 27.96       | <u>01-6150 M &amp; R - SYSTEM</u>              | 1004          | 12/25     | 12/29/2025 |        |
| Total 4646: |              |                |       |   |              | 27.96              | 27.96       |  |               |           |            |        |
| 75          | D & B SUPPLY | 5900           | 22310 | <u>BIBS FOR P MORFIN, DEC. 25 - KUNA EAST WATER</u>                         | 12/17/2025   | 15.01              | .00         | <u>27-6285 UNIFORMS EXPENSE</u>                | 0             | 12/25     |            |        |
| 75          | D & B SUPPLY | 5900           |       | <u>BIBS FOR P MORFIN, DEC. 25 - PI</u>                                      | 12/17/2025   | 29.99              | .00         | <u>25-6285 UNIFORMS EXPENSE</u>                | 0             | 12/25     |            |        |
| 75          | D & B SUPPLY | 5900           | 22310 | <u>BIBS FOR P MORFIN, DEC. 25 - WATER</u>                                   | 12/17/2025   | 104.99             | .00         | <u>20-6285 UNIFORMS EXPENSE</u>                | 0             | 12/25     |            |        |
| Total 5900: |              |                |       |   |              | 149.99             | .00         |  |               |           |            |        |
| 75          | D & B SUPPLY | 5961           | 22311 | <u>CONVEYOR HYDRAULIC HOSES AND FITTING FOR SCREENER, S CAHILL, DEC '25</u> | 12/17/2025   | 127.96             | .00         | <u>01-6142 MAINT. &amp; REPAIR - EQUIPMENT</u> | 1004          | 12/25     |            |        |
| Total 5961: |              |                |       |   |              | 127.96             | .00         |  |               |           |            |        |

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| Vendor #         | Vendor Name  | Invoice Number | PO #  | Description   | Invoice Date | Net Invoice Amount | Amount Paid | GL Account and Title                | GL Activity # | GL Period | Date Paid | Voided |
|------------------|--------------|----------------|-------|---|--------------|--------------------|-------------|-------------------------------------|---------------|-----------|-----------|--------|
| 75               | D & B SUPPLY | 5995           |       | <u>RETURNED 2 BALL VALVES, S. CAHILL, DEC '25</u>   | 12/17/2025   | -37.98             | .00         | 01-6150 M & R - SYSTEM              | 1004          | 12/25     |           |        |
| 75               | D & B SUPPLY | 5995           |       | <u>2 MALE TIP BALL VALVES, S. CAHILL, DEC '25</u>   | 12/17/2025   | 31.98              | .00         | 01-6150 M & R - SYSTEM              | 1004          | 12/25     |           |        |
| Total 5995:      |              |                |       |   |              | -6.00              | .00         |                                     |               |           |           |        |
| 75               | D & B SUPPLY | 6429           | 22326 | <u>WORK VEST FOR R. FORD, DEC '25 - PI</u>          | 12/19/2025   | 19.99              | .00         | 25-6285 UNIFORMS EXPENSE            | 0             | 12/25     |           |        |
| 75               | D & B SUPPLY | 6429           | 22326 | <u>WORK VEST FOR R. FORD, DEC '25 - EAST WATER</u>  | 12/19/2025   | 10.01              | .00         | 27-6285 UNIFORMS EXPENSE            | 0             | 12/25     |           |        |
| 75               | D & B SUPPLY | 6429           | 22326 | <u>WORK VEST FOR R. FORD, DEC '25 - WATER</u>       | 12/19/2025   | 69.99              | .00         | 20-6285 UNIFORMS EXPENSE            | 0             | 12/25     |           |        |
| Total 6429:      |              |                |       |   |              | 99.99              | .00         |                                     |               |           |           |        |
| 75               | D & B SUPPLY | 7184-2025      |       | <u>HARDWARE FOR GARBAGE CANS, M. PRICE, DEC '25</u> | 12/22/2025   | 14.32              | .00         | 01-6150 M & R - SYSTEM              | 1004          | 12/25     |           |        |
| Total 7184-2025: |              |                |       |   |              | 14.32              | .00         |                                     |               |           |           |        |
| 75               | D & B SUPPLY | 7880           | 22296 | <u>WORK GLOVES FOR PARKS, M.PRICE, DEC.'25</u>      | 12/15/2025   | 65.98              | .00         | 01-6230 SAFETY TRAINING & EQUIPMENT | 1004          | 12/25     |           |        |
| Total 7880:      |              |                |       |   |              | 65.98              | .00         |                                     |               |           |           |        |
| 75               | D & B SUPPLY | 8218           | 22358 | <u>PROPANE TORCH, P.BRYNER, DEC.'25</u>             | 12/26/2025   | 45.99              | .00         | 01-6175 SMALL TOOLS                 | 1004          | 12/25     |           |        |
| Total 8218:      |              |                |       |   |              | 45.99              | .00         |                                     |               |           |           |        |
| 75               | D & B SUPPLY | 9734           | 22309 | <u>REPLACEMENT BOOTS FOR R HENZE, DEC. 25</u>       | 12/16/2025   | 134.99             | .00         | 21-6285 UNIFORMS EXPENSE            | 0             | 12/25     |           |        |

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| Vendor #                   | Vendor Name         | Invoice Number | PO #  | Description   | Invoice Date | Net Invoice Amount | Amount Paid | GL Account and Title     | GL Activity # | GL Period | Date Paid | Voided |
|----------------------------|---------------------|----------------|-------|---|--------------|--------------------|-------------|--------------------------|---------------|-----------|-----------|--------|
| Total 9734:                |                     |                |       |   |              | 134.99             | .00         |                          |               |           |           |        |
| 75                         | D & B SUPPLY        | 9850           | 22327 | <u>WORK VEST FOR R.IVEY, DEC 25 - PI</u>                            | 12/19/2025   | 9.99               | .00         | 25-6285 UNIFORMS EXPENSE | 0             | 12/25     |           |        |
| 75                         | D & B SUPPLY        | 9850           | 22327 | <u>WORK VEST FOR R.IVEY, DEC 25 - EAST WATER</u>                    | 12/19/2025   | 5.01               | .00         | 27-6285 UNIFORMS EXPENSE | 0             | 12/25     |           |        |
| 75                         | D & B SUPPLY        | 9850           | 22327 | <u>WORK VEST FOR R.IVEY, DEC 25 - WATER</u>                         | 12/19/2025   | 34.99              | .00         | 20-6285 UNIFORMS EXPENSE | 0             | 12/25     |           |        |
| Total 9850:                |                     |                |       |   |              | 49.99              | .00         |                          |               |           |           |        |
| 75                         | D & B SUPPLY        | 9860           | 22329 | <u>WORK VEST FOR P. MORFIN, DEC '25 - PI</u>                        | 12/19/2025   | 17.99              | .00         | 25-6285 UNIFORMS EXPENSE | 0             | 12/25     |           |        |
| 75                         | D & B SUPPLY        | 9860           | 22329 | <u>WORK VEST FOR P. MORFIN, DEC '25 - EAST WATER</u>                | 12/19/2025   | 9.01               | .00         | 27-6285 UNIFORMS EXPENSE | 0             | 12/25     |           |        |
| 75                         | D & B SUPPLY        | 9860           | 22329 | <u>WORK VEST FOR P. MORFIN, DEC '25 - WATER</u>                     | 12/19/2025   | 62.99              | .00         | 20-6285 UNIFORMS EXPENSE | 0             | 12/25     |           |        |
| Total 9860:                |                     |                |       |   |              | 89.99              | .00         |                          |               |           |           |        |
| Total D & B SUPPLY:        |                     |                |       |   |              | 1,188.29           | 415.09      |                          |               |           |           |        |
| <b>DEBEST PLUMBING INC</b> |                     |                |       |   |              |                    |             |                          |               |           |           |        |
| 2390                       | DEBEST PLUMBING INC | 25-40-APP4     |       | <u>PLUMBING FOR PATAGONIA PARK RESTROOMS, 12/01/2025-12/31/2025</u> | 12/22/2025   | 18,456.90          | .00         | 50-6045 CONTINGENCY      | 0             | 12/25     |           |        |
| Total 25-40-APP4:          |                     |                |       |   |              | 18,456.90          | .00         |                          |               |           |           |        |

| Vendor #                          | Vendor Name                | Invoice Number | PO #  | Description  | Invoice Date | Net Invoice Amount | Amount Paid | GL Account and Title                             | GL Activity # | GL Period | Date Paid  | Voided |
|-----------------------------------|----------------------------|----------------|-------|--|--------------|--------------------|-------------|--|---------------|-----------|------------|--------|
| Total DEBEST PLUMBING INC:        |                            |                |       |  |              | 18,456.90          | .00         |  |               |           |            |        |
| <b>DELL MARKETING L.P.</b>        |                            |                |       |  |              |                    |             |  |               |           |            |        |
| 1466                              | DELL MARKETING L.P.        | 10853541120    |       | <u>1 NEW LAPTOP FOR GIS. M. BORZICK, DEC. 25 - PI</u>  | 12/16/2025   | 451.34             | .00         | <u>25-6141 IT SMALL EQUIPMENT</u>                | 0             | 12/25     |            |        |
| 1466                              | DELL MARKETING L.P.        | 10853541120    |       | <u>1 NEW LAPTOP FOR GIS. M. BORZICK, DEC. 25 - SEWER</u>   | 12/16/2025   | 1,184.77           | .00         | <u>21-6141 IT SMALL EQUIPMENT</u>                | 0             | 12/25     |            |        |
| 1466                              | DELL MARKETING L.P.        | 10853541120    | 22206 | <u>1 NEW LAPTOP FOR GIS. M. BORZICK, DEC. 25 - WATER</u>   | 12/16/2025   | 1,184.77           | .00         | <u>20-6141 IT SMALL EQUIPMENT</u>                | 0             | 12/25     |            |        |
| 1466                              | DELL MARKETING L.P.        | 10853541120    | 22206 | <u>2 NEW LAPTOPS FOR SEWER. M. BORZICK, DEC. 25</u>  | 12/16/2025   | 5,641.73           | .00         | <u>21-6141 IT SMALL EQUIPMENT</u>                | 0             | 12/25     |            |        |
| Total 10853541120:                |                            |                |       |  |              | 8,462.61           | .00         |  |               |           |            |        |
| Total DELL MARKETING L.P.:        |                            |                |       |  |              | 8,462.61           | .00         |  |               |           |            |        |
| <b>DENNIS DILLON RV LLC</b>       |                            |                |       |  |              |                    |             |  |               |           |            |        |
| 2064                              | DENNIS DILLON RV LLC       | 89464          | 22221 | <u>OIL CHANGE KITS FOR PARKS SXS. J. DURHAM, DEC '25</u>   | 12/04/2025   | 145.98             | 145.98      | <u>01-6305 VEHICLE MAINTENANCE &amp; REPAIRS</u> | 1004          | 12/25     | 12/19/2025 |        |
| Total 89464:                      |                            |                |       |  |              | 145.98             | 145.98      |  |               |           |            |        |
| Total DENNIS DILLON RV LLC:       |                            |                |       |  |              | 145.98             | 145.98      |  |               |           |            |        |
| <b>DS SERVICES OF AMERICA INC</b> |                            |                |       |  |              |                    |             |  |               |           |            |        |
| 2311                              | DS SERVICES OF AMERICA INC | 24328251 1206  | 22043 | <u>8 EACH 5 GALLON WATER BOTTLES AND ONE COOLER RENAL FOR CITY HALL. A. PETERSON, OCT. 25- ADMIN</u> | 12/06/2025   | 50.12              | 50.12       | <u>01-6165 OFFICE SUPPLIES</u>                   | 0             | 12/25     | 12/12/2025 |        |
| 2311                              | DS SERVICES OF AMERICA INC | 24328251 1206  | 22043 | <u>8 EACH 5 GALLON WATER BOTTLES AND ONE COOLER RENAL FOR CITY HALL. A. PETERSON, OCT. 25- WATER</u> | 12/06/2025   | 34.29              | 34.29       | <u>20-6165 OFFICE SUPPLIES</u>                   | 0             | 12/25     | 12/12/2025 |        |
| 2311                              | DS SERVICES OF AMERICA INC | 24328251 1206  | 22043 | <u>8 EACH 5 GALLON WATER BOTTLES AND ONE COOLER RENAL FOR CITY HALL. A. PETERSON, OCT. 25- P.I</u>   | 12/06/2025   | 13.18              | 13.18       | <u>25-6165 OFFICE SUPPLIES</u>                   | 0             | 12/25     | 12/12/2025 |        |

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|---|--------------------------------|----------------|-------|---|--------------|--------------------|-------------|----------------------------|---------------|-----------|------------|--------|
| 2311                                      | DS SERVICES OF AMERICA INC     | 24328251 1206  | 22043 | 8 EACH 5 GALLON WATER BOTTLES AND ONE COOLER RENTAL FOR CITY HALL. A. PETERSON, OCT. 25- SEWER              | 12/06/2025   | 34.29              | 34.29       | 21-6165 OFFICE SUPPLIES    | 0             | 12/25     | 12/12/2025 |        |
| Total 24328251 120625:                    |                                |                |       |   |              | 131.88             | 131.88      |                            |               |           |            |        |
| 2311                                      | DS SERVICES OF AMERICA INC     | 24330369 1206  | 22066 | 5 EACH 5 GALLON WATER BOTTLES AND 2 COOLER RENTALS FOR THE PLANT. J. MILLER NOV. 25- WATER                  | 12/06/2025   | 44.90              | 44.90       | 20-6165 OFFICE SUPPLIES    | 0             | 12/25     | 12/12/2025 |        |
| 2311                                      | DS SERVICES OF AMERICA INC     | 24330369 1206  |       | 5 EACH 5 GALLON WATER BOTTLES AND 2 COOLER RENTALS FOR THE PLANT. J. MILLER NOV. 25- P.I                    | 12/06/2025   | 17.11              | 17.11       | 25-6165 OFFICE SUPPLIES    | 0             | 12/25     | 12/12/2025 |        |
| 2311                                      | DS SERVICES OF AMERICA INC     | 24330369 1206  | 22066 | 5 EACH 5 GALLON WATER BOTTLES AND 2 COOLER RENTALS FOR THE PLANT. J. MILLER NOV. 25- SEWER                  | 12/06/2025   | 44.90              | 44.90       | 21-6165 OFFICE SUPPLIES    | 0             | 12/25     | 12/12/2025 |        |
| Total 24330369 120625:                    |                                |                |       |   |              | 106.91             | 106.91      |                            |               |           |            |        |
| 2311                                      | DS SERVICES OF AMERICA INC     | 24336182 1206  | 22043 | 9 EACH 5 GALLON WATER BOTTLES, ONE BOTTLE RACK RENTAL AND ONE COOLER RENTAL FOR PARKS. A. PETERSON, OCT. 25 | 12/06/2025   | 122.88             | 122.88      | 01-6165 OFFICE SUPPLIES    | 1004          | 12/25     | 12/12/2025 |        |
| Total 24336182 120625:                    |                                |                |       |   |              | 122.88             | 122.88      |                            |               |           |            |        |
| Total DS SERVICES OF AMERICA INC:         |                                |                |       |   |              | 361.67             | 361.67      |                            |               |           |            |        |
| <b>ED STAUB &amp; SONS PETROLEUM, INC</b> |                                |                |       |   |              |                    |             |                            |               |           |            |        |
| 1731                                      | ED STAUB & SONS PETROLEUM, INC | 13458019       |       | 55.20 GALLONS PROPANE DELIVERED TO 201 AVE A. DEC '25 - SEWER   | 12/19/2025   | 20.64              | 20.64       | 21-6150 M & R- SYSTEM      | 0             | 12/25     | 12/29/2025 |        |
| 1731                                      | ED STAUB & SONS PETROLEUM, INC | 13458019       |       | 55.20 GALLONS PROPANE DELIVERED TO 201 AVE A. DEC '25 - P.I   | 12/19/2025   | 10.33              | 10.33       | 25-6150 M & R- SYSTEM (PI) | 0             | 12/25     | 12/29/2025 |        |

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|---------------------------------------|--------------------------------|----------------|-------|--|--------------|--------------------|-------------|--------------------------------------|---------------|-----------|------------|--------|
| 1731                                  | ED STAUB & SONS PETROLEUM, INC | 13458019       |       | <u>55.20 GALLONS PROPANE DELIVERED TO 201 AVE A, DEC '25 - WATER</u>             | 12/19/2025   | 20.64              | 20.64       | <u>20-6150 M &amp; R - SYSTEM</u>    | 0             | 12/25     | 12/29/2025 |        |
| 1731                                  | ED STAUB & SONS PETROLEUM, INC | 13458019       |       | <u>55.20 GALLONS PROPANE DELIVERED TO 201 AVE A, DEC '25 - ADMIN</u>             | 12/19/2025   | 51.61              | 51.61       | <u>01-6150 M &amp; R - SYSTEM</u>    | 1004          | 12/25     | 12/29/2025 |        |
| Total 13458019:                       |                                |                |       |  |              | 103.22             | 103.22      |                                      |               |           |            |        |
| Total ED STAUB & SONS PETROLEUM, INC: |                                |                |       |  |              | 103.22             | 103.22      |                                      |               |           |            |        |
| <b>ELAM &amp; BURKE</b>               |                                |                |       |  |              |                    |             |                                      |               |           |            |        |
| 796                                   | ELAM & BURKE                   | 219000         |       | <u>PROFESSIONAL SERVICES, GENERAL REPRESENTATION, 11/12/25-11/30/25</u>          | 11/30/2025   | 687.50             | 687.50      | <u>52-6202 PROFESSIONAL SERVICES</u> | 0             | 12/25     | 12/29/2025 |        |
| Total 219000:                         |                                |                |       |  |              | 687.50             | 687.50      |                                      |               |           |            |        |
| Total ELAM & BURKE:                   |                                |                |       |  |              | 687.50             | 687.50      |                                      |               |           |            |        |
| <b>FERGUSON ENTERPRISES INC</b>       |                                |                |       |  |              |                    |             |                                      |               |           |            |        |
| 219                                   | FERGUSON ENTERPRISES INC       | 0944758        | 22223 | <u>4 INCH REPAIR CLAMP AND COUPLER FOR 215 CEDAR, M. DAVILA, DEC '25 - WATER</u> | 12/05/2025   | 711.30             | 711.30      | <u>20-6150 M &amp; R - SYSTEM</u>    | 0             | 12/25     | 12/29/2025 |        |
| Total 0944758:                        |                                |                |       |  |              | 711.30             | 711.30      |                                      |               |           |            |        |
| 219                                   | FERGUSON ENTERPRISES INC       | 0944761        | 22234 | <u>TWO 4 INCH COUPLERS, J OSBORN, DEC '25 - WATER</u>                            | 12/08/2025   | 830.72             | 830.72      | <u>20-6150 M &amp; R - SYSTEM</u>    | 0             | 12/25     | 12/29/2025 |        |
| Total 0944761:                        |                                |                |       |  |              | 830.72             | 830.72      |                                      |               |           |            |        |
| 219                                   | FERGUSON ENTERPRISES INC       | 0946000        |       | <u>GALVANIZED STEEL NIPPLE FOR IRRIGATION FILTER, DEC '25</u>                    | 12/22/2025   | 26.92              | .00         | <u>21-6090 FARM EXPENDITURES</u>     | 0             | 12/25     |            |        |
| Total 0946000:                        |                                |                |       |  |              | 26.92              | .00         |                                      |               |           |            |        |



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|---------------------------------------|------------------------|----------------|------|--|--------------|--------------------|-------------|-------------------------------------|---------------|-----------|------------|--------|
|                                       |                        |                |      | <u>SMITH, DEC. 25</u>  | 12/11/2025   | 168.63             | 168.63      | 21-6150 M & R - SYSTEM              | 0             | 12/25     | 12/19/2025 |        |
| Total 9674505:                        |                        |                |      |  |              | 168.63             | 168.63      |                                     |               |           |            |        |
| Total FLUID CONNECTOR PRODUCTS, INC.: |                        |                |      |  |              | 184.22             | 184.22      |                                     |               |           |            |        |
| <b>HACH COMPANY</b>                   |                        |                |      |  |              |                    |             |                                     |               |           |            |        |
| 157                                   | HACH COMPANY           | 14797765       |      | <u>END CAP FOR 40MM MOUNTING TUBES, I. FLEMING, DEC '25</u>  | 12/16/2025   | 23.76              | .00         | 21-6142 MAINT. & REPAIR - EQUIPMENT | 0             | 12/25     |            |        |
| Total 14797765:                       |                        |                |      |  |              | 23.76              | .00         |                                     |               |           |            |        |
| Total HACH COMPANY:                   |                        |                |      |  |              | 23.76              | .00         |                                     |               |           |            |        |
| <b>HR2, INC.</b>                      |                        |                |      |  |              |                    |             |                                     |               |           |            |        |
| 884                                   | HR2, INC.              | 3896           |      | <u>BACKFLOW ASSEMBLY REPAIR AT KUNA EAST LIFT STATION, DEC '25</u>   | 12/16/2025   | 200.00             | 200.00      | 28-6150 M & R - SYSTEM              | 0             | 12/25     | 12/19/2025 |        |
| 884                                   | HR2, INC.              | 3896           |      | <u>TESTED BACKFLOW PREVENTERS AT KUNA EAST WATER, DEC '25</u>  | 12/16/2025   | 150.00             | 150.00      | 27-6150 M & R - SYSTEM              | 0             | 12/25     | 12/19/2025 |        |
| 884                                   | HR2, INC.              | 3896           |      | <u>TESTED BACKFLOW PREVENTERS AT KUNA EAST SEWER, DEC '25</u>  | 12/16/2025   | 150.00             | 150.00      | 28-6150 M & R - SYSTEM              | 0             | 12/25     | 12/19/2025 |        |
| Total 3896:                           |                        |                |      |  |              | 500.00             | 500.00      |                                     |               |           |            |        |
| Total HR2, INC.:                      |                        |                |      |  |              | 500.00             | 500.00      |                                     |               |           |            |        |
| <b>ICON ENTERPRISES, INC.</b>         |                        |                |      |  |              |                    |             |                                     |               |           |            |        |
| 1631                                  | ICON ENTERPRISES, INC. | 351321         |      | <u>CIVICPLUS, FULL SERVICE SUPPLEMENT SUBSCRIPTION &amp; QUARTERLY PRINT SUPPLEMENT ORDINANCES FOR 12/1/2025-11/30/2026, CLERKS, DEC '25 - ADMIN</u> | 12/01/2025   | 1,335.19           | 1,335.19    | 01-6052 CONTRACT SERVICES           | 0             | 12/25     | 12/19/2025 |        |

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|-------------------------------|------------------------|----------------|------|--|--------------|--------------------|-------------|---------------------------------------|---------------|-----------|------------|--------|
| 1631                          | ICON ENTERPRISES, INC. | 351321         |      | <u>CIVICPLUS, FULL SERVICE SUPPLEMENT SUBSCRIPTION &amp; QUARTERLY PRINT SUPPLEMENT ORDINANCES FOR 12/1/2025-11/30/2026, CLERKS, DEC '25 - WATER</u>               | 12/01/2025   | 913.55             | 913.55      | 20-6052 <u>CONTRACT SERVICES</u>      | 0             | 12/25     | 12/19/2025 |        |
| 1631                          | ICON ENTERPRISES, INC. | 351321         |      | <u>CIVICPLUS, FULL SERVICE SUPPLEMENT SUBSCRIPTION &amp; QUARTERLY PRINT SUPPLEMENT ORDINANCES FOR 12/1/2025-11/30/2026, CLERKS, DEC '25 - PI</u>                  | 12/01/2025   | 351.38             | 351.38      | 25-6052 <u>CONTRACT SERVICES</u>      | 0             | 12/25     | 12/19/2025 |        |
| 1631                          | ICON ENTERPRISES, INC. | 351321         |      | <u>CIVICPLUS, FULL SERVICE SUPPLEMENT SUBSCRIPTION &amp; QUARTERLY PRINT SUPPLEMENT ORDINANCES FOR 12/1/2025-11/30/2026, CLERKS, DEC '25 - SEWER</u>               | 12/01/2025   | 913.55             | 913.55      | 21-6052 <u>CONTRACT SERVICES</u>      | 0             | 12/25     | 12/19/2025 |        |
| Total 351321:                 |                        |                |      |  |              | 3,513.67           | 3,513.67    |                                       |               |           |            |        |
| 1631                          | ICON ENTERPRISES, INC. | 354163         |      | <u>PAYMENT GATEWAY ANNUAL FEE RENEWAL, RECREATION MANAGEMENT ANNUAL SOFTWARE LICENSING FEE, AUDIOEYE ENTERPRISE FOR RECREATION MANAGEMENT FEE, 12/2/25-12/1/26</u> | 12/02/2025   | 5,469.78           | 5,469.78    | 01-6075 <u>DUES &amp; MEMBERSHIPS</u> | 0             | 12/25     | 12/29/2025 |        |
| Total 354163:                 |                        |                |      |  |              | 5,469.78           | 5,469.78    |                                       |               |           |            |        |
| Total ICON ENTERPRISES, INC.: |                        |                |      |  |              | 8,983.45           | 8,983.45    |                                       |               |           |            |        |
| <b>IDAHO POWER CO</b>         |                        |                |      |  |              |                    |             |                                       |               |           |            |        |
| 38                            | IDAHO POWER CO         | 12222025I      |      | <u>ELECTRIC SERVICE, 11/13/25-12/17/25 - SENIOR CENTER</u>   | 12/16/2025   | 406.88             | 406.88      | 01-6290 <u>UTILITIES EXPENSE</u>      | 1001          | 12/25     | 12/29/2025 |        |
| 38                            | IDAHO POWER CO         | 12222025I      |      | <u>ELECTRIC SERVICE, 11/13/25-12/17/25 - PARKS</u>   | 12/16/2025   | 1,699.72           | 1,699.72    | 01-6290 <u>UTILITIES EXPENSE</u>      | 1004          | 12/25     | 12/29/2025 |        |
| 38                            | IDAHO POWER CO         | 12222025I      |      | <u>ELECTRIC SERVICE, 11/13/25-12/17/25 - STREET LIGHTS</u>   | 12/16/2025   | 2,114.38           | 2,114.38    | 01-6290 <u>UTILITIES EXPENSE</u>      | 1002          | 12/25     | 12/29/2025 |        |

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|---------------------------------|--------------------------|----------------|-------|---|--------------|--------------------|-------------|-----------------------------------|---------------|-----------|------------|--------|
| 38                              | IDAHO POWER CO           | 122220251      |       | <u>ELECTRIC SERVICE, 11/13/25-12/17/25 - FARM</u>   | 12/16/2025   | 24.30              | 24.30       | 21-6090 <u>FARM EXPENDITURES</u>  | 0             | 12/25     | 12/29/2025 |        |
| 38                              | IDAHO POWER CO           | 122220251      |       | <u>ELECTRIC SERVICE, 11/13/25-12/17/25 - WATER</u>  | 12/16/2025   | 164.87             | 164.87      | 20-6290 <u>UTILITIES EXPENSE</u>  | 0             | 12/25     | 12/29/2025 |        |
| 38                              | IDAHO POWER CO           | 122220251      |       | <u>ELECTRIC SERVICE, 11/13/25-12/17/25 - SEWER</u>  | 12/16/2025   | 164.87             | 164.87      | 21-6290 <u>UTILITIES EXPENSE</u>  | 0             | 12/25     | 12/29/2025 |        |
| 38                              | IDAHO POWER CO           | 122220251      |       | <u>ELECTRIC SERVICE, 11/13/25-12/17/25 - P1</u>   | 12/16/2025   | 123.23             | 123.23      | 25-6290 <u>UTILITIES EXPENSE</u>  | 0             | 12/25     | 12/29/2025 |        |
| 38                              | IDAHO POWER CO           | 122220251      |       | <u>ELECTRIC SERVICE, 11/13/25-12/17/25 - ADMIN</u>  | 12/16/2025   | 920.71             | 920.71      | 01-6290 <u>UTILITIES EXPENSE</u>  | 0             | 12/25     | 12/29/2025 |        |
| Total 122220251:                |                          |                |       |   |              | 5,618.96           | 5,618.96    |                                   |               |           |            |        |
| Total IDAHO POWER CO:           |                          |                |       |   |              | 5,618.96           | 5,618.96    |                                   |               |           |            |        |
| <b>IDAHO PRESS TRIBUNE, LLC</b> |                          |                |       |   |              |                    |             |                                   |               |           |            |        |
| 1802                            | IDAHO PRESS TRIBUNE, LLC | 700785         | 22294 | <u>LEGAL NOTICE PH-25-03-OA ARCHITECTURAL AND SITE DESIGN GUIDE, T. VILLANUEVA, DEC '25</u>           | 12/19/2025   | 41.82              | .00         | 01-6125 <u>LEGAL PUBLICATIONS</u> | 1003          | 12/25     |            |        |
| Total 700785:                   |                          |                |       |   |              | 41.82              | .00         |                                   |               |           |            |        |
| 1802                            | IDAHO PRESS TRIBUNE, LLC | 700796         | 22294 | <u>LEGAL NOTICE 25-03-CPF &amp; 25-14-DR KUNA MORA INDUSTRIAL SUBDIVISION, T. VILLANUEVA, DEC '25</u> | 12/19/2025   | 41.08              | .00         | 01-6125 <u>LEGAL PUBLICATIONS</u> | 1003          | 12/25     |            |        |
| Total 700796:                   |                          |                |       |   |              | 41.08              | .00         |                                   |               |           |            |        |
| 1802                            | IDAHO PRESS TRIBUNE, LLC | 700812         |       | <u>LEGAL NOTICE, PH-25-01-CPA ADA COUNTY CIPS, DEC '25</u>  | 12/19/2025   | 38.12              | .00         | 01-6125 <u>LEGAL PUBLICATIONS</u> | 1003          | 12/25     |            |        |
| Total 700812:                   |                          |                |       |   |              | 38.12              | .00         |                                   |               |           |            |        |
| Total IDAHO PRESS TRIBUNE, LLC: |                          |                |       |   |              | 121.02             | .00         |                                   |               |           |            |        |

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| <b>IDAHO RURAL WATER ASSOC</b>        |                                |                |      |  |              |                    |             |   |               |           |            |        |
| 33                                    | IDAHO RURAL WATER ASSOC        | Q 2025-214     |      | <u>OPERATION AND MAINTENANCE OF WASTEWATER COLLECTION SYSTEMS. AND OPERATION OF WASTEWATER TREATMENT PLANT VOLUME 1. W. HANCOCK, DEC '25</u> | 12/01/2025   | 200.00             | 200.00      | 21-6265 <u>TRAINING &amp; SCHOOLING EXPENSE</u> | 0             | 12/25     | 12/19/2025 |        |
| Total Q 2025-214:                     |                                |                |      |  |              | 200.00             | 200.00      |   |               |           |            |        |
| Total IDAHO RURAL WATER ASSOC:        |                                |                |      |  |              | 200.00             | 200.00      |   |               |           |            |        |
| <b>IDAHO SCUBA DIVING SALVAGE INC</b> |                                |                |      |  |              |                    |             |   |               |           |            |        |
| 2007                                  | IDAHO SCUBA DIVING SALVAGE INC | 72             |      | <u>CEDAR TANK DIVE TEAM DAILY RATE FOR CEDAR WELL, DEC '25</u>   | 12/19/2025   | 4,900.00           | .00         | 20-6020 <u>CAPITAL IMPROVEMENTS</u>             | 0             | 12/25     |            |        |
| Total 72:                             |                                |                |      |  |              | 4,900.00           | .00         |   |               |           |            |        |
| Total IDAHO SCUBA DIVING SALVAGE INC: |                                |                |      |  |              | 4,900.00           | .00         |   |               |           |            |        |
| <b>IDAHO STATE POLICE</b>             |                                |                |      |  |              |                    |             |   |               |           |            |        |
| 1509                                  | IDAHO STATE POLICE             | 12082025ISP    |      | <u>NEW EMPLOYEE BACKGROUND CHECKS, J. DURHAM, DEC '25 - PI</u>   | 12/08/2025   | 3.00               | 3.00        | 25-5950 <u>TEAM BUILDING, ONBOARDING</u>        | 0             | 12/25     | 12/19/2025 |        |
| 1509                                  | IDAHO STATE POLICE             | 12082025ISP    |      | <u>NEW EMPLOYEE BACKGROUND CHECKS, J. DURHAM, DEC '25 - SEWER</u>  | 12/08/2025   | 10.97              | 10.97       | 21-5950 <u>TEAM BUILDING, ONBOARDING</u>        | 0             | 12/25     | 12/19/2025 |        |
| 1509                                  | IDAHO STATE POLICE             | 12082025ISP    |      | <u>NEW EMPLOYEE BACKGROUND CHECKS, B. BYLSMA, SEWER, DEC '25</u>   | 12/08/2025   | 33.25              | 33.25       | 21-5950 <u>TEAM BUILDING, ONBOARDING</u>        | 0             | 12/25     | 12/19/2025 |        |
| 1509                                  | IDAHO STATE POLICE             | 12082025ISP    |      | <u>SOLICITOR BACKGROUND CHECKS, J. SNEDEGAR, DEC '25</u>   | 12/08/2025   | 33.25              | 33.25       | 01-2075 <u>UNEARNED REVENUE</u>                 | 0             | 12/25     | 12/19/2025 |        |
| 1509                                  | IDAHO STATE POLICE             | 12082025ISP    |      | <u>NEW EMPLOYEE BACKGROUND CHECKS, C. PARKER, SEWER, DEC '25</u>   | 12/08/2025   | 33.25              | 33.25       | 21-5950 <u>TEAM BUILDING, ONBOARDING</u>        | 0             | 12/25     | 12/19/2025 |        |

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|---------------------------------------|--------------------------------|----------------|------|---|--------------|--------------------|-------------|--|---------------|-----------|------------|--------|
| 1509                                  | IDAHO STATE POLICE             | 12082025ISP    |      | <u>NEW EMPLOYEE BACKGROUND CHECKS, J. DURHAM, DEC '25 - ADMIN</u>                             | 12/08/2025   | 8.31               | 8.31        | <u>01-5950 TEAM BUILDING, ONBOARDING</u> | 0             | 12/25     | 12/19/2025 |        |
| 1509                                  | IDAHO STATE POLICE             | 12082025ISP    |      | <u>NEW EMPLOYEE BACKGROUND CHECKS, J. DURHAM, DEC '25 - WATER</u>                             | 12/08/2025   | 10.97              | 10.97       | <u>20-5950 TEAM BUILDING, ONBOARDING</u> | 0             | 12/25     | 12/19/2025 |        |
| Total 12082025ISP:                    |                                |                |      |   |              | 133.00             | 133.00      |  |               |           |            |        |
| Total IDAHO STATE POLICE:             |                                |                |      |   |              | 133.00             | 133.00      |  |               |           |            |        |
| <b>IDAHO STATE TREASURER'S OFFICE</b> |                                |                |      |   |              |                    |             |  |               |           |            |        |
| 1965                                  | IDAHO STATE TREASURER'S OFFICE | 12122025ISTO   |      | <u>ESCHEAT PAYABLES TO STATE TREASURERS OFFICE, DEC.'25</u>                                   | 12/12/2025   | 445.54             | 445.54      | <u>20-2201 ESCHEAT PAYABLE</u>           | 0             | 12/25     | 12/12/2025 |        |
| Total 12122025ISTO:                   |                                |                |      |   |              | 445.54             | 445.54      |  |               |           |            |        |
| Total IDAHO STATE TREASURER'S OFFICE: |                                |                |      |   |              | 445.54             | 445.54      |  |               |           |            |        |
| <b>INTERMOUNTAIN GAS CO</b>           |                                |                |      |   |              |                    |             |  |               |           |            |        |
| 37                                    | INTERMOUNTAIN GAS CO           | 482195000120   |      | <u>NATURAL GAS CONSUMPTION AT THE TREATMENT PLANT, 11/04/2025-12/04/2025, DEC '25 - WATER</u> | 12/05/2025   | 908.93             | 908.93      | <u>20-6290 UTILITIES EXPENSE</u>         | 0             | 12/25     | 12/19/2025 |        |
| 37                                    | INTERMOUNTAIN GAS CO           | 482195000120   |      | <u>NATURAL GAS CONSUMPTION AT THE TREATMENT PLANT, 11/04/2025-12/04/2025, DEC '25 - PI</u>    | 12/05/2025   | 158.07             | 158.07      | <u>25-6290 UTILITIES EXPENSE</u>         | 0             | 12/25     | 12/19/2025 |        |
| 37                                    | INTERMOUNTAIN GAS CO           | 482195000120   |      | <u>NATURAL GAS CONSUMPTION AT THE TREATMENT PLANT, 11/04/2025-12/04/2025, DEC '25 - SEWER</u> | 12/05/2025   | 908.93             | 908.93      | <u>21-6290 UTILITIES EXPENSE</u>         | 0             | 12/25     | 12/19/2025 |        |
| Total 48219500012052025:              |                                |                |      |   |              | 1,975.93           | 1,975.93    |  |               |           |            |        |
| Total INTERMOUNTAIN GAS CO:           |                                |                |      |   |              | 1,975.93           | 1,975.93    |  |               |           |            |        |

**J & M SANITATION, INC.**

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| Vendor #                                 | Vendor Name                   | Invoice Number | PO # | Description   | Invoice Date | Net Invoice Amount | Amount Paid | GL Account and Title                           | GL Activity # | GL Period | Date Paid  | Voided |
|--|-------------------------------|----------------|------|---|--------------|--------------------|-------------|--|---------------|-----------|------------|--------|
| 230                                      | J & M SANITATION, INC.        | 12052025-1211  |      | <u>SANITATION RECEIPT<br/>TRANSFER LESS FRANCHISE<br/>FEES. 12/05-12/11/2025</u>                            | 12/12/2025   | -8,659.90          | -8,659.90   | 01-4170<br><u>FRANCHISE FEES</u>               | 0             | 12/25     | 12/12/2025 |        |
| 230                                      | J & M SANITATION, INC.        | 12052025-1211  |      | <u>SANITATION RECEIPT<br/>TRANSFER. 12/05-12/11/2025</u>  | 12/12/2025   | 87,650.80          | 87,650.80   | 26-7000 SOLID<br><u>WASTE SERVICE<br/>FEES</u> | 0             | 12/25     | 12/12/2025 |        |
| Total 12052025-12112025:                 |                               |                |      |   |              | 78,990.90          | 78,990.90   |  |               |           |            |        |
| 230                                      | J & M SANITATION, INC.        | 12122025-121   |      | <u>SANITATION RECEIPT<br/>TRANSFER. 12/12-12/18/2025</u>  | 12/19/2025   | 182,365.29         | 182,365.29  | 26-7000 SOLID<br><u>WASTE SERVICE<br/>FEES</u> | 0             | 12/25     | 12/19/2025 |        |
| 230                                      | J & M SANITATION, INC.        | 12122025-121   |      | <u>SANITATION RECEIPT<br/>TRANSFER LESS FRANCHISE<br/>FEES. 12/12-12/18/2025</u>                            | 12/19/2025   | -18,017.69         | -18,017.69  | 01-4170<br><u>FRANCHISE FEES</u>               | 0             | 12/25     | 12/19/2025 |        |
| Total 12122025-12182025:                 |                               |                |      |   |              | 164,347.60         | 164,347.60  |  |               |           |            |        |
| 230                                      | J & M SANITATION, INC.        | 12192025-122   |      | <u>SANITATION RECEIPT<br/>TRANSFER. 12/19-12/25/2025</u>  | 12/29/2025   | 14,930.25          | 14,930.25   | 26-7000 SOLID<br><u>WASTE SERVICE<br/>FEES</u> | 0             | 12/25     | 12/29/2025 |        |
| 230                                      | J & M SANITATION, INC.        | 12192025-122   |      | <u>SANITATION RECEIPT<br/>TRANSFER LESS FRANCHISE<br/>FEES. 12/19-12/25/2025</u>                            | 12/29/2025   | -1,475.11          | -1,475.11   | 01-4170<br><u>FRANCHISE FEES</u>               | 0             | 12/25     | 12/29/2025 |        |
| Total 12192025-12252025:                 |                               |                |      |   |              | 13,455.14          | 13,455.14   |  |               |           |            |        |
| Total J & M SANITATION, INC.:            |                               |                |      |   |              | 256,793.64         | 256,793.64  |  |               |           |            |        |
| <b>JACK HENRY &amp; ASSOCIATES, INC.</b> |                               |                |      |   |              |                    |             |  |               |           |            |        |
| 1328                                     | JACK HENRY & ASSOCIATES, INC. | 5144114        |      | <u>ENTERPRISE PAYMENT<br/>SOLUTIONS MONTHLY &amp;<br/>TRANSACTIONAL FEES. 11/1/25<br/>-11/30/25 - WATER</u> | 12/01/2025   | 25.77              | 25.77       | 20-6505 BANK<br><u>FEES</u>                    | 0             | 12/25     | 12/29/2025 |        |
| 1328                                     | JACK HENRY & ASSOCIATES, INC. | 5144114        |      | <u>ENTERPRISE PAYMENT<br/>SOLUTIONS MONTHLY &amp;<br/>TRANSACTIONAL FEES. 11/1/25<br/>-11/30/25 - PI</u>    | 12/01/2025   | 9.93               | 9.93        | 25-6505 BANK<br><u>FEES</u>                    | 0             | 12/25     | 12/29/2025 |        |

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| Vendor #                             | Vendor Name                   | Invoice Number | PO # | Description   | Invoice Date | Net Invoice Amount | Amount Paid | GL Account and Title         | GL Activity # | GL Period | Date Paid  | Voided |
|--------------------------------------|-------------------------------|----------------|------|---|--------------|--------------------|-------------|------------------------------|---------------|-----------|------------|--------|
| 1328                                 | JACK HENRY & ASSOCIATES, INC. | 5144114        |      | <u>ENTERPRISE PAYMENT SOLUTIONS MONTHLY &amp; TRANSACTIONAL FEES, 11/1/25 -11/30/25 - SEWER</u>                 | 12/01/2025   | 25.77              | 25.77       | 21-6505 BANK FEES            | 0             | 12/25     | 12/29/2025 |        |
| 1328                                 | JACK HENRY & ASSOCIATES, INC. | 5144114        |      | <u>ENTERPRISE PAYMENT SOLUTIONS MONTHLY &amp; TRANSACTIONAL FEES, 11/1/25 -11/30/25 - ADMIN</u>                 | 12/01/2025   | 37.66              | 37.66       | 01-6505 BANK FEES            | 0             | 12/25     | 12/29/2025 |        |
| Total 5144114:                       |                               |                |      |   |              | 99.13              | 99.13       |                              |               |           |            |        |
| Total JACK HENRY & ASSOCIATES, INC.: |                               |                |      |   |              | 99.13              | 99.13       |                              |               |           |            |        |
| <b>J-U-B ENGINEERS, INC.</b>         |                               |                |      |   |              |                    |             |                              |               |           |            |        |
| 1236                                 | J-U-B ENGINEERS, INC.         | 191698         |      | <u>PROFESSIONAL SERVICES FROM 11/02/2025-11/29/2025, HELEN ZAMZOW PARK DESIGN PHASE 2, DEC '25</u>              | 12/18/2025   | 1,480.20           | .00         | 50-6020 CAPITAL IMPROVEMENTS | 0             | 12/25     |            |        |
| Total 191698:                        |                               |                |      |   |              | 1,480.20           | .00         |                              |               |           |            |        |
| 1236                                 | J-U-B ENGINEERS, INC.         | 191722         |      | <u>PROFESSIONAL SERVICES FROM 11/02/2025-11/29/2025, HELEN ZAMZOW PARK DESIGN BUILD ASSIST PHASE 3, DEC '25</u> | 12/18/2025   | 4,017.80           | .00         | 50-6020 CAPITAL IMPROVEMENTS | 0             | 12/25     |            |        |
| Total 191722:                        |                               |                |      |   |              | 4,017.80           | .00         |                              |               |           |            |        |
| Total J-U-B ENGINEERS, INC.:         |                               |                |      |   |              | 5,498.00           | .00         |                              |               |           |            |        |
| <b>JUNK HOLLER LLC</b>               |                               |                |      |   |              |                    |             |                              |               |           |            |        |
| 2403                                 | JUNK HOLLER LLC               | 1              |      | <u>TRASH CAN COVERS FOR DOWNTOWN, C. REGLI, DEC '25</u>   | 12/10/2025   | 1,200.00           | 1,200.00    | 01-6150 M & R - SYSTEM       | 1004          | 12/25     | 12/12/2025 |        |
| Total 1:                             |                               |                |      |   |              | 1,200.00           | 1,200.00    |                              |               |           |            |        |
| Total JUNK HOLLER LLC:               |                               |                |      |   |              | 1,200.00           | 1,200.00    |                              |               |           |            |        |

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| Vendor #                       | Vendor Name             | Invoice Number | PO #  | Description   | Invoice Date | Net Invoice Amount | Amount Paid | GL Account and Title                | GL Activity # | GL Period | Date Paid | Voided |
|--------------------------------|-------------------------|----------------|-------|---|--------------|--------------------|-------------|-------------------------------------|---------------|-----------|-----------|--------|
| <b>KELLER ASSOCIATES, INC.</b> |                         |                |       |   |              |                    |             |                                     |               |           |           |        |
| 429                            | KELLER ASSOCIATES, INC. | 0254001        |       | PROFESSIONAL SERVICES FOR KUNA-CITY ENGINEER-BASE NUMBER, 11/02/2025-11/29/2025 - WATER       | 12/15/2025   | 79.80              | .00         | 20-6202 PROFESSIONAL SERVICES       | 0             | 12/25     |           |        |
| 429                            | KELLER ASSOCIATES, INC. | 0254001        |       | PROFESSIONAL SERVICES FOR KUNA-CITY ENGINEER-BASE NUMBER, 11/02/2025-11/29/2025 - PI          | 12/15/2025   | 30.40              | .00         | 25-6202 PROFESSIONAL SERVICES       | 0             | 12/25     |           |        |
| 429                            | KELLER ASSOCIATES, INC. | 0254001        |       | PROFESSIONAL SERVICES FOR KUNA-CITY ENGINEER-BASE NUMBER, 11/02/2025-11/29/2025 - SEWER       | 12/15/2025   | 79.80              | .00         | 21-6202 PROFESSIONAL SERVICES       | 0             | 12/25     |           |        |
| Total 0254001:                 |                         |                |       |   |              | 190.00             | .00         |                                     |               |           |           |        |
| 429                            | KELLER ASSOCIATES, INC. | 0254002        |       | PROFESSIONAL SERVICES FOR KUNA-DEVELOPMENT PLAN REVIEW SUPPORT, 11/02/2025-11/29/2025 - WATER | 12/15/2025   | 1,692.60           | .00         | 20-6202 PROFESSIONAL SERVICES       | 0             | 12/25     |           |        |
| 429                            | KELLER ASSOCIATES, INC. | 0254002        |       | PROFESSIONAL SERVICES FOR KUNA-DEVELOPMENT PLAN REVIEW SUPPORT, 11/02/2025-11/29/2025 - PI    | 12/15/2025   | 644.80             | .00         | 25-6202 PROFESSIONAL SERVICES       | 0             | 12/25     |           |        |
| 429                            | KELLER ASSOCIATES, INC. | 0254002        |       | PROFESSIONAL SERVICES FOR KUNA-DEVELOPMENT PLAN REVIEW SUPPORT, 11/02/2025-11/29/2025 - SEWER | 12/15/2025   | 1,692.60           | .00         | 21-6202 PROFESSIONAL SERVICES       | 0             | 12/25     |           |        |
| Total 0254002:                 |                         |                |       |   |              | 4,030.00           | .00         |                                     |               |           |           |        |
| Total KELLER ASSOCIATES, INC.: |                         |                |       |   |              | 4,220.00           | .00         |                                     |               |           |           |        |
| <b>KIMBALL RENTALS LLC</b>     |                         |                |       |   |              |                    |             |                                     |               |           |           |        |
| 2396                           | KIMBALL RENTALS LLC     | PSO196412      | 22320 | CONVEYOR BELT AND TOOLS FOR SCREENER, S. CAHILL, DEC. 25                                      | 12/17/2025   | 386.97             | .00         | 01-6142 MAINT. & REPAIR - EQUIPMENT | 1004          | 12/25     |           |        |
| Total PSO196412:               |                         |                |       |   |              | 386.97             | .00         |                                     |               |           |           |        |

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|---------------------------------|--------------------------|----------------|-------|--|--------------|--------------------|-------------|-----------------------------|---------------|-----------|-----------|--------|
| Total KIMBALL RENTALS LLC:      |                          |                |       |  |              | 386.97             | .00         |                             |               |           |           |        |
| <b>KUNA CHAMBER OF COMMERCE</b> |                          |                |       |  |              |                    |             |                             |               |           |           |        |
| 314                             | KUNA CHAMBER OF COMMERCE | 5347           |       | <u>MONTHLY LUNCHEON AT CHAMBER OF COMMERCE, Z. MONTENEGRO, DEC '25</u>             | 12/23/2025   | 30.00              | .00         | 01-6155 MEETINGS/COMMITTEES | 0             | 12/25     |           |        |
| Total 5347:                     |                          |                |       |  |              | 30.00              | .00         |                             |               |           |           |        |
| Total KUNA CHAMBER OF COMMERCE: |                          |                |       |  |              | 30.00              | .00         |                             |               |           |           |        |
| <b>KUNA LUMBER</b>              |                          |                |       |  |              |                    |             |                             |               |           |           |        |
| 499                             | KUNA LUMBER              | A181854        | 22201 | <u>SPRAY FOAM, R FORD, DEC 25</u>  | 12/02/2025   | 4.74               | .00         | 25-6150 M & R - SYSTEM (PI) | 0             | 12/25     |           |        |
| Total A181854:                  |                          |                |       |  |              | 4.74               | .00         |                             |               |           |           |        |
| 499                             | KUNA LUMBER              | A182141        | 22303 | <u>SOLITUDES FOR GARBAGE CANS AND BENCHES AT THE SKATE PARK, S CAHILL, DEC '25</u> | 12/16/2025   | 28.48              | .00         | 01-6150 M & R - SYSTEM      | 1004          | 12/25     |           |        |
| Total A182141:                  |                          |                |       |  |              | 28.48              | .00         |                             |               |           |           |        |
| 499                             | KUNA LUMBER              | A182194        | 22317 | <u>EXTENSION CORD FOR COLLECTION SVC. W.HANCOCK, DEC.'25</u>                       | 12/18/2025   | 118.74             | .00         | 21-6175 SMALL TOOLS         | 0             | 12/25     |           |        |
| Total A182194:                  |                          |                |       |  |              | 118.74             | .00         |                             |               |           |           |        |
| 499                             | KUNA LUMBER              | A182256        | 22334 | <u>SANDING DISCS, K.PETERSON, DEC.'25</u>  | 12/22/2025   | 38.93              | .00         | 01-6150 M & R - SYSTEM      | 1004          | 12/25     |           |        |
| Total A182256:                  |                          |                |       |  |              | 38.93              | .00         |                             |               |           |           |        |
| 499                             | KUNA LUMBER              | A182283        | 22340 | <u>HARDWARE FOR TABLE REBUILDS, K.PETERSON, DEC.'25</u>                            | 12/22/2025   | 31.89              | .00         | 01-6150 M & R - SYSTEM      | 1004          | 12/25     |           |        |

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| Vendor #       | Vendor Name | Invoice Number | PO #  | Description  | Invoice Date | Net Invoice Amount | Amount Paid | GL Account and Title                        | GL Activity # | GL Period | Date Paid | Voided |
|----------------|-------------|----------------|-------|--|--------------|--------------------|-------------|---|---------------|-----------|-----------|--------|
| Total A182283: |             |                |       |  |              | 31.89              | .00         |   |               |           |           |        |
| 499            | KUNA LUMBER | A182297        | 22345 | <u>GFCI AND COVER FOR GREEN BELT LIGHT REPAIRS, J. LORENTZ, DEC '25</u>                | 12/23/2025   | 38.74              | .00         | <u>01-6150 M &amp; R - SYSTEM</u>           | 1004          | 12/25     |           |        |
| Total A182297: |             |                |       |  |              | 38.74              | .00         |   |               |           |           |        |
| 499            | KUNA LUMBER | A182298        | 22348 | <u>LIME FOR TEN MILE, W.HANCOCK, DEC.'25</u>   | 12/23/2025   | 47.48              | .00         | <u>21-6150 M &amp; R - SYSTEM</u>           | 0             | 12/25     |           |        |
| Total A182298: |             |                |       |  |              | 47.48              | .00         |   |               |           |           |        |
| 499            | KUNA LUMBER | A182307        | 22349 | <u>TOILET HINGE FOR THE SENIOR CENTER WOMENS RESTROOM REPAIRS, S HOWELL, DEC '25</u>   | 12/23/2025   | 5.69               | .00         | <u>01-6140 MAINT. &amp; REPAIR BUILDING</u> | 1001          | 12/25     |           |        |
| Total A182307: |             |                |       |  |              | 5.69               | .00         |   |               |           |           |        |
| 499            | KUNA LUMBER | A182327        | 22359 | <u>PVC NIPPLE FOR SWAN FALLS BROKEN AIR LINE, CONNECTION PMD #1, R. HENZE, DEC. 25</u> | 12/26/2025   | 2.82               | .00         | <u>21-6150 M &amp; R - SYSTEM</u>           | 0             | 12/25     |           |        |
| Total A182327: |             |                |       |  |              | 2.82               | .00         |   |               |           |           |        |
| 499            | KUNA LUMBER | B182107        | 22267 | <u>HARDWARE FOR DANSKIN PI STATION, R IVERY, DEC '25</u>                               | 12/10/2025   | 9.38               | .00         | <u>25-6175 SMALL TOOLS</u>                  | 0             | 12/25     |           |        |
| Total B182107: |             |                |       |  |              | 9.38               | .00         |   |               |           |           |        |
| 499            | KUNA LUMBER | B182232        | 22306 | <u>CONCRETE FOR SKATE PARK, S.CAHILL, DEC.'25</u>                                      | 12/16/2025   | 322.98             | .00         | <u>01-6150 M &amp; R - SYSTEM</u>           | 1004          | 12/25     |           |        |
| Total B182232: |             |                |       |  |              | 322.98             | .00         |   |               |           |           |        |

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| Vendor #                    | Vendor Name          | Invoice Number | PO #  | Description   | Invoice Date | Net Invoice Amount | Amount Paid | GL Account and Title                | GL Activity # | GL Period | Date Paid  | Voided |
|-----------------------------|----------------------|----------------|-------|---|--------------|--------------------|-------------|-------------------------------------|---------------|-----------|------------|--------|
| 499                         | KUNA LUMBER          | B182239        | 22308 | SEALANT TUBE AND PIPE FLASHING FOR PATAGONIA BATHROOM ROOF, J.ADAMS, DEC.'25                | 12/16/2025   | 44.63              | .00         | 50-6045 CONTINGENCY                 | 0             | 12/25     |            |        |
| Total B182239:              |                      |                |       |   |              | 44.63              | .00         |                                     |               |           |            |        |
| 499                         | KUNA LUMBER          | B182334        | 22344 | CATCH BASIN AND DRAINAGE PIPE FOR SKATE PARK, S CAHILL, DEC '25                             | 12/23/2025   | 185.23             | .00         | 01-6150 M & R - SYSTEM              | 1004          | 12/25     |            |        |
| Total B182334:              |                      |                |       |   |              | 185.23             | .00         |                                     |               |           |            |        |
| Total KUNA LUMBER:          |                      |                |       |   |              | 879.73             | .00         |                                     |               |           |            |        |
| <b>KUNA MACHINE LLC</b>     |                      |                |       |   |              |                    |             |                                     |               |           |            |        |
| 1775                        | KUNA MACHINE LLC     | 4246           | 22338 | STEEL FOR CONVEYOR / SCREENER, S CAHILL, DEC '25  | 12/22/2025   | 75.60              | .00         | 01-6142 MAINT. & REPAIR - EQUIPMENT | 1004          | 12/25     |            |        |
| Total 4246:                 |                      |                |       |   |              | 75.60              | .00         |                                     |               |           |            |        |
| Total KUNA MACHINE LLC:     |                      |                |       |   |              | 75.60              | .00         |                                     |               |           |            |        |
| <b>MARKER INC</b>           |                      |                |       |   |              |                    |             |                                     |               |           |            |        |
| 2380                        | MARKER INC           | 8892           |       | RENT FOR 216 FT TEMPORARY FENCE PANELS FROM 11/1/25-12/12/25 AT PATAGONIA NEIGHBORHOOD PARK | 12/22/2025   | 129.60             | 129.60      | 50-6045 CONTINGENCY                 | 0             | 12/25     | 12/29/2025 |        |
| Total 8892:                 |                      |                |       |   |              | 129.60             | 129.60      |                                     |               |           |            |        |
| Total MARKER INC:           |                      |                |       |   |              | 129.60             | 129.60      |                                     |               |           |            |        |
| <b>MATHESON TRI-GAS INC</b> |                      |                |       |   |              |                    |             |                                     |               |           |            |        |
| 1871                        | MATHESON TRI-GAS INC | 0032560727     |       | CYLINDER RENTAL, T. FLEMING, DEC '25  | 12/21/2025   | 178.11             | .00         | 21-6150 M & R - SYSTEM              | 0             | 12/25     |            |        |

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|--------------------------------------|-------------------------------|----------------|-------|--|--------------|--------------------|-------------|--|---------------|-----------|------------|--------|
| Total 0032560727:                    |                               |                |       |  |              | 178.11             | .00         |  |               |           |            |        |
| Total MATHESON TRI-GAS INC:          |                               |                |       |  |              | 178.11             | .00         |  |               |           |            |        |
| <b>MISCELLANEOUS #2</b>              |                               |                |       |  |              |                    |             |  |               |           |            |        |
| 1849                                 | MISCELLANEOUS #2              | 12192025VGV    |       | <u>M3 ID VALOR GOLF VILLAS, RESOLUTION R84-2025, GOLF VILLAGES 5 STREETLIGHTS, DEC. 25</u> | 12/19/2025   | 37,462.50          | 37,462.50   | <u>30-2080 DEVELOPER DEPOSITS</u>                | 0             | 12/25     | 12/19/2025 |        |
| Total 12192025VGV:                   |                               |                |       |  |              | 37,462.50          | 37,462.50   |  |               |           |            |        |
| Total MISCELLANEOUS #2:              |                               |                |       |  |              | 37,462.50          | 37,462.50   |  |               |           |            |        |
| <b>NICOLE OWENS</b>                  |                               |                |       |  |              |                    |             |  |               |           |            |        |
| 2185                                 | NICOLE OWENS                  | 7092           | 22249 | <u>YARD SIGNS AND BANNERS, FOR CANDY CANES WITH THE MAYOR, K. PEREZ, DEC. 25</u>           | 12/05/2025   | 402.00             | 402.00      | <u>01-6135 PUBLIC ENTERTAINMENT</u>              | 1004          | 12/25     | 12/12/2025 |        |
| Total 7092:                          |                               |                |       |  |              | 402.00             | 402.00      |  |               |           |            |        |
| Total NICOLE OWENS:                  |                               |                |       |  |              | 402.00             | 402.00      |  |               |           |            |        |
| <b>O'REILLY AUTO ENTERPRISES LLC</b> |                               |                |       |  |              |                    |             |  |               |           |            |        |
| 2121                                 | O'REILLY AUTO ENTERPRISES LLC | 5841-439192    | 22339 | <u>BATTERY FOR PARKS JOHN DEERE GATOR, J DURHAM, DEC '25</u>                               | 12/22/2025   | 126.94             | .00         | <u>01-6305 VEHICLE MAINTENANCE &amp; REPAIRS</u> | 1004          | 12/25     |            |        |
| Total 5841-439192:                   |                               |                |       |  |              | 126.94             | .00         |  |               |           |            |        |
| 2121                                 | O'REILLY AUTO ENTERPRISES LLC | 5841-439548    | 22353 | <u>FILTERS FOR PARKS MOWER, J. DURHAM, DEC. 25</u>   | 12/26/2025   | 160.43             | .00         | <u>01-6142 MAINT. &amp; REPAIR - EQUIPMENT</u>   | 1004          | 12/25     |            |        |
| Total 5841-439548:                   |                               |                |       |  |              | 160.43             | .00         |  |               |           |            |        |
| Total O'REILLY AUTO ENTERPRISES LLC: |                               |                |       |  |              | 287.37             | .00         |  |               |           |            |        |

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| Vendor #                                | Vendor Name                      | Invoice Number | PO #  | Description  | Invoice Date | Net Invoice Amount | Amount Paid | GL Account and Title                       | GL Activity # | GL Period | Date Paid  | Voided |
|---|----------------------------------|----------------|-------|--|--------------|--------------------|-------------|--|---------------|-----------|------------|--------|
| <b>OVERTIME EQUIPMENT LLC</b>           |                                  |                |       |  |              |                    |             |  |               |           |            |        |
| 2402                                    | OVERTIME EQUIPMENT LLC           | 12102025OE     |       | <u>2007 INTERNATIONAL WATER TRUCK FOR THE PARKS DEPARTMENT, DEC 25</u>                         | 12/10/2025   | 50,016.00          | 50,016.00   | <u>50-6166 CAPITAL EQUIPMENT PURCHASES</u> | 0             | 12/25     | 12/12/2025 |        |
| Total 12102025OE:                       |                                  |                |       |  |              | 50,016.00          | 50,016.00   |  |               |           |            |        |
| Total OVERTIME EQUIPMENT LLC:           |                                  |                |       |  |              | 50,016.00          | 50,016.00   |  |               |           |            |        |
| <b>PAIGE MECHANICAL GROUP, INC.</b>     |                                  |                |       |  |              |                    |             |  |               |           |            |        |
| 1654                                    | PAIGE MECHANICAL GROUP, INC.     | 47943          | 22212 | <u>REPLACEMENT OF CONTROL BOARD AND FAN MOTOR FOR TWO BUILDING HEATERS, M. NADEAU, DEC '25</u> | 12/10/2025   | 1,050.00           | .00         | <u>21-6150 M &amp; R - SYSTEM</u>          | 0             | 12/25     |            |        |
| Total 47943:                            |                                  |                |       |  |              | 1,050.00           | .00         |  |               |           |            |        |
| 1654                                    | PAIGE MECHANICAL GROUP, INC.     | 47944          |       | <u>HVAC REPAIR AT TREATMENT PLANT, DEC. 25</u>   | 12/10/2025   | 1,254.00           | .00         | <u>21-6150 M &amp; R - SYSTEM</u>          | 0             | 12/25     |            |        |
| Total 47944:                            |                                  |                |       |  |              | 1,254.00           | .00         |  |               |           |            |        |
| Total PAIGE MECHANICAL GROUP, INC.:     |                                  |                |       |  |              | 2,304.00           | .00         |  |               |           |            |        |
| <b>PRIDE ELECTRICAL CONTRACTORS INC</b> |                                  |                |       |  |              |                    |             |  |               |           |            |        |
| 2137                                    | PRIDE ELECTRICAL CONTRACTORS INC | 2074           |       | <u>INSTALLATION OF PARKING LOT LIGHT POLES AT PATAGONIA PARK, DEC. 25</u>                      | 12/05/2025   | 16,000.00          | .00         | <u>50-6045 CONTINGENCY</u>                 | 0             | 12/25     |            |        |
| Total 2074:                             |                                  |                |       |  |              | 16,000.00          | .00         |  |               |           |            |        |
| 2137                                    | PRIDE ELECTRICAL CONTRACTORS INC | 2079           |       | <u>ELECTRICAL WIRING AND ADDED CIRCUIT FOR THERMOSTAT PATAGONIA PARK RESTROOMS, DEC. 25</u>    | 12/17/2025   | 19,600.00          | .00         | <u>50-6045 CONTINGENCY</u>                 | 0             | 12/25     |            |        |
| Total 2079:                             |                                  |                |       |  |              | 19,600.00          | .00         |  |               |           |            |        |

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|---|--------------------------------|----------------|-------|---|--------------|--------------------|-------------|-----------------------------|---------------|-----------|------------|--------|
| Total PRIDE ELECTRICAL CONTRACTORS INC: |                                |                |       |   |              | 35,600.00          | .00         |                             |               |           |            |        |
| <b>QUADIENT FINANCE USA INC</b>         |                                |                |       |   |              |                    |             |                             |               |           |            |        |
| 1770                                    | QUADIENT FINANCE USA INC       | 11302025QF     |       | <u>POSTAGE METER REFILL NOV. 25- ADMIN</u>                  | 11/30/2025   | 280.00             | 280.00      | 01-6190 POSTAGE & BILLING   | 0             | 12/25     | 12/12/2025 |        |
| 1770                                    | QUADIENT FINANCE USA INC       | 11302025QF     |       | <u>POSTAGE METER REFILL NOV. 25-P&amp;Z</u>                 | 11/30/2025   | 100.00             | 100.00      | 01-6190 POSTAGE & BILLING   | 1003          | 12/25     | 12/12/2025 |        |
| 1770                                    | QUADIENT FINANCE USA INC       | 11302025QF     |       | <u>POSTAGE METER REFILL NOV. 25- SEWER</u>                  | 11/30/2025   | 260.00             | 260.00      | 21-6190 POSTAGE & BILLING   | 0             | 12/25     | 12/12/2025 |        |
| 1770                                    | QUADIENT FINANCE USA INC       | 11302025QF     |       | <u>POSTAGE METER REFILL NOV. 25- P.I</u>                    | 11/30/2025   | 100.00             | 100.00      | 25-6190 POSTAGE & BILLING   | 0             | 12/25     | 12/12/2025 |        |
| 1770                                    | QUADIENT FINANCE USA INC       | 11302025QF     |       | <u>POSTAGE METER REFILL NOV. 25- WATER</u>                  | 11/30/2025   | 260.00             | 260.00      | 20-6190 POSTAGE & BILLING   | 0             | 12/25     | 12/12/2025 |        |
| Total 11302025QF:                       |                                |                |       |   |              | 1,000.00           | 1,000.00    |                             |               |           |            |        |
| Total QUADIENT FINANCE USA INC:         |                                |                |       |   |              | 1,000.00           | 1,000.00    |                             |               |           |            |        |
| <b>RAPID FIRE PROTECTION INC</b>        |                                |                |       |   |              |                    |             |                             |               |           |            |        |
| 2327                                    | RAPID FIRE PROTECTION INC      | 6530234        |       | <u>FIRE ALARM INSPECTIONS FOR THE PLANT, JUNE 25- P.I</u>   | 06/04/2025   | 95.87              | 95.87       | 25-6150 M & R - SYSTEM (PI) | 0             | 12/25     | 12/12/2025 |        |
| 2327                                    | RAPID FIRE PROTECTION INC      | 6530234        |       | <u>FIRE ALARM INSPECTIONS FOR THE PLANT, JUNE 25- WATER</u> | 06/04/2025   | 251.64             | 251.64      | 20-6150 M & R - SYSTEM      | 0             | 12/25     | 12/12/2025 |        |
| 2327                                    | RAPID FIRE PROTECTION INC      | 6530234        |       | <u>FIRE ALARM INSPECTIONS FOR THE PLANT, JUNE 25- SEWER</u> | 06/04/2025   | 251.64             | 251.64      | 21-6150 M & R - SYSTEM      | 0             | 12/25     | 12/12/2025 |        |
| Total 6530234:                          |                                |                |       |   |              | 599.15             | 599.15      |                             |               |           |            |        |
| Total RAPID FIRE PROTECTION INC:        |                                |                |       |   |              | 599.15             | 599.15      |                             |               |           |            |        |
| <b>REOTEMP INSTRUMENT CORPORATION</b>   |                                |                |       |   |              |                    |             |                             |               |           |            |        |
| 2401                                    | REOTEMP INSTRUMENT CORPORATION | 0442971-IN     | 22265 | <u>EXPLOSION PROOF ALUMINUM SENSOR, M. NADEAU, DEC. 25</u>  | 12/16/2025   | 243.04             | .00         | 21-6150 M & R - SYSTEM      | 0             | 12/25     |            |        |

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|---------------------------------------|-----------------------------|----------------|-------|---|--------------|--------------------|-------------|--|---------------|-----------|------------|--------|
| Total 0442971-IN:                     |                             |                |       |   |              | 243.04             | .00         |  |               |           |            |        |
| Total REOTEMP INSTRUMENT CORPORATION: |                             |                |       |   |              | 243.04             | .00         |  |               |           |            |        |
| <b>REXEL USA, INC.</b>                |                             |                |       |   |              |                    |             |  |               |           |            |        |
| 1613                                  | REXEL USA, INC.             | 6W15526        | 22275 | <u>WIRE NUTS STAINLESS STEEL STRUT, J. BOSTON, DEC. 25</u>          | 12/12/2025   | 180.32             | .00         | <u>21-6175 SMALL TOOLS</u>                 | 0             | 12/25     |            |        |
| Total 6W15526:                        |                             |                |       |   |              | 180.32             | .00         |  |               |           |            |        |
| Total REXEL USA, INC.:                |                             |                |       |   |              | 180.32             | .00         |  |               |           |            |        |
| <b>ROOTS INC</b>                      |                             |                |       |   |              |                    |             |  |               |           |            |        |
| 2395                                  | ROOTS INC                   | 5670           | 22253 | <u>TURF TOP DRESSER WITH AERATOR AND SEED BOX, J PEREZ, DEC '25</u> | 12/15/2025   | 36,038.00          | 36,038.00   | <u>40-6166 CAPITAL EQUIPMENT PURCHASES</u> | 0             | 12/25     | 12/19/2025 |        |
| Total 5670:                           |                             |                |       |   |              | 36,038.00          | 36,038.00   |  |               |           |            |        |
| Total ROOTS INC:                      |                             |                |       |   |              | 36,038.00          | 36,038.00   |  |               |           |            |        |
| <b>SOUTHWEST OFFICE SUPPLY INC</b>    |                             |                |       |   |              |                    |             |  |               |           |            |        |
| 2213                                  | SOUTHWEST OFFICE SUPPLY INC | WO-212256-1    | 22290 | <u>HAND SOAP FOR CITY HALL RESTROOMS, J. DURHAM, DEC. 25- P.I</u>   | 12/15/2025   | 5.59               | .00         | <u>25-6025 JANITORIAL</u>                  | 0             | 12/25     |            |        |
| 2213                                  | SOUTHWEST OFFICE SUPPLY INC | WO-212256-1    | 22290 | <u>HIGHLIGHTERS FOR CITY HALL, J. DURHAM, DEC '25- ADMIN</u>        | 12/15/2025   | 4.48               | .00         | <u>01-6165 OFFICE SUPPLIES</u>             | 0             | 12/25     |            |        |
| 2213                                  | SOUTHWEST OFFICE SUPPLY INC | WO-212256-1    | 22290 | <u>HAND SOAP FOR CITY HALL RESTROOMS, J. DURHAM, DEC. 25- SEWER</u> | 12/15/2025   | 14.60              | .00         | <u>21-6025 JANITORIAL</u>                  | 0             | 12/25     |            |        |
| 2213                                  | SOUTHWEST OFFICE SUPPLY INC | WO-212256-1    | 22290 | <u>HIGHLIGHTERS FOR CITY HALL, J. DURHAM, DEC '25- SEWER</u>        | 12/15/2025   | 3.06               | .00         | <u>21-6165 OFFICE SUPPLIES</u>             | 0             | 12/25     |            |        |
| 2213                                  | SOUTHWEST OFFICE SUPPLY INC | WO-212256-1    | 22290 | <u>HIGHLIGHTERS FOR CITY HALL, J. DURHAM, DEC '25- P.I</u>          | 12/15/2025   | 1.17               | .00         | <u>25-6165 OFFICE SUPPLIES</u>             | 0             | 12/25     |            |        |

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|------------------------------------|-----------------------------|----------------|-------|--|--------------|-----------------------|-------------|--------------------------------|---------------|-----------|-----------|--------|
| 2213                               | SOUTHWEST OFFICE SUPPLY INC | WO-212256-1    | 22290 | <u>HAND SOAP FOR CITY HALL RESTROOMS, J. DURHAM, DEC. 25- WATER</u>                            | 12/15/2025   | 14.60                 | .00         | <u>20-6025 JANITORIAL</u>      | 0             | 12/25     |           |        |
| 2213                               | SOUTHWEST OFFICE SUPPLY INC | WO-212256-1    | 22290 | <u>3 RING BINDER FOR J. DURHAM AND WALL CALENDAR FOR B. JACKSON, J. DURHAM, DEC. 25- WATER</u> | 12/15/2025   | 13.15                 | .00         | <u>20-6165 OFFICE SUPPLIES</u> | 0             | 12/25     |           |        |
| 2213                               | SOUTHWEST OFFICE SUPPLY INC | WO-212256-1    | 22290 | <u>3 RING BINDER FOR J. DURHAM AND WALL CALENDAR FOR B. JACKSON, J. DURHAM, DEC. 25- SEWER</u> | 12/15/2025   | 13.15                 | .00         | <u>21-6165 OFFICE SUPPLIES</u> | 0             | 12/25     |           |        |
| 2213                               | SOUTHWEST OFFICE SUPPLY INC | WO-212256-1    | 22290 | <u>3 RING BINDER FOR J. DURHAM AND WALL CALENDAR FOR B. JACKSON, J. DURHAM, DEC. 25- ADMIN</u> | 12/15/2025   | 9.97                  | .00         | <u>01-6165 OFFICE SUPPLIES</u> | 0             | 12/25     |           |        |
| 2213                               | SOUTHWEST OFFICE SUPPLY INC | WO-212256-1    | 22290 | <u>3 RING BINDER FOR J. DURHAM AND WALL CALENDAR FOR B. JACKSON, J. DURHAM, DEC. 25- P.I</u>   | 12/15/2025   | 3.58                  | .00         | <u>25-6165 OFFICE SUPPLIES</u> | 0             | 12/25     |           |        |
| 2213                               | SOUTHWEST OFFICE SUPPLY INC | WO-212256-1    | 22290 | <u>HAND SOAP FOR CITY HALL RESTROOMS, J. DURHAM, DEC. 25- ADMIN</u>                            | 12/15/2025   | 21.33                 | .00         | <u>01-6025 JANITORIAL</u>      | 0             | 12/25     |           |        |
| 2213                               | SOUTHWEST OFFICE SUPPLY INC | WO-212256-1    | 22290 | <u>HIGHLIGHTERS FOR CITY HALL, J. DURHAM, DEC '25- WATER</u>                                   | 12/15/2025   | 3.06                  | .00         | <u>20-6165 OFFICE SUPPLIES</u> | 0             | 12/25     |           |        |
| Total WO-212256-1:                 |                             |                |       |  |              | 107.74                | .00         |                                |               |           |           |        |
| 2213                               | SOUTHWEST OFFICE SUPPLY INC | WO-212990-1    | 22351 | <u>TOILET PAPER FOR SENIOR CENTER, A. PETERSON, DEC. 25</u>                                    | 12/29/2025   | 196.16                | .00         | <u>01-6025 JANITORIAL</u>      | 1001          | 12/25     |           |        |
| Total WO-212990-1:                 |                             |                |       |  |              | 196.16                | .00         |                                |               |           |           |        |
| Total SOUTHWEST OFFICE SUPPLY INC: |                             |                |       |  |              | 303.90                | .00         |                                |               |           |           |        |

**ST. LUKE'S HEALTH SYSTEM**

|      |                          |         |  |  |  |  |  |  |  |  |  |  |
|------|--------------------------|---------|--|--|--|--|--|--|--|--|--|--|
| 1441 | ST. LUKE'S HEALTH SYSTEM | 2652385 |  | <u>EMPLOYEE VACCINATION AND IMMUNIZATIONS, ACCT#507206329, CRAIG</u> |  |  |  |  |  |  |  |  |
|------|--------------------------|---------|--|--|--|--|--|--|--|--|--|--|

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|---|--|----------------|------|---|--------------|--------------------|-------------|---|---------------|-----------|------------|--------|
|   |  |                |      | <u>PARKER 11/14/25</u>  | 12/09/2025   | 167.47             | .00         | <u>21-5950 TEAM BUILDING ONBOARDING</u>     | 0             | 12/25     |            |        |
| Total 2652385:                                      |  |                |      |   |              | 167.47             | .00         |   |               |           |            |        |
| Total ST. LUKE'S HEALTH SYSTEM:                     |  |                |      |   |              | 167.47             | .00         |   |               |           |            |        |
| <b>STATE OF IDAHO-DIV OCCUP &amp; PROF LICENSES</b> |  |                |      |   |              |                    |             |   |               |           |            |        |
| 1882  | STATE OF IDAHO-DIV OCCUP & PROF LICENSES | HH001463-202   |      | <u>ELEVATOR CERTIFICATION FOR CITY HALL, DEC. 25- WATER</u>   | 06/02/2025   | 32.50              | 32.50       | <u>20-6140 MAINT. &amp; REPAIR BUILDING</u> | 0             | 12/25     | 12/19/2025 |        |
| 1882  | STATE OF IDAHO-DIV OCCUP & PROF LICENSES | HH001463-202   |      | <u>ELEVATOR CERTIFICATION FOR CITY HALL, DEC. 25- SEWER</u>   | 06/02/2025   | 32.50              | 32.50       | <u>21-6140 MAINT. &amp; REPAIR BUILDING</u> | 0             | 12/25     | 12/19/2025 |        |
| 1882  | STATE OF IDAHO-DIV OCCUP & PROF LICENSES | HH001463-202   |      | <u>ELEVATOR CERTIFICATION FOR CITY HALL, DEC. 25- P.I</u>   | 06/02/2025   | 12.50              | 12.50       | <u>25-6140 MAINT. &amp; REPAIR BUILDING</u> | 0             | 12/25     | 12/19/2025 |        |
| 1882  | STATE OF IDAHO-DIV OCCUP & PROF LICENSES | HH001463-202   |      | <u>ELEVATOR CERTIFICATION FOR CITY HALL, DEC. 25- ADMIN</u>   | 06/02/2025   | 47.50              | 47.50       | <u>01-6140 MAINT. &amp; REPAIR BUILDING</u> | 0             | 12/25     | 12/19/2025 |        |
| Total HH001463-2025:                                |  |                |      |   |              | 125.00             | 125.00      |   |               |           |            |        |
| Total STATE OF IDAHO-DIV OCCUP & PROF LICENSES:     |  |                |      |   |              | 125.00             | 125.00      |   |               |           |            |        |
| <b>SYN-TECH SYSTEMS INC</b>                         |  |                |      |   |              |                    |             |   |               |           |            |        |
| 2228  | SYN-TECH SYSTEMS INC                     | 326665         |      | <u>FUEL MASTER SOFTWARE ANNUAL SUBSCRIPTION RENEWAL, 01/01-12/31/26. J. DURHAM, DEC. 25- ADMIN</u>  | 12/15/2025   | 2,555.00           | .00         | <u>01-6075 DUES &amp; MEMBERSHIPS</u>       | 0             | 12/25     |            |        |
| 2228  | SYN-TECH SYSTEMS INC                     | 326665         |      | <u>FUEL MASTER SOFTWARE ANNUAL SUBSCRIPTION RENEWAL, 01/01-12/31/26. J. DURHAM, DEC. 25 - SEWER</u> | 12/15/2025   | 1,022.00           | .00         | <u>21-6075 DUES &amp; MEMBERSHIPS</u>       | 0             | 12/25     |            |        |
| 2228  | SYN-TECH SYSTEMS INC                     | 326665         |      | <u>FUEL MASTER SOFTWARE ANNUAL SUBSCRIPTION RENEWAL, 01/01-12/31/26. J. DURHAM, DEC. 25 - P.I</u>   | 12/15/2025   | 511.00             | .00         | <u>25-6075 DUES &amp; MEMBERSHIPS</u>       | 0             | 12/25     |            |        |

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|-----------------------------------|----------------------------|----------------|-------|--|--------------|--------------------|-------------|----------------------------|---------------|-----------|------------|--------|
| 2228                              | SYN-TECH SYSTEMS INC       | 326665         |       | FUEL MASTER SOFTWARE ANNUAL SUBSCRIPTION RENEWAL, 01/01-12/31/26, J. DURHAM, DEC. 25 - WATER | 12/15/2025   | 1,022.00           | .00         | 20-6075_DUES & MEMBERSHIPS | 0             | 12/25     |            |        |
| Total 326665:                     |                            |                |       |  |              | 5,110.00           | .00         |                            |               |           |            |        |
| Total SYN-TECH SYSTEMS INC:       |                            |                |       |  |              | 5,110.00           | .00         |                            |               |           |            |        |
| <b>TACOMA SCREW PRODUCTS, INC</b> |                            |                |       |  |              |                    |             |                            |               |           |            |        |
| 1768                              | TACOMA SCREW PRODUCTS, INC | 290223729-00   | 22259 | BOLTS FOR MEMBRANES, W HANCOCK, DEC. 25  | 12/09/2025   | 129.04             | .00         | 21-6150_M & R - SYSTEM     | 0             | 12/25     |            |        |
| Total 290223729-00:               |                            |                |       |  |              | 129.04             | .00         |                            |               |           |            |        |
| Total TACOMA SCREW PRODUCTS, INC: |                            |                |       |  |              | 129.04             | .00         |                            |               |           |            |        |
| <b>TAYLOR CORPORATION</b>         |                            |                |       |  |              |                    |             |                            |               |           |            |        |
| 1435                              | TAYLOR CORPORATION         | 257788390      | 22231 | 500 BUSINESS CARDS FOR COUNCIL MEMBER M. ROCCO, DEC '25- ADMIN                               | 12/09/2025   | 27.99              | 27.99       | 01-6165_OFFICE SUPPLIES    | 0             | 12/25     | 12/19/2025 |        |
| 1435                              | TAYLOR CORPORATION         | 257788390      | 22231 | 500 BUSINESS CARDS FOR COUNCIL MEMBER M. ROCCO, DEC '25- SEWER                               | 12/09/2025   | 1.25               | 1.25        | 21-6165_OFFICE SUPPLIES    | 0             | 12/25     | 12/19/2025 |        |
| 1435                              | TAYLOR CORPORATION         | 257788390      | 22231 | 500 BUSINESS CARDS FOR COUNCIL MEMBER M. ROCCO, DEC '25- P.I                                 | 12/09/2025   | .61                | .61         | 25-6165_OFFICE SUPPLIES    | 0             | 12/25     | 12/19/2025 |        |
| 1435                              | TAYLOR CORPORATION         | 257788390      | 22231 | 500 BUSINESS CARDS FOR COUNCIL MEMBER M. ROCCO, DEC '25- WATER                               | 12/09/2025   | 1.25               | 1.25        | 20-6165_OFFICE SUPPLIES    | 0             | 12/25     | 12/19/2025 |        |
| Total 257788390:                  |                            |                |       |  |              | 31.10              | 31.10       |                            |               |           |            |        |
| 1435                              | TAYLOR CORPORATION         | 258394918      | 22292 | 500 EACH BUSINESS CARDS FOR J. LISH, J. MILLER, DEC '25 - P.I                                | 12/19/2025   | 6.22               | .00         | 25-6165_OFFICE SUPPLIES    | 0             | 12/25     |            |        |
| 1435                              | TAYLOR CORPORATION         | 258394918      | 22292 | 500 EACH BUSINESS CARDS FOR J. LISH, J. MILLER, DEC '25 - EAST WATER                         | 12/19/2025   | 3.11               | .00         | 27-6165_OFFICE SUPPLIES    | 0             | 12/25     |            |        |

| Vendor #                        | Vendor Name              | Invoice Number | PO #  | Description  | Invoice Date | Net Invoice Amount | Amount Paid | GL Account and Title                   | GL Activity # | GL Period | Date Paid  | Voided |
|---------------------------------|--------------------------|----------------|-------|--|--------------|--------------------|-------------|--|---------------|-----------|------------|--------|
| 1435                            | TAYLOR CORPORATION       | 258394918      | 22292 | <u>500 EACH BUSINESS CARDS FOR J. LISH, J. MILLER, DEC '25 - WATER</u> | 12/19/2025   | 21.77              | .00         | <u>20-6165 OFFICE SUPPLIES</u>         | 0             | 12/25     |            |        |
| Total 258394918:                |                          |                |       |  |              | 31.10              | .00         |  |               |           |            |        |
| Total TAYLOR CORPORATION:       |                          |                |       |  |              | 62.20              | 31.10       |  |               |           |            |        |
| <b>TECHNOLOGY SOLUTIONS LLC</b> |                          |                |       |  |              |                    |             |  |               |           |            |        |
| 1823                            | TECHNOLOGY SOLUTIONS LLC | 5364           |       | <u>NEW CHAMBER SECURITY CAMERA SYSTEM DEPOSIT, DEC.</u>                | 12/11/2025   | 10,610.93          | 10,610.93   | <u>40-6020 CAPITAL IMPROVEMENTS</u>    | 0             | 12/25     | 12/12/2025 |        |
| Total 5364:                     |                          |                |       |  |              | 10,610.93          | 10,610.93   |  |               |           |            |        |
| 1823                            | TECHNOLOGY SOLUTIONS LLC | 5365           |       | <u>DATA WIRING FOR NEW CHAMBERS DEPOSIT, DEC. 25</u>                   | 12/11/2025   | 6,280.52           | 6,280.52    | <u>40-6020 CAPITAL IMPROVEMENTS</u>    | 0             | 12/25     | 12/12/2025 |        |
| Total 5365:                     |                          |                |       |  |              | 6,280.52           | 6,280.52    |  |               |           |            |        |
| 1823                            | TECHNOLOGY SOLUTIONS LLC | 5366           |       | <u>AV SYSTEM INSTALL FOR NEW CITY HALL CHAMBERS DEPOSIT, DEC. 25</u>   | 12/11/2025   | 34,227.67          | 34,227.67   | <u>40-6020 CAPITAL IMPROVEMENTS</u>    | 0             | 12/25     | 12/12/2025 |        |
| Total 5366:                     |                          |                |       |  |              | 34,227.67          | 34,227.67   |  |               |           |            |        |
| Total TECHNOLOGY SOLUTIONS LLC: |                          |                |       |  |              | 51,119.12          | 51,119.12   |  |               |           |            |        |
| <b>TOPCON SOLUTIONS INC</b>     |                          |                |       |  |              |                    |             |  |               |           |            |        |
| 2276                            | TOPCON SOLUTIONS INC     | 90386984       | 22156 | <u>MARKING PAINT, M. BORZICK, NOV 25- SEWER</u>                        | 12/19/2025   | 959.62             | .00         | <u>21-6150 M &amp; R - SYSTEM</u>      | 0             | 12/25     |            |        |
| 2276                            | TOPCON SOLUTIONS INC     | 90386984       | 22156 | <u>MARKING PAINT, M. BORZICK, NOV 25- P.I</u>                          | 12/19/2025   | 365.56             | .00         | <u>25-6150 M &amp; R - SYSTEM (PI)</u> | 0             | 12/25     |            |        |
| 2276                            | TOPCON SOLUTIONS INC     | 90386984       | 22156 | <u>MARKING PAINT, M. BORZICK, NOV 25- WATER</u>                        | 12/19/2025   | 959.62             | .00         | <u>20-6150 M &amp; R - SYSTEM</u>      | 0             | 12/25     |            |        |

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| Total 90386984:                            |                                 |                |       |  |              | 2,284.80           | .00         |                                     |               |           |            |        |
| Total TOPCON SOLUTIONS INC:                |                                 |                |       |  |              | 2,284.80           | .00         |                                     |               |           |            |        |
| <b>TOWNSQUARE MEDIA - BOISE</b>            |                                 |                |       |  |              |                    |             |                                     |               |           |            |        |
| 2211                                       | TOWNSQUARE MEDIA - BOISE        | 121025         | 22295 | <u>RADIO ADS FOR GEM DROP, A.GOODWIN, DEC.'25</u>              | 12/10/2025   | 2,000.00           | 2,000.00    | 01-6135 PUBLIC ENTERTAINMENT        | 1004          | 12/25     | 12/19/2025 |        |
| Total 121025:                              |                                 |                |       |  |              | 2,000.00           | 2,000.00    |                                     |               |           |            |        |
| Total TOWNSQUARE MEDIA - BOISE:            |                                 |                |       |  |              | 2,000.00           | 2,000.00    |                                     |               |           |            |        |
| <b>TREASURE VALLEY COFFEE</b>              |                                 |                |       |  |              |                    |             |                                     |               |           |            |        |
| 992  | TREASURE VALLEY COFFEE          | 2160:11313315  |       | <u>BEAN TO CUP RENTAL, 4 WEEKS, PARKS SHOP/OFFICE, DEC. 25</u> | 12/10/2025   | 150.00             | .00         | 01-6212 RENT - EQUIPMENT            | 1004          | 12/25     |            |        |
| 992  | TREASURE VALLEY COFFEE          | 2160:11313315  |       | <u>COFFEE FOR PARKS, DEC. 25</u>                               | 12/10/2025   | 252.46             | .00         | 01-6165 OFFICE SUPPLIES             | 1004          | 12/25     |            |        |
| Total 2160:11313315:                       |                                 |                |       |  |              | 402.46             | .00         |                                     |               |           |            |        |
| Total TREASURE VALLEY COFFEE:              |                                 |                |       |  |              | 402.46             | .00         |                                     |               |           |            |        |
| <b>TURF EQUIPMENT &amp; IRRIGATION INC</b> |                                 |                |       |  |              |                    |             |                                     |               |           |            |        |
| 1969                                       | TURF EQUIPMENT & IRRIGATION INC | 3030852-00 A   | 21958 | <u>EQUIPMENT FREIGHT, OCT. 25</u>                              | 10/27/2025   | 1,500.00           | 1,500.00    | 01-6142 MAINT. & REPAIR - EQUIPMENT | 1004          | 12/25     | 12/19/2025 |        |
| Total 3030852-00 A:                        |                                 |                |       |  |              | 1,500.00           | 1,500.00    |                                     |               |           |            |        |
| 1969                                       | TURF EQUIPMENT & IRRIGATION INC | 768972-00      | 22354 | <u>FILTER FOR PARKS MOWER, J. DURHAM, DEC. 25</u>              | 12/26/2025   | 150.59             | .00         | 01-6142 MAINT. & REPAIR - EQUIPMENT | 1004          | 12/25     |            |        |
| Total 768972-00:                           |                                 |                |       |  |              | 150.59             | .00         |                                     |               |           |            |        |

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| Total TURF EQUIPMENT & IRRIGATION INC:    |                                    |                |      |  |              | 1,650.59           | 1,500.00    |                          |               |           |           |        |
| <b>UNITED SITE SERVICES OF NEVADA INC</b> |                                    |                |      |  |              |                    |             |                          |               |           |           |        |
| 2124                                      | UNITED SITE SERVICES OF NEVADA INC | INV-5790139    |      | STANDARD PORTABLE RESTROOM RENTAL, BI-WEEKLY SERVICE, BOOSTER 5750 E KUNA RD                                 | 12/11/2025   | 66.00              | .00         | 20-6212 RENT - EQUIPMENT | 0             | 12/25     |           |        |
| Total INV-5790139:                        |                                    |                |      |  |              | 66.00              | .00         |                          |               |           |           |        |
| 2124                                      | UNITED SITE SERVICES OF NEVADA INC | INV-5816481    |      | STANDARD PORTABLE RESTROOM RENTAL, BI-WEEKLY SERVICE 12/01-12/28/25- CITY FARM                               | 12/28/2025   | 61.00              | .00         | 21-6212 RENT - EQUIPMENT | 0             | 12/25     |           |        |
| Total INV-5816481:                        |                                    |                |      |  |              | 61.00              | .00         |                          |               |           |           |        |
| 2124                                      | UNITED SITE SERVICES OF NEVADA INC | INV-5816598    |      | ADA PORTABLE RESTROOM RENTAL, WEEKLY SERVICE 12/01-12/28/25- THE FARM PARK                                   | 12/28/2025   | 119.00             | .00         | 01-6212 RENT - EQUIPMENT | 1004          | 12/25     |           |        |
| Total INV-5816598:                        |                                    |                |      |  |              | 119.00             | .00         |                          |               |           |           |        |
| 2124                                      | UNITED SITE SERVICES OF NEVADA INC | INV-5816657    |      | STANDARD AND ADA PORTABLE RESTROOM RENTAL, PLUS ONE TIME ADDITIONAL SERVICE 12/01-12/28/25- ARBOR RIDGE PARK | 12/28/2025   | 233.75             | .00         | 01-6212 RENT - EQUIPMENT | 1004          | 12/25     |           |        |
| Total INV-5816657:                        |                                    |                |      |  |              | 233.75             | .00         |                          |               |           |           |        |
| 2124                                      | UNITED SITE SERVICES OF NEVADA INC | INV-5816673    |      | ADA PORTABLE RESTROOM RENTAL, WEEKLY SERVICE 12/01-12/28/25- SEGO PRAIRIE PARK                               | 12/28/2025   | 119.00             | .00         | 01-6212 RENT - EQUIPMENT | 1004          | 12/25     |           |        |
| Total INV-5816673:                        |                                    |                |      |  |              | 119.00             | .00         |                          |               |           |           |        |



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|------------------|--------------------|----------------|------|--|--------------|--------------------|-------------|-------------------------------|---------------|-----------|-----------|--------|
|                  |                    |                |      | - WATER  | 12/16/2025   | 42.02              | .00         | 20-4500 METERED WATER SALES   | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 140360.03      |      | FREDERICK & JUANITA HARDER FAM TRUST, 885 E JACKPOT ST, UTILITY REFUND - SEWER | 12/16/2025   | 64.26              | .00         | 21-4600 SEWER USER FEES       | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 140360.03      |      | FREDERICK & JUANITA HARDER FAM TRUST, 885 E JACKPOT ST, UTILITY REFUND - TRASH | 12/16/2025   | 41.13              | .00         | 26-4975 SOLID WASTE USER FEES | 0             | 12/25     |           |        |
| Total 140360.03: |                    |                |      |  |              | 147.41             | .00         |                               |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 171602.00      |      | CBH HOMES, 246 N CRANESBILL AVE, UTILITY REFUND - WATER                        | 12/02/2025   | 114.81             | .00         | 20-4500 METERED WATER SALES   | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 171602.00      |      | CBH HOMES, 246 N CRANESBILL AVE, UTILITY REFUND - SEWER                        | 12/02/2025   | 37.81              | .00         | 21-4600 SEWER USER FEES       | 0             | 12/25     |           |        |
| Total 171602.00: |                    |                |      |  |              | 152.62             | .00         |                               |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 171610.00      |      | CBH HOMES, 2066 W PENSTEMON ST, UTILITY REFUND - SEWER                         | 12/16/2025   | 49.91              | .00         | 21-4600 SEWER USER FEES       | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 171610.00      |      | CBH HOMES, 2066 W PENSTEMON ST, UTILITY REFUND - WATER                         | 12/16/2025   | 60.51              | .00         | 20-4500 METERED WATER SALES   | 0             | 12/25     |           |        |
| Total 171610.00: |                    |                |      |  |              | 110.42             | .00         |                               |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 183380.02      |      | JASON SPENCER, 1866 N BUCKLER WAY, UTILITY REFUND - WATER                      | 12/29/2025   | 44.02              | .00         | 20-4500 METERED WATER SALES   | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 183380.02      |      | JASON SPENCER, 1866 N BUCKLER WAY, UTILITY REFUND - SEWER                      | 12/29/2025   | 50.03              | .00         | 21-4600 SEWER USER FEES       | 0             | 12/25     |           |        |



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|                  |                    |                |      | <u>REFUND - SEWER</u>   | 12/29/2025   | 56.52              | .00         | <u>21-4600 SEWER USER FEES</u>       | 0             | 12/25     |           |        |
| Total 206030.02: |                    |                |      |   |              | 140.16             | .00         |                                      |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 207101.00      |      | <u>OPEN DOOR RENTALS, 3181 N SARATOV WAY, UTILITY REFUND - WATER</u>    | 12/16/2025   | 32.05              | .00         | <u>20-4500 METERED WATER SALES</u>   | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 207101.00      |      | <u>OPEN DOOR RENTALS, 3181 N SARATOV WAY, UTILITY REFUND - SEWER</u>    | 12/16/2025   | 56.43              | .00         | <u>21-4600 SEWER USER FEES</u>       | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 207101.00      |      | <u>OPEN DOOR RENTALS, 3181 N SARATOV WAY, UTILITY REFUND - TRASH</u>    | 12/16/2025   | 42.19              | .00         | <u>26-4975 SOLID WASTE USER FEES</u> | 0             | 12/25     |           |        |
| Total 207101.00: |                    |                |      |   |              | 130.67             | .00         |                                      |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 220355.02      |      | <u>CHRISTOPHER W THORNTON, 483 E RED BUD CT, UTILITY REFUND - WATER</u> | 12/29/2025   | -137.95            | .00         | <u>20-4500 METERED WATER SALES</u>   | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 220355.02      |      | <u>CHRISTOPHER W THORNTON, 483 E RED BUD CT, UTILITY REFUND - SEWER</u> | 12/29/2025   | 85.62              | .00         | <u>21-4600 SEWER USER FEES</u>       | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 220355.02      |      | <u>CHRISTOPHER W THORNTON, 483 E RED BUD CT, UTILITY REFUND - TRASH</u> | 12/29/2025   | 61.40              | .00         | <u>26-4975 SOLID WASTE USER FEES</u> | 0             | 12/25     |           |        |
| Total 220355.02: |                    |                |      |   |              | 9.07               | .00         |                                      |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 256224.00      |      | <u>HUBBLE HOMES LLC, 469 S JAKE AVE, UTILITY REFUND - WATER</u>         | 12/02/2025   | 90.61              | .00         | <u>20-4500 METERED WATER SALES</u>   | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 256224.00      |      | <u>HUBBLE HOMES LLC, 469 S JAKE AVE, UTILITY REFUND - SEWER</u>         | 12/02/2025   | 10.96              | .00         | <u>21-4600 SEWER USER FEES</u>       | 0             | 12/25     |           |        |

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|------------------|--------------------|----------------|------|--|--------------|--------------------|-------------|-----------------------------|---------------|-----------|-----------|--------|
| Total 256224.00: |                    |                |      |  |              | 101.57             | .00         |                             |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 256228.00      |      | HUBBLE HOMES LLC, 529 S JAKE AVE, UTILITY REFUND - WATER     | 12/08/2025   | 80.52              | .00         | 20-4500 METERED WATER SALES | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 256228.00      |      | HUBBLE HOMES LLC, 529 S JAKE AVE, UTILITY REFUND - SEWER     | 12/08/2025   | .89                | .00         | 21-4600 SEWER USER FEES     | 0             | 12/25     |           |        |
| Total 256228.00: |                    |                |      |  |              | 81.41              | .00         |                             |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 256229.00      |      | HUBBLE HOMES LLC, 545 S JAKE AVE, UTILITY REFUND - SEWER     | 12/08/2025   | 38.19              | .00         | 21-4600 SEWER USER FEES     | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 256229.00      |      | HUBBLE HOMES LLC, 545 S JAKE AVE, UTILITY REFUND - WATER     | 12/08/2025   | 124.56             | .00         | 20-4500 METERED WATER SALES | 0             | 12/25     |           |        |
| Total 256229.00: |                    |                |      |  |              | 162.75             | .00         |                             |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 256233.00      |      | HUBBLE HOMES LLC, 325 W SERA SOLE ST, UTILITY REFUND - WATER | 12/12/2025   | 128.08             | .00         | 20-4500 METERED WATER SALES | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 256233.00      |      | HUBBLE HOMES LLC, 325 W SERA SOLE ST, UTILITY REFUND - SEWER | 12/12/2025   | 34.64              | .00         | 21-4600 SEWER USER FEES     | 0             | 12/25     |           |        |
| Total 256233.00: |                    |                |      |  |              | 162.72             | .00         |                             |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 256235.00      |      | HUBBLE HOMES LLC, 281 W SERA SOLE ST, UTILITY REFUND - WATER | 12/02/2025   | 103.20             | .00         | 20-4500 METERED WATER SALES | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 256235.00      |      | HUBBLE HOMES LLC, 281 W SERA SOLE ST, UTILITY REFUND - SEWER | 12/02/2025   | 23.05              | .00         | 21-4600 SEWER USER FEES     | 0             | 12/25     |           |        |

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| Total 256235.00: |                    |                |      |   |              | 126.25             | .00         |                                      |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 256238.00      |      | <u>HUBBLE HOMES LLC, 555 S BREZZA AVE, UTILITY REFUND - WATER</u>     | 12/02/2025   | 99.47              | .00         | <u>20-4500 METERED WATER SALES</u>   | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 256238.00      |      | <u>HUBBLE HOMES LLC, 555 S BREZZA AVE, UTILITY REFUND - SEWER</u>     | 12/02/2025   | 24.75              | .00         | <u>21-4600 SEWER USER FEES</u>       | 0             | 12/25     |           |        |
| Total 256238.00: |                    |                |      |   |              | 124.22             | .00         |                                      |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 256263.00      |      | <u>HUBBLE HOMES LLC, 280 W WILLOW DALE DR, UTILITY REFUND - SEWER</u> | 12/02/2025   | 21.72              | .00         | <u>21-4600 SEWER USER FEES</u>       | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 256263.00      |      | <u>HUBBLE HOMES LLC, 280 W WILLOW DALE DR, UTILITY REFUND - WATER</u> | 12/02/2025   | 104.53             | .00         | <u>20-4500 METERED WATER SALES</u>   | 0             | 12/25     |           |        |
| Total 256263.00: |                    |                |      |   |              | 126.25             | .00         |                                      |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 256264.00      |      | <u>HUBBLE HOMES LLC, 294 W WILLOW DALE DR, UTILITY REFUND - SEWER</u> | 12/10/2025   | 24.67              | .00         | <u>21-4600 SEWER USER FEES</u>       | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 256264.00      |      | <u>HUBBLE HOMES LLC, 294 W WILLOW DALE DR, UTILITY REFUND - WATER</u> | 12/10/2025   | 106.97             | .00         | <u>20-4500 METERED WATER SALES</u>   | 0             | 12/25     |           |        |
| Total 256264.00: |                    |                |      |   |              | 131.64             | .00         |                                      |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 260415.04      |      | <u>LOGAN TIDD, 1867 N FIREBRICK DR, UTILITY REFUND - SEWER</u>        | 12/29/2025   | 56.49              | .00         | <u>21-4600 SEWER USER FEES</u>       | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 260415.04      |      | <u>LOGAN TIDD, 1867 N FIREBRICK DR, UTILITY REFUND - TRASH</u>        | 12/29/2025   | 35.61              | .00         | <u>26-4975 SOLID WASTE USER FEES</u> | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 260415.04      |      | <u>LOGAN TIDD, 1867 N FIREBRICK DR, UTILITY REFUND - WATER</u>        | 12/29/2025   | 49.97              | .00         | <u>20-4500 METERED WATER SALES</u>   | 0             | 12/25     |           |        |

| Vendor #         | Vendor Name        | Invoice Number | PO # | Description   | Invoice Date | Net Invoice Amount | Amount Paid | GL Account and Title                 | GL Activity # | GL Period | Date Paid | Voided |
|------------------|--------------------|----------------|------|---|--------------|--------------------|-------------|--------------------------------------|---------------|-----------|-----------|--------|
| Total 260415.04: |                    |                |      |   |              | 142.07             | .00         |                                      |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 268020.02      |      | <u>STACEY SYMONETTE, 2687 W CRENSHAW ST. UTILITY REFUND - WATER</u> | 12/29/2025   | 132.90             | .00         | <u>20-4500 METERED WATER SALES</u>   | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 268020.02      |      | <u>STACEY SYMONETTE, 2687 W CRENSHAW ST. UTILITY REFUND - SEWER</u> | 12/29/2025   | 166.89             | .00         | <u>21-4600 SEWER USER FEES</u>       | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 268020.02      |      | <u>STACEY SYMONETTE, 2687 W CRENSHAW ST. UTILITY REFUND - TRASH</u> | 12/29/2025   | 35.19              | .00         | <u>26-4975 SOLID WASTE USER FEES</u> | 0             | 12/25     |           |        |
| Total 268020.02: |                    |                |      |   |              | 334.98             | .00         |                                      |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 268214.00      |      | <u>CBH HOMES, 2864 N ARROYO VISTA WAY, UTILITY REFUND - SEWER</u>   | 12/02/2025   | 13.50              | .00         | <u>21-4600 SEWER USER FEES</u>       | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 268214.00      |      | <u>CBH HOMES, 2864 N ARROYO VISTA WAY, UTILITY REFUND - WATER</u>   | 12/02/2025   | 92.13              | .00         | <u>20-4500 METERED WATER SALES</u>   | 0             | 12/25     |           |        |
| Total 268214.00: |                    |                |      |   |              | 105.63             | .00         |                                      |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 268266.00      |      | <u>CBH HOMES, 2872 W ANIMAS CREEK DR, UTILITY REFUND - SEWER</u>    | 12/16/2025   | 35.02              | .00         | <u>21-4600 SEWER USER FEES</u>       | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 268266.00      |      | <u>CBH HOMES, 2872 W ANIMAS CREEK DR, UTILITY REFUND - WATER</u>    | 12/16/2025   | 37.59              | .00         | <u>20-4500 METERED WATER SALES</u>   | 0             | 12/25     |           |        |
| Total 268266.00: |                    |                |      |   |              | 72.61              | .00         |                                      |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 268274.00      |      | <u>CBH HOMES, 3147 N ARROYO VISTA WAY, UTILITY REFUND - SEWER</u>   | 12/02/2025   | 36.98              | .00         | <u>21-4600 SEWER USER FEES</u>       | 0             | 12/25     |           |        |

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|------------------|--------------------|----------------|------|---|--------------|--------------------|-------------|--------------------------------------|---------------|-----------|-----------|--------|
| 2367             | UTILITY REFUND #19 | 268274.00      |      | <u>CBH HOMES, 3147 N ARROYO VISTA WAY, UTILITY REFUND - WATER</u>   | 12/02/2025   | 113.63             | .00         | <u>20-4500 METERED WATER SALES</u>   | 0             | 12/25     |           |        |
| Total 268274.00: |                    |                |      |   |              | 150.61             | .00         |                                      |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 274435.03      |      | <u>LUKE EDWARD BOSSE, 2721 N KELSAN AVE, UTILITY REFUND - SEWER</u> | 12/18/2025   | 73.96              | .00         | <u>21-4600 SEWER USER FEES</u>       | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 274435.03      |      | <u>LUKE EDWARD BOSSE, 2721 N KELSAN AVE, UTILITY REFUND - TRASH</u> | 12/18/2025   | 45.16              | .00         | <u>26-4975 SOLID WASTE USER FEES</u> | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 274435.03      |      | <u>LUKE EDWARD BOSSE, 2721 N KELSAN AVE, UTILITY REFUND - WATER</u> | 12/18/2025   | 37.19              | .00         | <u>20-4500 METERED WATER SALES</u>   | 0             | 12/25     |           |        |
| Total 274435.03: |                    |                |      |   |              | 156.31             | .00         |                                      |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 278227.02      |      | <u>IAN M FOUTZ, 9320 S BRAEBURN AVE, UTILITY REFUND - SEWER</u>     | 12/18/2025   | 176.07             | .00         | <u>21-4600 SEWER USER FEES</u>       | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 278227.02      |      | <u>IAN M FOUTZ, 9320 S BRAEBURN AVE, UTILITY REFUND - WATER</u>     | 12/18/2025   | 83.14              | .00         | <u>20-4500 METERED WATER SALES</u>   | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 278227.02      |      | <u>IAN M FOUTZ, 9320 S BRAEBURN AVE, UTILITY REFUND - TRASH</u>     | 12/18/2025   | 112.79             | .00         | <u>26-4975 SOLID WASTE USER FEES</u> | 0             | 12/25     |           |        |
| Total 278227.02: |                    |                |      |   |              | 372.00             | .00         |                                      |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 278309.00      |      | <u>CBH HOMES, 468 W SNOWY OWL ST, UTILITY REFUND - SEWER</u>        | 12/16/2025   | 54.49              | .00         | <u>21-4600 SEWER USER FEES</u>       | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 278309.00      |      | <u>CBH HOMES, 468 W SNOWY OWL ST, UTILITY REFUND - WATER</u>        | 12/16/2025   | 60.00              | .00         | <u>20-4500 METERED WATER SALES</u>   | 0             | 12/25     |           |        |

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|------------------|--------------------|----------------|------|---|--------------|--------------------|-------------|------------------------------------|---------------|-----------|-----------|--------|
| Total 278309.00: |                    |                |      |   |              | 114.49             | .00         |                                    |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 278311.00      |      | <u>CBH HOMES, 2337 N IDITAROD AVE, UTILITY REFUND - WATER</u> | 12/18/2025   | 54.24              | .00         | <u>20-4500 METERED WATER SALES</u> | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 278311.00      |      | <u>CBH HOMES, 2337 N IDITAROD AVE, UTILITY REFUND - SEWER</u> | 12/18/2025   | 46.03              | .00         | <u>21-4600 SEWER USER FEES</u>     | 0             | 12/25     |           |        |
| Total 278311.00: |                    |                |      |   |              | 100.27             | .00         |                                    |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 292230.00      |      | <u>CBH HOMES, 8365 S SANSА AVE, UTILITY REFUND - WATER</u>    | 12/11/2025   | 43.23              | .00         | <u>20-4500 METERED WATER SALES</u> | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 292230.00      |      | <u>CBH HOMES, 8365 S SANSА AVE, UTILITY REFUND - SEWER</u>    | 12/11/2025   | 57.09              | .00         | <u>21-4600 SEWER USER FEES</u>     | 0             | 12/25     |           |        |
| Total 292230.00: |                    |                |      |   |              | 100.32             | .00         |                                    |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 292257.00      |      | <u>CBH HOMES, 2502 W MINERVA ST, UTILITY REFUND - WATER</u>   | 12/11/2025   | 45.11              | .00         | <u>20-4500 METERED WATER SALES</u> | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 292257.00      |      | <u>CBH HOMES, 2502 W MINERVA ST, UTILITY REFUND - SEWER</u>   | 12/11/2025   | 55.21              | .00         | <u>21-4600 SEWER USER FEES</u>     | 0             | 12/25     |           |        |
| Total 292257.00: |                    |                |      |   |              | 100.32             | .00         |                                    |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 292271.00      |      | <u>CBH HOMES, 8530 S TYRION WAY, UTILITY REFUND - WATER</u>   | 12/10/2025   | 68.01              | .00         | <u>20-4500 METERED WATER SALES</u> | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 292271.00      |      | <u>CBH HOMES, 8530 S TYRION WAY, UTILITY REFUND - SEWER</u>   | 12/10/2025   | 78.52              | .00         | <u>21-4600 SEWER USER FEES</u>     | 0             | 12/25     |           |        |
| Total 292271.00: |                    |                |      |   |              | 146.53             | .00         |                                    |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 293424.00      |      | <u>CBH HOMES, 3846 W MAYPEARL ST, UTILITY REFUND - WATER</u>  | 12/16/2025   | 38.16              | .00         | <u>20-4500 METERED WATER SALES</u> | 0             | 12/25     |           |        |

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|------------------|--------------------|----------------|------|--|--------------|--------------------|-------------|--------------------------------------|---------------|-----------|-----------|--------|
| 2367             | UTILITY REFUND #19 | 293424.00      |      | <u>CBH HOMES, 3846 W MAYPEARL ST. UTILITY REFUND - SEWER</u>               | 12/16/2025   | 28.97              | .00         | <u>21-4600 SEWER USER FEES</u>       | 0             | 12/25     |           |        |
| Total 293424.00: |                    |                |      |  |              | 67.13              | .00         |                                      |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 293458.00      |      | <u>CBH HOMES, 3926 W TRIBUTE ST. UTILITY REFUND - WATER</u>                | 12/02/2025   | 105.89             | .00         | <u>20-4500 METERED WATER SALES</u>   | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 293458.00      |      | <u>CBH HOMES, 3926 W TRIBUTE ST. UTILITY REFUND - SEWER</u>                | 12/02/2025   | 28.48              | .00         | <u>21-4600 SEWER USER FEES</u>       | 0             | 12/25     |           |        |
| Total 293458.00: |                    |                |      |  |              | 134.37             | .00         |                                      |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 300155.03      |      | <u>JEAN HARDY TAYLOR, 1099 E YANKEE BASIN DR. UTILITY REFUND - SEWER</u>   | 12/18/2025   | 70.29              | .00         | <u>21-4600 SEWER USER FEES</u>       | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 300155.03      |      | <u>JEAN HARDY TAYLOR, 1099 E YANKEE BASIN DR. UTILITY REFUND - TRASH</u>   | 12/18/2025   | 42.87              | .00         | <u>26-4975 SOLID WASTE USER FEES</u> | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 300155.03      |      | <u>JEAN HARDY TAYLOR, 1099 E YANKEE BASIN DR. UTILITY REFUND - WATER</u>   | 12/18/2025   | 57.76              | .00         | <u>20-4500 METERED WATER SALES</u>   | 0             | 12/25     |           |        |
| Total 300155.03: |                    |                |      |  |              | 170.92             | .00         |                                      |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 302748.00      |      | <u>BERKELEY BUILDING CO, 9457 S EGG HARBOR AVE, UTILITY REFUND - WATER</u> | 12/29/2025   | 57.10              | .00         | <u>20-4500 METERED WATER SALES</u>   | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 302748.00      |      | <u>BERKELEY BUILDING CO, 9457 S EGG HARBOR AVE, UTILITY REFUND - SEWER</u> | 12/29/2025   | 33.04              | .00         | <u>21-4600 SEWER USER FEES</u>       | 0             | 12/25     |           |        |
| Total 302748.00: |                    |                |      |  |              | 90.14              | .00         |                                      |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 304723.00      |      | <u>CBH HOMES, 2865 N EAGLE MEADOW AVE, UTILITY REFUND - SEWER</u>          | 12/16/2025   | 56.00              | .00         | <u>21-4600 SEWER USER FEES</u>       | 0             | 12/25     |           |        |

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|------------------|--------------------|----------------|------|--|--------------|--------------------|-------------|------------------------------------|---------------|-----------|-----------|--------|
| 2367             | UTILITY REFUND #19 | 304723.00      |      | <u>CBH HOMES, 2865 N EAGLE MEADOW AVE, UTILITY REFUND - WATER</u>    | 12/16/2025   | 44.28              | .00         | <u>20-4500 METERED WATER SALES</u> | 0             | 12/25     |           |        |
| Total 304723.00: |                    |                |      |  |              | 100.28             | .00         |                                    |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 311238.00      |      | <u>TOLL BROS INC, 1252 W SWIFT FOX ST, UTILITY REFUND - WATER</u>    | 12/02/2025   | 77.73              | .00         | <u>20-4500 METERED WATER SALES</u> | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 311238.00      |      | <u>TOLL BROS INC, 1252 W SWIFT FOX ST, UTILITY REFUND - SEWER</u>    | 12/02/2025   | 30.27              | .00         | <u>21-4600 SEWER USER FEES</u>     | 0             | 12/25     |           |        |
| Total 311238.00: |                    |                |      |  |              | 108.00             | .00         |                                    |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 311240.00      |      | <u>TOLL BROS INC, 1284 W SWIFT FOX ST, UTILITY REFUND - SEWER</u>    | 12/16/2025   | 56.71              | .00         | <u>21-4600 SEWER USER FEES</u>     | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 311240.00      |      | <u>TOLL BROS INC, 1284 W SWIFT FOX ST, UTILITY REFUND - WATER</u>    | 12/16/2025   | 27.35              | .00         | <u>20-4500 METERED WATER SALES</u> | 0             | 12/25     |           |        |
| Total 311240.00: |                    |                |      |  |              | 84.06              | .00         |                                    |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 311241.00      |      | <u>TOLL BROS INC, 1306 W SWIFT FOX ST, UTILITY REFUND - WATER</u>    | 12/16/2025   | 76.90              | .00         | <u>20-4500 METERED WATER SALES</u> | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 311241.00      |      | <u>TOLL BROS INC, 1306 W SWIFT FOX ST, UTILITY REFUND - SEWER</u>    | 12/16/2025   | 59.47              | .00         | <u>21-4600 SEWER USER FEES</u>     | 0             | 12/25     |           |        |
| Total 311241.00: |                    |                |      |  |              | 136.37             | .00         |                                    |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 311282.00      |      | <u>TOLL BROS INC, 1721 W PALOMA RIDGE ST, UTILITY REFUND - WATER</u> | 12/02/2025   | 77.07              | .00         | <u>20-4500 METERED WATER SALES</u> | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 311282.00      |      | <u>TOLL BROS INC, 1721 W PALOMA RIDGE ST, UTILITY REFUND - SEWER</u> | 12/02/2025   | 28.90              | .00         | <u>21-4600 SEWER USER FEES</u>     | 0             | 12/25     |           |        |

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| Total 311282.00: |                    |                |      |  |              | 105.97             | .00         |                                    |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 311285.00      |      | <u>TOLL BROS INC. 1676 W ARYA ST. UTILITY REFUND - SEWER</u>         | 11/24/2025   | 44.77              | .00         | <u>21-4600 SEWER USER FEES</u>     | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 311285.00      |      | <u>TOLL BROS INC. 1676 W ARYA ST. UTILITY REFUND - WATER</u>         | 11/24/2025   | 21.58              | .00         | <u>20-4500 METERED WATER SALES</u> | 0             | 12/25     |           |        |
| Total 311285.00: |                    |                |      |  |              | 66.35              | .00         |                                    |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 311306.00      |      | <u>TOLL BROS INC. 8554 S BLUE FOREST AVE. UTILITY REFUND - WATER</u> | 12/03/2025   | 81.03              | .00         | <u>20-4500 METERED WATER SALES</u> | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 311306.00      |      | <u>TOLL BROS INC. 8554 S BLUE FOREST AVE. UTILITY REFUND - SEWER</u> | 12/03/2025   | 37.12              | .00         | <u>21-4600 SEWER USER FEES</u>     | 0             | 12/25     |           |        |
| Total 311306.00: |                    |                |      |  |              | 118.15             | .00         |                                    |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 311309.00      |      | <u>TOLL BROS INC. 8502 S BLUE FOREST AVE. UTILITY REFUND - WATER</u> | 12/03/2025   | 64.53              | .00         | <u>20-4500 METERED WATER SALES</u> | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 311309.00      |      | <u>TOLL BROS INC. 8502 S BLUE FOREST AVE. UTILITY REFUND - SEWER</u> | 12/03/2025   | 2.91               | .00         | <u>21-4600 SEWER USER FEES</u>     | 0             | 12/25     |           |        |
| Total 311309.00: |                    |                |      |  |              | 67.44              | .00         |                                    |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 311374.00      |      | <u>TOLL BROS INC. 8530 S SILVER SMOG WAY. UTILITY REFUND - WATER</u> | 12/02/2025   | 78.39              | .00         | <u>20-4500 METERED WATER SALES</u> | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 311374.00      |      | <u>TOLL BROS INC. 8530 S SILVER SMOG WAY. UTILITY REFUND - SEWER</u> | 12/02/2025   | 31.64              | .00         | <u>21-4600 SEWER USER FEES</u>     | 0             | 12/25     |           |        |

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|------------------|--------------------|----------------|------|--|--------------|--------------------|-------------|--------------------------------------|---------------|-----------|-----------|--------|
| Total 311374.00: |                    |                |      |  |              | 110.03             | .00         |                                      |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 311385.00      |      | <u>TOLL BROS INC. 1017 W SWITCHGRASS DR. UTILITY REFUND - WATER</u>      | 12/03/2025   | 84.38              | .00         | <u>20-4500 METERED WATER SALES</u>   | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 311385.00      |      | <u>TOLL BROS INC. 1017 W SWITCHGRASS DR. UTILITY REFUND - SEWER</u>      | 12/03/2025   | 41.79              | .00         | <u>21-4600 SEWER USER FEES</u>       | 0             | 12/25     |           |        |
| Total 311385.00: |                    |                |      |  |              | 126.17             | .00         |                                      |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 320223.01      |      | <u>KAYLA M BENDER, 975 N RYDE AVE. UTILITY REFUND - WATER</u>            | 12/29/2025   | 41.83              | .00         | <u>20-4500 METERED WATER SALES</u>   | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 320223.01      |      | <u>KAYLA M BENDER, 975 N RYDE AVE. UTILITY REFUND - SEWER</u>            | 12/29/2025   | 48.80              | .00         | <u>21-4600 SEWER USER FEES</u>       | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 320223.01      |      | <u>KAYLA M BENDER, 975 N RYDE AVE. UTILITY REFUND - TRASH</u>            | 12/29/2025   | 31.98              | .00         | <u>26-4975 SOLID WASTE USER FEES</u> | 0             | 12/25     |           |        |
| Total 320223.01: |                    |                |      |  |              | 122.61             | .00         |                                      |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 320517.00      |      | <u>HAYDEN HOMES, 1116 N PEAKHURT AVE. UTILITY REFUND - SEWER</u>         | 12/10/2025   | 87.83              | .00         | <u>21-4600 SEWER USER FEES</u>       | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 320517.00      |      | <u>HAYDEN HOMES, 1116 N PEAKHURT AVE. UTILITY REFUND - WATER</u>         | 12/10/2025   | 58.70              | .00         | <u>20-4500 METERED WATER SALES</u>   | 0             | 12/25     |           |        |
| Total 320517.00: |                    |                |      |  |              | 146.53             | .00         |                                      |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 323073.01      |      | <u>ZACHARY K STEPHEN, 2207 E TIMBER TRAIL ST. UTILITY REFUND - TRASH</u> | 12/11/2025   | 61.90              | .00         | <u>26-4975 SOLID WASTE USER FEES</u> | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 323073.01      |      | <u>ZACHARY K STEPHEN, 2207 E TIMBER TRAIL ST. UTILITY REFUND - WATER</u> | 12/11/2025   | 41.90              | .00         | <u>20-4500 METERED WATER SALES</u>   | 0             | 12/25     |           |        |

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|------------------|--------------------|----------------|------|--|--------------|--------------------|-------------|--------------------------------|---------------|-----------|-----------|--------|
| 2367             | UTILITY REFUND #19 | 323073.01      |      | ZACHARY K STEPHEN, 2207 E<br>TIMBER TRAIL ST, UTILITY<br>REFUND - SEWER  | 12/11/2025   | 83.22              | .00         | 21-4600 SEWER<br>USER FEES     | 0             | 12/25     |           |        |
| Total 323073.01: |                    |                |      |  |              | 187.02             | .00         |                                |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 323159.00      |      | TRESIDIO HOMES, 2208 E<br>BLAKEHURST ST, UTILITY<br>REFUND - SEWER       | 11/04/2025   | 54.02              | .00         | 21-4600 SEWER<br>USER FEES     | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 323159.00      |      | TRESIDIO HOMES, 2208 E<br>BLAKEHURST ST, UTILITY<br>REFUND - WATER       | 11/04/2025   | 56.35              | .00         | 20-4500 METERED<br>WATER SALES | 0             | 12/25     |           |        |
| Total 323159.00: |                    |                |      |  |              | 110.37             | .00         |                                |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 323166.00      |      | TH CONSTRUCTION LLC, 2206<br>N HURTSVILLE AVE, UTILITY<br>REFUND - SEWER | 12/08/2025   | 44.70              | .00         | 21-4600 SEWER<br>USER FEES     | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 323166.00      |      | TH CONSTRUCTION LLC, 2206<br>N HURTSVILLE AVE, UTILITY<br>REFUND - WATER | 12/08/2025   | 118.05             | .00         | 20-4500 METERED<br>WATER SALES | 0             | 12/25     |           |        |
| Total 323166.00: |                    |                |      |  |              | 162.75             | .00         |                                |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 323173.00      |      | TH CONSTRUCTION LLC, 2109<br>N PEAKHURT AVE, UTILITY<br>REFUND - WATER   | 12/08/2025   | 105.03             | .00         | 20-4500 METERED<br>WATER SALES | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 323173.00      |      | TH CONSTRUCTION LLC, 2109<br>N PEAKHURT AVE, UTILITY<br>REFUND - SEWER   | 12/08/2025   | 31.37              | .00         | 21-4600 SEWER<br>USER FEES     | 0             | 12/25     |           |        |
| Total 323173.00: |                    |                |      |  |              | 136.40             | .00         |                                |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 330164.01      |      | SUZANNE KASS, 1641 N<br>GREENVILLE AVE, UTILITY<br>REFUND - WATER        | 12/16/2025   | 24.77              | .00         | 20-4500 METERED<br>WATER SALES | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 330164.01      |      | SUZANNE KASS, 1641 N<br>GREENVILLE AVE, UTILITY<br>REFUND - SEWER        | 12/16/2025   | 41.88              | .00         | 21-4600 SEWER<br>USER FEES     | 0             | 12/25     |           |        |

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|------------------|--------------------|----------------|------|---|--------------|--------------------|-------------|--------------------------------------|---------------|-----------|-----------|--------|
| 2367             | UTILITY REFUND #19 | 330164.01      |      | <u>SUZANNE KASS, 1641 N GREENVILLE AVE, UTILITY REFUND - TRASH</u>  | 12/16/2025   | 30.78              | .00         | <u>26-4975 SOLID WASTE USER FEES</u> | 0             | 12/25     |           |        |
| Total 330164.01: |                    |                |      |   |              | 97.43              | .00         |                                      |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 330231.01      |      | <u>ANDREW SNARR, 1220 E TIMBER TRAIL DR, UTILITY REFUND - SEWER</u> | 12/29/2025   | 55.67              | .00         | <u>21-4600 SEWER USER FEES</u>       | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 330231.01      |      | <u>ANDREW SNARR, 1220 E TIMBER TRAIL DR, UTILITY REFUND - TRASH</u> | 12/29/2025   | 35.11              | .00         | <u>26-4975 SOLID WASTE USER FEES</u> | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 330231.01      |      | <u>ANDREW SNARR, 1220 E TIMBER TRAIL DR, UTILITY REFUND - WATER</u> | 12/29/2025   | 44.25              | .00         | <u>20-4500 METERED WATER SALES</u>   | 0             | 12/25     |           |        |
| Total 330231.01: |                    |                |      |   |              | 135.03             | .00         |                                      |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 340324.00      |      | <u>CBH HOMES, 1289 W PACK RIVER DR, UTILITY REFUND - WATER</u>      | 12/16/2025   | 78.00              | .00         | <u>20-4500 METERED WATER SALES</u>   | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 340324.00      |      | <u>CBH HOMES, 1289 W PACK RIVER DR, UTILITY REFUND - SEWER</u>      | 12/16/2025   | 68.59              | .00         | <u>21-4600 SEWER USER FEES</u>       | 0             | 12/25     |           |        |
| Total 340324.00: |                    |                |      |   |              | 146.59             | .00         |                                      |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 341084.01      |      | <u>ANTHONY PONO LEE, 5705 S MEMORY AVE, UTILITY REFUND - WATER</u>  | 12/12/2025   | 32.02              | .00         | <u>20-4500 METERED WATER SALES</u>   | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 341084.01      |      | <u>ANTHONY PONO LEE, 5705 S MEMORY AVE, UTILITY REFUND - SEWER</u>  | 12/12/2025   | 37.34              | .00         | <u>21-4600 SEWER USER FEES</u>       | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 341084.01      |      | <u>ANTHONY PONO LEE, 5705 S MEMORY AVE, UTILITY REFUND - TRASH</u>  | 12/12/2025   | 26.10              | .00         | <u>26-4975 SOLID WASTE USER FEES</u> | 0             | 12/25     |           |        |



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|------------------|--------------------|----------------|------|---|--------------|--------------------|-------------|-------------------------------|---------------|-----------|-----------|--------|
|                  |                    |                |      | <u>SEWER</u>  | 11/24/2025   | -3.53              | .00         | 21-4600 SEWER USER FEES       | 0             | 12/25     |           |        |
| Total 342106.00: |                    |                |      |   |              | 36.34              | .00         |                               |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 342156.00      |      | <u>HARDING HOMES, 6268 S CORSICAN AVE, UTILITY REFUND - WATER</u> | 11/10/2025   | 107.59             | .00         | 20-4500 METERED WATER SALES   | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 342156.00      |      | <u>HARDING HOMES, 6268 S CORSICAN AVE, UTILITY REFUND - SEWER</u> | 11/10/2025   | -11.66             | .00         | 21-4600 SEWER USER FEES       | 0             | 12/25     |           |        |
| Total 342156.00: |                    |                |      |   |              | 95.93              | .00         |                               |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 344025.00      |      | <u>CBH HOMES, 7422 S MENZINGERS AVE, UTILITY REFUND - WATER</u>   | 12/11/2025   | 73.23              | .00         | 20-4500 METERED WATER SALES   | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 344025.00      |      | <u>CBH HOMES, 7422 S MENZINGERS AVE, UTILITY REFUND - SEWER</u>   | 12/11/2025   | 106.44             | .00         | 21-4600 SEWER USER FEES       | 0             | 12/25     |           |        |
| Total 344025.00: |                    |                |      |   |              | 179.67             | .00         |                               |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 360076.01      |      | <u>STEPHEN J WEHNER, 11998 W CHEER LN, UTILITY REFUND - SEWER</u> | 12/12/2025   | 44.31              | .00         | 21-4600 SEWER USER FEES       | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 360076.01      |      | <u>STEPHEN J WEHNER, 11998 W CHEER LN, UTILITY REFUND - TRASH</u> | 12/12/2025   | 30.12              | .00         | 26-4975 SOLID WASTE USER FEES | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 360076.01      |      | <u>STEPHEN J WEHNER, 11998 W CHEER LN, UTILITY REFUND - WATER</u> | 12/12/2025   | 21.25              | .00         | 20-4500 METERED WATER SALES   | 0             | 12/25     |           |        |
| Total 360076.01: |                    |                |      |   |              | 95.68              | .00         |                               |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 360295.00      |      | <u>SHALC GC INC, 11805 W ANTHOS LN, UTILITY REFUND - WATER</u>    | 12/02/2025   | 74.43              | .00         | 20-4500 METERED WATER SALES   | 0             | 12/25     |           |        |

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| 2367             | UTILITY REFUND #19 | 360295.00      |      | <u>SHALC GC INC. 11805 W ANTHOS LN. UTILITY REFUND - SEWER</u>        | 12/02/2025   | 23.43              | .00         | <u>21-4600 SEWER USER FEES</u>     | 0             | 12/25     |           |        |
| Total 360295.00: |                    |                |      |   |              | 97.86              | .00         |                                    |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 360311.00      |      | <u>SHALC GC INC. 11775 W BRAVERY LN. UTILITY REFUND- WATER</u>        | 12/15/2025   | 81.68              | .00         | <u>20-4500 METERED WATER SALES</u> | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 360311.00      |      | <u>SHALC GC INC. 11775 W BRAVERY LN. UTILITY REFUND- SEWER</u>        | 12/15/2025   | 38.47              | .00         | <u>21-4600 SEWER USER FEES</u>     | 0             | 12/25     |           |        |
| Total 360311.00: |                    |                |      |   |              | 120.15             | .00         |                                    |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 360322.00      |      | <u>SHALC GC INC. 12018 S MAYGRASS LN. UTILITY REFUND - SEWER</u>      | 12/03/2025   | 8.55               | .00         | <u>21-4600 SEWER USER FEES</u>     | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 360322.00      |      | <u>SHALC GC INC. 12018 S MAYGRASS LN. UTILITY REFUND - WATER</u>      | 12/03/2025   | 67.25              | .00         | <u>20-4500 METERED WATER SALES</u> | 0             | 12/25     |           |        |
| Total 360322.00: |                    |                |      |   |              | 75.80              | .00         |                                    |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 360337.00      |      | <u>SHALC GC INC. 11907 S MAYGRASS LN. UTILITY REFUND- SEWER</u>       | 12/19/2025   | 41.16              | .00         | <u>21-4600 SEWER USER FEES</u>     | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 360337.00      |      | <u>SHALC GC INC. 11907 S MAYGRASS LN. UTILITY REFUND- WATER</u>       | 12/19/2025   | 82.98              | .00         | <u>20-4500 METERED WATER SALES</u> | 0             | 12/25     |           |        |
| Total 360337.00: |                    |                |      |   |              | 124.14             | .00         |                                    |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 361512.00      |      | <u>TH CONSTRUCTION LLC. 11333 S YEOMAN PL. UTILITY REFUND - SEWER</u> | 12/02/2025   | 49.49              | .00         | <u>21-4600 SEWER USER FEES</u>     | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 361512.00      |      | <u>TH CONSTRUCTION LLC. 11333 S YEOMAN PL. UTILITY REFUND - WATER</u> | 12/02/2025   | 87.00              | .00         | <u>20-4500 METERED WATER SALES</u> | 0             | 12/25     |           |        |

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| Total 361512.00: |                    |                |      |   |              | 136.49             | .00         |                                    |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 361575.00      |      | <u>TH CONSTRUCTION LLC, 11319 S SAYLIS WAY, UTILITY REFUND - WATER</u>    | 12/16/2025   | 21.84              | .00         | <u>20-4500 METERED WATER SALES</u> | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 361575.00      |      | <u>TH CONSTRUCTION LLC, 11319 S SAYLIS WAY, UTILITY REFUND - SEWER</u>    | 12/16/2025   | 45.28              | .00         | <u>21-4600 SEWER USER FEES</u>     | 0             | 12/25     |           |        |
| Total 361575.00: |                    |                |      |   |              | 67.12              | .00         |                                    |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 361935.00      |      | <u>TH CONSTRUCTION, 11335 W PERTSHIRE LN, UTILITY REFUND- SEWER</u>       | 12/18/2025   | 39.40              | .00         | <u>21-4600 SEWER USER FEES</u>     | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 361935.00      |      | <u>TH CONSTRUCTION, 11335 W PERTSHIRE LN, UTILITY REFUND- WATER</u>       | 12/18/2025   | 19.00              | .00         | <u>20-4500 METERED WATER SALES</u> | 0             | 12/25     |           |        |
| Total 361935.00: |                    |                |      |   |              | 58.40              | .00         |                                    |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 361959.00      |      | <u>TH CONSTRUCTION LLC, 11249 S CORBALLIS LN, UTILITY REFUND - SEWER</u>  | 12/02/2025   | 31.79              | .00         | <u>21-4600 SEWER USER FEES</u>     | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 361959.00      |      | <u>TH CONSTRUCTION LLC, 11249 S CORBALLIS LN, UTILITY REFUND - WATER</u>  | 12/02/2025   | 84.23              | .00         | <u>20-4500 METERED WATER SALES</u> | 0             | 12/25     |           |        |
| Total 361959.00: |                    |                |      |   |              | 116.02             | .00         |                                    |               |           |           |        |
| 2367             | UTILITY REFUND #19 | 361977.00      |      | <u>TH CONSTRUCTION LLC, 11061 W CRUDEN BAY LN, UTILITY REFUND - WATER</u> | 12/02/2025   | 78.42              | .00         | <u>20-4500 METERED WATER SALES</u> | 0             | 12/25     |           |        |
| 2367             | UTILITY REFUND #19 | 361977.00      |      | <u>TH CONSTRUCTION LLC, 11061 W CRUDEN BAY LN, UTILITY REFUND - SEWER</u> | 12/02/2025   | 31.61              | .00         | <u>21-4600 SEWER USER FEES</u>     | 0             | 12/25     |           |        |

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| Total 361977.00:                      |                                |                |      |  |              | 110.03             | .00         |                           |               |           |            |        |
| Total UTILITY REFUND #19:             |                                |                |      |  |              | 8,827.61           | .00         |                           |               |           |            |        |
| <b>VALLI INFORMATION SYSTEMS, INC</b> |                                |                |      |  |              |                    |             |                           |               |           |            |        |
| 857                                   | VALLI INFORMATION SYSTEMS, INC | 103643         |      | <u>STATEMENT PRINTING AND POSTAGE, NOV 25- WATER</u> | 11/30/2025   | 2,370.52           | 2,370.52    | 20-6190 POSTAGE & BILLING | 0             | 12/25     | 12/12/2025 |        |
| 857                                   | VALLI INFORMATION SYSTEMS, INC | 103643         |      | <u>STATEMENT PRINTING AND POSTAGE, NOV 25- SEWER</u> | 11/30/2025   | 2,370.52           | 2,370.52    | 21-6190 POSTAGE & BILLING | 0             | 12/25     | 12/12/2025 |        |
| 857                                   | VALLI INFORMATION SYSTEMS, INC | 103643         |      | <u>STATEMENT PRINTING AND POSTAGE, NOV 25- ADMIN</u> | 11/30/2025   | 3,464.61           | 3,464.61    | 01-6190 POSTAGE & BILLING | 0             | 12/25     | 12/12/2025 |        |
| 857                                   | VALLI INFORMATION SYSTEMS, INC | 103643         |      | <u>STATEMENT PRINTING AND POSTAGE, NOV 25- P.I</u>   | 11/30/2025   | 911.74             | 911.74      | 25-6190 POSTAGE & BILLING | 0             | 12/25     | 12/12/2025 |        |
| Total 103643:                         |                                |                |      |  |              | 9,117.39           | 9,117.39    |                           |               |           |            |        |
| 857                                   | VALLI INFORMATION SYSTEMS, INC | 103644         |      | <u>LOCKBOX TRANSACTIONS, NOV. 25- P.I</u>            | 11/30/2025   | 30.90              | 30.90       | 25-6505 BANK FEES         | 0             | 12/25     | 12/12/2025 |        |
| 857                                   | VALLI INFORMATION SYSTEMS, INC | 103644         |      | <u>LOCKBOX TRANSACTIONS, NOV. 25- ADMIN</u>          | 11/30/2025   | 117.42             | 117.42      | 01-6505 BANK FEES         | 0             | 12/25     | 12/12/2025 |        |
| 857                                   | VALLI INFORMATION SYSTEMS, INC | 103644         |      | <u>LOCKBOX TRANSACTIONS, NOV. 25- WATER</u>          | 11/30/2025   | 80.34              | 80.34       | 20-6505 BANK FEES         | 0             | 12/25     | 12/12/2025 |        |
| 857                                   | VALLI INFORMATION SYSTEMS, INC | 103644         |      | <u>LOCKBOX TRANSACTIONS, NOV. 25- SEWER</u>          | 11/30/2025   | 80.34              | 80.34       | 21-6505 BANK FEES         | 0             | 12/25     | 12/12/2025 |        |
| Total 103644:                         |                                |                |      |  |              | 309.00             | 309.00      |                           |               |           |            |        |
| Total VALLI INFORMATION SYSTEMS, INC: |                                |                |      |  |              | 9,426.39           | 9,426.39    |                           |               |           |            |        |
| <b>VERIZON WIRELESS</b>               |                                |                |      |  |              |                    |             |                           |               |           |            |        |
| 1575                                  | VERIZON WIRELESS               | 6129891079     |      | <u>CELL PHONE SERVICE, 11/2-12/1/2025 - P.I</u>      | 12/01/2025   | 562.86             | 562.86      | 25-6255 TELEPHONE EXPENSE | 0             | 12/25     | 12/12/2025 |        |
| 1575                                  | VERIZON WIRELESS               | 6129891079     |      | <u>CELL PHONE SERVICE, 11/2-12/1/2025 - ECON DEV</u> | 12/01/2025   | 40.23              | 40.23       | 01-6255 TELEPHONE         |               |           |            |        |

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|-------------------|------------------|----------------|------|--|--------------|--------------------|-------------|---------------------------|---------------|-----------|------------|--------|
|                   |                  |                |      |  |              |                    |             | EXPENSE                   | 4000          | 12/25     | 12/12/2025 |        |
| 1575              | VERIZON WIRELESS | 6129891079     |      | <u>CELL PHONE SERVICE, 11/2-12/1/2025 - ADMIN</u>              | 12/01/2025   | 50.29              | 50.29       | 01-6255 TELEPHONE EXPENSE | 0             | 12/25     | 12/12/2025 |        |
| 1575              | VERIZON WIRELESS | 6129891079     |      | <u>CELL PHONE SERVICE, 11/2-12/1/2025 - EAST KUNA SEWER</u>    | 12/01/2025   | 92.53              | 92.53       | 28-6255 TELEPHONE EXPENSE | 0             | 12/25     | 12/12/2025 |        |
| 1575              | VERIZON WIRELESS | 6129891079     |      | <u>CELL PHONE SERVICE, 11/2-12/1/2025 - BUILDING DEPT</u>      | 12/01/2025   | 40.23              | 40.23       | 01-6255 TELEPHONE EXPENSE | 1005          | 12/25     | 12/12/2025 |        |
| 1575              | VERIZON WIRELESS | 6129891079     |      | <u>CELL PHONE SERVICE, 11/2-12/1/2025 - WATER</u>              | 12/01/2025   | 652.96             | 652.96      | 20-6255 TELEPHONE EXPENSE | 0             | 12/25     | 12/12/2025 |        |
| 1575              | VERIZON WIRELESS | 6129891079     |      | <u>CELL PHONE SERVICE, 11/2-12/1/2025 - PARKS</u>              | 12/01/2025   | 704.06             | 704.06      | 01-6255 TELEPHONE EXPENSE | 1004          | 12/25     | 12/12/2025 |        |
| 1575              | VERIZON WIRELESS | 6129891079     |      | <u>CELL PHONE SERVICE, 11/2-12/1/2025 - EAST KUNA WATER</u>    | 12/01/2025   | 68.39              | 68.39       | 27-6255 TELEPHONE EXPENSE | 0             | 12/25     | 12/12/2025 |        |
| 1575              | VERIZON WIRELESS | 6129891079     |      | <u>CELL PHONE SERVICE, 11/2-12/1/2025 - SEWER</u>              | 12/01/2025   | 1,007.00           | 1,007.00    | 21-6255 TELEPHONE EXPENSE | 0             | 12/25     | 12/12/2025 |        |
| Total 6129891079: |                  |                |      |  |              | 3,218.55           | 3,218.55    |                           |               |           |            |        |
| 1575              | VERIZON WIRELESS | 6129891080     |      | <u>TABLET AND CELL SERVICE, 11/2-12/1/2025 - ADMIN</u>         | 12/01/2025   | 25.60              | 25.60       | 01-6255 TELEPHONE EXPENSE | 0             | 12/25     | 12/12/2025 |        |
| 1575              | VERIZON WIRELESS | 6129891080     |      | <u>TABLET AND CELL SERVICE, 11/2-12/1/2025 - BUILDING DEPT</u> | 12/01/2025   | 22.53              | 22.53       | 01-6255 TELEPHONE EXPENSE | 1005          | 12/25     | 12/12/2025 |        |
| 1575              | VERIZON WIRELESS | 6129891080     |      | <u>TABLET AND CELL SERVICE, 11/2-12/1/2025 - WATER</u>         | 12/01/2025   | 133.11             | 133.11      | 20-6255 TELEPHONE EXPENSE | 0             | 12/25     | 12/12/2025 |        |
| 1575              | VERIZON WIRELESS | 6129891080     |      | <u>TABLET AND CELL SERVICE, 11/2-12/1/2025 - SEWER</u>         | 12/01/2025   | 137.21             | 137.21      | 21-6255 TELEPHONE EXPENSE | 0             | 12/25     | 12/12/2025 |        |

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| Vendor #          | Vendor Name      | Invoice Number | PO # | Description   | Invoice Date | Net Invoice Amount | Amount Paid | GL Account and Title             | GL Activity # | GL Period | Date Paid  | Voided |
|-------------------|------------------|----------------|------|---|--------------|--------------------|-------------|----------------------------------|---------------|-----------|------------|--------|
| 1575              | VERIZON WIRELESS | 6129891080     |      | <u>TABLET AND CELL SERVICE, 11/2-12/1/2025 - KUNA EAST SEWER</u>        | 12/01/2025   | 12.29              | 12.29       | <u>28-6255 TELEPHONE EXPENSE</u> | 0             | 12/25     | 12/12/2025 |        |
| 1575              | VERIZON WIRELESS | 6129891080     |      | <u>TABLET AND CELL SERVICE, 11/2-12/1/2025 - KUNA EAST WATER</u>        | 12/01/2025   | 12.29              | 12.29       | <u>27-6255 TELEPHONE EXPENSE</u> | 0             | 12/25     | 12/12/2025 |        |
| 1575              | VERIZON WIRELESS | 6129891080     |      | <u>TABLET AND CELL SERVICE, 11/2-12/1/2025 - P.I</u>                    | 12/01/2025   | 55.29              | 55.29       | <u>25-6255 TELEPHONE EXPENSE</u> | 0             | 12/25     | 12/12/2025 |        |
| 1575              | VERIZON WIRELESS | 6129891080     |      | <u>TABLET AND CELL SERVICE, 11/2-12/1/2025 - PARKS</u>                  | 12/01/2025   | 113.66             | 113.66      | <u>01-6255 TELEPHONE EXPENSE</u> | 1004          | 12/25     | 12/12/2025 |        |
| Total 6129891080: |                  |                |      |   |              | 511.98             | 511.98      |                                  |               |           |            |        |
| 1575              | VERIZON WIRELESS | 6129891081     |      | <u>CELL PHONE AND TABLET SERVICE, 11/2/-12/1/2025 - WATER</u>           | 12/01/2025   | 121.03             | 121.03      | <u>20-6255 TELEPHONE EXPENSE</u> | 0             | 12/25     | 12/12/2025 |        |
| 1575              | VERIZON WIRELESS | 6129891081     |      | <u>CELL PHONE AND TABLET SERVICE, 11/2/-12/1/2025 - KUNA EAST WATER</u> | 12/01/2025   | 8.87               | 8.87        | <u>27-6255 TELEPHONE EXPENSE</u> | 0             | 12/25     | 12/12/2025 |        |
| 1575              | VERIZON WIRELESS | 6129891081     |      | <u>CELL PHONE AND TABLET SERVICE, 11/2/-12/1/2025 - PARKS</u>           | 12/01/2025   | 189.15             | 189.15      | <u>01-6255 TELEPHONE EXPENSE</u> | 1004          | 12/25     | 12/12/2025 |        |
| 1575              | VERIZON WIRELESS | 6129891081     |      | <u>CELL PHONE AND TABLET SERVICE, 11/2/-12/1/2025 - KUNA EAST SEWER</u> | 12/01/2025   | 8.87               | 8.87        | <u>28-6255 TELEPHONE EXPENSE</u> | 0             | 12/25     | 12/12/2025 |        |
| 1575              | VERIZON WIRELESS | 6129891081     |      | <u>CELL PHONE AND TABLET SERVICE, 11/2/-12/1/2025 - P.I</u>             | 12/01/2025   | 98.12              | 98.12       | <u>25-6255 TELEPHONE EXPENSE</u> | 0             | 12/25     | 12/12/2025 |        |
| 1575              | VERIZON WIRELESS | 6129891081     |      | <u>CELL PHONE AND TABLET SERVICE, 11/2/-12/1/2025 - P &amp; Z</u>       | 12/01/2025   | 26.60              | 26.60       | <u>01-6255 TELEPHONE EXPENSE</u> | 1003          | 12/25     | 12/12/2025 |        |
| 1575              | VERIZON WIRELESS | 6129891081     |      | <u>CELL PHONE AND TABLET SERVICE, 11/2/-12/1/2025 - ECON DEV</u>        | 12/01/2025   | 29.56              | 29.56       | <u>01-6255 TELEPHONE EXPENSE</u> | 4000          | 12/25     | 12/12/2025 |        |



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| Vendor #   | Vendor Name                                | Invoice Number | PO #  | Description   | Invoice Date | Net Invoice Amount | Amount Paid | GL Account and Title                         | GL Activity # | GL Period | Date Paid  | Voided |
|--|--|----------------|-------|---|--------------|--------------------|-------------|--|---------------|-----------|------------|--------|
|  |  |                |       | <u>MONTENEGRO, DEC. 25-<br/>WATER</u>                                   | 12/24/2025   | 1.84               | .00         | <u>20-6165 OFFICE<br/>SUPPLIES</u>           | 0             | 12/25     |            |        |
| Total 28363:                                       |  |                |       |   |              | 45.90              | .00         |  |               |           |            |        |
| Total WESTERN TROPHY & ENGRAVING, IN:              |  |                |       |   |              | 45.90              | .00         |  |               |           |            |        |
| <b>WHITE, PETERSON, GIGRAY, &amp; NICHOLS P.A.</b> |  |                |       |   |              |                    |             |  |               |           |            |        |
| 1958   | WHITE, PETERSON, GIGRAY, &<br>NICHOLS P.A. | 171348         |       | <u>LEGAL SERVICES, GENERAL,<br/>NOV. 25</u>                             | 11/30/2025   | 2,517.51           | 2,517.51    | <u>01-6202<br/>PROFESSIONAL<br/>SERVICES</u> | 0             | 12/25     | 12/19/2025 |        |
| Total 171348:                                      |  |                |       |   |              | 2,517.51           | 2,517.51    |  |               |           |            |        |
| 1958   | WHITE, PETERSON, GIGRAY, &<br>NICHOLS P.A. | 171351         |       | <u>LEGAL SERVICES,<br/>THORNTON/TOLEDO JUDICIAL<br/>REVIEW, NOV. 25</u> | 11/30/2025   | 267.34             | 267.34      | <u>01-6202<br/>PROFESSIONAL<br/>SERVICES</u> | 1003          | 12/25     | 12/19/2025 |        |
| Total 171351:                                      |  |                |       |   |              | 267.34             | 267.34      |  |               |           |            |        |
| Total WHITE, PETERSON, GIGRAY, & NICHOLS P.A.:     |  |                |       |   |              | 2,784.85           | 2,784.85    |  |               |           |            |        |
| <b>ZAMZOWS</b>                                     |  |                |       |   |              |                    |             |  |               |           |            |        |
| 66   | ZAMZOWS                                    | 394225020      | 22285 | <u>PROPANE FOR FARM, R.<br/>HENZE, DEC. 25</u>                          | 12/12/2025   | 448.50             | .00         | <u>21-6150 M &amp; R -<br/>SYSTEM</u>        | 0             | 12/25     |            |        |
| Total 394225020:                                   |  |                |       |   |              | 448.50             | .00         |  |               |           |            |        |
| Total ZAMZOWS:                                     |  |                |       |   |              | 448.50             | .00         |  |               |           |            |        |
| Grand Totals:                                      |  |                |       |   |              | 682,081.56         | 512,539.41  |  |               |           |            |        |

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| Vendor # | Vendor Name | Invoice Number | PO # | Description | Invoice Date | Net<br>Invoice Amount | Amount Paid | GL Account and Title | GL Activity # | GL Period | Date Paid | Voided |
|----------|-------------|----------------|------|-------------|--------------|-----------------------|-------------|----------------------|---------------|-----------|-----------|--------|
|----------|-------------|----------------|------|-------------|--------------|-----------------------|-------------|----------------------|---------------|-----------|-----------|--------|

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Dated: \_\_\_\_\_

Mayor: \_\_\_\_\_

City Council: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

City Treasurer: \_\_\_\_\_

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Report Criteria:

- Detail report.
  - Invoices with totals above \$0.00 included.
  - Paid and unpaid invoices included.
-



- OPEN SPACE EXHIBIT
- OVERALL COLOR ILLUSTRATIVE
- PZ APPLICATION COVERSHEET
- SOILS REPORT
- SUBDIVISION NAME RESERVATION
- TRAFFIC IMPACT STUDY
- VICINITY MAP
- WARRANTY DEED
- APPLICANT PRESENTATION
- IP PUBLICATION PZ 02.07.2025
- PROOF OF LEGAL NOTICE MAILER PZ 02.07.2025
- PROOF OF PROPERTY POSTING PZ 02.07.2025
- AGENCY TRANSMITTAL
- ACHD LETTER
- ACHD REPORT
- ADA COUNTY DEVELOPMENT SERVICES
- BPBC
- CHDH
- COMPASS
- ITD
- KRFD
- KSD
- PUBLIC WORKS
- Updated LANDSCAPE EASEMENT SECTION 5.12.25
- Updated PRELIMINARY PLAT 5.12.25
- Updated LANDSCAPE PLAN 5.12.25
- Updated RENDERING 5.12.25
- COMMISSION MEETING MINUTES 3.11.2025
- COMMISSION MEETING MINUTES 6.10.2025
- IP PUBLICATION CC 9.19.2025
- PROOF OF LEGAL NOTICE MAILER CC 9.18.2025
- PROOF OF PROPERTY POSTING CC 9.12.2025
- CC MEETING MINUTES 10.7.2025

## II. Public Hearing Witnesses.

**Witness Testimony:** Those who testified at the Councils October 7, 2025, hearing are as follows, to-wit:

- a. City Staff: Troy Behunin, Senior Planner
- b. Appearing for the Applicant:
  - Stephanie Hopkins, KM Engineering, 5725 N Discovery Way. Boise, ID
  - Jamie Maskosian, Kittelson & Associates, 101S Capital Blvd., Boise, ID
- c. Public Testimony:
  - Keith Donahue, Blumm Companies, 1811 W Rescue St., Boise, ID
  - Emily Downey, Sage International, Schools, 609 Red Oak D. Kuna, ID
  - Scott Hedrick, 1154 N Orchard, Boise, ID

Tim Jensen, Kuna School District, 711 E Porter St., Kuna, ID  
 Tim Eck, 6357 Buena Vista Ln, Star, ID

## SECTION 4 REASONED STATEMENT

### I. Relevant Criteria and Standards Considered

- a. Relevant City Ordinance Provisions.
  1. Kuna City Code 1-14-3
  2. Title 5 Kuna City Code, Development Regulations
  3. Title 5 Kuna City Code, Chapter 8 Zoning Code, Part 9, Design Review
  4. Title 5 Kuna City Code, Chapter 9 Subdivision Code
  5. Title 5 Kuna City Code, Chapter 8 Zoning Code, Part 1, Rezone Process
- b. Relevant Statutory Provisions.
  1. Chapter 13 of Title 50, Idaho Code.
  2. Chapter 65 of Title 67, Idaho Code
- c. Pertinent Constitutional Provisions

### II. Factual Findings

- a. General Factual Findings.
  1. Statement of Fact

|   |  |
|---|--|
| <b>Parcel Number(s):</b>                | R7321001020 & R7321001040  |
| <b>Future Land Use Map Designation:</b> | Medium Residential Density   |
| <b>Existing Land Use:</b>               | Residential  |
| <b>Current Zoning:</b>                  | Public (Kuna City) & RUT Rural Urban Transition (Ada County)   |
| <b>Proposed Zoning:</b>                 | Public, R-6, Medium Density Residential, and C-1 (Neighborhood Commercial)   |
| <b>Development Area:</b>                | 80 acres (Includes area for a New Kuna Rural Fire Dist. Station)   |
| <b>Adjacent Zoning Districts:</b>       | <b>North:</b> R-6 (Med. Den. Res.) and RR (Rural Residential); <b>East:</b> R-6 & R-4 (Medium Residential); <b>South:</b> R-6 (Medium Residential) & RUT (Rural Urban Transition - Ada County); <b>West:</b> RR (Rural Residential) & Ag., (Both are Ada County) |

|  |   |
|--|---|
| <b>Adjacent Street(s) Existing &amp; Proposed:</b> | <b>North:</b> W Kuna Rd.; <b>East:</b> S Yankee Rock; <b>South:</b> W Sunbeam St.; <b>West:</b> None  |
| <b>Internal Street(s) Existing &amp; Proposed:</b> | Public Streets Proposed. S Madrone Ave., S Beadlily Ave., S Cranesbill Ave., S Andalusia Ave., S Tidesberry Ave., S Coltsfoot Ave., S Meadowsweet Ave., W Dapple St., W Brindle St., W Haflinger St., W Bayhorse St., W Perlino St., W Rabicano St, W Cremello St., W Ardennais St., W Caspian St., W Canube St., W Sunbeam St. |
| <b>Adjacent Bike/Pedestrian Facilities:</b>        | None  |
| <b>Adjacent Parks:</b>                             | Providing a City Park   |
| <b>Land Dedication Requirements:</b>               | N/A   |

2. Procedural Findings:

|   |  |
|---|--|
| <b>Neighborhood Meeting</b>   | Held on September 18, 2024. 12 Attendees were present. |
| <b>Pre-Application Meeting</b>  | Held on August 15, 2024                                |
| <b>Agency Comments Request</b>  | December 19, 2024                                      |
| <b>300 FT Legal Mailer Notice Commission</b>                                      | Sent on February 7, & May 22, 2025                     |
| <b>Idaho Press Newspaper Published Hearing Notice Commission</b>                  | Published on Feb. 7 & May 23, 2025                     |
| <b>Site Posting Commission</b>  | Posted on Feb. 7, Feb. 22, & May 16, 2025.             |
| <b>Planning and Zoning Public Hearing</b>   | Held on March 11 & June 10, 2025                       |
| <b>Planning and Zoning Commission Written Recommendation and Decision Entered</b> | Sent to P&Z July 22, 2025                              |
| <b>300 FT Legal Mailer Notice Council</b>   | Sent on September 18, 2025.                            |
| <b>Idaho Press Newspaper Published Hearing Notice Council</b>                     | Published on September 19, 2025                        |
| <b>Site Posting Council</b>   | Posted on September 12, 2025                           |
| <b>City Council Public Hearing</b>  | Held on October 7, 2025                                |
| <b>City Council Decision Entered</b>  | Sent January 6, 2025                                   |

b. Relevant Contested Facts.

1. The Kuna School District testified;

- (1) They are not in opposition to other school options. Without offering grades 5 through 12 the kids will transition to The Kuna School District No. 3 at some point.

c. Councils' Factual Findings on Relevant Contested Fact(s).

1. From evidence and testimony presented, the Council determined the proposed improvements and charter school addition will positively impact service levels.

### III. Rationale for the Decision Based Upon Facts and Relevant Criteria and Standards Considered.

It is the rationale of the Council that the Annexation and Preliminary Plat applications are in compliance with Idaho Code, Kuna City Code and the Comprehensive plan.

### IV. Conditions of Approval.

1. Buffers, curb, gutter and sidewalk (attached and detached) shall be installed in accordance with *KCC 5-10-13-B-1-b*.
2. Developer/Owner/Applicant shall work with Ada County Highway District and the City of Kuna to complete all required traffic improvements to the surrounding roadways and intersections as detailed in the Ada County Highway District staff report.
3. Developer/Owner/Applicant shall install a sign at the terminus of the proposed stub street stating; "this road will continue in the future". Developer/Owner/Applicant shall obtain proper language from Ada County Highway District.
4. Developer shall place a Contractors Sign at the entry of the subdivision.
5. Developer/Owner/Applicant shall measure all front building setbacks from back of sidewalk on all internal local roads.
6. Developer/Owner/Applicant shall ensure the proper easement widths on all lots in accordance with *KCC 5-8-1117-D-6*.
7. It is the responsibility of the Developer to ensure any anticipated buildings fit any given buildable lot in accordance with *KCC 5-8-503*.
8. Fencing within and around the site shall comply with *KCC 5-8-905* (unless specifically approved otherwise and permitted).
9. All required landscaping shall be permanently maintained in a healthy growing condition. The property Owner shall remove and replace unhealthy or dead plant material within 3 days or as the planting season permits as required to meet the standards of these requirements. Maintenance and planting in public Rights-of-Way shall be with approval from ACHD.
10. Landscaping shall not be placed within ten (10) feet of any meter pits, pressurized irrigation valves and/or ACHD underground facilities and must honor all vision triangles.
11. The Landscape Plan and Preliminary Plat as submitted will be considered binding site plans as amended and/or approved.
12. All signage within/for the project shall comply with Kuna City Code and shall be approved through the applicable sign approval process listed in *KCC 5-8-901-B*.
13. If any revisions are made, the Applicant shall provide the Planning and Zoning Staff with a revised copy of the Preliminary Plat. Any revisions of the Plat are subject to Administrative Determination to rule if the revision is substantial.
14. Developer/Owner/Applicant is hereby notified that this project is subject to Design Review inspection fees. Required inspections (post construction), are to verify building and landscaping compliance prior to requesting signature on the final plat.
15. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground, see *KCC 5-9-402-B-22*.
16. Compliance with *I.C. §31-3805* is required. Delivery of water shall not be impeded by any construction on site. Compliance with the requirements of the Boise Project Board of Control is required.
17. When required, submit a petition to the City (as necessary, confirmed with the City Engineer) consenting to the pooling of irrigation surface water rights for delivery purposes and request to

- annex the irrigation surface water rights appurtenant to the property over to the Kuna Municipal Pressure Irrigation System of the City (KMIS).
18. Connection to City Services (Sewer, Water, Pressurized Irrigation) is required. The Applicant shall conform to all corresponding City of Kuna Master Plans.
  19. The Developer/Owner/Applicant shall be required to participate, as determined by the City Engineer, in the development of additional Lift Station capacity, and or a Water Booster Station as necessary.
  20. The Developer/Owner/Applicant shall not submit an application for Final Plat until the City's Public Works Director issues a Will-Serve Letter stating the City's appurtenance has capacity to service the proposed development with domestic water, and accept the wastewater discharged from the proposed development.
  21. In the event a Will-Serve Letter is not issued within the time the Applicant is required to record a Final Plat, the Applicant shall have good cause and be eligible to receive, pursuant to *KCC 5-9-203-J*, a Time Extension to file a Final Plat up to and until a Will-Serve Letter has been issued.
  22. Developer/Owner/Applicant shall work with staff in order to provide final locations of streetlights as required by Kuna City Code. Streetlights for the site shall be LED lighting and must comply with Kuna City Code and established Dark Sky practices.
  23. In accordance with *R90-2022*, once the Danskin Sewer Force Main is completed, 40 Equivalent Dwelling Units (EDU's) may be issued on a Phase-by-Phase basis.
  24. The Developer/Owner/Applicant shall obtain written approval on letterhead or may be written/stamped on the approved plans of the construction plans from the agencies noted below. All submittals are required to include lighting, landscaping, drainage, and development plans. All site improvements are prohibited prior to approval of the following agencies:
    - A. The City Engineer shall approve all sewer connections.
    - B. The City Engineer shall approve all civil plans. No construction, grading, filling, clearing or excavation of any kind shall be initiated until the Applicant has received an approved drainage plan.
    - C. Central District Health Department recommends the plan be designed and constructed in conformance with standards contained in, "Catalog for Best Management Practices for Idaho Cities and Counties".
    - D. The Kuna Rural Fire District shall approve fire flow requirements and/or building plans. Installation of fire protection facilities as required by the Fire District are required.
    - E. The Kuna Municipal Irrigation System and Boise Project Board of Control shall approve any modifications to the existing irrigation system.
    - F. Approval from Ada County Highway District (ACHD) shall be obtained, and Impact Fees must be paid prior to issuance of any building permit(s). Please consult staff if there are questions about the process.
    - G. All public rights-of-way shall be dedicated and constructed to the standards of the City and Ada County Highway District. No public street construction may commence without the approval and permit from Ada County Highway District.
  25. The Developer/Owner/Applicant, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the City Council, or seek amending them through Public Hearing processes.
  26. Developer/Owner/Applicant/Contractors are hereby notified of Kuna's working hours. Construction of any kind shall only be conducted within hours specified in *KCC 10-6-3*. Noises and other public nuisances/distractions outside of this time frame are subject to lawful penalties.
  27. Developer/Owner/Applicant is hereby notified of Kuna's weed control policies and requirements *KCC 8-1-3*. Weeds, grasses, vines or other growth which endanger property or are over twelve (12) inches in height shall be continuously cut down, weeded out, sprayed, burned, removed or destroyed throughout all seasons.

28. Applicant is conditioned to provide sidewalks entirely within the Rights-of-Way, compliant with Kuna City Code.
29. Applicant is conditioned to work with the City Engineer for proper easement widths for the project as a whole.
30. Applicant is conditioned to submit a Landscape plan with a plant detail reflecting the required changes for staffs approval and be compliant with Kuna City Code.
31. Developer/Owner/Applicant and all successors shall comply with all Local, State and Federal Laws.

**V. Relevant Annexation Standards Considered.**

- a. Relevant City Ordinance Provisions.
  1. Idaho Code § 50-222, Annexations by Cities.

**SECTION 5  
NOTICES TO APPLICANT AND AFFECTED PARTIES**

I.C. 6735(2)(b) Any applicant or affected person seeking judicial review of compliance with the provisions of this section must first seek reconsideration of the final decision within fourteen (14) days. Such written request must identify specific deficiencies in the decision for which reconsideration is sought. Upon reconsideration, the decision may be affirmed, reversed or modified after compliance with applicable procedural standards. A written decision shall be provided to the applicant or affected person within sixty (60) days of receipt of the request for reconsideration or the request is deemed denied. A decision shall not be deemed final for purposes of judicial review unless the process required in this subsection has been followed. The twenty-eight (28) day time frame for seeking judicial review is tolled until the date of the written decision regarding reconsideration or the expiration of the sixty (60) day reconsideration period, whichever occurs first.

**BY ACTION OF THE CITY COUNCIL** of the City of Kuna at its regular meeting held on the 6<sup>th</sup> day of January 2026.

\_\_\_\_\_  
Joe Stear, Mayor

**RESOLUTION NO. R01-2026  
LANDSCAPE IMPROVEMENT  
CASH BOND  
CITY OF KUNA, IDAHO**

**A RESOLUTION OF THE CITY COUNCIL OF KUNA, IDAHO APPROVING A PERFORMANCE BOND BY M3 ID FALCON CREST LLC, AN ARIZONA LIMITED LIABILITY COMPANY AUTHORIZED TO DO BUSINESS WITHIN THE STATE OF IDAHO, FOR FALCON CREST SUBDIVISION PHASE NO. 8 FOR UNCOMPLETED WORK FOR LANDSCAPING PURSUANT TO THE TERMS OF THIS RESOLUTION.**

**WHEREAS FALCON CREST SUBDIVISION PHASE NO. 8** exists as part of an approved preliminary plat; and

**WHEREAS** construction plans for **FALCON CREST SUBDIVISION PHASE NO. 8** were approved by the Kuna City Engineer on **2/27/2024**; and

**WHEREAS** construction was commenced but not completed for Landscaping, per the approved plans; and

**WHEREAS** the landscaping has not been completed for **FALCON CREST SUBDIVISION PHASE NO. 8** according to the approved construction plans and developer seeks to bond for the unfinished work; and

**WHEREAS** the landscaping completion has been estimated at **THREE-HUNDRED FORTY THOUSAND FORTY DOLLARS AND FORTY CENTS (\$340,040.40)** adding 25% for a total of **FOUR-HUNDRED TWENTY-FIVE THOUSAND FIFTY DOLLARS AND FIFTY CENTS (\$425,050.50)**; and

**WHEREAS** developer desires to record the final plat for **FALCON CREST SUBDIVISION PHASE NO. 8** prior to completion of construction; and

**WHEREAS** Kuna City Code §5-9-403 allows for and sets the conditions for recording a final plat prior to the completion of construction:

**BE IT HEREBY RESOLVED** by the Mayor and Council of the City of Kuna, Idaho, that the Kuna City Engineer is hereby authorized to accept a cash bond in lieu of Landscape construction for **FALCON CREST SUBDIVISION PHASE NO. 8** under the following terms and conditions:

1. All bid amounts submitted for unfinished construction are valid for the life of the Cash Bond;
2. The Cash Bond is irrevocable, is drawn upon an FDIC or FSLIC insured institution, is an institution with an office where presentment can be made within 50 miles of Kuna City

Hall, the Cash Bond is claimable up to 30 days prior to expiry and expiry is not more than one year from the date of issuance;

3. The amount of the check is at least **FOUR-HUNDRED TWENTY-FIVE THOUSAND FIFTY DOLLARS AND FIFTY CENTS (\$425,050.50)**;
4. No more than fifty percent of available permits can be claimed during the life of the Cash Bond and if improvements are not completed 120 days from the date that the final plat is recorded, no further building permits can be issued;

**PASSED BY THE COUNCIL** of Kuna, Idaho this 6<sup>th</sup> day of January, 2026.

**APPROVED BY THE MAYOR** of Kuna, Idaho this 6<sup>th</sup> day of January, 2026.

\_\_\_\_\_  
Joe L. Stear, Mayor

ATTEST:

\_\_\_\_\_  
Nathan Stanley, City Clerk



# CITY OF KUNA, PUBLIC WORKS CONSTRUCTION BOND APPLICATION REVIEW

The City of Kuna Public Works department has reviewed your application for bonded construction improvements. After careful review, it has been determined that Public Works has accepted your bond application for submission to City Council review for the following project:

- Falcon Crest 8**
- Will Serve date: 02/27/2024**
- Landscaping Bond**
- Streetlight Bond**
- Cash Bond**

Attached to this application are three (3) exhibits:

- Bid for Bonded Improvement
- Future Inspection Checklist for Bonded Improvement (or landscape/streetlight plans)
- Bond Agreement

Please type and complete the attached Bond Agreement, sign, notarize, and deliver all three (3) exhibits to:

**Kuna City Hall  
Clerk’s Office  
751 W 4th St, Kuna, ID 83634**

**By 10/30/25 at 5:00pm to submit your Bond Agreement in time for the next City Council Meeting.  
Incomplete Bond Agreements will not be accepted.**

**Please bring a check in the amount of 125% of the provided bid(s) for construction.  
\$521,803.00**

**Please note that this bond is not considered approved until it passes City Council review.**

A Bond Resolution will be completed and returned to the requestor upon review and approval from City Council.

Please reach out to the Public Works Project Coordinator for questions on bonding for construction improvements or on qualifying for final plat recordation.

Thank you,

**Jennifer Miller**  
**Public Works Coordinator**  
 City of Kuna | Public Works  
 Phone: 208-287-1728  
 Email: [jmiller@kunaid.gov](mailto:jmiller@kunaid.gov)

## CITY OF KUNA LANDSCAPE IMPROVEMENT AGREEMENT (CASH BOND)

THIS AGREEMENT is made by and between M3 ID FALCON CREST LLC, (hereinafter “Developer”); whose address is 1673 W SHORELINE DR, STE 200 BOISE, ID 83702, and CITY OF KUNA, a municipal corporation of the State of Idaho, (hereinafter “City”); whose address is Post Office Box 13, Kuna, Idaho 83634.

WHEREAS, Developer desires to record its final plat for phase 8 of the development known as FALCON CREST\_Subdivision, (“Development”) located in the City of Kuna; and

WHEREAS, City will not sign the final plat unless Developer promises to install and warrant certain Improvements as herein provided and security is provided for that promise as set forth herein.

NOW, THEREFORE, THE PARTIES HEREBY AGREE AS FOLLOWS:

1. Installation of Improvements. Developer agrees to complete and pay the total costs of all Improvements required by City and those specified in the following Approved Landscape Plan for FALCON CREST 8\_SUBDIVISION and the associated Bid for landscaping by POWER ENTERPRISES.

The bids for said Improvements are attached hereto as **Exhibit A**. The required Improvements are shown on the plans, drawings and specifications previously reviewed and approved by City in connection with the above described Development, and in accordance with the standards and specifications established by the City and adopted by the City Council.

2. Cash Deposit. Developer has executed and delivered to City cash, cashier’s check or wired funds (City to provide financial institution information upon execution of agreement) to the City’s trust account in the aggregate amount of four hundred twenty-five thousand fifty dollars and fifty cents (\$425,050.50), for deposit with City in its accounts (the “Cash Deposit”), which includes:
  - a. The initial City Engineer or Public Works Director’s estimated cost of the remaining work shall as determined, in part, from the detailed bids provided by the sub-divider's contractors in an amount, plus twenty-five (25) percent, for an amount of one hundred twenty-five (125) percent;
  - b. To that total, the following additional sums may be added upon the following considerations:
    - i. Three (3) to ten (10) percent for inflation; ten (10) to fifteen (15) percent for

the City's bidding disadvantage; and twelve (12) percent to twenty (20) percent for city project management as determined by the City Engineer or Public Works Director.

3. The Developer and City stipulate the amount to be a reasonable estimate, pursuant to Kuna City Code.
4. If construction of all financially pledged improvements are not completed within one hundred twenty (120) days following the date of recordation of the final plat, no further building permits shall be issued by the City until final completion of all improvements has occurred and the City has inspected and approved them. However, if the remaining improvements are not completed within the one hundred twenty-day period, through no fault of the Developer, the City Engineer or Public Works Director may grant a one-time, one hundred twenty-day (120) time extension. The determination of what may be considered a "no fault circumstance" shall be determined by the City Engineer or Public Works Director.
5. Refund or Withdrawal. City may withdraw funds from Cash Deposit if (1) Improvements are not completed as required by this Agreement within the time period specified in Paragraph 6, or if (2) Improvements are not installed strictly in accordance with Paragraph 1 and written notice of the deficiency has been given to Developer, who has failed to remedy the deficiency within ten (10) days after the notice is sent. In said event, City may withdraw funds from Cash Deposit both (1) those amounts necessary to either complete Improvements as required herein or alter or repair Improvements to conform to the requirements hereof, and (2) City's cost of administration incurred in obtaining Cash Deposit, including attorney's fees and court costs, which shall be deducted from any Cash Deposit. If the amount of Cash Deposit is inadequate to pay the cost of the completion of Improvements according to City's standards or specifications for whatever reason, including previous reductions, Developer shall be responsible for the deficiency and no further building permits shall be issued in the subdivision or development until Improvements are completed or, with City Council approval, a new, satisfactory security has been executed and delivered to City or other satisfactory arrangements have been made to insure completion of the remaining improvements.
6. Preliminary Release. At the time herein provided, but no later than at the time of final inspection and acceptance of all Improvements by City, City will authorize release of all funds comprising Cash Deposit. The release provided for in this paragraph shall occur when City certifies that Improvements are complete, which shall be when Improvements have been installed as required and fully inspected and approved by City, and after as-built drawings have been supplied as required.
7. Non-Release of Developer's Obligations. It is understood and agreed between the parties that the establishment and availability to City of Cash Deposit as herein provided, and any withdrawals there from by City shall not constitute a waiver or estoppel against City and shall not release or relieve Developer from its obligation to install and fully pay for Improvements as required in Paragraph 1 above, and the right of City to withdraw from Cash Deposit shall not affect any rights and remedies of City against Developer for breach

- of any covenant herein, including the covenants of Paragraph 1 of this Agreement. Further, Developer agrees that if City withdraws from Cash Deposit and performs or causes to be performed the installation or warranty work required of Developer hereunder, then any and all costs incurred by City in so doing which are not collected by City by withdrawing from Cash Deposit shall be paid by Developer, including administrative, engineering, legal, labor and materials and other procurement fees and costs.
8. Upon satisfaction of this Agreement, Developer shall provide the City with its financial institution information including account wire transfer information.
  9. Binding Effect and Assignment. This Agreement shall be binding upon, and inure to the benefit of, the heirs, officers, agents, legal representatives, successors and assigns of the parties hereto. No party shall assign or transfer any rights under this Agreement without the prior written consent of the other first obtained, which consent shall not be unreasonably withheld.
  10. Notices. Any notice required or desired to be given hereunder as shall be deemed sufficient if sent by certified mail, postage prepaid, addressed to the respective parties at the addresses shown in the preamble.
  11. Severability. Should any portion of this Agreement for any reason be declared invalid or unenforceable, the invalidity of such portion shall not affect the validity of any of the remaining portions and the same shall be deemed in full force and effect as if this Agreement had been executed with the invalid portions eliminated.
  12. Governing Law. This Agreement and the performances hereunder shall be governed by the laws of the State of Idaho.
  13. Counterparts. The fact that the parties hereto execute multiple but identical counterparts of this Agreement shall not affect the validity or efficacy of their execution, and such counterparts, taken together, shall constitute one and the same instrument, and each counterpart shall be deemed an original.
  14. Waiver. No waiver of any of the provisions of this Agreement shall operate as a waiver of any other provision, regardless of any similarity that may exist between such provisions, nor shall a waiver in one instance operate as a waiver in any future event. No waiver shall be binding unless executed in writing by the waiving party.
  15. Captions. The captions preceding the paragraphs of this Agreement are for convenience only and shall not affect the interpretation of any provision herein.
  16. Entire Agreement. This Agreement, together with its exhibits and the approved plans and specifications referred to, contains the entire and integrated agreement of the parties with respect to the subject matter hereof, and no prior or contemporaneous promises, representations, warranties, inducements, or understandings between the parties pertaining to the subject matter hereof which are not contained herein shall be of any force or effect.
  17. Default. In the event either party hereto defaults in any of the covenants or agreements

contained herein, the defaulting party shall pay all costs and expenses, including a reasonable attorney's fee, incurred by the other party in enforcing its rights hereunder whether incurred through litigation or otherwise.

- 18. Time of Essence. The parties agree that time is of the essence in the performance of all duties herein.
- 19. Exhibits. Any exhibit(s) to this Agreement are incorporated herein by this reference, and failure to attach any such exhibit shall not affect the validity of this Agreement or of such exhibit. An unattached exhibit is available from the records of the parties.
- 20. Amendment. Any amendment or modifications of this Agreement shall be made in writing, signed by the parties, and attached hereto.
- 21. Extension. The Bond Agreement and security for completion of Improvements described in Paragraph 1 may be extended by written modification of this Agreement only.
- 22. Change of Address. It is the obligation of Developer to provide an updated address should it change during the pendency of this agreement.

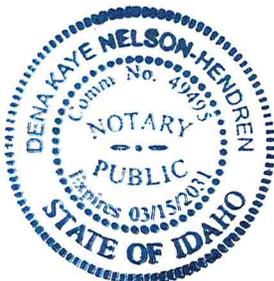
IN WITNESS WHEREOF, the parties have caused this Agreement to be duly executed this 11<sup>th</sup> day of November, 2025.

  
 \_\_\_\_\_  
 M3 ID FALCON CREST LLC

BY: WILLIAM I. BROWNLEE  
MANAGER

On this 11<sup>th</sup> day of November, 2025, before me Dena Kaye Nelson-Hendren, personally appeared WILLIAM I BROWNLEE known or identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that he/she executed the same as the MANAGER of M3 COMPANIES LLC, the limited liability company that is the MEMBER OF M3 BUILDERS LLC, the limited liability company that is the MANAGER of M3 ID FALCON CREST LLC.

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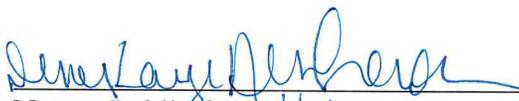
  
 \_\_\_\_\_  
 Notary Public for Idaho  
 My commission expires on 3-15-2021



Exhibit A

| <b>Proposal</b><br><b>POWER ENTERPRISES</b><br>16131 Franklin Road<br>Nampa, ID 83687<br>Phone (208) 461-4670 Fax (208) 461-4354   |  |          |  |   |                           |                     |
|--|--|----------|--|---|---------------------------|---------------------|
| <b>PROPOSAL SUBMITTED TO:</b><br><br>M3/Conger   |  |          | <b>PHONE:</b><br>Travis Jeffers/Ryan<br>Casch        |   | <b>DATE:</b><br>6/13/2025 |                     |
| <b>STREET:</b>   |  |          | <b>JOB NAME/LOCATION:</b><br><br>Falcon Sub 8 Rev. 1 |   |                           |                     |
| <b>CITY, STATE and ZIP CODE:</b>   |  |          | <b>DATE OF PLANS:</b>                                |   |                           |                     |
|  |  |          | ID Bureau of Occupational License #                  |   | RCE-616                   |                     |
|  |  |          | State of ID Public Works License #                   |   | 040689 - C - 4            |                     |
| Item   | Description  | Quantity | Unit   | Unit Cost   | Sub-Total                 |                     |
| 1  | Sprinkler System   | 1        | ls   | \$91,265.00   | \$91,265.00               |                     |
| 2  | Sleeving   | 1        | ls   | \$4,012.00  | \$4,012.00                |                     |
| 3  | Machine/Crew Grading   | 1        | ls   | \$12,765.00   | \$12,765.00               |                     |
| 4  | Sod  | 44,185   | sf   | \$0.64  | \$28,278.40               |                     |
| 5  | 1" Minus Black & Tan Rock No Frabric   | 465      | cy   | \$115.00  | \$53,475.00               |                     |
| 6  | Trees: 2" Deciduous  | 142      | ea   | \$450.00  | \$63,900.00               |                     |
| 7  | Plants: 5 gallon   | 5        | ea   | \$63.00   | \$315.00                  |                     |
| 8  | Plants: 3 gallon   | 980      | ea   | \$58.00   | \$56,840.00               |                     |
| 9  | Topsoil (Placement and Grading only)   | 834      | cy   | \$35.00   | \$29,190.00               |                     |
| 10   | <b>Option: 1 year Maintenance = \$27,212 (Billed in 9 monthly installments of \$3,023.56 each.)</b>  |          |  |   |                           |                     |
| 11   |  |          |  |   |                           |                     |
| 12   |  |          |  |   |                           |                     |
| 13   | <b>Exclusions:</b><br>Soil amendments, topsoil import, root barrier, signage, concrete, pavers, pathways, fencing, site fixtures, structures, and drainage systems.  |          |  |   |                           |                     |
| 14   | <b>Notes:</b><br>1. Topsoil from onsite stockpiles shall be placed and rough graded to 2/10 by site contractor.<br>2. 1 year maintenance option excludes Winter months.<br>3. Cost increases will be added to the contract if landscape is installed after 2025. |          |  |   |                           |                     |
| 15   |  |          |  |   |                           |                     |
|  |  |          |  |   | <b>Total</b>              | <b>\$340,040.40</b> |
|  |  |          |  |   | <b>\$ 425,050.50</b>      |                     |
| <b>X 125%</b>  |  |          |  |   |                           |                     |
| <b>QUALIFICATIONS</b>  |  |          |  |   |                           |                     |
| If additional off-site topsoil is required, cost will be \$65.00 / CY  |  |          |  |   |                           |                     |
| Rough Grade within 2/10  |  |          |  |   |                           |                     |
| Bond not included, but can be provided upon request at an additional cost to customer.   |  |          |  |   |                           |                     |
| Plant material warranted 1 year  |  |          |  |   |                           |                     |
| Developer/General Contractor/Owner is responsible to specifically mark all property lines prior to irrigation and landscape installation.  |  |          |  |   |                           |                     |
| No Signage   |  |          |  |   |                           |                     |
| Adequate pressure and volume of water to be supplied by Developer/General Contractor/Owner   |  |          |  |   |                           |                     |
| All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. |  |          |  | <b>Morgan Jenkins</b><br>208-697-2618   |                           |                     |
|  |  |          |  | Note: This proposal may be withdrawn by Power if not accepted within 30 days. |                           |                     |
| <b>Acceptance of Proposal</b> --The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified.  |  |          |  | Signature _____   |                           |                     |
| Date of Acceptance: _____  |  |          |  | Signature _____   |                           |                     |

**RESOLUTION NO. R02-2026  
STREETLIGHT IMPROVEMENT  
CASH BOND  
CITY OF KUNA, IDAHO**

**A RESOLUTION OF THE CITY COUNCIL OF KUNA, IDAHO APPROVING A PERFORMANCE BOND BY M3 ID GOLF VILLAS LLC, AN ARIZONA LIMITED LIABILITY COMPANY AUTHORIZED TO DO BUSINESS WITHIN THE STATE OF IDAHO, FOR FALCON CREST SUBDIVISION PHASE NO. 8 FOR UNCOMPLETED WORK FOR STREETLIGHTING PURSUANT TO THE TERMS OF THIS RESOLUTION.**

**WHEREAS FALCON CREST SUBDIVISION PHASE NO. 8** exists as part of an approved preliminary plat; and

**WHEREAS** construction plans for **FALCON CREST SUBDIVISION PHASE NO. 8** were approved by the Kuna City Engineer on **2/27/2024**; and

**WHEREAS** construction was commenced but not completed for Streetlighting, per the approved plans; and

**WHEREAS** the streetlighting has not been completed for **FALCON CREST SUBDIVISION PHASE NO. 8** according to the approved construction plans and developer seeks to bond for the unfinished work; and

**WHEREAS** the streetlight completion has been estimated at **SEVENTY-SEVEN THOUSAND FOUR-HUNDRED TWO DOLLARS AND ZERO CENTS (\$77,402.00)** adding 25% for a total of **NINETY-SIX THOUSAND SEVEN-HUNDRED FIFTY-TWO DOLLARS AND FIFTY CENTS (\$96,752.50)**; and

**WHEREAS** developer desires to record the final plat for **FALCON CREST SUBDIVISION PHASE NO. 8** prior to completion of construction; and

**WHEREAS** Kuna City Code §5-9-403 allows for and sets the conditions for recording a final plat prior to the completion of construction:

**BE IT HEREBY RESOLVED** by the Mayor and Council of the City of Kuna, Idaho, that the Kuna City Engineer is hereby authorized to accept a cash bond in lieu of Streetlight construction for **FALCON CREST SUBDIVISION PHASE NO. 8** under the following terms and conditions:

1. All bid amounts submitted for unfinished construction are valid for the life of the Cash Bond;
2. The Cash Bond is irrevocable, is drawn upon an FDIC or FSLIC insured institution, is an institution with an office where presentment can be made within 50 miles of Kuna City

Hall, the Cash Bond is claimable up to 30 days prior to expiry and expiry is not more than one year from the date of issuance;

- 3. The amount of the check is at least **NINETY-SIX THOUSAND SEVEN-HUNDRED FIFTY-TWO DOLLARS AND FIFTY CENTS (\$96,752.50)**;
- 4. No more than fifty percent of available permits can be claimed during the life of the Cash Bond and if improvements are not completed within 120 days from the date that the final plat is recorded, no further building permits can be issued;

**PASSED BY THE COUNCIL** of Kuna, Idaho this 6<sup>th</sup> day of January, 2026.

**APPROVED BY THE MAYOR** of Kuna, Idaho this 6<sup>th</sup> day of January, 2026.

---

Joe L. Stear, Mayor

ATTEST:

---

Nathan Stanley, City Clerk



# CITY OF KUNA, PUBLIC WORKS CONSTRUCTION BOND APPLICATION REVIEW

The City of Kuna Public Works department has reviewed your application for bonded construction improvements. After careful review, it has been determined that Public Works has accepted your bond application for submission to City Council review for the following project:

**Falcon Crest 8**

**Will Serve date: 02/27/2024**

**Landscaping Bond**

**Streetlight Bond**

**Cash Bond**

Attached to this application are three (3) exhibits:

- Bid for Bonded Improvement
- Future Inspection Checklist for Bonded Improvement (or landscape/streetlight plans)
- Bond Agreement

Please type and complete the attached Bond Agreement, sign, notarize, and deliver all three (3) exhibits to:

**Kuna City Hall  
Clerk's Office  
751 W 4th St, Kuna, ID 83634**

**By 10/30/25 at 5:00pm to submit your Bond Agreement in time for the next City Council Meeting.  
Incomplete Bond Agreements will not be accepted.**

Please bring a **check** in the amount of 125% of the provided bid(s) for construction.

**\$521,803.00**

Please note that this bond is not considered approved until it passes City Council review.

A Bond Resolution will be completed and returned to the requestor upon review and approval from City Council.

Please reach out to the Public Works Project Coordinator for questions on bonding for construction improvements or on qualifying for final plat recordation.

Thank you,

**Jennifer Miller**

**Public Works Coordinator**

City of Kuna | Public Works

Phone: 208-287-1728

Email: [jmiller@kunaid.gov](mailto:jmiller@kunaid.gov)

## CITY OF KUNA STREETLIGHT IMPROVEMENT AGREEMENT (CASH BOND)

THIS AGREEMENT is made by and between M3 ID FALCON CREST LLC, (hereinafter “Developer”); whose address is 1673 W SHORELINE DR, STE 200 BOISE, ID 83702, and CITY OF KUNA, a municipal corporation of the State of Idaho, (hereinafter “City”); whose address is Post Office Box 13, Kuna, Idaho 83634.

WHEREAS, Developer desires to record its final plat for phase 8 of the development known as FALCON CREST Subdivision, (“Development”) located in the City of Kuna; and

WHEREAS, City will not sign the final plat unless Developer promises to install and warrant certain Improvements as herein provided and security is provided for that promise as set forth herein.

NOW, THEREFORE, THE PARTIES HEREBY AGREE AS FOLLOWS:

1. Installation of Improvements. Developer agrees to complete and pay the total costs of all Improvements required by City and those specified in the Approved Street Light Plan for FALCON CREST 8 SUBDIVISION and the associated Bid for street lighting by STREET LIGHTS LLC.

The bids for said Improvements are attached hereto as **Exhibit A**. The required Improvements are shown on the plans, drawings and specifications previously reviewed and approved by City in connection with the above described Development, and in accordance with the standards and specifications established by the City and adopted by the City Council.

2. Cash Deposit. Developer has executed and delivered to City cash, cashier’s check or wired funds (City to provide financial institution information upon execution of agreement) to the City’s trust account in the aggregate amount of ninety-six thousand, seven hundred fifty-two dollars and fifty cents (\$96,752.50), for deposit with City in its accounts (the “Cash Deposit”), which includes:
  - a. The initial City Engineer or Public Works Director’s estimated cost of the remaining work shall as determined, in part, from the detailed bids provided by the sub-divider's contractors in an amount, plus twenty-five (25) percent, for an amount of one hundred twenty-five (125) percent;
  - b. To that total, the following additional sums may be added upon the following considerations:
    - i. Three (3) to ten (10) percent for inflation; ten (10) to fifteen (15) percent for

the City's bidding disadvantage; and twelve (12) percent to twenty (20) percent for city project management as determined by the City Engineer or Public Works Director.

3. The Developer and City stipulate the amount to be a reasonable estimate, pursuant to Kuna City Code.
4. If construction of all financially pledged improvements are not completed within one hundred twenty (120) days following the date of recordation of the final plat, no further building permits shall be issued by the City until final completion of all improvements has occurred and the City has inspected and approved them. However, if the remaining improvements are not completed within the one hundred twenty-day period, through no fault of the Developer, the City Engineer or Public Works Director may grant a one-time, one hundred twenty-day (120) time extension. The determination of what may be considered a "no fault circumstance" shall be determined by the City Engineer or Public Works Director.
5. Refund or Withdrawal. City may withdraw funds from Cash Deposit if (1) Improvements are not completed as required by this Agreement within the time period specified in Paragraph 6, or if (2) Improvements are not installed strictly in accordance with Paragraph 1 and written notice of the deficiency has been given to Developer, who has failed to remedy the deficiency within ten (10) days after the notice is sent. In said event, City may withdraw funds from Cash Deposit both (1) those amounts necessary to either complete Improvements as required herein or alter or repair Improvements to conform to the requirements hereof, and (2) City's cost of administration incurred in obtaining Cash Deposit, including attorney's fees and court costs, which shall be deducted from any Cash Deposit. If the amount of Cash Deposit is inadequate to pay the cost of the completion of Improvements according to City's standards or specifications for whatever reason, including previous reductions, Developer shall be responsible for the deficiency and no further building permits shall be issued in the subdivision or development until Improvements are completed or, with City Council approval, a new, satisfactory security has been executed and delivered to City or other satisfactory arrangements have been made to insure completion of the remaining improvements.
6. Preliminary Release. At the time herein provided, but no later than at the time of final inspection and acceptance of all Improvements by City, City will authorize release of all funds comprising Cash Deposit. The release provided for in this paragraph shall occur when City certifies that Improvements are complete, which shall be when Improvements have been installed as required and fully inspected and approved by City, and after as-built drawings have been supplied as required.
7. Non-Release of Developer's Obligations. It is understood and agreed between the parties that the establishment and availability to City of Cash Deposit as herein provided, and any withdrawals there from by City shall not constitute a waiver or estoppel against City and shall not release or relieve Developer from its obligation to install and fully pay for Improvements as required in Paragraph 1 above, and the right of City to withdraw from Cash Deposit shall not affect any rights and remedies of City against Developer for breach

of any covenant herein, including the covenants of Paragraph 1 of this Agreement. Further, Developer agrees that if City withdraws from Cash Deposit and performs or causes to be performed the installation or warranty work required of Developer hereunder, then any and all costs incurred by City in so doing which are not collected by City by withdrawing from Cash Deposit shall be paid by Developer, including administrative, engineering, legal, labor and materials and other procurement fees and costs.

8. Upon satisfaction of this Agreement, Developer shall provide the City with its financial institution information including account wire transfer information.
9. Binding Effect and Assignment. This Agreement shall be binding upon, and inure to the benefit of, the heirs, officers, agents, legal representatives, successors and assigns of the parties hereto. No party shall assign or transfer any rights under this Agreement without the prior written consent of the other first obtained, which consent shall not be unreasonably withheld.
10. Notices. Any notice required or desired to be given hereunder as shall be deemed sufficient if sent by certified mail, postage prepaid, addressed to the respective parties at the addresses shown in the preamble.
11. Severability. Should any portion of this Agreement for any reason be declared invalid or unenforceable, the invalidity of such portion shall not affect the validity of any of the remaining portions and the same shall be deemed in full force and effect as if this Agreement had been executed with the invalid portions eliminated.
12. Governing Law. This Agreement and the performances hereunder shall be governed by the laws of the State of Idaho.
13. Counterparts. The fact that the parties hereto execute multiple but identical counterparts of this Agreement shall not affect the validity or efficacy of their execution, and such counterparts, taken together, shall constitute one and the same instrument, and each counterpart shall be deemed an original.
14. Waiver. No waiver of any of the provisions of this Agreement shall operate as a waiver of any other provision, regardless of any similarity that may exist between such provisions, nor shall a waiver in one instance operate as a waiver in any future event. No waiver shall be binding unless executed in writing by the waiving party.
15. Captions. The captions preceding the paragraphs of this Agreement are for convenience only and shall not affect the interpretation of any provision herein.
16. Entire Agreement. This Agreement, together with its exhibits and the approved plans and specifications referred to, contains the entire and integrated agreement of the parties with respect to the subject matter hereof, and no prior or contemporaneous promises, representations, warranties, inducements, or understandings between the parties pertaining to the subject matter hereof which are not contained herein shall be of any force or effect.
17. Default. In the event either party hereto defaults in any of the covenants or agreements

contained herein, the defaulting party shall pay all costs and expenses, including a reasonable attorney's fee, incurred by the other party in enforcing its rights hereunder whether incurred through litigation or otherwise.

- 18. Time of Essence. The parties agree that time is of the essence in the performance of all duties herein.
- 19. Exhibits. Any exhibit(s) to this Agreement are incorporated herein by this reference, and failure to attach any such exhibit shall not affect the validity of this Agreement or of such exhibit. An unattached exhibit is available from the records of the parties.
- 20. Amendment. Any amendment or modifications of this Agreement shall be made in writing, signed by the parties, and attached hereto.
- 21. Extension. The Bond Agreement and security for completion of Improvements described in Paragraph 1 may be extended by written modification of this Agreement only.
- 22. Change of Address. It is the obligation of Developer to provide an updated address should it change during the pendency of this agreement.

IN WITNESS WHEREOF, the parties have caused this Agreement to be duly executed this 11<sup>th</sup> day of November, 2025.

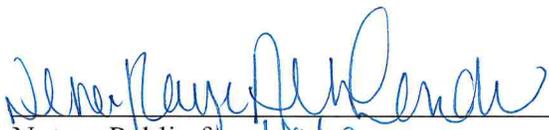
  
\_\_\_\_\_  
M3 ID FALCON CREST LLC

BY: WILLIAM I. BROWNLEE  
MANAGER

On this 11<sup>th</sup> day of Nov., 2025, before me Dena Kaye Nelson-Hendren, personally appeared WILLIAM I BROWNLEE known or identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that he/she executed the same as the MANAGER of M3 COMPANIES LLC, the limited liability company that is the MEMBER OF M3 BUILDERS LLC, the limited liability company that is the MANAGER of M3 ID FALCON CREST LLC.

S  
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\_\_\_\_\_  
Notary Public for Idaho  
My commission expires on 3-15-2031





# Street Lights LLC

# PROPOSAL

RCE # 51142  
 PO Box 253  
 Meridian, Idaho 83680  
 Mark Peterson  
 (208) 870-3220 | streetlightsllc@gmail.com

DATE: September 3, 2025

**Project : Falcon Crest 8**  
 Quote to: M3  
 Bid Date: 9/3/25  
 Revision Date:  
 Date of Plans: 2/9/2024

| ITEM                                       | DESCRIPTION  | QTY | UNIT | PRICE     | AMOUNT                |
|--|--|-----|------|-----------|-----------------------|
| <b>Site Electrical &amp; Street Lights</b> |  |     |      |           |                       |
| 1  | Material for 16 EA Kilcher tree downlights, 29 EA Kilcher Ingrade Uplights, 7 Wall wash uplights, 2 EA 600 Watt low volt transformers, j-boxes, approx. 1,500' of low volt cable, stainless steel lag screws for installing to the trees.  | 1   | LS   | 23,192.00 | 23,192.00             |
| 2  | Installation of low volt material for 16 EA Kilcher tree downlights, 29 EA Kilcher Ingrade Uplights, 7 Wall wash uplights, 2 EA 600 Watt low volt transformers, j-boxes, approx. 1,500' of low volt cable, stainless steel lag screws for installing to the trees.   | 1   | LS   | 16,800.00 | 16,800.00             |
| 3  | Stub 120V Power to sign (sign electrical by others)  | 1   | EA   | 990.00    | 990.00                |
| 4  | 120v GFCI outlets for Holiday lights   | 3   | EA   | 850.00    | 2,550.00              |
| 5  | 120v Power to Gate motors  | 4   | EA   | 960.00    | 3,840.00              |
| 6  | Gate Keypad conduit  | 1   | LS   | 850.00    | 850.00                |
| 7  | Additional trenching for 120V power to low volt transformers, in addition to the trenching for street lights.  | 50  | LF   | 7.00      | 350.00                |
| 8  | Boring / Sleeving under sidewalk   | 1   | LS   | 2,500.00  | 2,500.00              |
| 9  | Meter - Direct Burial set near lot 45 for low voltage uplights   | 1   | EA   | 2,450.00  | 2,450.00              |
| 10   | 120v Conduit/wire from meter to low volt transformer at entry  | 560 | LF   | 8.00      | 4,480.00              |
| 11   | Sprinkler clock power - near entry   | 1   | EA   | 950.00    | 950.00                |
| 12   | Masonry footings for decorative street light bases   | 4   | EA   | 2,850.00  | 11,400.00             |
| 13   | 25' Standard Street Light - Kuna standard street light black pole with Cooper USSL 52W LED fixture. Provide the required trenching and conduit for 1,530'. Provide and install necessary wire, junction boxes, and fusing for light poles. Junction boxes are not figured as concrete or driveway rated unless noted otherwise. Includes grounding, electrical permits, and inspections. | 13  | EA   | 5,954.00  | 77,402.00             |
| SUBTOTAL                                   |  |     |      |           | <del>177,754.00</del> |
| <b>GRAND TOTAL</b>                         |  |     |      |           | <del>177,754.00</del> |

**NOT INCLUDED IN THIS PROPOSAL:**

1. Extra labor or material if rock or water is encountered.
2. Bid does not include any surface restoration. (i.e. landscape, asphalt, ect.)
3. All sleeving under asphalt, concrete, ect. By others.
4. Any Ada County/Highway District right of way fees or Permits
5. Rock excavation if encountered

**Notes:**

Final billing may change due to field adjustments  
 Price good for 60 days from bid date

**\$77,402.00 x 125% = \$96,752.50**

ACCEPTED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

**THANK YOU FOR YOUR BUSINESS!**

**RESOLUTION NO. R03-2026  
CITY OF KUNA, IDAHO**

**A RESOLUTION OF THE CITY COUNCIL OF KUNA, IDAHO, APPROVING THE “ADMINISTRATIVE AND SUPPORT SERVICES AGREEMENT” WITH THE KUNA URBAN RENEWAL AGENCY; AND AUTHORIZING THE MAYOR TO EXECUTE THE AGREEMENT; AND THE CITY CLERK TO ATTEST TO SAID SIGNATURE.**

**BE IT HEREBY RESOLVED** by the Mayor and Council of the City of Kuna, Idaho, as follows:

Section 1. The “*Administration and Support Services Agreement*” with the Kuna Urban Renewal Agency, is substantially the format attached hereto as “**ATTACHMENT A**”, is hereby approved.

Section 2. The Mayor of the City of Kuna, Idaho, is hereby authorized to execute said Agreement and the City Clerk is hereby authorized to attest to said execution as so authorized and approved for on behalf of the City of Kuna, Idaho.

**PASSED BY THE COUNCIL** of Kuna, Idaho, this 6<sup>th</sup> day of January, 2026.

**APPROVED BY THE MAYOR** of Kuna, Idaho, this 6<sup>th</sup> day of January, 2026.

\_\_\_\_\_  
Joe L. Stear, Mayor

ATTEST:

\_\_\_\_\_  
Nathan Stanley, City Clerk

ATTACHMENT A  
ADMINISTRATION AND SUPPORT SERVICES AGREEMENT

## **ADMINISTRATION AND SUPPORT SERVICES AGREEMENT**

THIS ADMINISTRATION AND SUPPORT SERVICES AGREEMENT (the “Agreement”) is made and entered into this \_\_\_\_ day of \_\_\_\_\_ 2026, with an effective date of December 1, 2025 (the “Effective Date”), by and between the City of Kuna, Idaho, a municipal corporation of the state of Idaho (the “City”), and the Urban Renewal Agency of the City of Kuna, Idaho, also known as the Kuna Urban Renewal Agency, an independent public body corporate and politic, duly organized and existing by virtue of the laws of the State of Idaho, specifically the Idaho Urban Renewal Law of 1965, Chapter 20, Title 50, Idaho Code, as amended (the “Law”), and the Local Economic Development Act, Chapter 29, Title 50, Idaho Code, as amended (the “Act”) (the “Agency”) (individually the City and Agency may be referred to as “Party” and collectively as the “Parties”).

### **RECITALS**

WHEREAS, the Agency is authorized to undertake and carry out urban renewal projects to eliminate, remedy, or prevent deteriorated or deteriorating areas through redevelopment, rehabilitation, or conservation, or any combination thereof, within its area of operation and is authorized to carry out such projects jointly with the City;

WHEREAS, the City Council (the “City Council”) of the City, after notice duly published, conducted a public hearing on the Urban Renewal Plan for the Kuna West Urban Renewal Project (the “Kuna West Plan”);

WHEREAS, following said public hearing the City Council adopted its Ordinance No. 2020-32 on November 17, 2020, approving the Kuna West Plan, making certain findings, and establishing the Kuna West revenue allocation area (the “Kuna West Project Area”);

WHEREAS, the City Council, after notice duly published, conducted a public hearing on the Urban Renewal Plan for the Kuna East Urban Renewal Project (the “Kuna East Plan”);

WHEREAS, following said public hearing, the City Council adopted its Ordinance No. 2022-34 on November 1, 2022, approving the Kuna East Plan, making certain findings, and establishing the Kuna East revenue allocation area (the “Kuna East Project Area”). Collectively, the Kuna East Plan and the Kuna West Plan may be referred to as the “Urban Renewal Plans” and the Kuna East Project Area and the Kuna West Project Area may be referred to as the “Project Areas;”

WHEREAS, the Urban Renewal Plans include the acquisition, construction, and installation of certain public improvements within the Project Areas, including the related necessary costs for engineering, insurance, audit, planning, administration, and Agency operations;

WHEREAS, the Agency is authorized to conduct proceedings and to borrow monies to be repaid through revenue allocation (tax increment) funds pursuant to the terms and provisions of the Act for the purpose of financing the undertaking of any urban renewal project;

WHEREAS, the Urban Renewal Plans contain revenue allocation (tax increment) financing provisions;

WHEREAS, the City and Agency hereby find and determine that this Agreement enables them to cooperate to their mutual advantage in a manner that will best accord with the needs and development of the City and Agency and to implement the Urban Renewal Plans as well as any future urban renewal plans and project areas;

WHEREAS, the ability for the City and Agency to cooperate and jointly benefit each other is expressly permitted pursuant to Idaho Code Section 50-2015;

WHEREAS, the City has provided and continues to provide certain services to the Agency;

WHEREAS, the City and Agency wish to state their respective obligations, expand the services provided by the City to Agency, and establish the amount of consideration paid by Agency to the City accordingly;

NOW, THEREFORE, the City and Agency do hereby agree as follows:

## **AGREEMENT**

### **1. Statement of Purpose**

The purpose of this Agreement is to provide for the definition of rights, obligations, and responsibilities of Agency and the City to provide for the receipt, investment, and disbursement of funds by the City Treasurer (defined below) on behalf of Agency; clarify the City's obligations to provide administrative, clerical, and secretarial services and support for Agency; and to establish the amount of consideration Agency will pay the City for such services.

### **2. City's Obligations**

The City agrees to make available certain personnel and administrative services to the Agency, including, but not limited to:

- a. Services through the City Clerk's Office or the Economic Development Office; the City Treasurer's Office; and the Economic Development Administrator, who, as of the Effective Date, serves as the Agency Administrator;
- b. Any other necessary services from other City departments or staff related to clerical support;
- c. Assistance from other City departments, including, but not limited to, the Department of Public Works, the GIS Department, and the Engineering Department.

### **3. General Job Descriptions**

#### **a. Treasurer**

As of the Effective Date of this Agreement, the City Treasurer, or his or her designee as selected by the City and subject to approval by the Agency (the "City Treasurer"), serves as the elected Agency Treasurer. The City Treasurer will receive, invest, and disburse funds subject to legal authorization and budgeting by Agency and formal approval by Agency Board. The City Treasurer is also responsible for preparing all required accounting reports, including any required year-end financial statements and/or a comprehensive annual financial report, and advising the Agency Board of Agency's financial status. Provided however, the Agency will engage, at its sole cost and expense, a qualified accountant/auditor to provide the annual independent financial audit as required by Idaho Code 67-450B.

The City Treasurer will provide the following specific services, including but not limited to:

- Maintain an account ledger for all income and expenses for each Project Area and provide a monthly summary report of the same to Agency Board as well as distribution of invoice/expense information for all Board meetings and monthly between meetings;
- Maintain an account ledger to separately account for the amount of ACHD Revenue received annually pursuant to all Interagency Agreements between the Agency and ACHD pursuant to Idaho Code Section 50-2908(2)(a)(iv);
- Provide general bookkeeping services in substantial compliance with Generally Accepted Accounting Principles or Governmental Accounting Standard Board (GASB) standards, whichever is applicable; and
- Coordinate with any accountant/auditor selected by Agency to perform annual audits.

#### **b. Economic Development Administrator**

The Economic Development Administrator, or his or her designee as selected by the City and subject to approval by the Agency (the "Economic Development

Administrator”), serves as the Agency Administrator. The Economic Development Administrator will furnish their skill and judgment in the administration of services by a political subdivision, including, but not limited to, areas related to urban planning and economic development, and to carry out the Urban Renewal Plans within the Project Areas. The extent of those administration services will be as authorized by the Agency Board of Commissioners and/or the Agency Chair. Under the general direction of the Board of Commissioners, and in accordance with Agency policy, applicable laws, and professional standards, the Economic Development Administrator is responsible for the effective administration of all Agency activities, including development, planning, operations, budgeting, staffing, and developing/maintaining Agency’s external relationships. **Exhibit A**, attached hereto, contains a general description of the services to be provided by the Economic Development Director.

c. Other City Departments

From time to time, the Agency may seek input and assistance from other City departments, including, but not limited to, Public Works, GIS, and Engineering to provide analysis, technical support, and information concerning potential Agency projects. In those instances, those departments and their personnel will be compensated by the Agency as set forth in Section 4 of this Agreement.

d. Clerical and Support Services

As of the Effective Date of this Agreement, the Economic & Community Development Specialist to the Economic Development Office serves as the elected Agency Secretary. The City, through the City Clerk’s Office, or the Economic Development Office, may designate a City employee or employees to perform clerical and/or support services subject to approval by the Agency, which services include the following:

- Preparation, posting and distribution of the agendas for all Agency meetings;
- Attend each Agency meeting and prepare the minutes;
- Assemble and maintain the records of the Agency in a safe and organized manner in compliance with Idaho law;
- Keep track of and prepare checks or other methods of payment for Agency expenses as directed by the City Treasurer, the Economic Development Director, or Agency Board; and
- Compliance with Agency reporting requirements.

e. Miscellaneous Services

The City, through the City Clerk's Office, subject to approval by the Agency, will designate a city employee or employees and shall provide the following services:

- The city will host and maintain the Agency website/webpage; and
- At no cost to the Agency, the City will provide meeting facilities that include live broadcasting of Agency meetings, to include audio, video, and projection equipment.

**4. Agency's Obligations/Compensation to City**

Agency agrees to pay City for services rendered under this Agreement based on the following methodology. Any City personnel providing services to the Agency described in this Agreement will maintain specific time increments showing the amount of time worked on an Agency project or initiative as well as a description of the services provided. Agency will compensate such work based on the hourly rate imposed by the City employee, in an amount previously agreed to by the City and Agency through the budgeting process described in Section 8 of this Agreement. Such hourly rate will consider the salary and other benefit costs related to the employee's position.

**5. Method of Payment/Monthly Invoices**

The City will maintain time and expense records and provide them to the Agency monthly, along with monthly invoices in a format acceptable to Agency for services performed to the date of the invoice. Each invoice will specify charges as they relate to the tasks set forth in this Agreement. Each invoice will also specify current billing and previous payments, with a total of costs incurred and payments made to date. Each invoice will identify the number of hours incurred by each City employee identified in this Agreement along with that employee's hourly rate. City will provide Agency the applicable hourly rate for the work provided, which hourly rate is subject to review and approval by Agency.

If the services subject to a specific invoice do not meet the requirements of this Agreement as Agency may reasonably determine, the Agency will notify the City in writing and provide specific deficiencies in the services or work product that do not meet the requirements. City will have seven (7) working days to correct or modify the services or work product to comply with the requirements of the Agreement as set forth in Agency's written notice. If the Agency again reasonably determines the services or work product fails to meet the requirements, the Agency may withhold payment until deficiencies have been corrected to the Agency's reasonable satisfaction or may terminate this Agreement as set forth in Section 17 of this Agreement.

## **6. Additional Reimbursements**

Agency will reimburse City for costs associated with engineering or other technical services associated with Agency funded projects. Agency will provide reimbursement for the costs of systems and technology to support administrative functions. Such costs will be identified and approved by the Agency Board as part of the annual budgeting process.

## **7. Evaluations**

No later than June 1 of each calendar year, the Agency may elect to evaluate the performance of the activity provided by any City employee for services described in this Agreement. Agency will provide the results of such evaluations to the City for its review and comment. One of the purposes of such evaluations is to provide Agency the opportunity to request City assign other employees to provide the services set forth in this Agreement. Should the City and Agency not reach agreement on the assignment of alternative employees, either Party may invoke termination of this Agreement as described in Section 17 of this Agreement. Alternatively, should the City and Agency not reach agreement on the assignment of alternative employees, either Party may elect to not renew this Agreement as described in Section 22 of this Agreement.

## **8. Annual Budgeting Proposal**

No later than June 1 of each calendar year, City will provide Agency with a summary of the hours worked by City employees on Agency assignments, a breakdown of hourly rates, and the total amount compensated through the date of the summary. No later than June 1 of each calendar year, City will provide Agency with City's proposal for the type of services, hourly rates for such service, hourly rates of City employees providing services to Agency, and an estimated amount of compensation for the following fiscal year to assist Agency in preparing its required budget for the following fiscal year. Should the City and Agency not reach agreement on the services provided, the City employees assigned to the Agency, or the amount of compensation for the subsequent fiscal year, then either Party may provide notice of non-renewal as described in Section 22 of this Agreement.

## **9. Insurance**

The City will purchase and maintain for the benefit of the City and Agency insurance for protection from claims under workers' or workman's compensation acts arising from work performed under this Agreement; claims for damages because of bodily injury, including personal injury, sickness, disease, or death of any of the City's employees while working on activities under this Agreement; claims for damages because of injury to or destruction or loss of use of tangible property as a result of work pursuant to this Agreement; and claims arising out of the performance of this Agreement and caused by negligent acts for which the City is legally liable. The terms and limits of liability will be determined solely by the City (but no less than the limits required under the Idaho Tort Claims Act), and nothing herein is construed as any waiver of any claim or defense

by the City or Agency premised upon any claim of sovereign immunity or arising from the Idaho Tort Claims Act. Provided, however, the Agency will obtain its own insurance of similar benefit and value for Agency activities.

## **10. Representations and Warranties**

In consideration of this Agreement City and Agency make the following representations and warranties:

a. Agency is a public body corporate and politic of the State of Idaho, duly organized and validly existing, and in good standing under the laws of the State of Idaho with the power to own its assets and to transact business in Idaho.

b. Agency has the authority and power to execute and deliver any document required hereunder and to perform any condition or obligation imposed under the terms of such documents.

c. The execution, delivery, and performance of this Agreement and each document incident hereto will not violate any provision of any applicable law, regulation, order, judgment, decree, article of incorporation, bylaw, indenture, contract, agreement, or other undertaking to which Agency is a party or which purports to be binding on Agency or its assets and will not result in the creation of imposition of a lien on any of its assets.

d. There is no action, suit, investigation, or proceeding pending or, to the knowledge of Agency, threatened against or affecting Agency or any of its assets which, if adversely determined, would have a material adverse effect on the financial condition of Agency or the operation of its business or which would otherwise affect this Agreement or Agency's obligations hereunder.

e. City is a municipal corporation of the State of Idaho, duly organized and validly existing, and in good standing under the laws of the State of Idaho with the power to own its assets and to transact business in Idaho.

f. City has the authority and power to execute and deliver any document required hereunder and to perform any condition or obligation imposed under the terms of such documents.

g. The execution, delivery, and performance of this Agreement and each document incident hereto will not violate any provision of any applicable law, regulation, order, judgment, decree, article of incorporation, bylaw, indenture, contract, agreement, or other undertaking to which Agency is a party or which purports to be binding on City.

h. There is no action, suit, investigation, or proceeding pending or, to the knowledge of City, threatened against or affecting City or any of its assets which, if

adversely determined, would have a material adverse effect on the financial condition of City or the operation of its business or which would otherwise affect this Agreement or City's obligations hereunder.

## **11. Miscellaneous Provisions**

Each Party represents and warrants that each person executing this Agreement on behalf of such Party is, at the time of such execution, duly authorized to do so by such Party's governing body and is fully vested with the authority to bind such Party in all respects.

If any provision of this Agreement is held invalid, illegal, or unenforceable, the remainder will be construed to conform to the intent of the Parties and will survive the severed provisions.

The captions and headings in this Agreement are for reference only and will not be deemed to define or limit the scope or intent of any of the terms, covenants, conditions, or agreements contained herein.

The Parties will in all instances cooperate and act in good faith in compliance with the terms, covenants, and conditions of this Agreement and each will deal fairly with the other.

Each Party will cooperate fully with the other and execute such further instruments, documents, and agreements and give such further written assurances, as may be reasonably requested by the other to better evidence and reflect the transactions described herein and contemplated hereby and to carry into effect the intents and purposes of this Agreement.

In any suit, action, or appeal therefrom to enforce or interpret this Agreement, the prevailing Party is entitled to recover its costs incurred therein, including reasonable attorneys' fees.

This Agreement will not be modified or otherwise amended except in writing signed by all of the Parties.

If the date for delivery of a notice or performance of some other obligation of a Party falls on a Saturday, Sunday, or legal holiday in the State of Idaho, then the date for such notice or performance will be postponed until the next business day.

This Agreement is governed by the laws of the State of Idaho.

## **12. Successors and Assigns**

No Party may assign or delegate its obligations under this Agreement without the consent of the other Party hereto, which consent may be withheld in the discretion of that Party. Except as otherwise set forth in this Agreement, the terms, covenants, conditions, and agreements contained

herein are binding upon and inure to the benefit of the heirs, personal representatives, successors, and assigns of the Parties.

### **13. Number and Gender**

In constructing the provisions of this Agreement and whenever the context so requires, the use of a gender shall include all other genders, the use of the singular includes the plural, and the use of the plural includes the singular.

### **14. No Third-Party Beneficiary**

This Agreement is not intended to create, nor shall it be in any way interpreted or construed to create any third-party beneficiary rights in any person not a party hereto unless otherwise expressly provided herein.

### **15. Counterparts / Facsimile**

This Agreement may be executed in counterparts, including electronic signatures, each of which is an original and all of which constitute one and the same instrument.

### **16. Merger Clause**

This Agreement, along with any and all Exhibits, attached hereto and incorporated herein by reference, contains the entire Agreement of the Parties, and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

### **17. Termination of Agreement**

Agency or City may terminate this Agreement at any time, for any reason, by giving at least thirty (30) days' notice in writing to the other Party. If this Agreement is terminated, City will be paid an amount for the actual services performed in accordance with this Agreement through the cancellation date.

### **18. Notices**

Any and all notices required to be given by either of the Parties hereto, unless otherwise stated in this Agreement will be in writing and be deemed communicated when mailed in the United States mail, certified, return receipt requested, addressed as follows:

To Agency: Michelle Covert, Agency Administrator  
 Kuna Urban Renewal Agency  
 751 W. 4<sup>th</sup> Street  
 Kuna, ID 83634  
 mcovert@kunaid.gov

To City: Mayor Stear  
 City of Kuna  
 751 W. 4<sup>th</sup> Street  
 Kuna, ID 83634

## **19. Discrimination Prohibited**

In performing the services required herein, City will not discriminate against any person on the basis of race, color, religion, sex (including pregnancy, sexual orientation, or gender identity), national origin, age, disabled status, or genetic information (including family medical history). Violation of this section will constitute a material breach of this Agreement and be deemed grounds for cancellation, termination, or suspension of the Agreement by Agency, in whole or in part, and may result in ineligibility for further work for Agency.

## **20. [RESERVED]**

## **21. Disputes**

In the event that a dispute arises between the Agency and the City regarding application or interpretation of any provision of this Agreement, the aggrieved Party shall promptly notify the other Party to this Agreement of the dispute within ten (10) days after such dispute arises. If the Parties fail to resolve the dispute within thirty (30) days after delivery of such notice, the Parties may first endeavor to settle the dispute in an amicable manner by mediation. If the Parties elect to mediate their dispute, the Parties will select a mediator by mutual agreement and agree to each pay half of the mediator's costs and fees. The mediation will take place in Kuna, Idaho, unless otherwise agreed by the Parties in writing. Should the Parties be unable to resolve the dispute to their mutual satisfaction within thirty (30) days after such completion of mediation, each Party shall have the right to pursue any rights or remedies it may have at law or in equity. If the Parties do not mutually agree to mediate the dispute, either Party may pursue any rights or remedies it may have at law.

## **22. Term of Agreement and Renewal**

This Agreement is effective December 1, 2025, and will continue for an initial term through September 30, 2026. The Agreement shall automatically renew for additional one-year terms at the expiration of the then existing term unless either City or Agency provides notice of non-renewal by July 31 prior to expiration of the then existing term.

IN WITNESS WHEREOF, the Parties hereto, through their respective governing boards, have executed this Agreement on the date first cited above.

CITY OF KUNA

By \_\_\_\_\_  
Joe Stear, Mayor

ATTEST:

\_\_\_\_\_  
Nathan Stanley, City Clerk

URBAN RENEWAL AGENCY OF THE CITY OF  
KUNA

By   
\_\_\_\_\_  
Chair, Tayler Tibbitts

ATTEST:

  
\_\_\_\_\_  
Jessica Hall, Agency Secretary

## **EXHIBIT A**

### **SCOPE OF SERVICES**

The city shall provide day to day administrative and operational support to the Agency to include, but not limited to, the following services:

- Assist with the preparation and administration of Agency contracts and agreements;
- Provide staff support for projects requested by the Agency Board;
- Aid members of the public inquiring about Agency projects or funding;
- Prepare letters, memos, or other correspondence on behalf of the Agency Board;
- Manage and administer Agency Owner Participation Agreements;
- Respond to Agency public records requests;
- Manage and maintain all Agency records and files;
- Coordinate Agency activities and projects with City staff and Agency consultants; and
- Compliance with Agency statutory reporting requirements

**EXHIBIT B**

Hourly Rates of Employees Providing Services to the Agency During the Initial Term  
Commencing *December 1, 2025*, through *September 30, 2026*.

| <b>City Employee</b>                                      | <b>Agency Position</b> | <b>Rate</b> |
|---|------------------------|-------------|
| Michelle Covert, Economic Development Administrator       | Agency Administrator   | \$58.28     |
| Jared Empey, City Treasurer                               | Agency Treasurer       | \$77.61     |
| Jessica Hall, Economic & Community Development Specialist | Agency Secretary       | \$38.21     |

**RESOLUTION NO. R05-2026  
CITY OF KUNA, IDAHO**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF KUNA, IDAHO: AUTHORIZING THE MAYOR TO SIGN A COMMERCIAL LICENSE AGREEMENT FOR 757 WEST 4<sup>TH</sup> STREET, KUNA, IDAHO 83634, “THE NEW CITY COUNCIL CHAMBERS BUILDING,” RELATING TO A PUBLIC INFRASTRUCTURE SOFFIT, “OVERHANG,” ABOVE ADA COUNTY HIGHWAY DISTRICT’S PUBLIC RIGHT-OF-WAY, “THE SIDEWALK,”; AND AUTHORIZING THE CITY CLERK TO ATTEST TO SAID SIGNATURE.**

**BE IT HEREBY RESOLVED** by the Mayor and Council of the City of Kuna, Idaho as follows:

Section 1. The Commercial License Agreement as attached hereto as **EXHIBIT A**, and hereby incorporated herein by reference, is hereby approved; and

Section 2. The Mayor of the City of Kuna, Idaho is hereby authorized to sign said Commercial License Agreement on behalf of the City of Kuna, Idaho and the City Clerk is hereby authorized to attest to said signature.

**PASSED BY THE COUNCIL** of Kuna, Idaho this 6<sup>th</sup> day of January, 2026.

**APPROVED BY THE MAYOR** of Kuna, Idaho this 6<sup>th</sup> day of January, 2026.

\_\_\_\_\_  
Joe L. Stear, Mayor

ATTEST:

\_\_\_\_\_  
Nathan Stanley, City Clerk

(space reserved for recording)

License Agreement No. LAC2025-0070  
 Street: 757 W 4<sup>th</sup> St, Kuna, ID 83634  
 T2N, R1W, S23

## LICENSE AGREEMENT

THIS LICENSE AGREEMENT (the "Agreement") is made and entered into this \_\_\_\_ day of \_\_\_\_\_, 2025, by and between the ADA COUNTY HIGHWAY DISTRICT, a body politic and corporate of the state of Idaho, ("ACHD") and **City of Kuna** ("Licensee").

### WITNESSETH:

For good and valuable consideration, the receipt and sufficiency of which is acknowledged by the parties:

#### SECTION 1 RECITALS

Licensee owns the real property adjacent to the public right-of-way located in Ada County, Idaho, municipally described as **757 W 4<sup>th</sup> St, Kuna, ID 83634** ("Licensee's Property").

1.2 ACHD owns and has exclusive jurisdiction over the public right-of-way adjacent to Licensee's Property, located in Ada County, Idaho, municipally described as **W 4<sup>th</sup> St** (the "Right-of-Way").

1.3 Licensee desires a license to use the Right-of-Way for the limited purposes hereinafter set forth, and, for the consideration and on the terms and conditions hereinafter set forth, ACHD is willing to extend such license to Licensee.

#### SECTION 2 LICENSE; LICENSE NOT EXCLUSIVE

2.1 On the terms and conditions hereinafter set forth, ACHD hereby extends to Licensee a license on, over, across and under the Right-of-Way for the following uses and purposes ("Authorized Use") and no others as more particularly described on Exhibit "A" attached hereto. The parties contemplate that upon further development by Licensee, any additional licenses requested by Licensee shall be incorporated into this License Agreement by means of an addendum signed by both parties.

**The Licensee is authorized to construct a soffit extending from the new Kuna City Council building into the ACHD right-of-way by a maximum of twelve inches (12"). The Licensee is further authorized to install five (5) Class 1 crabapple trees, spaced approximately thirty-five feet (35') apart, along with accent boulders no more than 3 feet in diameter, shrubs, and a ground covering consisting of 2"-4" angular black and tan crushed basalt and 3/8" chips. The Licensee shall ensure that all crushed basalt and chips are properly contained so that no material migrates onto the public sidewalk.**

(space reserved for recording)

**Licensee to contact Digline Inc., prior to start of construction. Licensee to contact Construction Services at 387-6280 to verify if a construction permit is required.**

**(Note to Licensee: NO trees have been proposed within ACHD R/W, Storm Drain Easement, or Roadside Swales with this request. If Licensee wishes to amend this License Agreement to include the installation of trees, Licensee must provide to the District the License Agreement Request Application and attach the amended exhibit showing detail of trees to be installed. Roadside Swale Criteria: Only 1 tree per lot line is allowed located at the backside of the swale. Pressure Irrigation Systems shall include a dedicated irrigation line operated by the HOA).**

2.2 This Agreement does not extend to Licensee the right to use the Right-of-Way to the exclusion of ACHD for any use within its jurisdiction, authority, and discretion or of others to the extent authorized by law to use the public right-of-way. If the Right-of-Way has been opened as a public Highway (as used in the Agreement the term "Highway" is as defined in *Idaho Code* § 40-109(5)) Licensee's Authorized Use is subject to the rights of the public to use the Right-of-Way for Highway purposes. Licensee's Authorized Use is also subject to the rights of holders of easements of record or obvious on inspection of the Right-of-Way and statutory rights of utilities to use the public right-of-way. This Agreement is not intended to, and shall not, preclude or impede the ability of ACHD to enter into other similar agreements in the future allowing third parties to also use its public rights-of-way, or the ability of ACHD to redesign, reconstruct, relocate, maintain and improve its public rights-of-way and Highways as authorized by law and as it determines, in its sole discretion, is appropriate.

**SECTION 3 CONSTRUCTION, OR INSTALLATION OF IMPROVEMENTS** Any repairs or maintenance, of the Licensee's improvements currently located in the Right-of-Way or the installation or construction of improvements by Licensee in the Right-of-Way as permitted by the Authorized Use, (the "Improvements"), shall be accomplished in accordance with designs, plans and specifications approved in advance and in writing by ACHD as required to satisfy applicable laws, its policies and good engineering practices. In approving such plans and specifications, ACHD assumes no responsibility for any deficiencies or inadequacies in the design or construction of the Improvements, and the responsibility therefor shall be and remain in Licensee.

**SECTION 4 WAIVER AND ESTOPPEL STATEMENT BY LICENSEE** Licensee acknowledges and agrees that the license granted herein is temporary, and merely a permissive use of the Right-of-Way pursuant to this Agreement. Licensee further acknowledges and agrees that it specifically assumes the risk that the license pursuant to this Agreement may be terminated before Licensee has realized the economic benefit of the cost of installing, constructing, repairing, or maintaining the Improvements, and Licensee hereby waives and estops itself from asserting any claim that the license is in any way irrevocable because Licensee has expended funds on the Improvements and the Agreement has not been in effect for a period sufficient for Licensee to realize the economic benefit from such expenditures.

**SECTION 5 TERM**

(space reserved for recording)

5.1 The term of this Agreement will commence on the day and year first above written and will continue until terminated by either party, with or without cause, which termination shall be effective following THIRTY (30) DAYS advance written notice of termination given to the other party. Upon expiration of the THIRTY (30) DAYS, ACHD shall record a Revocation of Master License Agreement in the Official Real Property Records of Ada County, Idaho.

5.2 If Licensee defaults in the performance of any obligations incumbent upon it to perform hereunder ACHD may terminate this Agreement and the rights extended to Licensee hereunder at any time, effective at the end of THIRTY (30) days following the date ACHD shall provide written notice of termination to Licensee, which notice shall specify such default(s). Licensee shall have such THIRTY (30) day period to correct and cure the specified defaults, and if so corrected and cured, to the satisfaction of ACHD, this Agreement shall not be terminated but shall continue in full force and effect.

SECTION 6 FEE There is no fee for the Licensee's Authorized Use of the Right-of-Way under this Agreement.

SECTION 7 MAINTENANCE: FAILURE TO MAINTAIN; RELOCATION OF UTILITIES

7.1 At its sole cost and expense, Licensee shall maintain the Improvements in good condition and repair and as required to satisfy applicable laws, the policies of ACHD and sound engineering practices. Licensee shall have access over, across and under the Right-of-Way for the purposes of accomplishing such repair and maintenance.

7.2 If the Highway on and/or adjacent to the Right-of-Way is damaged as a result of:

- (i) the performance by Licensee of the maintenance required by section 7, or the failure or neglect to perform such maintenance; and/or
- (ii) Licensee's design, installation or use of the Improvements, regardless of cause;

at its sole cost and expense Licensee shall forthwith correct such deficiency and restore the Highway and the surface of the Right-of-Way to the same condition it was in prior thereto, and if Licensee shall fail or neglect to commence such correction and restoration within twenty-four (24) hours of notification thereof, ACHD may proceed to do so, in which event Licensee agrees to reimburse ACHD for the costs and expenses thereof, including, without limitation, reasonable compensation for the use of staff and equipment of ACHD.

7.3 Notwithstanding the provisions of section 7.2, should an emergency exist related to the Licensee's use of this license which threatens the stability or function of the Highway on or adjacent to the Right-of-Way or the safety of the public use thereof, ACHD shall have the right to immediately perform, on behalf of, and at the cost of Licensee necessary emergency repairs.

7.4 Licensee will be responsible for the relocation of any existing utilities located on the Right-of-Way as may be required in connection with any construction or installation of Improvements by Licensee in the Right-of-Way.

SECTION 8 RELOCATION OF IMPROVEMENTS If during the term of this Agreement ACHD requires, in its sole discretion, at any time, and from time to time, that the Highway on and/or adjacent to the Right-of-

(space reserved for recording)

Way be widened and/or realigned, redesigned, improved and/or reconstructed, Licensee hereby accepts responsibility for all costs for relocating, modifying or otherwise adapting the Improvements to such realignment and/or relocation and/or reconstruction if required by ACHD, which shall be accomplished by Licensee according to designs, plans and specifications approved in advance by ACHD in writing; provided ACHD gives Licensee adequate written notice as necessary to allow Licensee to redesign, relocate, modify or adapt the Improvements to the realignment and/or relocation and/or reconstruction of the Highway and also licenses Licensee such additional area of its right-of-way, if any, as may be necessary for the proper operation of the Improvements.

SECTION 9 PERMIT If the proposed construction and installation of the Improvements, or any reconstruction, relocation, or maintenance thereof requires Licensee to obtain a permit under ACHD policies, Licensee shall first obtain such permit from ACHD (Construction Services Division) before commencing such work, and pay the required fees and otherwise comply with the conditions set forth therein.

SECTION 10 NO TITLE IN LICENSEE Except as expressly provided herein, the terms and conditions of this Agreement shall not create any type of property right, title, or interest in Licensee in or to the Right-of-Way other than the right to temporarily use the same pursuant to the terms of this Agreement.

SECTION 11 NO COSTS TO ACHD Any and all costs and expenses associated with Licensee's Authorized Use of the Right-of-Way, or any construction or installation of Improvements thereon, or the repair and maintenance thereof, or the relocation of Improvements or utilities thereon, or the restoration thereof at the termination of this Agreement, shall be at the sole cost and expense of Licensee.

SECTION 12 TAXES AND ASSESSMENTS Licensee agrees to pay all special assessments and personal property taxes that may be levied and assessed on the Improvements during the term of this Agreement.

SECTION 13 RESTORATION ON TERMINATION Upon termination of this Agreement, Licensee will promptly remove all Improvements and restore the Right-of-Way to at least its present condition. Should Licensee fail or neglect to promptly remove the Improvements and restore the Right-of-Way, ACHD may do so, and assess Licensee for the costs thereof. Provided, ACHD and Licensee may agree in writing that some or all of such Improvements are to remain on the Right-of-Way following termination, and by entering into such an agreement Licensee thereby disclaims all right, title, and interest in and to the same, and hereby grants such Improvements to ACHD, at no cost. Further provided, if the Authorized Use of the Right-of-Way under this Agreement is for landscaping in ACHD right-of-way and the irrigation and maintenance thereof, and the general purpose government with jurisdiction has adopted ordinances, rules, and regulations governing the landscaping and maintenance of such right-of-way by owners of the adjacent property, to the extent such owners are obligated to maintain and irrigate the landscaping Licensee need not remove the same from the Right-of-Way.

SECTION 14 INDEMNIFICATION Licensee hereby indemnifies and holds ACHD harmless from and against any and all claims or actions for loss, injury, death, damages, mechanics, and other liens, arising out of the failure or neglect of Licensee, Licensee's employees, contractors, and agents, to properly and reasonably make Authorized Use of the Right-of-Way or properly construct, install, plant, repair or maintain the Improvements thereon, or that otherwise result from the use and occupation of the Right-of-Way by Licensee, and including any attorney fees and costs that may be incurred by ACHD in defense of such claims or actions indemnified against by Licensee hereunder. For claims or actions arising out of failures or neglect



(space reserved for recording)

**SECTION 20 EXHIBITS** All exhibits attached hereto and the recitals contained herein are incorporated herein as if set forth in full herein.

**SECTION 21 RECORDATION** This Agreement shall be recorded by ACHD upon execution in the Official Real Property Records of Ada County, Idaho.

**SECTION 22 Warranty of Authority to Execute**

22.1 The person executing this Agreement on behalf of ACHD represents and warrants due authorization to do so on behalf of ACHD, and that upon execution of this Agreement on behalf of ACHD, the same is binding upon, and shall inure to the benefit of, ACHD.

22.2 If Licensee is not a natural person, the person executing the Agreement on behalf of Licensee represents and warrants due authorization to do so on behalf of Licensee, and that upon execution of this Agreement on behalf of Licensee, the same is binding upon, and shall inure to the benefit of Licensee.

IN WITNESS WHEREOF, the undersigned have caused this Agreement to be executed the day, month, and year first set forth above.

**ADA COUNTY HIGHWAY DISTRICT**

\_\_\_\_\_  
By: **David Serdar**  
Its: **Right of Way Supervisor**

**LICENSEE: City of Kuna**

\_\_\_\_\_  
**City of Kuna**  
**Joe Stear, Mayor of Kuna ID**

**EXHIBIT(S)**

Exhibit A – Depiction of Authorized Use

*The Ada County Highway District (ACHD) is committed to compliance with Title VI of the Civil Rights Act of 1964 and related regulations and directives. ACHD assures that no person shall, on the grounds of race, color, national origin, gender, disability, or age, be excluded from participation in, be denied the benefits of, or be otherwise subjected to discrimination under any ACHD service, program, or activity.*

(space reserved for recording)

STATE OF IDAHO        )  
                                  )ss  
County of Ada         )

On this \_\_\_ day of \_\_\_\_\_, 20\_\_\_, before me, \_\_\_\_\_, a Notary Public in and for the State of Idaho, personally appeared, **David Serdar** known or identified to me to be the Right of Way Supervisor for the Ada County Highway District, the person who executed this instrument on behalf of said District, and acknowledged to me that the Ada County Highway District executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.

\_\_\_\_\_  
Notary Public for Idaho  
Residing at: \_\_\_\_\_  
My commission expires: \_\_\_\_\_

State of IDAHO    )  
                                  )ss  
County of ADA    )

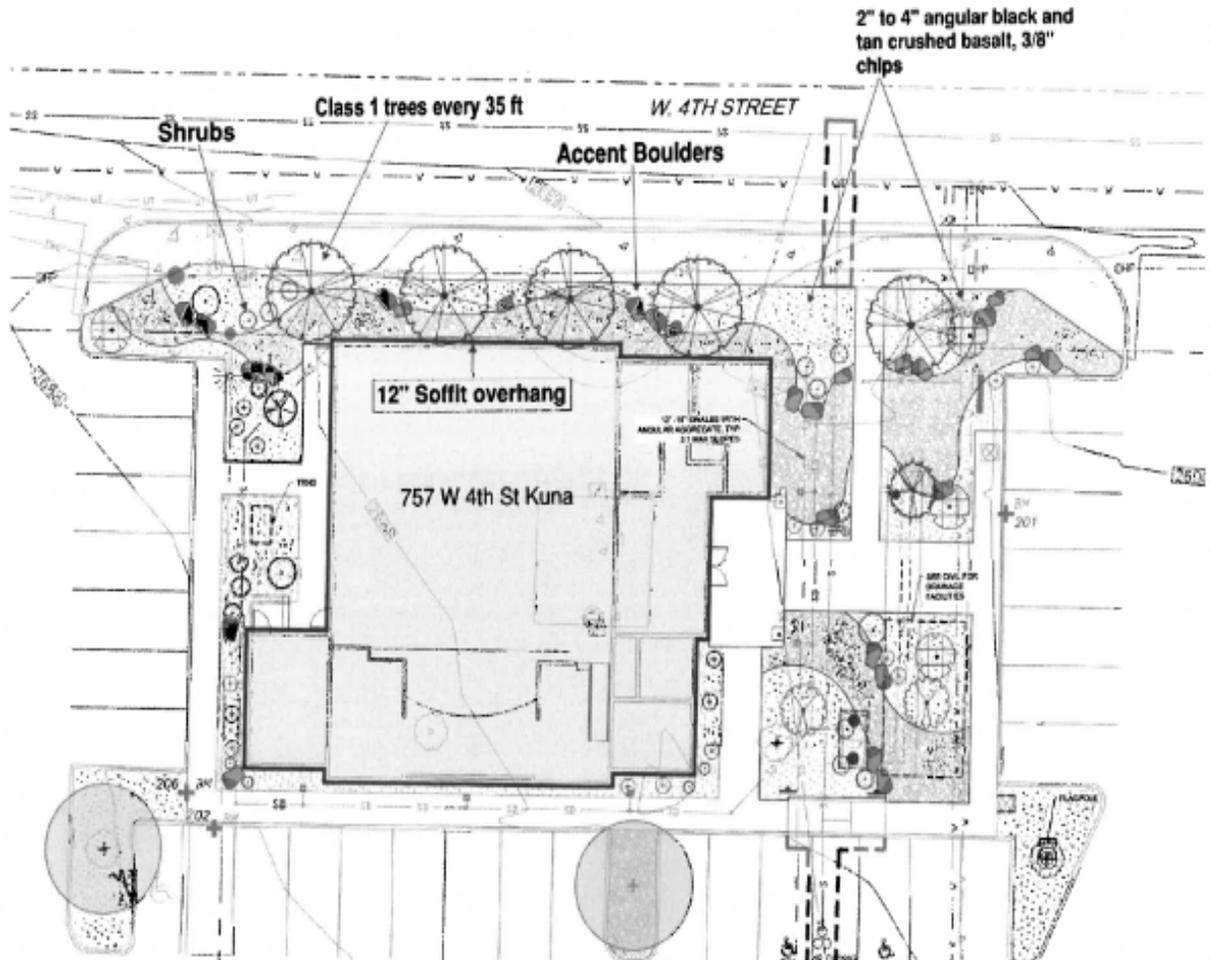
On this \_\_\_ day of \_\_\_\_\_, in the year 20\_\_\_, before me a Notary Public in and for said State, personally appeared **Joe Stear**, known to me to be the person who executed the foregoing instrument, who, being by me first duly sworn, did depose and say that he is the **Mayor of the City of Kuna, ID** and that he executed the foregoing instrument for and on behalf of the said firm for the use and purpose therein stated.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

\_\_\_\_\_  
Notary Public for Idaho  
Residing at: \_\_\_\_\_  
My commission expires: \_\_\_\_\_

(space reserved for recording)

**EXHIBIT A**  
Authorized Use Diagram



**RESOLUTION NO. R04-2026  
CITY OF KUNA, IDAHO**

**A RESOLUTION OF THE CITY COUNCIL OF KUNA, IDAHO:**

- **MAKING CERTAIN FINDINGS AND DECLARATION OF AUTHORITY; AND**
- **AMENDING THE “CITY OF KUNA DOWNTOWN DESIGN STANDARDS”; AND**
- **DIRECTING THE CITY CLERK; AND**
- **PROVIDING AN EFFECTIVE DATE.**

**NOW, THEREFORE BE IT RESOLVED** by the Mayor and City Council of the City of Kuna, Ada County, state of Idaho (the “City”):

**Section No. 1. Findings:**

- 1.1** The City is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code; and
- 1.2** On July 2, 2024, the City Council voted to approve the “City of Kuna Downtown Design Standards”.
- 1.3** It being the City Council’s intent and purpose in approving this Resolution to establish the amended “City of Kuna Downtown Design Standards”, as the effective “City of Kuna Downtown Design Standards” upon the effective date of this Resolution.

**Section 2: Action:**

- 2.1** The City Council hereby adopts, approves, and enacts the amended “City of Kuna Downtown Design Standards” amendment attached hereto as EXHIBIT A.

**Section 3: Directing the City Clerk**

- 3.1** The City Clerk is directed to file this Resolution forthwith in the official records of the City.

**Section 4. Effective Date**

- 4.1** This Resolution shall take effect and be in force from and after its passage and approval.

**PASSED** by the Council for the City of Kuna, Idaho on January 6, 2025.

**APPROVED** by the Council for the City of Kuna, Idaho on this January 6, 2025.

CITY OF KUNA

---

Joe Stear, Mayor

ATTEST:

---

Nathan Stanley, City Clerk

## **DOWNTOWN DESIGN STANDARDS**

**Planner: Marina Lundy**

**[mlundy@kunaid.gov](mailto:mlundy@kunaid.gov)**

**986.269.8341**

**ALL APPLICATION MATERIALS: [DOWNTOWN  
DESIGN STANDARDS](#)**

**If you require assistance accessing the application materials through the link provided above or would like to review the application materials in person at City Hall please contact the assigned planner.**



October 22, 2025

Planning & Zoning Commission  
City of Kuna  
751 W 4<sup>th</sup> Street  
Kuna, ID 83634

SUBJECT: Downtown Design Standards

Commissioners,

The City of Kuna Planning and Zoning Department respectfully submits a proposed amendment to the “City of Kuna Downtown Design Standards”.

The requested changes are as follows:

1. The removal of the three-color tiers for the Old Town District (Pg. 10) and for the Railroad District (Pg. 15).
2. To replace the existing color palettes on Pg. 10 and Pg. 15 with updated colors.

These changes are being requested to remove outdated colors and replace them with colors that more accurately represent the character of these districts. The removal of color tiers and the addition of one-color palette promotes design flexibility, clarity, and consistency, making the city’s design manual easier to use.

Sincerely,

A handwritten signature in black ink, appearing to read "Marina Lundy". The signature is fluid and cursive.

Marina Lundy  
Planner

### Building Materials

Building exteriors should use traditional materials and colors, with muted historic hues, in keeping with the character of the OTD. The primary building façade should be composed of a combination of stone and brick, or overlapping wood plank siding, with allowable accents of stucco, tile, metal, and/or wood detailing.

Figure 3 shows a typical pair of Kuna Main Street existing buildings and the potential for façade improvements to meet these guidelines.

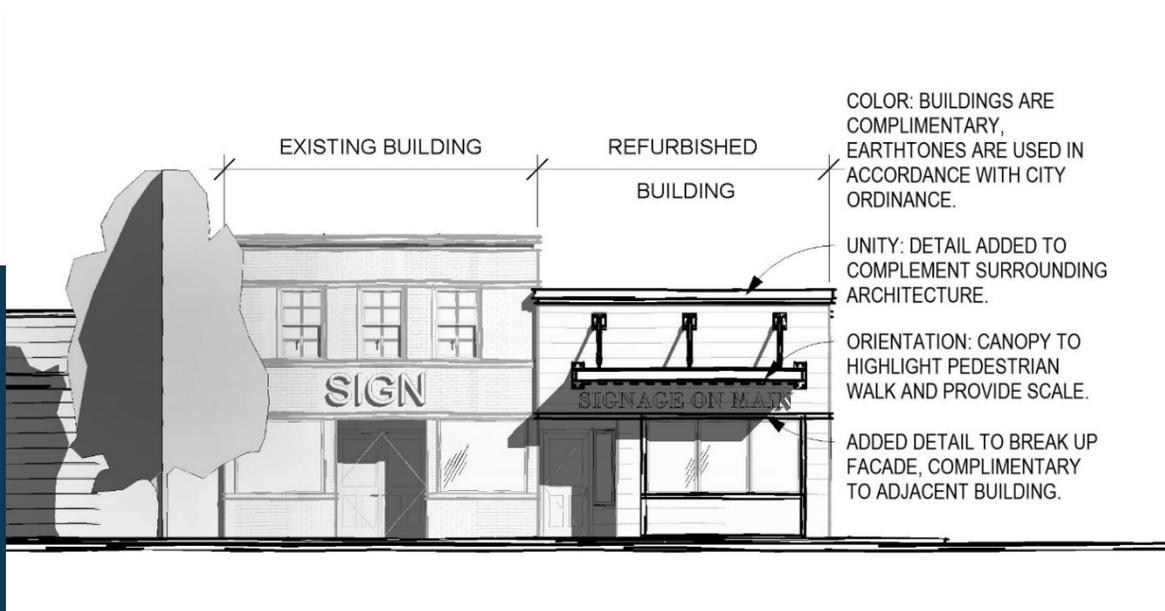
### Color

A color palette for the OTD (and NBD) is presented in Figure 4. Flat or low gloss finishes are acceptable, while shiny or high gloss finishes are prohibited. Requested colors outside of the palette shown in Figure 4 shall go before the Design Review Committee for approval.

- Tier 1 colors are intended for the main body of the building, comprising 75 percent or more of the surface area.
- Tier 2 colors are advised for trim on 15 percent or more.
- Tier 3 colors are suggested accents on 10 percent or less of the surface area.



Figure 4: City of Kuna OTD (and NBD) building color palettes



Rendering by Braintree Properties

Figure 3: Example of minor facade treatments to meet design guidelines

## BUILDING DESIGN

### Roofs

Flat roofs with projecting or decorative cornices and pitched roofs are encouraged to enhance the industrial character of the RRD. Pitched roofs shall have a minimum slope of 4:12 and maximum slope of 12:12. Permanent roof top decks and seating areas are permitted provided they are integrated into the overall building design.

### Windows

Each street facing ground level façade should contain between 30 and 70 percent transparent window materials between an average of 2 to 8 feet above grade. Original window styles, grids (arrangement of panes) and materials is required to the furthest extent possible. Mirrored or darkly tinted glass shall not be permitted.

Windows, canopies, and bays on the street façade should be used to provide additional interest at the building entrance.

### Building Entrances

Refer to General Standards.

### Building Materials

Building exteriors should use materials and colors in keeping with the design and architectural elements found in Southern Idaho railroad building architecture. The primary building façade should be composed of a combination of stone and brick with allowable accents of stucco, tile, metal, and wood detailing.

### Color

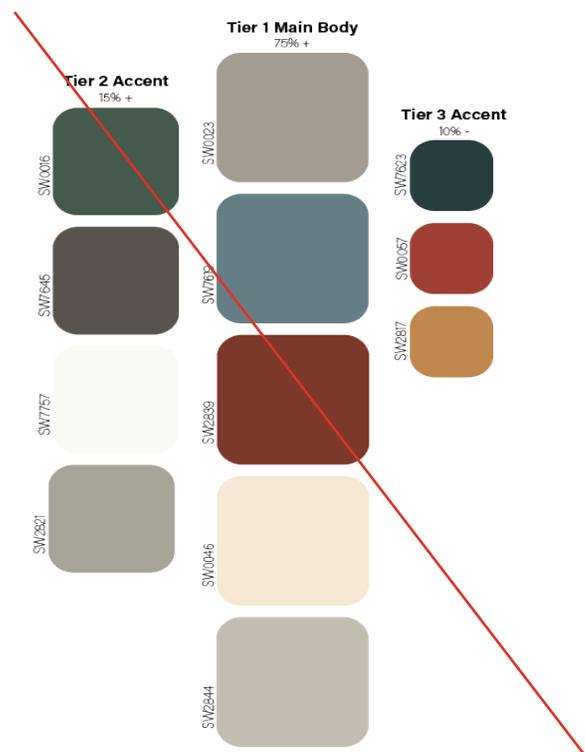
A color palette for the RRD is presented in Figure 12.



*Building accents add to the industrial design of Boise Brewing and complementary storefront amenities provide an inviting space for patrons*

Flat or low gloss finishes are acceptable, while shiny or high gloss finishes are prohibited. Requested colors outside of the palette shown in Figure 12 shall go before the Design Review Committee for approval.

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- ~~☐ Tier 2 colors are advised for trim on 15 percent or more.~~
- ~~☐ Tier 3 colors are suggested accents on 10 percent or less of the surface area.~~



## STOREFRONT EXPERIENCE

**Figure 12:** City of Kuna RRD building color palettes

### Signs

Refer to General Standards.

### Streetscape

Refer to General Standards.

### Building Materials

Building exteriors should use traditional materials and colors, with muted historic hues, in keeping with the character of the OTD. The primary building façade should be composed of a combination of stone and brick, or overlapping wood plank siding, with allowable accents of stucco, tile, metal, and/or wood detailing.

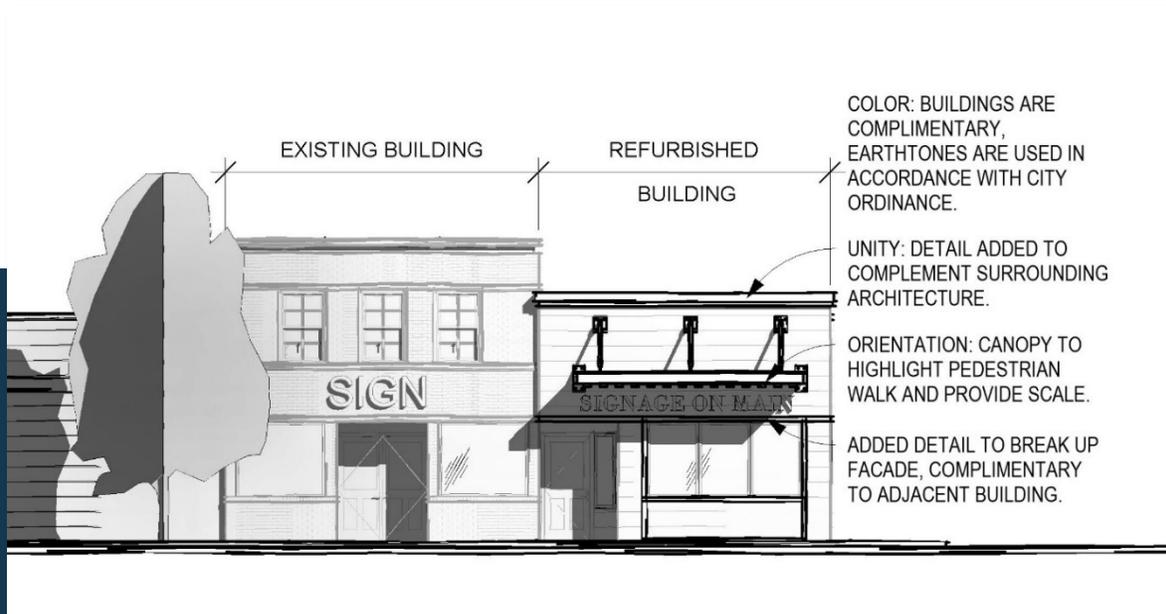
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Figure 4: City of Kuna OTD (and NBD) building color palettes



Rendering by Braintree Properties

Figure 3: Example of minor facade treatments to meet design guidelines

## BUILDING DESIGN

### Roofs

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### Windows

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Flat or low gloss finishes are acceptable, while shiny or high gloss finishes are prohibited. Requested colors outside of the palette shown in Figure 12 shall go before the Design Review Committee for approval.



Figure 12: City of Kuna RRD building color palettes

## STOREFRONT EXPERIENCE

### Signs

Refer to General Standards.

### Streetscape

Refer to General Standards.

*Building accents add to the industrial design of Boise Brewing and complementary storefront amenities provide an inviting space for patrons*



# CITY OF KUNA

## DOWNTOWN DESIGN STANDARDS

July 2, 2024  
Amendments Page 53

**RESOLUTION NO. R40-2024  
CITY OF KUNA, IDAHO**

**A RESOLUTION OF THE CITY COUNCIL OF KUNA, IDAHO:**

- **MAKING CERTAIN FINDINGS AND DECLARATION OF AUTHORITY; AND**
- **ADOPTING THE “CITY OF KUNA DOWNTOWN DESIGN STANDARDS”; AND**
- **DIRECTING THE CITY CLERK; AND**
- **PROVIDING AN EFFECTIVE DATE.**

**NOW, THEREFORE BE IT RESOLVED** by the Mayor and City Council of the City of Kuna, Ada County, state of Idaho (the “City”):

**Section No. 1. Findings:**

- 1.1 The City is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code; and
- 1.2 On November 19, 2019, the City entered into a Professional Services Agreement with JUB Engineering, Inc. for developing downtown design standards as attached hereto as EXHIBIT B.
- 1.3 JUB Engineering, Inc. completed the downtown design standards in July 2021.
- 1.4 The downtown design standards accompanied Case No. 23-01-OA (Ordinance Amendment) Kuna City Code Title 5 & 6 Rewrite through the public hearing process.
- 1.5 It being the City Council’s intent and purpose in approving this Resolution to adopt the “City of Kuna Downtown Design Standards” upon the effective date of this Resolution.

**Section 2: Action:**

- 2.1 The City Council hereby adopts, approves, and enacts the “City of Kuna Downtown Design Standards” as attached hereto as EXHIBIT A.

**Section 3: Directing the City Clerk**

- 3.1 The City Clerk is directed to file this Resolution forthwith in the official records of the City.

**Section 4. Effective Date**

- 4.1 This Resolution shall take effect and be in force from and after its passage and approval.

**PASSED** by the Council for the City of Kuna, Idaho this 2<sup>nd</sup> day of July, 2024.

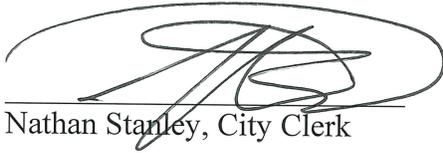
**APPROVED** by the Council for the City of Kuna, Idaho this 2<sup>nd</sup> day of July, 2024.

CITY OF KUNA



Joe L. Stear, Mayor

ATTEST:



Nathan Stanley, City Clerk



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## Appendices

Appendix A Streetscape Specifications

## Definitions

The words and terms below have been used throughout this document and are defined here as follows:

**Alcove** | a small building recessed space that may open into a larger space

**Awning** | a canvas or other temporary material used to create a covering over a window or door

**Balcony** | a platform projection from the wall or window, enclosed by a railing

**Balustrade** | a series of balusters (short pillars with a top and bottom rail) used on staircases, balconies, and porches

**Band** | any horizontal member that projects slightly from the surface, often used to mark a division on a wall (also known as band course or band molding)

**Bay** | a structural wall projection of three sides from the ground up often including windows

**Bracket** | a projection from a vertical surface, often providing support (balcony, roof, etc.) or as a fastener

**Canopy** | a projection over a niche or doorway

**Cornice** | a horizontal molded projection typically provided as a decorative element

**Court** | an open area totally or partially surrounded by walls or buildings

**Deck** | a flat surface capable of supporting weight

**Façade** | the principal face or front elevation of a building

**Forecourt** | a court situated at the building front or entryway

**Form** | the overall shape or outline of a building

**Gable** | a pitched roof in the shape of a triangle

**Hipped** | a roof with slopes on all sides

**Hue** | a shade or tint of a color

**Infill building** | a new structure built in a block of existing buildings

**Masonry** | work constructed by a mason using stone, brick, tile, or other similar materials

**Mass** | the overall size or bulk of a building

**Pane** | a single piece of window glass

**Panel** | a sunken or raised portion of a wall, ceiling, or door with a frame-like border

**Parapet** | a low wall that rises above a roofline or porch

**Pedestrian-friendly** | provides design and amenities that encourage residents and visitors to walk and enjoy their surroundings

**Pitch** | the degree of slope of a roof

**Porch** | a covered entrance or semi-enclosed space projecting from the building façade

**Scale** | the relationship of a building to its surroundings (site, neighboring properties, etc.)

**Style** | design characteristics and elements that form a type or group associated with a design philosophy or time-period

**Tile** | a piece of fired clay that is thinner than a brick

**Transparency** | the amount of visibility within a building plane provided by windows and other openings

**Trim** | edge or finish around a door or window

**Visual continuity (or Unity)** | an appearance of belonging together presented in structures that share common style elements or other physical similarities

# 1 | Introduction

In 2015, the City of Kuna adopted a Downtown Revitalization Plan, followed by an updated Comprehensive Plan in 2019, *Envision Kuna*, that recommended several downtown revitalization strategies, including the development of Downtown Design Standards (DDS). The DDS offer intentional guidelines beyond the City Code and policies to implement the community’s vision, encourage design identity, and provide visual cohesion.

## DOWNTOWN DISTRICTS

The Downtown Design Standards apply to three subarea districts, along with Entrance Corridors, as described below and shown in Figure 1.

## ENTRANCE CORRIDORS

Streetscape elements along four corridors to welcome residents and visitors as they approach the downtown core. More information is provided in the General Standards section.

## REVIEW PROCESS

At a minimum, Administrative Design Review will be required for any exterior modification, rehabilitation, reconstruction, new structures, etc. within all Downtown Districts and Entrance Corridors.



## Old Town District (OTD)

Kuna’s historic townsite, including Main Street, commercial and civic uses in older structures, some dating from Kuna’s early days as a railroad settlement.



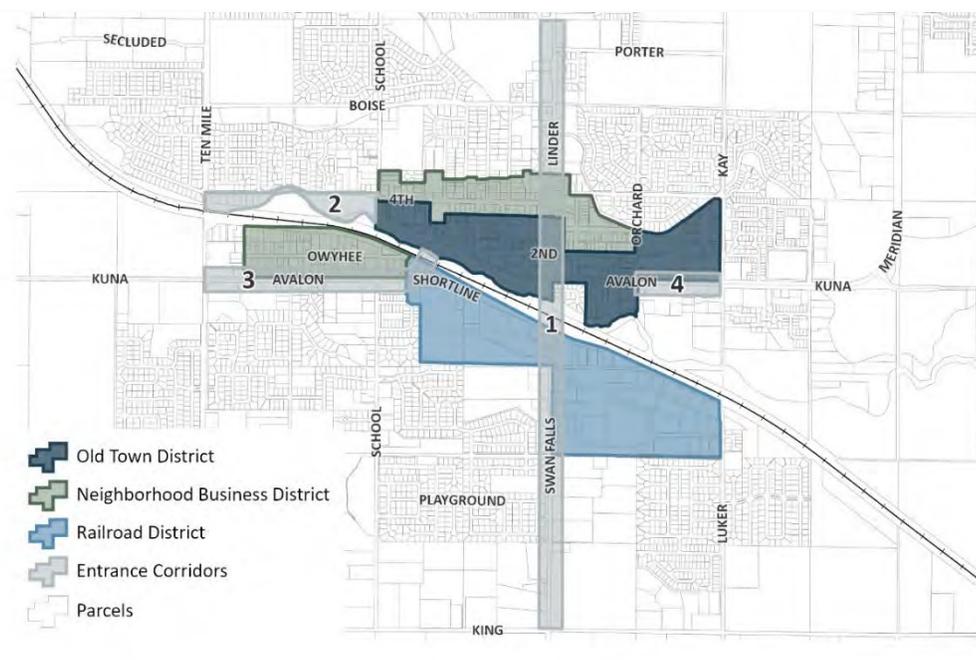
## Neighborhood Business District (NBD)

Adjacent to the OTD, predominantly residential and some commercial uses, including properties along 4th Street, Owyhee and Park Avenues, and Avalon Addition.



## Railroad District (RRD)

South of the OTD along the rail line, including the Indian Creek Greenbelt and the proposed Helen Zamzow Park.



**Figure 1:**  
Kuna Downtown Subarea Districts

## 2 | General Standards

The following General Standards are applicable to all three subarea Districts and Entrance Corridors.

### SITE LAYOUT & ORIENTATION

#### Parking

Off-street parking, including surface parking lots, shall be located to the rear or sides of buildings. When surface parking lots abut a public street, they must be screened with a treatment, at least 2 feet in height and no more than 3 feet in height, consisting of landscape plantings of evergreen shrubs and groundcover materials or low walls made of concrete, masonry, or other similar material, or raised planters planted with evergreen shrubs. If walls or raised planters must exceed 3 feet in height, it must be demonstrated that the screening treatment does not create a safety hazard, and the portion of treatment that is above 3 feet in height is a minimum 75% transparent (i.e. railing, trellis, or other similar treatment) and provides added visual interest and detail enhancing the District character.

If there is insufficient space to allow the use of the above screening treatments, a decorative railing or fencing may be considered. Chain link fencing is prohibited.

#### Lighting

On premise, outdoor lighting must meet Kuna City Code requirements, including dark sky applications. Businesses are encouraged to rely on ambient street lighting for the safe illumination of the sidewalk area. Low wattage lighting of entryways, window spaces and indoor spaces should occur in such a manner that no glare is cast on to the sidewalk area. Flashing and strobe lighting is prohibited. See appendices for public right-of-way and other public property lighting specifications.

### BUILDING DESIGN

#### Building Entrances

Building entrances should be easily identifiable and accessible. Features such as flanking windows or canopies may be used, as well as recessed entries,

balconies, and forecourts. The street level should offer interest through the placement of arches, bays, and canopies. Further decoration and articulation with projecting sills, bands, or other features, using acceptable building materials, is also encouraged.

### STOREFRONT EXPERIENCE

#### Storefront/Outdoor Seating or Shopping

Areas for customers to enjoy shopping, eating, or drinking outdoors should be integrated into setback areas, side yards and surface parking areas. In some districts, where sufficient front setbacks do not occur, outdoor seating may occur within the right-of-way. Sidewalk seating, shopping areas or storefront amenities may be permitted provided that a minimum of 5-foot-wide continuous pedestrian access along the sidewalk is provided, without obstructions or hazards to pedestrian activity.

Further provisions regarding service of alcohol, fencing, and lighting may also be enforced. Materials and color of semi-permanent fixtures shall complement the area and blend with the building in compliance with these standards.

Any proposed seating, shopping or alternative activities within alleyways, roadways, or public right-of-way must be approved by the City and Ada County Highway District (ACHD).



**Figure 2:** Rendering of a downtown Nampa alleyway

## Signs

Business signage shall be architecturally compatible and in scale with the building, fitting within the features of the building façade, such as above windows, within entry ways, above or beside windows. Colors and materials should complement the overall appearance of the building. Business signage design criteria:

- ❑ Shallow wall-mounted, either against the façade or perpendicular (blade signs) and may be framed or painted directly on the wall. Blade signs supported by ornamental bracket and oriented to the pedestrian are encouraged.
- ❑ Painted wood or enameled metal signs are preferred.
- ❑ Low, free-standing signs may be considered for sites with adjacent open areas, such as surface parking areas or outdoor seating areas.
- ❑ Refrain from concealing significant architectural features or details and/or projecting above the roof, parapet, or exterior wall.
- ❑ Plastic and internally lit signs are strongly discouraged.
- ❑ Electronic message centers are not permitted.

## ENTRANCE CORRIDORS

The purpose of the Entrance Corridors is to welcome residents and visitors as they approach the downtown core from all directions. Public streetscape improvements within Entrance Corridors and all Downtown Subarea Districts should mirror Main Street to the furthest extent possible. Streetscape improvements may include wider sidewalks, decorative lighting, banners, colored and stamped concrete, intersection bulb-outs, pedestrian crossings, street trees and grates, bike racks, art, and trash receptacles. Any new or modified streetscape improvements must be approved by the City of Kuna and ACHD. Streetscape specifications (concrete color, stamp patterns, street lighting, etc.) are provided in Appendix A.



*Outdoor seating along the sidewalk in front of the Sun Ray Cafe in Boise's Hyde Park*



*Various complementary signs at a Hyde Park bike shop*



### Big Picture

Retain historic character with redevelopment of older buildings, provide thoughtful use of in-fill that respects adjacent structures and optimizes use, and maintain character defining elements during redevelopment and rehabilitation of older buildings, to keep Kuna unique.

## 3 | Old Town District

### SITE LAYOUT & ORIENTATION

#### *Building Orientation*

Buildings should be oriented to/facing the street, with special attention to the rhythm and proportion of building entrances and windows to provide visual interest for the pedestrian.

Buildings should be at the street property line, with parking provided to the rear or off site, with appropriate use of landscaping to complement the structure and provide screening as needed, thus creating a pedestrian-friendly edge.

#### *Setbacks*

Whenever possible, buildings should be located adjacent to the sidewalk, in keeping with the placement of older buildings on Main Street. If usable public space, such as outdoor dining, or court amenities are provided, a setback of no more than 20 feet may be considered. In areas outside of Main Street within the OTD, zero setbacks are highly encouraged to extend the character of the historic townsite and promote pedestrian activity.

#### *Height*

The maximum building height is determined by the underlying zone. In keeping with the historic character, buildings should not exceed 4 stories. Buildings more than 2 stories must be stepped back from upper stories to reduce bulk and provide architectural interest.

### BUILDING DESIGN

#### *Roofs*

Flat roofs with projecting or decorative cornices are encouraged to preserve the existing character of the OTD. Permanent roof top decks and seating areas are



*The unique historic character of Main Street is still reflected in downtown Kuna today*

permitted provided they are integrated into the overall building design.

#### *Windows*

Windows, alcoves, and bays on the street façade should be used to provide additional interest at the building entrance.

Each street facing ground level façade should contain between 30 and 70 percent transparent window materials and occur between an average of 2 to 8 feet above grade. Original window styles, grids (arrangement of panes) and materials is required to the furthest extent possible. Mirrored or darkly tinted glass is not allowable.

#### *Building Entrances*

Building entrances should be easily identifiable and accessible. Features such as flanking windows or canopies may be used, as well as recessed entries, balconies, and forecourts. The street level should offer interest through the placement of arches, bays, and canopies. Further decoration and articulation with projecting sills, bands, or other features, using acceptable building materials, is also encouraged.

### Building Materials

Building exteriors should use traditional materials and colors, with muted historic hues, in keeping with the character of the OTD. The primary building façade should be composed of a combination of stone and brick, or overlapping wood plank siding, with allowable accents of stucco, tile, metal, and/or wood detailing.

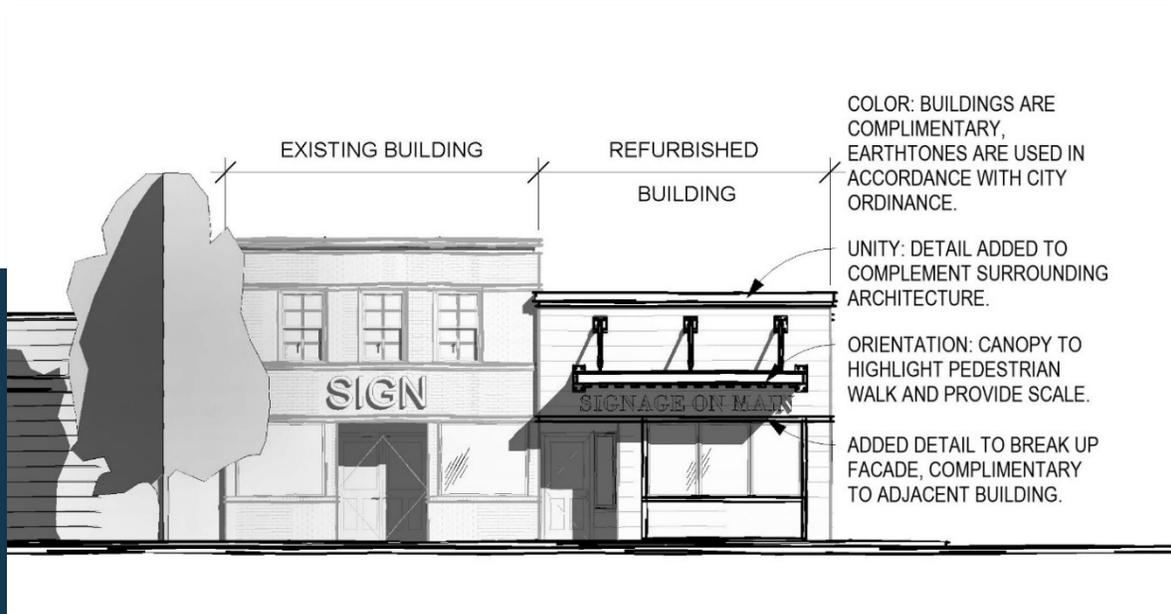
Figure 3 shows a typical pair of Kuna Main Street existing buildings and the potential for façade improvements to meet these guidelines.

### Color

A color palette for the OTD (and NBD) is presented in Figure 4. Flat or low gloss finishes are acceptable, while shiny or high gloss finishes are prohibited. Requested colors outside of the palette shown in Figure 4 shall go before the Design Review Committee for approval.



Figure 4: City of Kuna OTD (and NBD) building color palettes



Rendering by Braintree Properties

Figure 3: Example of minor facade treatments to meet design guidelines

Figure 5 depicts typical Main Street buildings with the recommended materials and color palette applied.

**STOREFRONT EXPERIENCE**

*Signs*

In addition to the guidelines in the General Standards section, business signage should be shallow wall-mounted, either against the façade or perpendicular (blade signs) and may be framed or painted directly on the wall.

*Streetscape*

The typical Section for Main Street is shown below in Figure 6. Streetscape improvements should mirror Main Street to the furthest extent possible, incorporating the specifications provided in Appendix A. For any deviation from this Typical Section within the OTD, appropriate planning processes and approvals by ACHD and the City of Kuna shall occur.



*Rendering by Braintree Properties*

**Figure 5:** Rendered example of facade upgrades complementary and unifying to existing buildings



**Figure 6:** Kuna Main Street Typical Section – larger version can be found in Appendix A



### Big Picture

Provide a unique environment that retains a mix of residential and commercial uses, maintaining the existing historic setting by repurposing with improved facilities, and enhance the downtown experience with outdoor activity.

## 4 | Neighborhood Business District

### SITE LAYOUT & ORIENTATION

#### Building Orientation

Buildings should be oriented to/facing the street or toward side yards, with special attention to the areas between buildings to provide pedestrian amenities and points of visual interest.

Buildings should be situated behind a front yard, with parking provided to the rear or off site, and with appropriate use of landscaping or outdoor seating to complement the structure and provide screening as needed.

#### Setbacks

Whenever possible, buildings should be located no less than 20 feet from the street in front and 15 feet from any street along the side. Setback areas should be landscaped, particularly along the right of way, and should be used to accommodate outdoor dining, merchandise display or to provide other court amenities. Figure 7 shows how the setback area can be purposed for outdoor seating.

#### Height

The maximum building height is determined by the underlying zone. In keeping with the NBD's residential character, a maximum of 2 stories is recommended.



A bungalow in the Neighborhood Business District reflects unique character



Goody's ice cream shop in Boise's Hyde Park provides a landscaped edge to their front and side yard outdoor seating area

Figure 7: Example of residential use adapted for commercial use, including outdoor seating in the front yard area



Rendering by Braintree Properties

## BUILDING DESIGN

### Roofs

Pitched roofs with a minimum slope of 4:12 and maximum slope of 12:12 are encouraged to preserve the existing character of the NBD. It is also encouraged to preserve historical elements distinct to the district, including gabled and hipped roof shapes and detailing such as large eaves, exposed beam, and brackets.

### Windows

Each street facing ground level façade should contain between 15 and 60 percent transparent window materials between an average of 2 to 8 feet above grade. Original window styles, grids (arrangement of panes) and materials is required to the furthest extent possible. Mirrored or darkly tinted glass is not allowable.

Windows, bays, and porches on the street façade should be used to provide additional interest at the building entrance.

### Building Entrances

Refer to General Standards.

### Building Materials

Building exteriors should use the same suitable building materials as the OTD. Refer to Page 5.

### Color

Building exteriors should use the same color palette as the OTD. Refer to Figure 4.



*A business in Ketchum, Idaho with decorative fencing and a complementary sign that enhances the overall street facade*

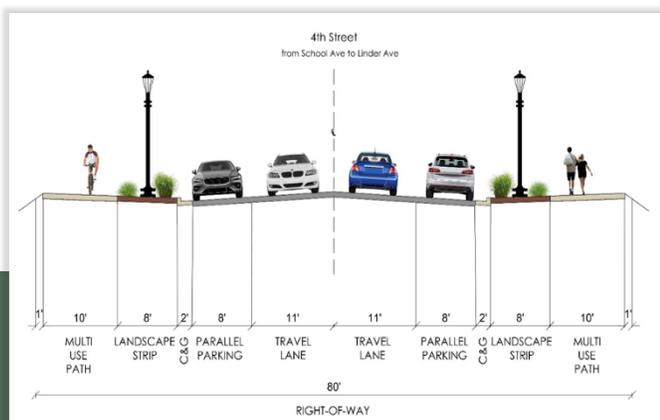
## STOREFRONT EXPERIENCE

### Signs

In addition to the guidelines outlined in the General Standards section, business signage should be shallow wall-mounted, either against the façade or perpendicular (blade signs). Hanging signs may be permitted on structures. Low, free-standing signs may be integrated with fences and walls surrounding yard areas, accessory buildings, and surface parking areas.

### Streetscape

Streetscape improvements should incorporate the specifications provided in Appendix A. For any deviations from these Typical Sections in the NBD, appropriate planning processes and approvals by ACHD and the City of Kuna shall occur.



*Figure 8: Typical Section for 4<sup>th</sup> Street – larger version can be found in Appendix A*



**Big Picture**

Reference Kuna’s railroad history with design of new buildings and amenities, increase recreation and downtown connectivity through Indian Creek Greenbelt connections and improvements, and expand dining and entertainment opportunities.

**5 | Railroad District**

**SITE LAYOUT & ORIENTATION**

**Building Orientation**

Buildings should be oriented to/facing the street or toward side yards, with special attention to the areas between buildings to provide courts and other areas of interest.

Buildings should be situated behind the sidewalk whenever possible, with parking provided to the rear, and with appropriate use of landscaping or architectural treatments to complement the structure and provide screening as needed.

Where applicable, buildings may be oriented toward Indian Creek to create visual interest and expand pedestrian activity and recreation access. See Figure 10 and Figure 11.

**Setbacks**

Whenever possible, buildings should be located adjacent to the sidewalk. If usable public space, such as outdoor dining, or court amenities are provided, a setback of no more than 20 feet may be considered.



*While Kuna’s historic depot was demolished, the impact of the Oregon Short Line Railroad to Kuna’s development has not been forgotten*

**Height**

The maximum building height is determined by the underlying zone. Buildings more than 3 stories in height must be stepped back from upper stories to reduce bulk and provide architectural interest.

**Parking**

In addition to the guidelines outlined in the General Standards section, parking structures may be permitted to the rear or sides of buildings or above levels with other uses. Ground level views into a parking structure must be screened with a treatment, consisting of evergreen shrubs or vines, or decorative metal panels or opaque glass.



**Figure 10:** Rendered waterfront building (Kuna Comprehensive Plan, 2015)



**Figure 11:** Rendered recreation/entertainment corridor (Kuna Comprehensive Plan, 2015)

## BUILDING DESIGN

### Roofs

Flat roofs with projecting or decorative cornices and pitched roofs are encouraged to enhance the industrial character of the RRD. Pitched roofs shall have a minimum slope of 4:12 and maximum slope of 12:12. Permanent roof top decks and seating areas are permitted provided they are integrated into the overall building design.

### Windows

Each street facing ground level façade should contain between 30 and 70 percent transparent window materials between an average of 2 to 8 feet above grade. Original window styles, grids (arrangement of panes) and materials is required to the furthest extent possible. Mirrored or darkly tinted glass shall not be permitted.

Windows, canopies, and bays on the street façade should be used to provide additional interest at the building entrance.

### Building Entrances

Refer to General Standards.

### Building Materials

Building exteriors should use materials and colors in keeping with the design and architectural elements found in Southern Idaho railroad building architecture. The primary building façade should be composed of a combination of stone and brick with allowable accents of stucco, tile, metal, and wood detailing.

### Color

A color palette for the RRD is presented in Figure 12.



Flat or low gloss finishes are acceptable, while shiny or high gloss finishes are prohibited. Requested colors outside of the palette shown in Figure 12 shall go before the Design Review Committee for approval.



Figure 12: City of Kuna RRD building color palettes

## STOREFRONT EXPERIENCE

### Signs

Refer to General Standards.

### Streetscape

Refer to General Standards.

*Building accents add to the industrial design of Boise Brewing and complementary storefront amenities provide an inviting space for patrons*



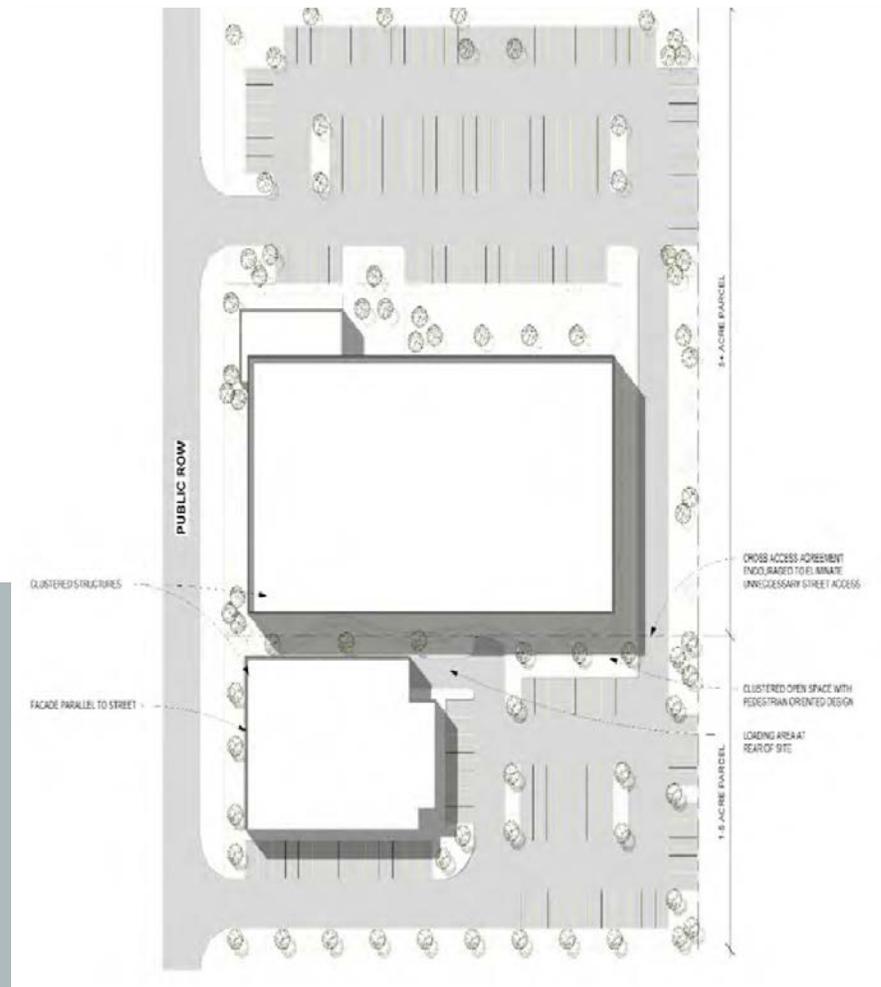
### Big Picture

Ensure that new construction meets the design standards described for the appropriate downtown district to retain and enhance Kuna’s unique character.

## 6 | New Construction

The guidance provided for each subarea should address most issues related to new construction, particularly infill development. Some additional guidance regarding site planning and placement is provided in this chapter. The most impactful change anticipated from these standards are building placement within the site, which will be more oriented to the sidewalk and street, with parking located internal to the site, as opposed to parking being located along the sidewalk and street.

Figure 13 is an example site plan for new development within the Railroad District or Entrance Corridor no. 4 (Kuna/Meridian Road). Illustrated are key elements of the site and an approach to utilizing a large lot with multi-story buildings and integrated surface parking lots.



**Figure 13:** Site plan depicting potential new development within the RRD or Entrance Corridor no. 4

Rendering by Braintree Properties

Site planning and placement of new structures should consider the existing context of the relevant downtown subarea, the location of surrounding land uses and transportation modes, and a site's unique characteristics. Development applications for new construction should heed the provisions for their relevant subarea regarding mass and form, orientation and openings, and materials and colors. Kuna City Code provides specifications regarding parking, lighting, outdoor storage, and landscaping.

Other fundamentals of new construction include:

- ❑ Structures should be designed and sited in a manner that complements any adjacent structures. Sites should be developed in a coordinated manner, that allows diversity of use yet functions cohesively.
- ❑ If possible, new structures should be clustered to create plazas or pedestrian malls and prevent long rows of structures. When clustering is impractical, a visual link between separate structures should be established using visual cues such as similar design elements or landscape treatments.
- ❑ Locate structures and on-site circulation systems to minimize pedestrian vehicle

conflicts. Link structures to the public sidewalk with textured paving and other landscape treatments.

- ❑ Ensure spaces between structures have adequate area and clear edges that reflect careful planning; these spaces should provide pedestrian amenities such as shade and benches, unique lighting, or plantings.
- ❑ Freestanding commercial structures should be oriented with their major entry toward the street, where access is provided, and have their major façade parallel to that street.
- ❑ Loading facilities should not be located at the front of structures, rather they should be located at the rear of the site.

Open spaces should be clustered into larger landscaped areas, rather than in shallow strips, so they may provide more impact as buffers or usable space for pedestrians.



**Figure 14:** Rendered example of plaza-style development with parking and a mix of commercial uses (Kuna Comprehensive Plan, 2015)



# Appendix A

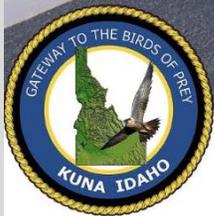
## Streetscape Specifications

# Main Street





Rendering of 4<sup>th</sup> Street Enhanced Pedestrian Crossing



**4<sup>TH</sup> STREET REVITALIZATION**  
City of Kuna, Idaho  
Linder Avenue to School Avenue



Rendering of 4<sup>th</sup> Street looking west



# 4<sup>TH</sup> STREET REVITALIZATION

City of Kuna, Idaho  
Linder Avenue to School Avenue



Rendering of 4<sup>th</sup> Street looking east



## 4<sup>TH</sup> STREET REVITALIZATION

City of Kuna, Idaho  
Linder Avenue to School Avenue



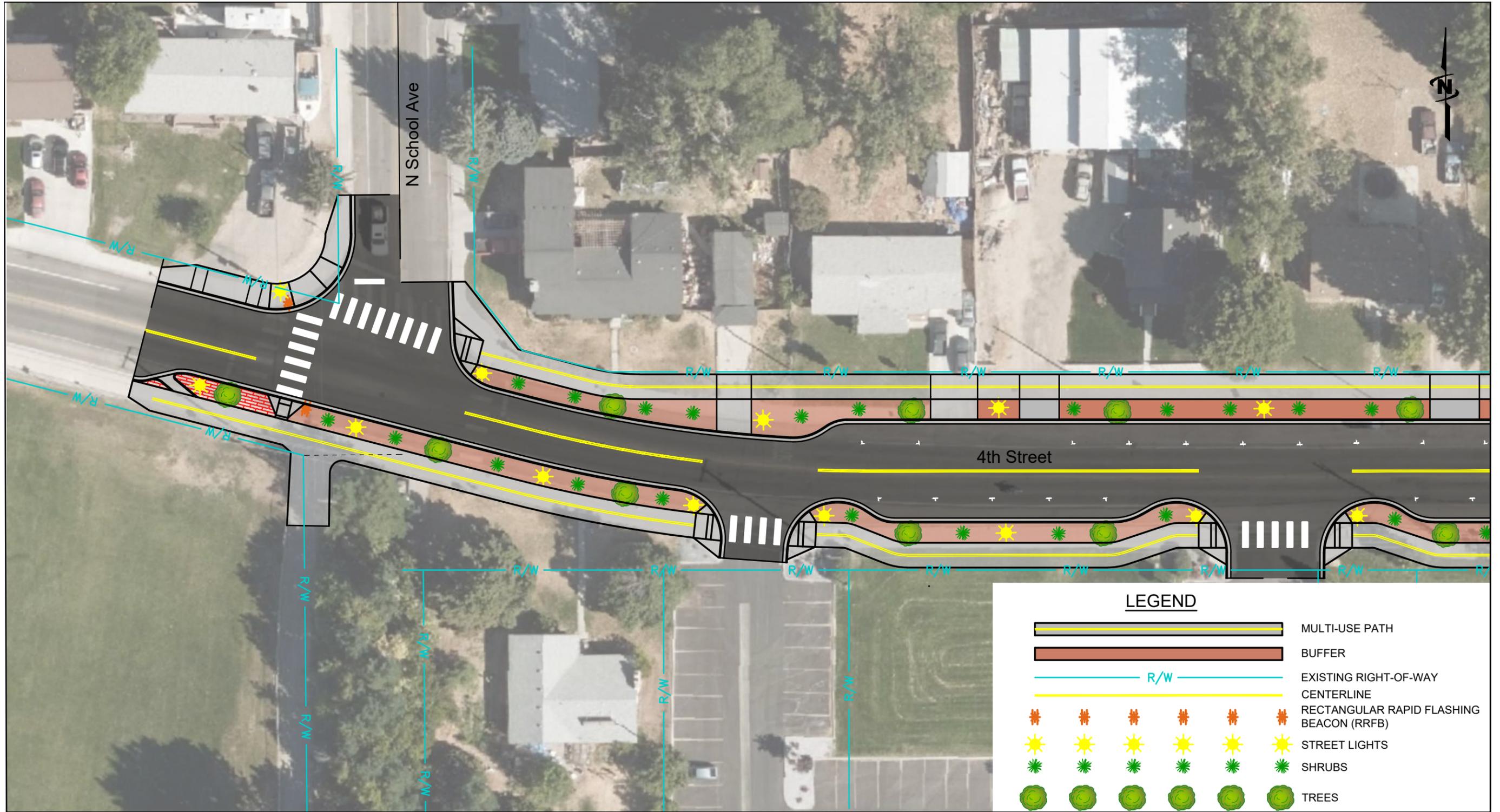
Rendering displaying the corner of Franklin Ave. and 4<sup>th</sup> Street



## 4<sup>TH</sup> STREET REVITALIZATION

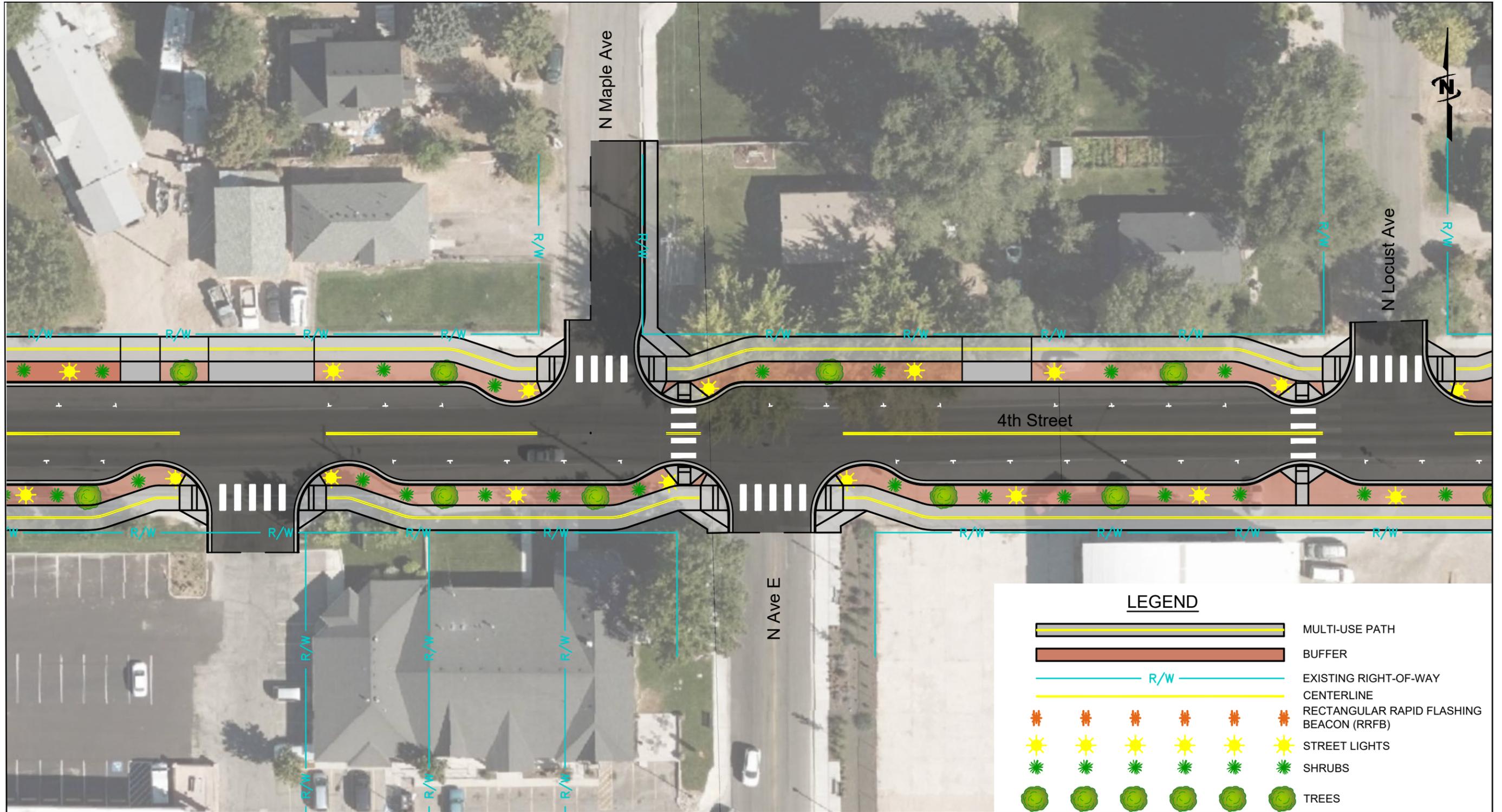
City of Kuna, Idaho  
Linder Avenue to School Avenue





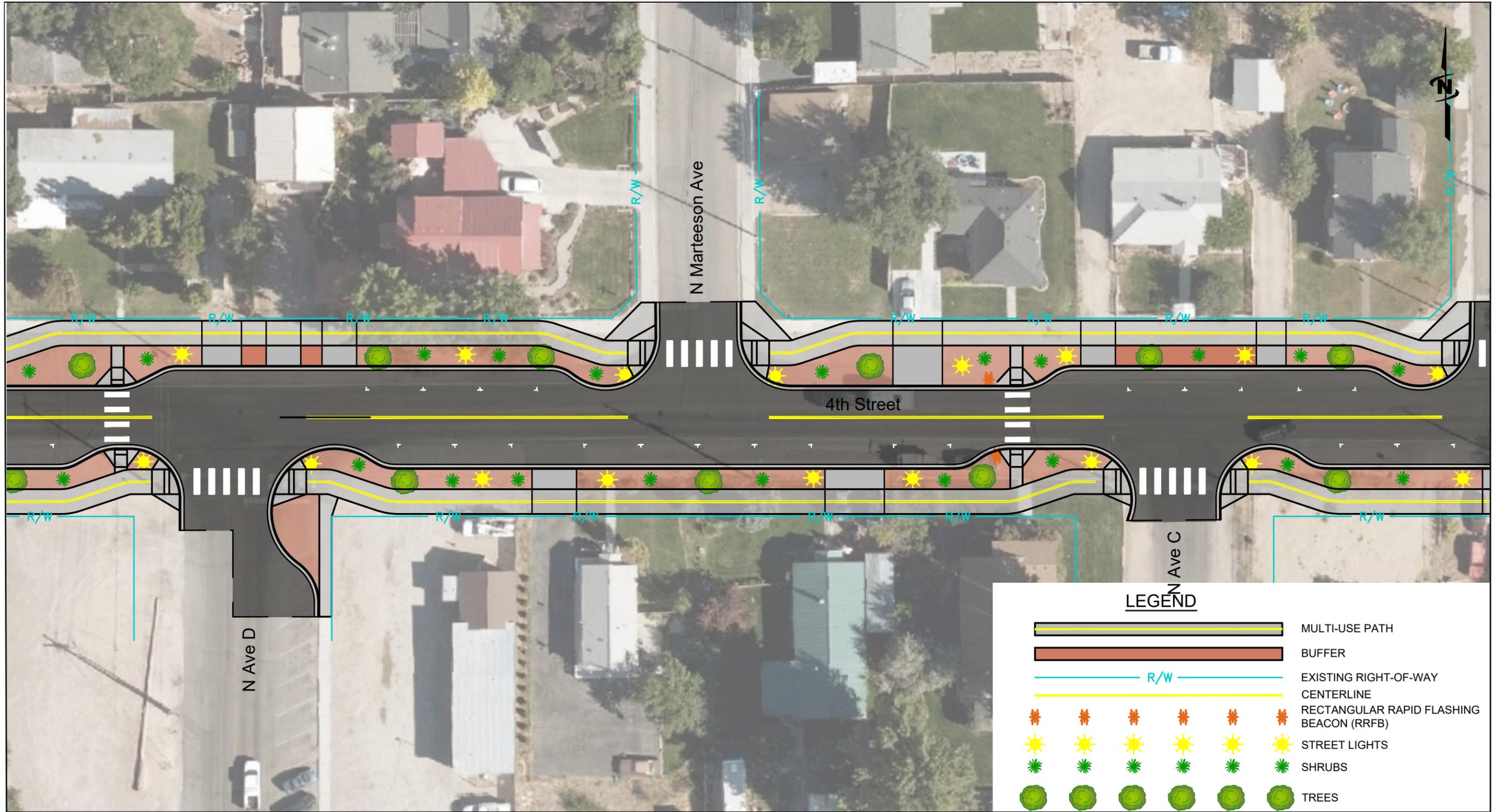
**4th Street Revitalization  
City of Kuna, Idaho  
Linder Avenue to School Avenue**





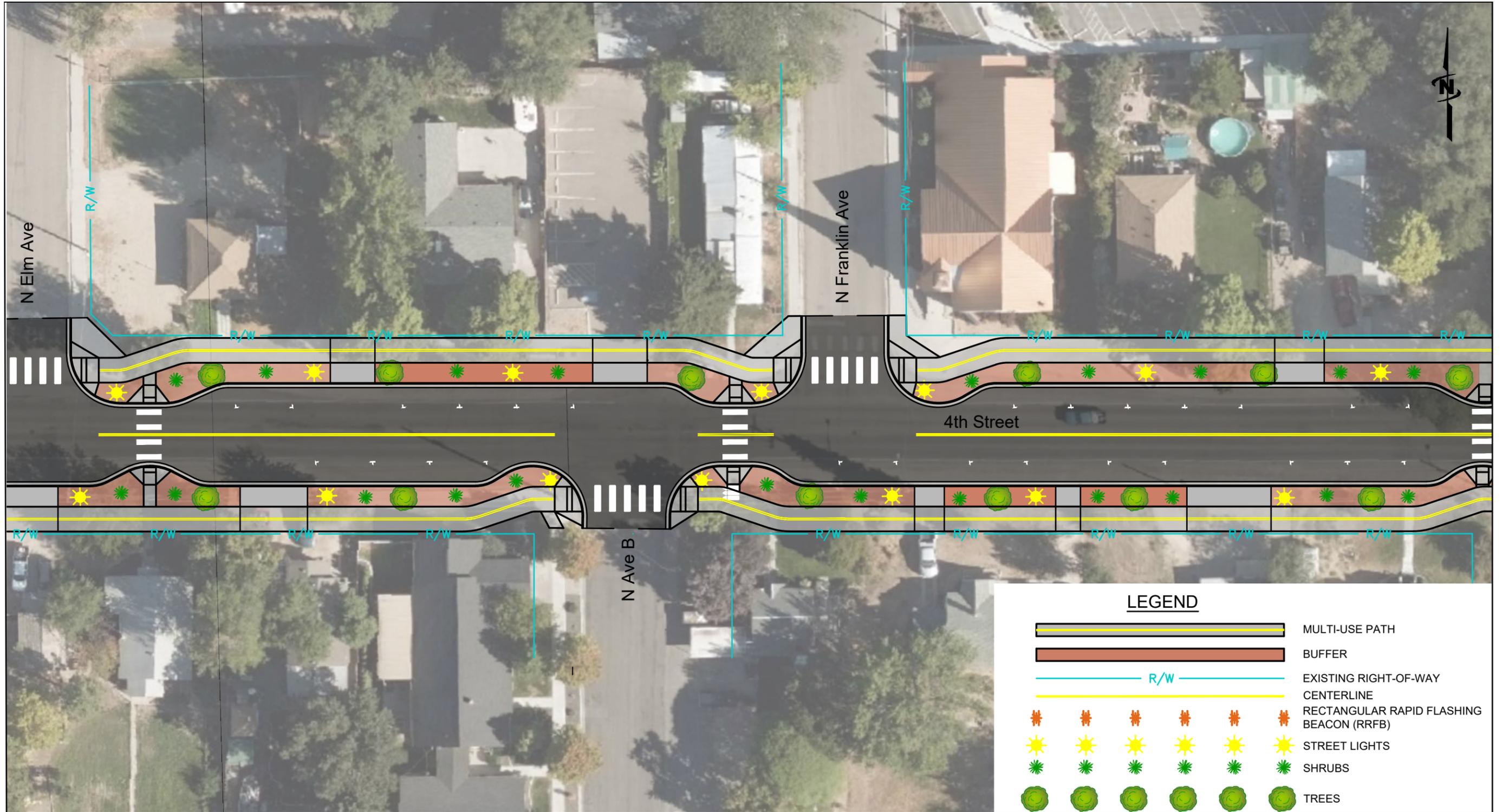
**4th Street Revitalization  
City of Kuna, Idaho  
Linder Avenue to School Avenue**





**4th Street Revitalization  
City of Kuna, Idaho  
Linder Avenue to School Avenue**





### 4th Street Revitalization City of Kuna, Idaho Linder Avenue to School Avenue





### 4th Street Revitalization City of Kuna, Idaho Linder Avenue to School Avenue





## STREET LIGHTING

Downtown Kuna light fixtures are highly decorative and pedestrian friendly.

### *Brand*

---

Beacon

### *Color*

---

Black

### *Pole*

---

14', RSA-B-F Series, Round Straight Aluminum Fluted

### *Base*

---

Centennial AB

### *Banner Arms*

---

5" Mounting Collar

### *Luminaire Fixture*

---

Win 40 (LED), 40" Windsor

### ***Specs attached***

### *Hanging Flower Pots/Baskets*

---

To be approved by the City of Kuna

### *Banners*

---

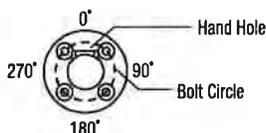
Festive

Holiday

Welcoming

Artistic

|   |                                   |      |  |
|---|-----------------------------------|------|--|
| <h1>RSA-B-F</h1> <h2>SERIES POLES</h2> <p>ROUND STRAIGHT ALUMINUM</p> | Cat.# RSA-B-F-14-50-B-TN4-BBT-GFI |      |  |
|   | Job<br>Kuna Street Lighting       | Type |  |



**APPLICATIONS**

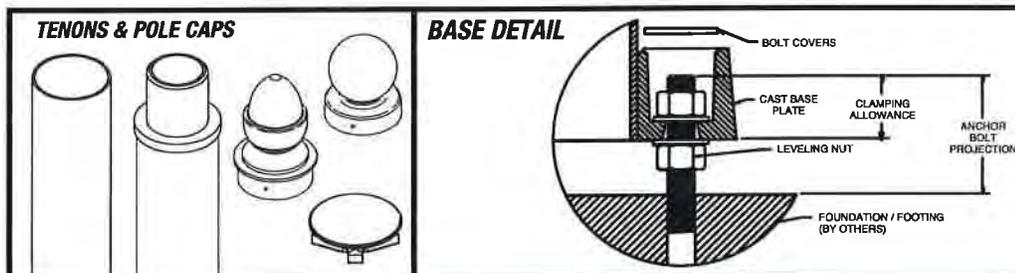
- Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location

**CONSTRUCTION**

- **SHAFT:** One-piece straight aluminum with fluted cross section; Extruded shafts of 6061-T6 aluminum in 3/16" or 1/4" thickness. Base plate of 356 cast aluminum.
- **BOLT COVERS:** Four (4) individual bolt covers provided, painted to match pole and base finish.
- **POLE CAP OR FINALS:** Cap or decorative finials available for side mounted luminaires. Open top or tenons provided for post top mounted luminaires.
- **HAND HOLE:** Aluminum hand hole frame; Mounting provisions for grounding lug located behind cover
- **ANCHOR BOLTS:** Four galvanized anchor bolts provided per pole with minimum yield of 55,000 psi (ASTM F1554). Galvanized hardware with two washers and two nuts per bolt for leveling

**FINISH**

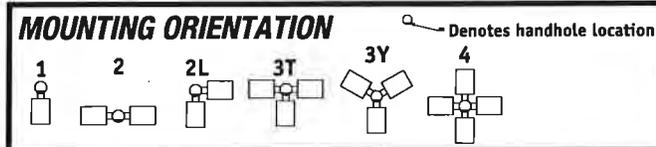
- Durable thermoset polyester powder coat paint finish with nominal 3.0 mil thickness
- Powder paint finish coat available in twelve standard colors; Custom colors available; RAL number preferable.



**ORDERING EXAMPLE:**

**RSA-B-S** - **16** - **40** - **A/B/C** - **2L** - **B3** - **DBT** - **VM2**

| SERIES  | HEIGHT                           | SHAFT                            | THICKNESS                        | MOUNTING  | DRILL PATTERN   | FINISH   | OPTIONS   |
|---|----------------------------------|----------------------------------|----------------------------------|---|---|--|---|
| <b>RSA-B-F</b> Round Straight Aluminum Pole Beacon Fluted | Reference page 2 Ordering matrix | Reference page 2 Ordering matrix | Reference page 2 Ordering matrix | <b>1</b> Single arm mount<br><b>2</b> Two fixtures at 180°<br><b>2L</b> Two fixtures at 90°<br><b>3T</b> Three fixtures at 90°<br><b>3Y</b> Three at 120°<br><b>4</b> Four fixtures at 90°<br><b>OT</b> Open top (includes pole cap)<br><b>TN3</b> Tenon 3 x 3<br><b>TN4</b> Tenon 3 x 4<br><b>TN5</b> Tenon 4 x 5<br><b>TN8</b> Tenon 4 x 8<br><b>ARC</b> Acorn Finial<br><b>BAL</b> Ball Finial | <b>B1</b> Cruiser<br><b>B3</b> VP-L<br><b>B4</b> VP-S | <b>BBT</b> Basic Black Textured<br><b>BMT</b> Black Matte Textured<br><b>BZT</b> Bronze Textured<br><b>DBT</b> Dark Bronze Textured<br><b>DPS</b> Dark Platinum Smooth<br><b>GNT</b> Green Textured<br><b>GYS</b> Gray Smooth<br><b>MBT</b> Metallic Bronze Textured<br><b>MST</b> Metallic Silver Textured<br><b>MTT</b> Metallic Titanium Textured<br><b>OWI</b> Old World Iron<br><b>WHT</b> White Textured<br><b>CC</b> Custom Color- RAL Color# | <b>GFI</b> 20 Amp GFCI Receptacle and Cover<br><b>EHH</b> Extra Handhole<br><b>C05</b> .5" Coupling<br><b>C07</b> .75" Coupling<br><b>C20</b> 2" Coupling<br><b>VM2</b> 2nd mode vibration damper<br><b>LAB</b> Less Anchor Bolts |



**ACCESSORIES- Order Separately**

| Catalog Number | Description               |
|----------------|---------------------------|
| <b>VM2SXX</b>  | 2nd mode vibration damper |

1 Specify option location using logic found on page 2 (Option Orientation)



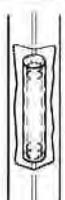
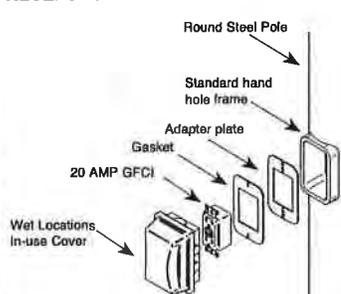
Beacon Products • 2041 58th Avenue Circle East Bradenton, FL 34203 • Phone: 800-345-4928  
 Due to our continued efforts to improve our products, product specifications are subject to change without notice.



**ORDERING INFORMATION Cont.**

| Catalog Number  | Height |        | Nominal Shaft Dimensions | Wall Thickness | Bolt Circle (suggested) | Bolt Square | Base Plate Size        | Anchor Bolt Size | Bolt Projection | Pole weight (lbs) |
|-----------------|--------|--------|--------------------------|----------------|-------------------------|-------------|------------------------|------------------|-----------------|-------------------|
|                 | Feet   | Meters |                          |                |                         |             |                        |                  |                 |                   |
| RSA-B-F-08-40-B | 8      | 2.4    | 4" Fluted                | .188           | 6.75"                   | 4.77        | 9.62" Dia x 1.88" Thk  | 3/4 x 30 x 3     | 3-3/4"          | 28                |
| RSA-B-F-10-40-B | 10     | 3.0    | 4" Fluted                | .188           | 6.75"                   | 4.77        | 9.62" Dia x 1.88" Thk  | 3/4 x 30 x 3     | 3-3/4"          | 34                |
| RSA-B-F-12-40-B | 12     | 3.7    | 4" Fluted                | .188           | 6.75"                   | 4.77        | 9.62" Dia x 1.88" Thk  | 3/4 x 30 x 3     | 3-3/4"          | 39                |
| RSA-B-F-14-40-B | 14     | 4.3    | 4" Fluted                | .188           | 6.75"                   | 4.77        | 9.62" Dia x 1.88" Thk  | 3/4 x 30 x 3     | 3-3/4"          | 45                |
| RSA-B-F-16-40-B | 16     | 4.9    | 4" Fluted                | .188           | 6.75"                   | 4.77        | 9.62" Dia x 1.88" Thk  | 3/4 x 30 x 3     | 3-3/4"          | 51                |
| RSA-B-F-18-40-B | 18     | 5.5    | 4" Fluted                | .188           | 6.75"                   | 4.77        | 9.62" Dia x 1.88" Thk  | 3/4 x 30 x 3     | 3-3/4"          | 57                |
| RSA-B-F-20-40-B | 20     | 6.1    | 4" Fluted                | .188           | 6.75"                   | 4.77        | 9.62" Dia x 1.88" Thk  | 3/4 x 30 x 3     | 3-3/4"          | 63                |
| RSA-B-F-22-40-B | 22     | 6.7    | 4" Fluted                | .188           | 6.75"                   | 4.77        | 9.62" Dia x 1.88" Thk  | 3/4 x 30 x 3     | 3-3/4"          | 69                |
| RSA-B-F-24-40-B | 24     | 7.3    | 4" Fluted                | .188           | 6.75"                   | 4.77        | 9.62" Dia x 1.88" Thk  | 3/4 x 30 x 3     | 3-3/4"          | 74                |
|                 |        |        |                          |                |                         |             |                        |                  |                 |                   |
| RSA-B-F-08-50-B | 8      | 2.4    | 5" Fluted                | .188           | 7.75"                   | 5.48"       | 10.62" Dia x 1.88" Thk | 3/4 x 30 x 3     | 3-3/4"          | 34                |
| RSA-B-F-10-50-B | 10     | 3.0    | 5" Fluted                | .188           | 7.75"                   | 5.48"       | 10.62" Dia x 1.88" Thk | 3/4 x 30 x 3     | 3-3/4"          | 41                |
| RSA-B-F-12-50-B | 12     | 3.7    | 5" Fluted                | .188           | 7.75"                   | 5.48"       | 10.62" Dia x 1.88" Thk | 3/4 x 30 x 3     | 3-3/4"          | 48                |
| RSA-B-F-14-50-B | 14     | 4.3    | 5" Fluted                | .188           | 7.75"                   | 5.48"       | 10.62" Dia x 1.88" Thk | 3/4 x 30 x 3     | 3-3/4"          | 55                |
| RSA-B-F-16-50-B | 16     | 4.9    | 5" Fluted                | .188           | 7.75"                   | 5.48"       | 10.62" Dia x 1.88" Thk | 3/4 x 30 x 3     | 3-3/4"          | 62                |
| RSA-B-F-18-50-B | 18     | 5.5    | 5" Fluted                | .188           | 7.75"                   | 5.48"       | 10.62" Dia x 1.88" Thk | 3/4 x 30 x 3     | 3-3/4"          | 69                |
| RSA-B-F-20-50-B | 20     | 6.1    | 5" Fluted                | .188           | 7.75"                   | 5.48"       | 10.62" Dia x 1.88" Thk | 3/4 x 30 x 3     | 3-3/4"          | 76                |
| RSA-B-F-22-50-B | 22     | 6.7    | 5" Fluted                | .188           | 7.75"                   | 5.48"       | 10.62" Dia x 1.88" Thk | 3/4 x 30 x 3     | 3-3/4"          | 83                |
| RSA-B-F-24-50-B | 24     | 7.3    | 5" Fluted                | .188           | 7.75"                   | 5.48"       | 10.62" Dia x 1.88" Thk | 3/4 x 30 x 3     | 3-3/4"          | 90                |
|                 |        |        |                          |                |                         |             |                        |                  |                 |                   |
| RSA-B-F-12-60-C | 12     | 3.7    | 6" Fluted                | .25            | 8.75"                   | 6.19"       | 11.62" Dia x 1.88" Thk | 3/4 x 30 x 3     | 3-3/4"          | 72                |
| RSA-B-F-14-60-C | 14     | 4.3    | 6" Fluted                | .25            | 8.75"                   | 6.19"       | 11.62" Dia x 1.88" Thk | 3/4 x 30 x 3     | 3-3/4"          | 83                |
| RSA-B-F-16-60-C | 16     | 4.9    | 6" Fluted                | .25            | 8.75"                   | 6.19"       | 11.62" Dia x 1.88" Thk | 3/4 x 30 x 3     | 3-3/4"          | 94                |
| RSA-B-F-18-60-C | 18     | 5.5    | 6" Fluted                | .25            | 8.75"                   | 6.19"       | 11.62" Dia x 1.88" Thk | 3/4 x 30 x 3     | 3-3/4"          | 105               |
| RSA-B-F-20-60-C | 20     | 6.1    | 6" Fluted                | .25            | 8.75"                   | 6.19"       | 11.62" Dia x 1.88" Thk | 3/4 x 30 x 3     | 3-3/4"          | 116               |
| RSA-B-F-22-60-C | 22     | 6.7    | 6" Fluted                | .25            | 8.75"                   | 6.19"       | 11.62" Dia x 1.88" Thk | 3/4 x 30 x 3     | 3-3/4"          | 127               |
| RSA-B-F-24-60-C | 24     | 7.3    | 6" Fluted                | .25            | 8.75"                   | 6.19"       | 11.62" Dia x 1.88" Thk | 3/4 x 30 x 3     | 3-3/4"          | 138               |

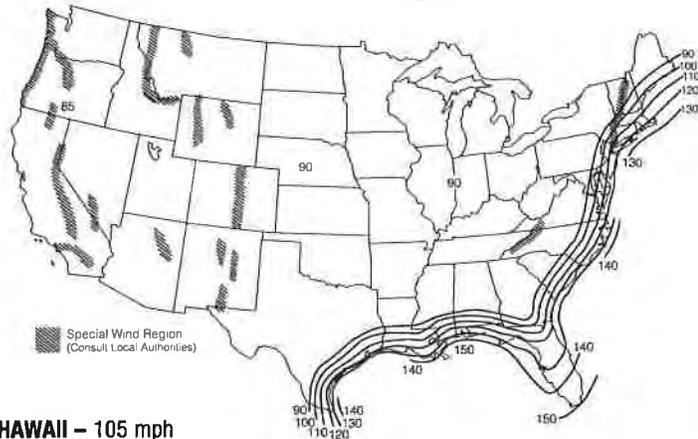
NOTE Factory supplied template must be used when setting anchor bolts. Hubbell Lighting will deny any claim for incorrect anchorage placement resulting from failure to use factory supplied template and anchor bolts.

|   |  |  |  |
|---|--|--|--|
| <p><b>EHH - EXTRA HANDHOLE</b></p>  <p>Provision for Grounding</p>   | <p><b>C05 - C07 - C20 - COUPLING</b></p>  <p>2" - 11.5 NPSM Threads<br/>3/4" - 14 NPSM Threads<br/>1/2" - 14 NPSM Threads</p> | <p><b>VM2 - VIBRATION DAMPER 2ND MODE</b></p>  <p>Factory installed, internal damper designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.</p> | <p><b>GFI - 20 AMP GFCI RECEPTACLE &amp; COVER</b></p>  |
| <p><b>OPTION ORIENTATION</b></p> <p>Follow the logic below when ordering location specific options. For each option, include its orientation (in degrees) and its height (in feet). Example: Option C07 should be ordered as: <b>RSA-B-F-16-40-B-TN3-DBT</b> (.5" coupling on the handhole/arm side of pole, 15 feet up from the pole base) 1' spacing required between option. Consult factory for other configurations.</p> |  | <p><b>VM2SXX - VIBRATION DAMPER 2ND MODE</b></p> <p>Field installed, Internal damper designed to reduce movement and material fatigue caused by 2nd mode vibration.</p> <p>VM2S08 - 8'<br/>VM2S12 - 12'<br/>VM2S16 - 16'<br/>VM2S20 - 20'<br/>VM2S24 - 24'</p>                     |  |

For more information about pole vibration and vibration dampers, please consult [http://cdn.spauldinglighting.com/content/products/literature/literature\\_files/Pole\\_Wind\\_Induced\\_Flyer\\_HL010022.pdf](http://cdn.spauldinglighting.com/content/products/literature/literature_files/Pole_Wind_Induced_Flyer_HL010022.pdf)  
 Due to our continued efforts to improve our products, product specifications are subject to change without notice.



**ASCE7-05 WIND MAP**



**HAWAII – 105 mph**  
**PUERTO RICO – 145 mph**

| ASCE 7-05 wind map EPA Load Rating - 3 second gust wind speeds |      |      |      |      |      |      |      |      |     |     |
|--|------|------|------|------|------|------|------|------|-----|-----|
| Catalog Number   | 85   | 90   | 100  | 105  | 110  | 120  | 130  | 140  | 145 | 150 |
| RSA-B-F-08-40-B  | 18.0 | 16.0 | 12.8 | 11.5 | 10.4 | 8.6  | 7.1  | 5.9  | 5.4 | 5.0 |
| RSA-B-F-10-40-B  | 13.6 | 12.0 | 9.5  | 8.5  | 7.6  | 6.1  | 4.9  | 4.0  | 3.6 | 3.2 |
| RSA-B-F-12-40-B  | 10.5 | 9.2  | 7.1  | 6.3  | 5.6  | 4.3  | 3.4  | 2.6  | 2.3 | 2.0 |
| RSA-B-F-14-40-B  | 8.2  | 7.1  | 5.4  | 4.6  | 4.0  | 3.0  | 2.2  | 1.5  | 1.2 | 1.0 |
| RSA-B-F-16-40-B  | 6.4  | 5.5  | 3.9  | 3.3  | 2.8  | 1.9  | 1.1  | 0.6  | NR  | NR  |
| RSA-B-F-18-40-B  | 4.9  | 4.0  | 2.7  | 2.2  | 1.7  | 0.9  | NR   | NR   | NR  | NR  |
| RSA-B-F-20-40-B  | 3.6  | 2.8  | 1.7  | 1.2  | 0.8  | NR   | NR   | NR   | NR  | NR  |
| RSA-B-F-22-40-B  | 2.5  | 1.8  | 0.8  | NR   | NR   | NR   | NR   | NR   | NR  | NR  |
| RSA-B-F-24-40-B  | 1.5  | 0.9  | NR   | NR   | NR   | NR   | NR   | NR   | NR  | NR  |
|  |      |      |      |      |      |      |      |      |     |     |
| RSA-B-F-08-50-B  | 25.0 | 25.0 | 21.2 | 19.2 | 17.3 | 14.3 | 12.0 | 10.1 | 9.3 | 8.6 |
| RSA-B-F-10-50-B  | 22.7 | 20.2 | 16.1 | 14.4 | 13.0 | 10.6 | 8.7  | 7.2  | 6.5 | 6.0 |
| RSA-B-F-12-50-B  | 17.9 | 15.8 | 12.4 | 11.1 | 9.9  | 7.9  | 6.3  | 5.1  | 4.5 | 4.0 |
| RSA-B-F-14-50-B  | 14.4 | 12.6 | 9.7  | 8.5  | 7.5  | 5.8  | 4.5  | 3.4  | 3.0 | 2.5 |
| RSA-B-F-16-50-B  | 11.6 | 10.0 | 7.5  | 6.5  | 5.6  | 4.2  | 3.0  | 2.1  | 1.7 | 1.3 |
| RSA-B-F-18-50-B  | 9.2  | 7.9  | 5.7  | 4.8  | 4.0  | 2.7  | 1.7  | 0.9  | 0.5 | NR  |
| RSA-B-F-20-50-B  | 7.2  | 6.0  | 4.1  | 3.3  | 2.6  | 1.5  | 0.6  | NR   | NR  | NR  |
| RSA-B-F-22-50-B  | 5.5  | 4.4  | 2.7  | 2.0  | 1.4  | NR   | NR   | NR   | NR  | NR  |
| RSA-B-F-24-50-B  | 4.0  | 3.1  | 1.6  | 0.9  | NR   | NR   | NR   | NR   | NR  | NR  |
|  |      |      |      |      |      |      |      |      |     |     |
| RSA-B-F-12-60-C  | 25.0 | 25.0 | 24.2 | 21.6 | 19.4 | 15.7 | 12.9 | 10.6 | 9.6 | 8.7 |
| RSA-B-F-14-60-C  | 25.0 | 25.0 | 19.7 | 17.4 | 15.5 | 12.4 | 9.9  | 7.9  | 7.1 | 6.4 |
| RSA-B-F-16-60-C  | 24.1 | 20.9 | 16.1 | 14.1 | 12.4 | 9.7  | 7.5  | 5.8  | 5.1 | 4.4 |
| RSA-B-F-18-60-C  | 20.0 | 17.2 | 13.0 | 11.3 | 9.8  | 7.4  | 5.5  | 4.0  | 3.3 | 2.8 |
| RSA-B-F-20-60-C  | 16.5 | 14.1 | 10.3 | 8.8  | 7.5  | 5.3  | 3.7  | 2.4  | 1.8 | 1.3 |
| RSA-B-F-22-60-C  | 13.5 | 11.4 | 8.0  | 6.7  | 5.5  | 3.6  | 2.1  | 1.0  | 0.5 | NR  |
| RSA-B-F-24-60-C  | 11.0 | 9.1  | 6.1  | 4.9  | 3.8  | 2.1  | 0.8  | NR   | NR  | NR  |

**FLORIDA REGION WIND MAP**



• Florida region wind map above is based upon 3-second gust winds and the 2014 Florida Building Code

| Florida Building Code 2014 EPA Load Rating - 3 second gust wind speeds |      |      |      |      |      |      |      |     |
|--|------|------|------|------|------|------|------|-----|
| Catalog Number   | 115  | 120  | 130  | 140  | 150  | 160  | 170  | 180 |
| RSA-B-F-08-40-B  | 13.5 | 12.3 | 10.4 | 8.8  | 7.5  | 6.4  | 5.5  | 4.8 |
| RSA-B-F-10-40-B  | 10.1 | 9.1  | 7.6  | 6.3  | 5.3  | 4.4  | 3.7  | 3.1 |
| RSA-B-F-12-40-B  | 7.6  | 6.9  | 5.6  | 4.5  | 3.7  | 2.9  | 2.4  | 1.9 |
| RSA-B-F-14-40-B  | 5.8  | 5.1  | 4.0  | 3.1  | 2.4  | 1.8  | 1.3  | 0.9 |
| RSA-B-F-16-40-B  | 4.3  | 3.7  | 2.7  | 2.0  | 1.3  | 0.8  | NR   | NR  |
| RSA-B-F-18-40-B  | 3.0  | 2.5  | 1.7  | 1.0  | NR   | NR   | NR   | NR  |
| RSA-B-F-20-40-B  | 1.9  | 1.5  | 0.7  | NR   | NR   | NR   | NR   | NR  |
| RSA-B-F-22-40-B  | 1.0  | 0.6  | NR   | NR   | NR   | NR   | NR   | NR  |
|  |      |      |      |      |      |      |      |     |
| RSA-B-F-08-50-B  | 22.3 | 20.4 | 17.3 | 14.7 | 12.6 | 10.9 | 9.5  | 8.3 |
| RSA-B-F-10-50-B  | 17.0 | 15.5 | 12.9 | 10.9 | 9.2  | 7.8  | 6.7  | 5.7 |
| RSA-B-F-12-50-B  | 13.2 | 12.0 | 9.9  | 8.2  | 6.8  | 5.6  | 4.7  | 3.9 |
| RSA-B-F-14-50-B  | 10.4 | 9.3  | 7.5  | 6.1  | 4.9  | 3.9  | 3.1  | 2.4 |
| RSA-B-F-16-50-B  | 8.0  | 7.1  | 5.6  | 4.3  | 3.3  | 2.5  | 1.7  | 1.1 |
| RSA-B-F-18-50-B  | 6.1  | 5.3  | 3.9  | 2.8  | 2.0  | 1.2  | 0.6  | NR  |
| RSA-B-F-20-50-B  | 4.4  | 3.7  | 2.5  | 1.6  | 0.8  | NR   | NR   | NR  |
| RSA-B-F-22-50-B  | 3.0  | 2.4  | 1.4  | NR   | NR   | NR   | NR   | NR  |
| RSA-B-F-24-50-B  | 1.8  | 1.3  | NR   | NR   | NR   | NR   | NR   | NR  |
|  |      |      |      |      |      |      |      |     |
| RSA-B-F-12-60-C  | 25.0 | 24.7 | 20.7 | 17.5 | 14.9 | 12.7 | 10.9 | 9.4 |
| RSA-B-F-14-60-C  | 22.1 | 20.1 | 16.6 | 13.9 | 11.7 | 9.8  | 8.2  | 6.9 |
| RSA-B-F-16-60-C  | 18.0 | 16.2 | 13.3 | 10.9 | 9.0  | 7.4  | 6.0  | 4.9 |
| RSA-B-F-18-60-C  | 14.5 | 12.9 | 10.4 | 8.3  | 6.7  | 5.3  | 4.1  | 3.1 |
| RSA-B-F-20-60-C  | 11.6 | 10.3 | 8.0  | 6.2  | 4.8  | 3.5  | 2.5  | 1.6 |
| RSA-B-F-22-60-C  | 9.2  | 8.0  | 6.1  | 4.4  | 3.1  | 2.0  | 1.1  | NR  |
| RSA-B-F-24-60-C  | 7.2  | 6.1  | 4.3  | 2.9  | 1.7  | 0.7  | NR   | NR  |



## NOTES

### Wind-speed Website disclaimer:

Hubbell Lighting has no connection to the linked website and makes no representations as to its accuracy. While the information presented on this third-party website provides a useful starting point for analyzing wind conditions, Hubbell Lighting has not verified any of the information on this third party website and assumes no responsibility or liability for its accuracy. The material presented in the windspeed website should not be used or relied upon for any specific application without competent examination and verification of its accuracy, suitability and applicability by engineers or other licensed professionals. Hubbell Lighting Inc. does not intend that the use of this information replace the sound judgment of such competent professionals, having experience and knowledge in the field of practice, nor to substitute for the standard of care required of such professionals in interpreting and applying the results of the windspeed report provided by this website. Users of the information from this third party website assume all liability arising from such use. Use of the output of these referenced websites do not imply approval by the governing building code bodies responsible for building code approval and interpretation for the building site described by latitude/longitude location in the windspeed report. <http://windspeed.atcouncil.org>

- Allowable EPA, to determine max pole loading weight, multiply allowable EPA by 30 lbs.
- The tables for allowable pole EPA are based on the ASCE 7-05 Wind Map or the Florida Region Wind Map for the 2010 Florida Building Code. The Wind Maps are intended only as a general guide and cannot be used in conjunction with other maps. Always consult local authorities to determine maximum wind velocities, gusting and unique wind conditions for each specific application
- Allowable pole EPA for jobsite wind conditions must be equal to or greater than the total EPA for fixtures, arms, and accessories to be assembled to the pole. Responsibility lies with the specifier for correct pole selection. Installation of poles without luminaires or attachment of any unauthorized accessories to poles is discouraged and shall void the manufacturer's warranty
- Wind speeds and listed EPAs are for ground mounted installations. Poles mounted on structures (such as bridges and buildings) must consider vibration and coefficient of height factors beyond this general guide; Consult local and federal standards
- Wind Induced Vibration brought on by steady, unidirectional winds and other unpredictable aerodynamic forces are not included in wind velocity ratings. Consult Hubbell Lighting's Pole Vibration Application Guide for environmental risk factors and design considerations. [http://cdn.spauldinglighting.com/content/products/literature/literature\\_files/Pole\\_Wind\\_Induced\\_Flyer\\_HL010022.pdf](http://cdn.spauldinglighting.com/content/products/literature/literature_files/Pole_Wind_Induced_Flyer_HL010022.pdf)
- Extreme Wind Events like, Hurricanes, Typhoons, Cyclones, or Tornadoes may expose poles to flying debris, wind shear or other detrimental effects not included in wind velocity ratings

**Due to our continued efforts to improve our products, product specifications are subject to change without notice.**

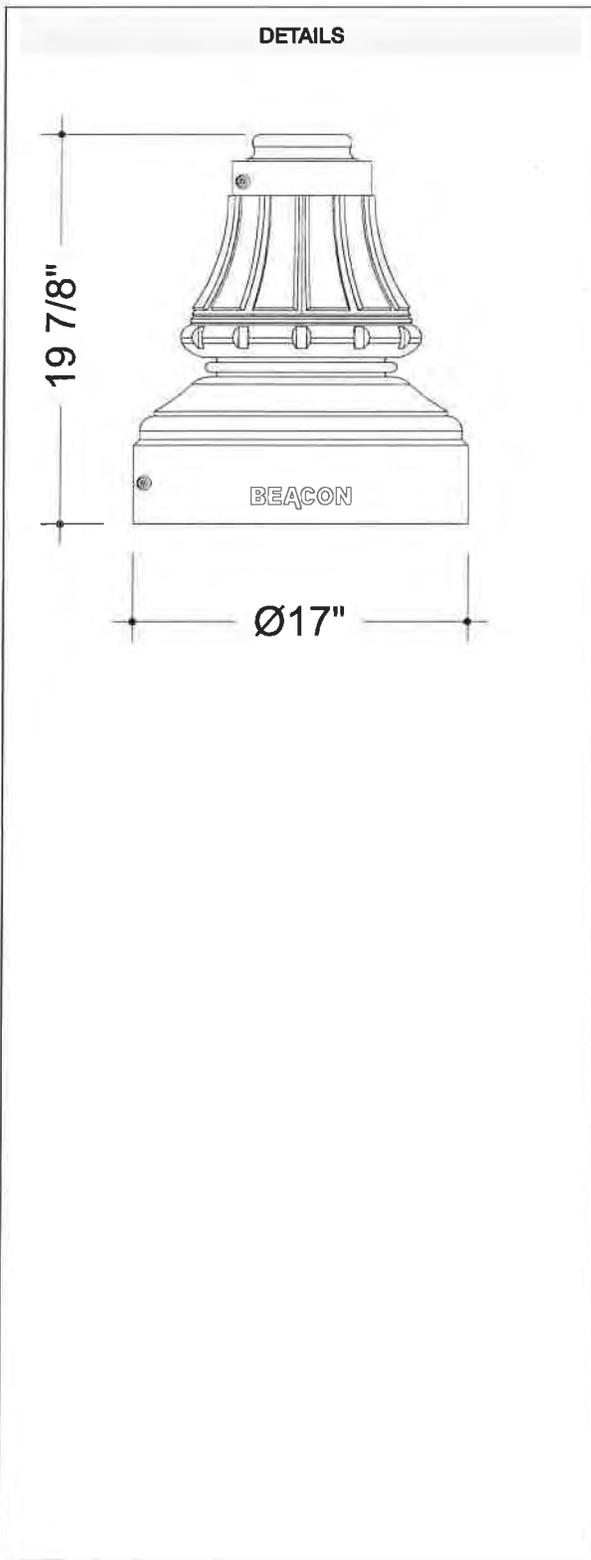




Type: \_\_\_\_\_  
 Project Name: **Kuna Decorative Street Lighting**  
 Notes: \_\_\_\_\_

rev. 02.20.2014  
**CENTENNIAL AB**  
 Poles & Bases

Sample **CEAB**      **5**      **BBT**  
 Ordering **CEAB** / **5** / **BBT**  
                  **A**            **B**            **C**



**A. MODEL**

**CEAB**      Centennial AB ✓

**B. POST SHAFT DIAMETER**

**3**      3"  
**4**      4"  
**5**      5" ✓

**C. COLOR**

**BBT**      basic black textured ✓  
**BMT**      black matte textured  
**WHT**      white textured  
**MBT**      metallic bronze textured  
**BZT**      bronze textured  
**DBT**      dark  
**GYS**      gray smooth  
**DPS**      dark platinum smooth  
**GNT**      green textured  
**MST**      metallic silver textured  
**MTT**      metallic titanium textured  
**OWI**      old world iron  
**RAL**      \_\_\_\_\_

**Construction:** All cast aluminum parts shall be low copper alloy A356. All extruded aluminum parts shall be alloy 6061-T6, 6063-T5 or equal. Standard fluted shaft profile shall be 16-flat flutes for 3"OD and 12-flat flutes for 4", 5", & 6"OD.

**Base Covers:** require specification of smooth or fluted shafts of the size required to meet wind load requirements

**Vibration Dampeners:** Vibration dampener pads shall be provided when required by customer or deemed necessary by Beacon Products. Please consult factory for bridge mounted applications.

**EPA (effective projected area):** EPA is defined as (projected surface area X drag factor) and measured in ft<sup>2</sup>. Allowable post, luminaire arm, luminaire and accessory EPAs are derived from the most current published AASHTO (American Association of State Highway and Transportation Officials) standard, currently AASHTO 2001 (50yr design life). Customer assumes all responsibility for selecting the appropriate post for installation (consult factory for assistance). Luminaire arm, luminaire and accessory EPA must be equal to or less than allowable EPA of post. Consult a professional engineer for compliance with local codes and standards.

**Anchor Bolt:** Anchor bolts, sized as required, double hex nuts and flat washers shall be hot dipped galvanized steel. A bolt circle template shall be provided for installation.

**Fasteners:** All fasteners shall be Corrosion Resistant. When tamper resistant fasteners are required, spanner HD (snake eye) style shall be provided (special tool required, available at additional cost).

**Finish:** Finish shall be a Beacote V polyester powder-coat electrostatically applied and thermocured. Beacote V finish shall consist of a five stage iron phosphate chemical pretreatment regimen with a polymer primer sealer, oven dry off, and top coated with a thermoset super TGIC polyester powder coat finish. The finish shall meet the AAMA 605.2 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance and resists cracking or loss of adhesion per ASTM D522 and resists surface impacts of up to 160 inch-pound.

**Limited Warranty:** Beacon Products warrants its products, to the original purchaser, against defects in materials and workmanship for proper usage for a period of 5 years after date of production, when properly installed, maintained and appropriately specified. See Warranty Information on [www.beaconproducts.com](http://www.beaconproducts.com) for complete details and exclusions.

Due to our continued efforts to improve our products, product specifications are subject to change without notice.



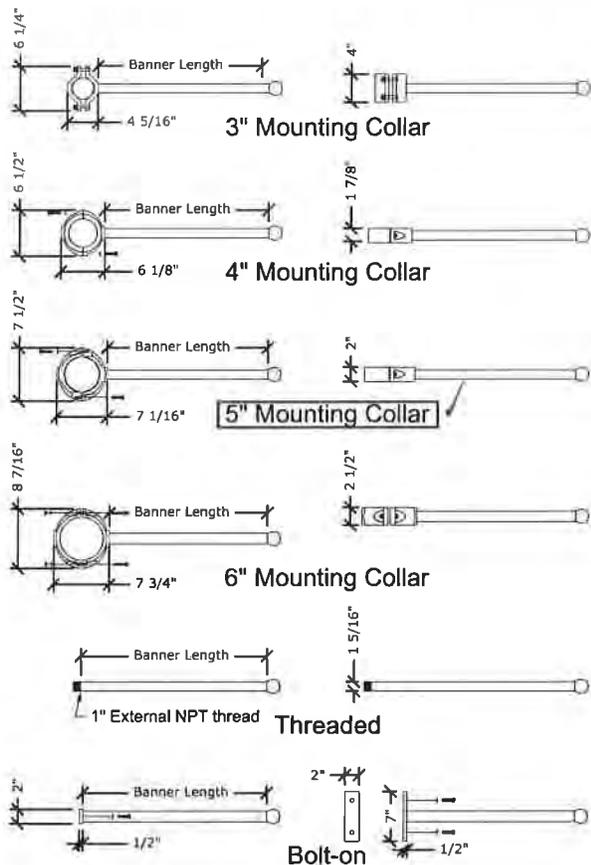
# Banner Arms

## Project Information

Name / Location: Kuna Street Lighting /  
 Type / Quantity: /  
 Sold to: \_\_\_\_\_  
 PO#: \_\_\_\_\_

## Approvals

## Banner Arm Mounting Styles



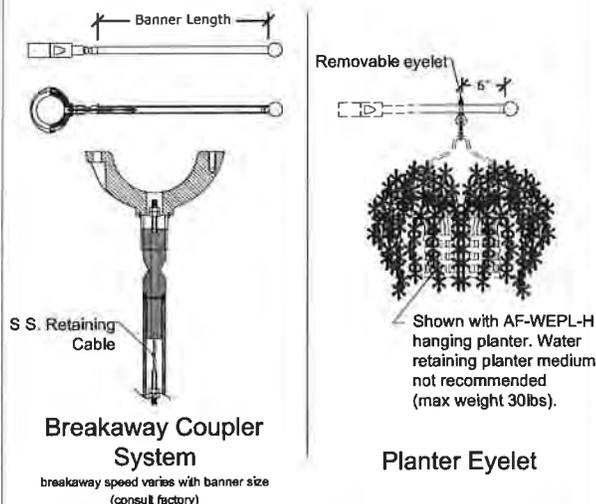
## Specifications

**Construction:**  
 All cast aluminum parts shall low copper alloy A356. All extruded aluminum parts shall be alloy 6061-T6, 6063-T5 or equal.

**Fasteners:**  
 All fasteners shall be stainless steel. When tamper resistant fasteners are required, spanner HD (snake eye) style shall be provided (special tool required, available at additional cost), consult factory for availability.

**Finish:**  
 Finish shall be Beacote III polyester powdercoat electrostatically applied and thermocured. Poles shall be subjected to chemical pre-treatment prior to painting by immersion process.

## Options



### Ordering Example:

AA-0024 / 4"MTC / BA / BKT

AA-00 26" / 5"MTC / BA / BB

| Length                          | Mounting  | Options   | Finish                             |
|---------------------------------|---|---|------------------------------------|
| <input type="checkbox"/> 18 18" | <input type="checkbox"/> 3"MTC mounting collar for 3" shaft | <input type="checkbox"/> BA breakaway coupler system  | <input type="checkbox"/> BB black  |
| <input type="checkbox"/> 20 20" | <input type="checkbox"/> 4"MTC mounting collar for 4" shaft | <input type="checkbox"/> PA removable planter eyelet* | <input type="checkbox"/> BZ bronze |
| <input type="checkbox"/> 22 22" | <input type="checkbox"/> 5"MTC mounting collar for 5" shaft | <input type="checkbox"/> 2X two banner arms at 180°   | <input type="checkbox"/> BG green  |
| <input type="checkbox"/> 24 24" | <input type="checkbox"/> 6"MTC mounting collar for 6" shaft |   | <input type="checkbox"/> BW white  |
| <input type="checkbox"/> 30 30" | <input type="checkbox"/> BO bolted connection               |   | <input type="checkbox"/> BY gray   |
|                                 | <input type="checkbox"/> TO threaded connection             |   | <input type="checkbox"/> RAL RAL-  |
|                                 |   |   | <input type="checkbox"/> OTHER     |

Consult factory for premium and verte finishes. Custom colors available.

### Notes:

\* Consult factory

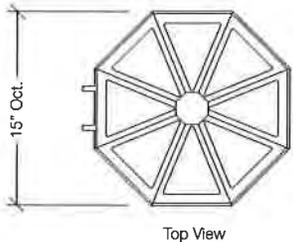
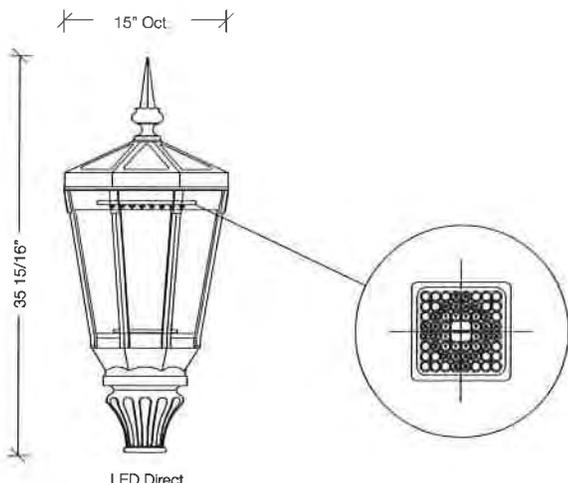


Type: \_\_\_\_\_  
 Project Name: **Kuna Decorative Street Lighting**  
 Notes: \_\_\_\_\_

rev. 11.30.2016  
**WIN40 (LED)**  
 40" Windsor Luminaire  
**Max Weight:** 50.0 lbs  
**Max EPA:** 2.65 sq ft

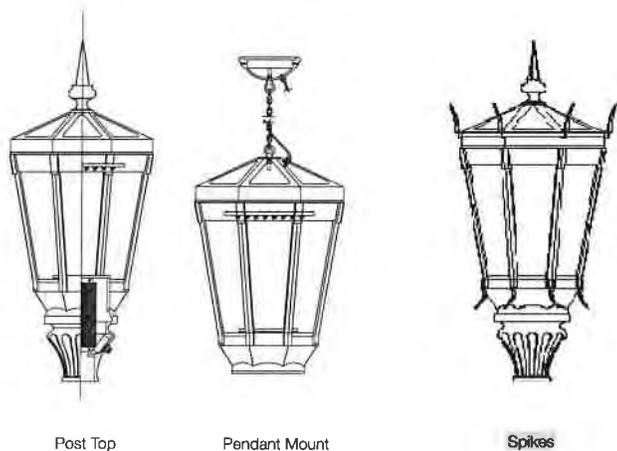
|          |          |          |          |          |          |          |          |          |          |          |          |
|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|
| Sample   | WIN40 ✓  | AC       | 24NB-55  | 5K       | UNV      | DIR5     | PEC      | PT       | GENXX    | SPK      | BBT      |
| Ordering | WIN40 /  | PF /     | 36NB-80  | 5K /     | UNV /    | DIR5 /   | /        | PT /     | /        | SPK /    | BBT      |
|          | <b>A</b> | <b>B</b> | <b>C</b> | <b>D</b> | <b>E</b> | <b>F</b> | <b>G</b> | <b>H</b> | <b>I</b> | <b>J</b> | <b>K</b> |

**DETAILS**



**MOUNTING OPTIONS**

**STYLE OPTIONS**



**A. MODEL**

**WIN40** Windsor 40"

**G. ELECTRICAL OPTIONS**

**PEC** photocell, button

**B. LENS OPTIONS**

- AC** acrylic, clear
- AF** acrylic, frosted
- AS** acrylic, seeded
- AW** acrylic, white
- PC** polycarbonate, clear
- PF** polycarbonate, frosted ✓

**H. CONTROL OPTIONS**

- GENI-XX** energeni <sup>1</sup>
- SWP** sitesync wireless pre-commission<sup>2,4</sup>

**C. ENGINE - WATTS**

- 24NB-55** 55 Watts - LED array
- 36NB-80** 80 Watts - LED array ✓
- 48NB-110** 110 Watts - LED array
- 60NB-136** 136 Watts - LED array

**H. MOUNTING OPTIONS**

- PT** post top ✓
- PM** pendant mount <sup>2</sup>

**J. STYLE OPTIONS**

**SPK** spikes ✓

**D. CCT - COLOR TEMP**

- 3K** 3000K
- 4K** 4000K
- 5K** 5000K (std.) ✓

**K. COLOR**

- BBT** basic black textured ✓
- BMT** black matte textured
- WHT** white textured
- MBT** metallic bronze textured
- BZT** bronze textured
- DBT** dark bronze textured
- GYS** gray smooth
- DPS** dark platinum smooth
- GNT** green textured
- MST** metallic silver textured
- MTT** metallic titanium textured
- OWI** old world iron
- RAL** \_\_\_\_\_

**E. VOLTAGE**

- UNV** 120-277V ✓
- 347** 347V
- 480** 480V

**F. OPTICS**

- DIR2** type II
- DIR3** type III
- DIR4** type IV
- DIR5** type V ✓

<sup>1</sup> When ordering Energeni, specify the routine setting code (example GENI-04). See Energeni brochure and instructions for setting table and options. Not available with sensor options.

<sup>2</sup> consult factory

<sup>3</sup> Must specify group and zone information at time of order. See www.hubbelling.com/controls/sitesync for further details

<sup>4</sup> Not available with other control or sensor options.



rev. 11.30.2016  
**WIN40 (LED)**  
 40" Windsor Luminaire  
**Max Weight:** 50.0 lbs  
**Max EPA:** 2.65 sq ft

**SPECIFICATIONS**

**Intended Use:**

- The Beacon Windsor luminaire is available with a choice of different LED Wattage configurations and optical distributions designed to replace HID lighting up to 250W MH or HPS.

**Construction:**

- The electrical chamber/fitter shall be cast aluminum.
- Decorative fitter shall be designed to accommodate the driver assembly and shall be mounted to 3" OD x 3" H tenon and be secured by three or more stainless steel set screws.

**Electrical:**

- 100V through 277V, 50 Hz to 60 Hz (UNV)
- Power factor is  $\geq 0.90$  at full load
- All electrical components are rated at 50,000 hours at full load and 25°C ambient conditions per MIL- 217F Notice 2.
- One piece optical cartridge system consisting of an LED engine, LED lamps, optics, gasket and stainless steel bezel.
- Cartridge is held together with internal brass standoffs soldered to the board so that it can be field replaced as a one piece optical system.
- Silicone gasket ensures a weather-proof seal around each individual LED.
- Fixture electrical compartment shall contain all LED driver components.
- Rated ambient operating temperature -40°C to 40°C.
- Surge protection - 20KA
- Lifeshield™ Circuit - protects luminaire from excessive temperature. The device shall activate at a specific, factory-preset temperature, and progressively reduce power over a finite temperature range. Operation shall be smooth and undetectable to the eye. Thermal circuit is designed to "fail on", allowing the luminaire to revert to full power in the event of an interruption of its power supply, or faulty wiring connection to the drivers. The device shall be able to co-exist with other 0-10V control devices (occupancy sensors, external dimmers, etc.).

**Controls/Options:**

- Available with Energeni for optional set dimming, timed dimming with simple delay, or timed dimming based on time of night (see [www.beaconproducts.com/products/energeni](http://www.beaconproducts.com/products/energeni)).
- London can be specified with SiteSync™ wireless control system for reduction in energy and maintenance cost while optimizing light quality 24/7. See ordering information or visit [www.hubbellighting.com/sitesync](http://www.hubbellighting.com/sitesync)

**Finish:**

- IFS polyester powder-coat electrostatically applied and thermocured.
- IFS finish consists of a five stage pretreatment regimen with a polymer primer sealer and top coated with a thermoset super TGIC polyester powder coat finish.
- The finish meets the AAMA 605.2 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance and resists cracking or loss of adhesion per ASTM D522 and resists surface impacts of up to 160 inch-pounds.

**Listings:**

- Listed to UL8750 , UL1598 and CSA22.2#250.13-14 for wet locations

**Warranty:**

- Five year limited warranty (for more information visit: [www.hubbellighting.com/resources/warranty](http://www.hubbellighting.com/resources/warranty))

Accessories and Services (Ordered Separately)

| Catalog Number | Description   |
|----------------|---|
| SWUSB*         | SiteSync loaded on USB flash drive (Windows based only) |
| SWTAB*         | SiteSync Windows Tablet                                 |
| SWBRG*         | SiteSync Wireless Bridge Node                           |

\* When ordering with SiteSync, one of the following interface options must be chosen and ordered separately. Each option contains the SiteSync License, GUI and Bridge Node.  
 + If needed, an additional Bridge Node can be ordered.

**PRECOMMISSIONED SITESYNC ORDERING INFORMATION:** When ordering a fixture with the SiteSync lighting control option, additional information will be required to complete the order. The SiteSync Commissioning Form or alternate schedule information must be completed. This form includes Project location, Group Information, and Operating schedules. For more detailed information please visit [www.hubbellighting.com/sitesync/](http://www.hubbellighting.com/sitesync/) or contact Hubbell Lighting tech support at (800) 345-4928.

SiteSync fixtures with occupancy sensor (SWPM) require the mounting height of the fixture for selection of the lens.

*Due to our continued efforts to improve our products, product specifications are subject to change without notice.*



## GREENBELT/ PATHWAY LIGHTING

*Brand*

---

Sun Valley

*Color*

---

Green

*Pole*

---

14', Smooth, Round

*Base*

---

700

*Banner Arms*

---

Field Rotatable, 18"

*Luminaire fixture*

---

LAA Series - LED

***Specs attached***



*Bollard Lights*

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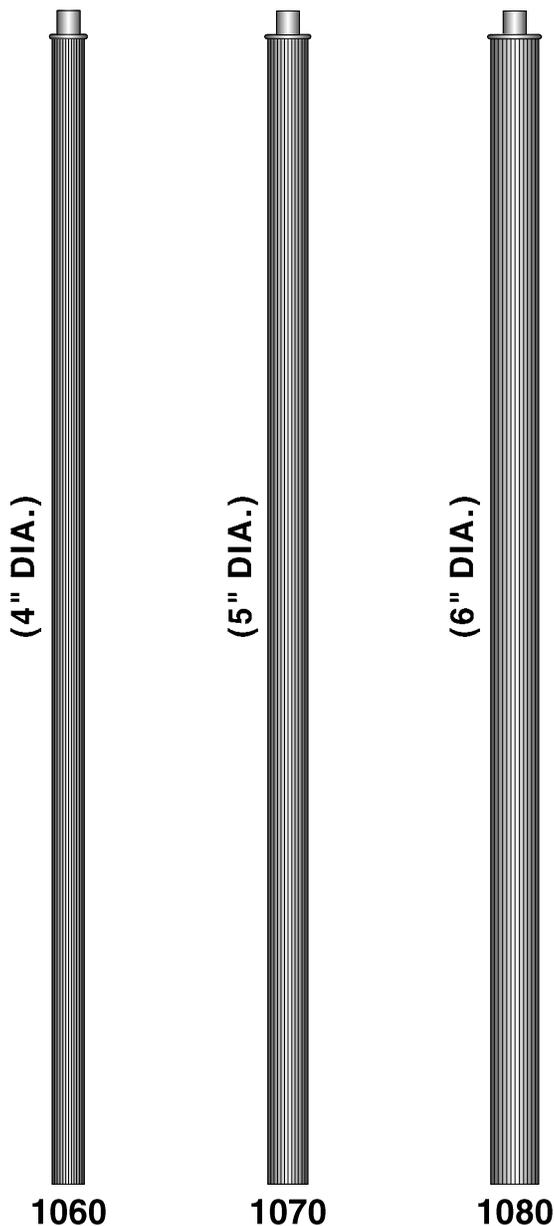
Black, 8" Round, 40" H

***Specs attached***

# FLUTED

FLUTED

ROUND EXTRUDED FROM 6063 ALLOY ALUMINUM. HEAT TREATED TO PRODUCE A T6 TEMPER. SHAFTS HAVE EVENLY SPACED HIGHLY DETAILED RAISED VERTICAL FLUTES.



(FLUTED ALUMINUM SHAFTS)  
SHAFT WALL THICKNESS .188

POLES PROVIDED WITH TENON TOP  
POST TOP (PT): 2 7/8" O.D. X 3"  
MULTIPLE LUMINAIRES: 2 7/8" O.D. X 6"



# sun valley

LIGHTING

660 WEST AVENUE O, PALMDALE, CA 93551  
(661) 233-2000  
FAX (661) 233-2001  
www.sunvalleylighting.com

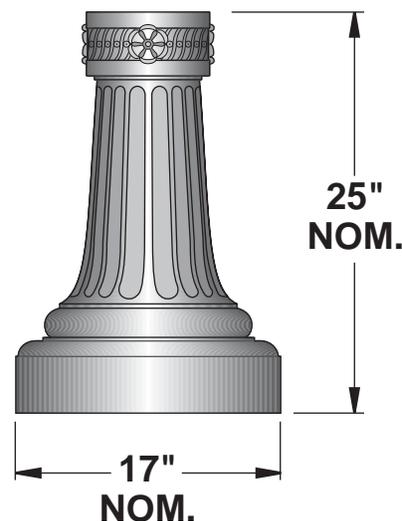


## BASE

ONE PIECE CORROSION RESISTANT, DURABLE CAST ALUMINUM CONSTRUCTION. MINIMUM .210 WALL THICKNESS. BASE CONSISTS OF A SMOOTH, TAPERED BOTTOM SECTION, AND A HIGHLY DETAILED, DECORATIVE FLUTED SECTION, A DECORATIVE CAST ALUMINUM COLLAR AND A FLUTED HAND HOLE COVER CONTOURED TO BASE DESIGN. HAND HOLE COVER SUPPLIED WITH TAMPER RESISTANT HARDWARE. GROUNDING LUG PROVIDED INSIDE BASE OPPOSITE HAND HOLE.

## ANCHORAGE

A 3/4" CAST ALUMINUM ANCHOR RING IS WELDED 1" ABOVE BOTTOM OF BASE TO ACCEPT (4) FULLY GALVANIZED ANCHOR BOLTS. EACH BOLT SUPPLIED WITH TWO NUTS AND TWO WASHERS. ANCHORAGE IS FASTENED THROUGH HAND HOLE.



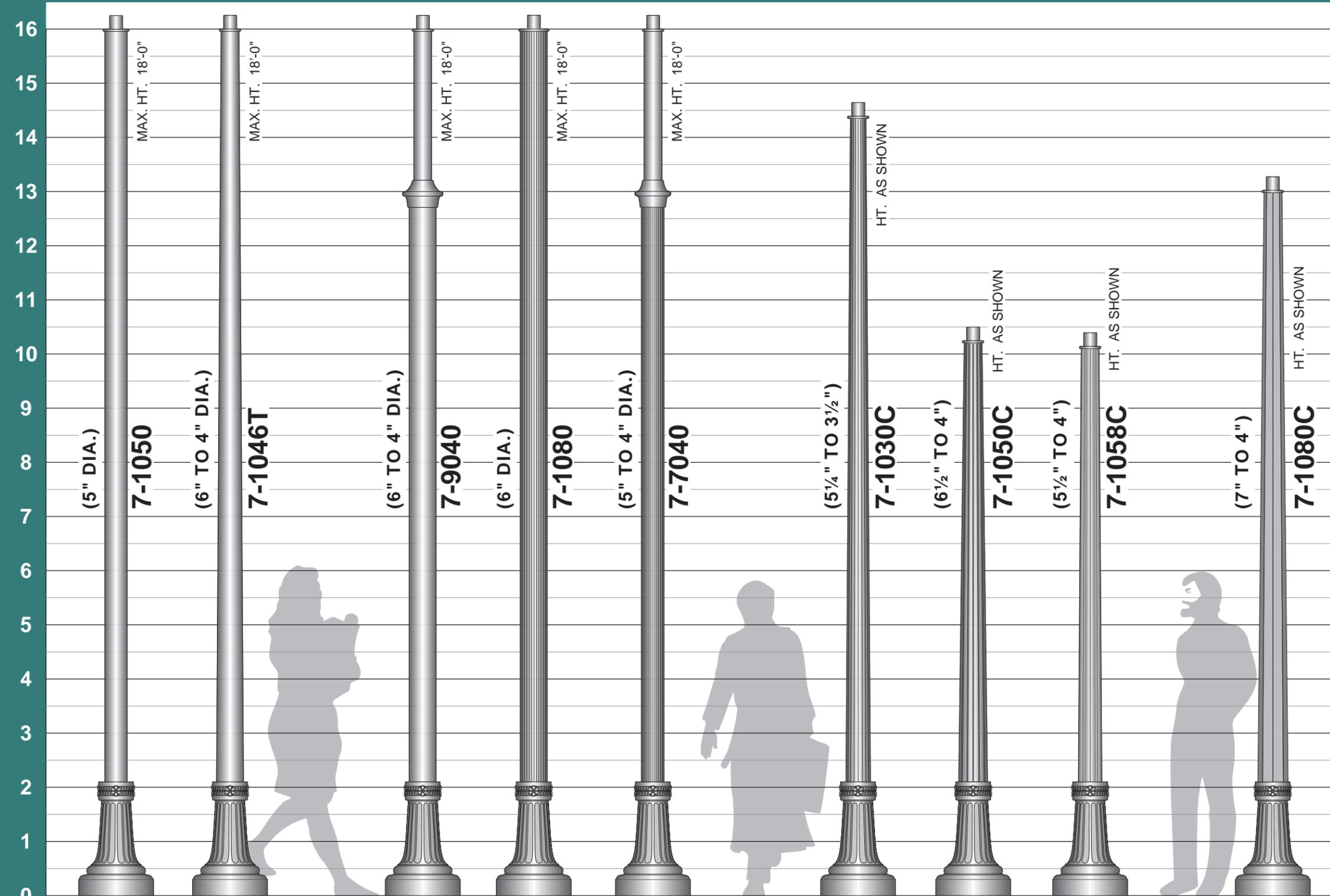
## FINISH

ELECTROSTATICALLY APPLIED BAKED ON TEXTURED ACRYLIC ENAMEL. (SEE PAGE 5 FOR OPTIONAL FINISH AND COLOR SELECTION)



# POLE ACCESSORIES

(SPECIFY AS SUFFIX TO CAT. NO.)



**SHAFT IS CIRCUMFERENTIALLY WELDED TO BASE FOR ONE PIECE CONSTRUCTION**  
 SEE SHAFT SECTION FOR SPECIFICATIONS AND ADDITIONAL STYLES

- ### TENONS
- STANDARD: 2 7/8" O.D. PT23
  - OPTIONS: 2 3/8" O.D. PT31
  - 3 1/2" O.D.
  - DUPLEX OR G.F.I. RECEPTACLE WITH COVER DUP GFI
  - FIELD ROTATABLE OR FIXED BANNER ARM RBA
  - FBA
  - BANNER EYE BOLT BEB
  - BREAK AWAY BANNER ARM BBA
  - FIELD ROTATABLE OR FIXED BASKET HOLDER RBH
  - FBH
  - FIELD ROTATABLE STREET SIGN RSS
  - FIELD ROTATABLE LADDER REST RLR
  - 20"
  - FIELD ROTATABLE OR FIXED FLAG HOLDER RFH
  - 1 3/8" I.D.
  - FFH

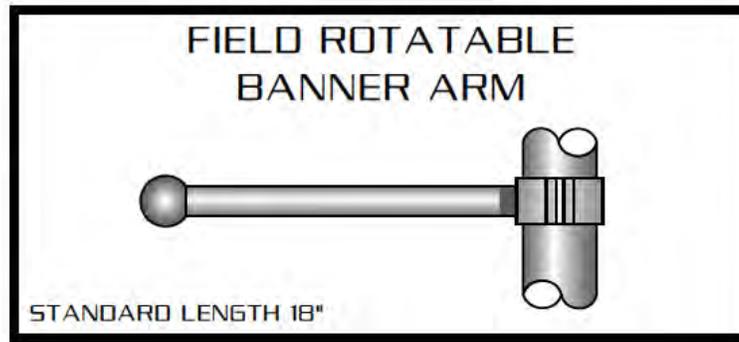


**sun valley**  
LIGHTING

660 WEST AVENUE O, PALMDALE, CA 93551  
 (661) 233-2000  
 FAX (661) 233-2001  
 www.sunvalleylighting.com

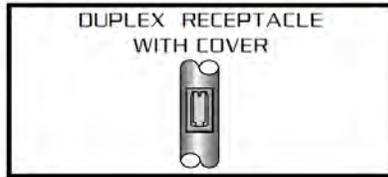


**RBA**



# ACCESSORIES

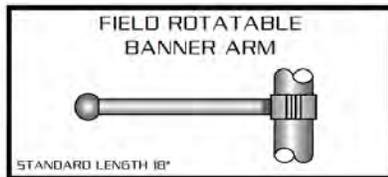
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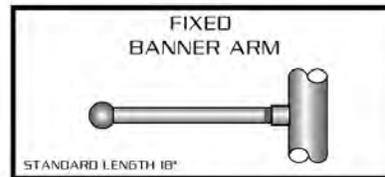
**GFI**



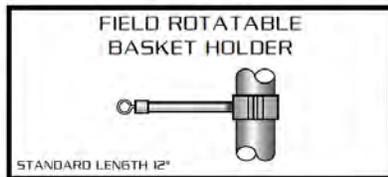
**RBA**



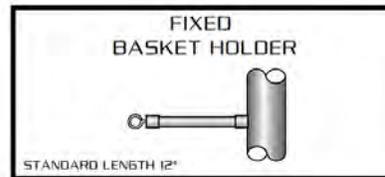
**FBA**



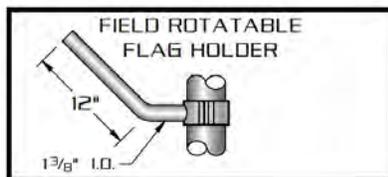
**RBH**



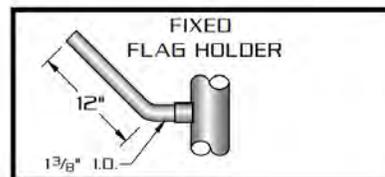
**FBH**



**RFH**



**FFH**



**BEB**



**BBA**



**RBC**



**HNB**



PROJECT NAME: \_\_\_\_\_

PROJECT TYPE: \_\_\_\_\_

# SOLID STATE AREA LIGHTING

## LAA SERIES-LED

### SPECIFICATIONS

#### LUMINAIRE

One piece high impact polycarbonate patterned diffusing globe provided with durable corrosion resistant cast aluminum fitter. Standard fitter has 3" I.D. opening for tenon. All hardware is Stainless Steel.

#### LED POWER ARRAY™

Three-dimensional array of individual LED Tubes fastened to a retaining plate. Each LED Tube consists of circuit board populated with a multiple of LED's and is mechanically fastened to a radial aluminum heat sink. An acrylic Lens and end cap protects the LED Tube's internal components.

**ANGLED POWER ARRAY™:** Micro-Reflectors mounted around each LED control the raw light output. LED Tubes are uniquely aimed horizontally and vertically and combined to produce highly efficient IES Distribution Types II, III, IV and V. Used in conjunction with a clear patterned diffusing globe.

**VERTICAL POWER ARRAY™ WITH GLASS REFRACTOR:** LED Tubes are aligned vertically and arranged radially to produce an even raw light distribution that simulates standard light sources. Array is secured within a 6" Prismatic Glass Refractor which provides the optical control. Used in conjunction with a clear patterned diffusing globe.

**VERTICAL POWER ARRAY™:** LED Tubes are aligned vertically and arranged radially to produce an even raw light distribution that simulates standard light sources. Produces a minimal glare, symmetric diffuse light distribution. Used in conjunction with an opal patterned diffusing globe.

#### LED EMITTERS

High Output LED's are driven at 350mA for nominal 1 Watt output each. LED's are available in standard Neutral White (4000K), or optional Cool White (5000K) or Warm White (3000K). Consult Factory for other LED options.

#### LED DRIVER

UL and CUL recognized High Power Factor, Constant Current LED drivers operate on input voltages from 120-277VAC, 50/60hz. Consult Factory for 347-480VAC. Driver is mechanically fastened to a retaining bracket. Main power quick disconnect provided. Driver has a minimum 4KV of internal surge protection, 10KV & 20KV Surge Protector optional. Dimming and High-Low Driver options available.

#### FINISH

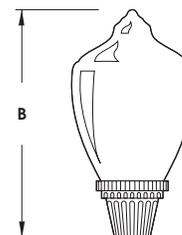
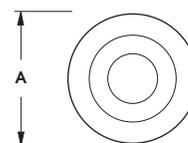
Polyester powder coat incorporates four step iron phosphate process to pretreat metal surface for maximum adhesion. Top coat is baked at 400°F for maximum hardness and exterior durability.



**LAA**

\* SHOWN WITH STANDARD -YA FITTER

PATENT PENDING



| FIXTURE | A              | B              |
|---------|----------------|----------------|
| LAA1*   | 15.5"<br>394mm | 28.5"<br>724mm |
| LAA2*   | 13.5"<br>343mm | 26"<br>660mm   |



2013140

# LAA SERIES - LED

## S P E C I F I C A T I O N S

### OPTIONAL FITTERS



-YB



LAA1-YN\*



-YC



LAA1-YO\*



-YD\*\*



LAA1-YP\*

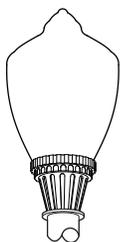


-YE\*\*

\* AVAILABLE WITH LAA1 ONLY

\*\* AVAILABLE WITH MINI BUTTON PHOTOCELLS  
SEE OPTIONS

### LED POWER ARRAY™ MODULES



**LAA1-LED** E.P.A.=1.35

**ANGLED ARRAY**  
Available in:  
8 Array 48 LED Max.

**GLASS REFRACTOR w/  
VERTICAL ARRAY**  
Available in:  
6 Array 36 LED Max.

**VERTICAL ARRAY**  
Available in:  
6 Array 48 LED Max.  
8 Array 64 LED Max.

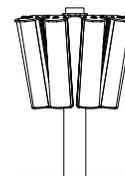


**LAA2-LED** E.P.A.=1.13

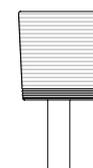
**ANGLED ARRAY**  
Available in:  
8 Array 48 LED Max.

**GLASS REFRACTOR w/  
VERTICAL ARRAY**  
Available in:  
6 Array 36 LED Max.

**VERTICAL ARRAY**  
Available in:  
6 Array 48 LED Max.  
8 Array 64 LED Max.



**APA - Angled Array**



**GRV - Glass Refractor  
w/ Vertical Array**



**VPA - Vertical Array**

(Specifications subject to  
change without prior notice.)

BRASS  
FINIAL

ORNAMENTAL  
FINIAL

PATENT PENDING

## O R D E R I N G I N F O R M A T I O N

| LUMINAIRE-FITTER                     | OPTICS  | # of LED's                                   | COLOR   | VOLTAGE                        | MOUNTING   | FINISH   | OPTIONS   |                      |
|--------------------------------------|---|--|---|--------------------------------|--|--|---|----------------------|
| LUMINAIRE                            | OPTICS  | LED  |   | MOUNTING                       |  |  | FINISH  | OPTIONS              |
| <b>LUMINAIRE-FITTER</b>              | <b>ANGLED POWER ARRAY<br/>(CLEAR PATTERNED GLOBE)</b> | <b># of LEDs</b>                             | <b>COLOR</b>                                      | <b>ARM MOUNT</b>               |  |  | <b>STANDARD<br/>TEXTURED FINISH</b>   | <b>LENS OPTIONS:</b> |
| <input type="checkbox"/> LAA1-LED-YA | <input type="checkbox"/> APA - II                     | <b>LAA1</b>                                  | <input type="checkbox"/> NW (4000K)*<br>*STANDARD | <input type="checkbox"/> 1     | <input type="checkbox"/> BLACK<br>RAL-9005-T       | <input type="checkbox"/> CLEAR PATTERNED<br>POLYCARBONATE ... CP<br>(STANDARD GLOBE) | <input type="checkbox"/> BRASS FINIAL ... BF<br><input type="checkbox"/> ORNAMENTAL<br>FINIAL ... OF<br><input type="checkbox"/> HOUSE SIDE SHIELD ... HS<br><input type="checkbox"/> DIMMABLE DRIVER(S)<br>(0-10V) ... DIM<br><input type="checkbox"/> HIGH-LOW DIMMING FOR<br>HARDWIRED SWITCHING OR<br>NON-INTEGRATED MOTION<br>SENSOR ... HLSW<br><input type="checkbox"/> PHOTO CELL + VOLTAGE<br>(EXAMPLE: PC120V) ... PC+V<br><input type="checkbox"/> 10KV SURGE<br>PROTECTOR. ... 10SP<br><input type="checkbox"/> 20KV SURGE PROTECTOR<br>(277V & 480V Only) ... 20SP |                      |
| <input type="checkbox"/> LAA1-LED-YB | <input type="checkbox"/> APA - III                    | <input type="checkbox"/> 48LED<br>(53 Watts) | <input type="checkbox"/> CW (5000K)               | <input type="checkbox"/> 2-180 | <input type="checkbox"/> WHITE<br>RAL-9003-T       | <input type="checkbox"/> OPAL PATTERNED<br>POLYCARBONATE ... WP                      |   |                      |
| <input type="checkbox"/> LAA1-LED-YC | <input type="checkbox"/> APA - IV                     | <input type="checkbox"/> 32LED<br>(36 Watts) | <input type="checkbox"/> WW (3000K)               | <input type="checkbox"/> 2-90  | <input type="checkbox"/> GREY<br>RAL-7004-T        | <input type="checkbox"/> CLEAR PATTERNED<br>ACRYLIC (LAA1) ... CA                    |   |                      |
| <input type="checkbox"/> LAA1-LED-YD | <input type="checkbox"/> APA - V                      | Wattages are Max Input Watts                 |   | <input type="checkbox"/> 3-90  | <input type="checkbox"/> DARK BRONZE<br>RAL-8019-T |  |   |                      |
| <input type="checkbox"/> LAA1-LED-YE |   | <b>LAA2</b>                                  | OTHER LED COLORS<br>AVAILABLE<br>CONSULT FACTORY  | <input type="checkbox"/> 3-120 | <input type="checkbox"/> GREEN<br>RAL-6005-T       |  |   |                      |
| <input type="checkbox"/> LAA1-LED-YN | <b>GLASS REFRACTOR<br/>(CLEAR PATTERNED GLOBE)</b>    | <input type="checkbox"/> 48LED<br>(53 Watts) | <b>VOLTAGE</b>                                    | <input type="checkbox"/> 4-90  |  |  |   |                      |
| <input type="checkbox"/> LAA1-LED-YO | <input type="checkbox"/> GRV - III                    | <input type="checkbox"/> 36LED<br>(40 Watts) | <input type="checkbox"/> 120                      | <b>WALL MOUNT</b>              |  |  | FOR SMOOTH FINISH<br>REMOVE SUFFIX "T"<br>(EXAMPLE: RAL-9500)<br><br>SEE USALTG.COM FOR<br>ADDITIONAL COLORS  |                      |
| <input type="checkbox"/> LAA1-LED-YP | <input type="checkbox"/> GRV - V                      | <input type="checkbox"/> 32LED<br>(36 Watts) | <input type="checkbox"/> 208                      | <input type="checkbox"/> WM    |  |  |   |                      |
| <input type="checkbox"/> LAA2-LED-YA |   | <input type="checkbox"/> 48LED<br>(53 Watts) | <input type="checkbox"/> 240                      | <b>POST TOP</b>                |  |  |   |                      |
| <input type="checkbox"/> LAA2-LED-YB | <b>VERTICAL POWER ARRAY<br/>(OPAL GLOBE)</b>          | <input type="checkbox"/> 36LED<br>(40 Watts) | <input type="checkbox"/> 277                      | <input type="checkbox"/> PT    |  |  |   |                      |
| <input type="checkbox"/> LAA2-LED-YC | <input type="checkbox"/> VPA - SYM                    | <input type="checkbox"/> 48LED<br>(53 Watts) | <input type="checkbox"/> 347                      |                                |  |  |   |                      |
| <input type="checkbox"/> LAA2-LED-YD |   | <input type="checkbox"/> 36LED<br>(40 Watts) | <input type="checkbox"/> 480                      |                                |  |  |   |                      |
| <input type="checkbox"/> LAA2-LED-YE |   | <input type="checkbox"/> 36LED<br>(40 Watts) |   |                                |  |  |   |                      |



# KBR8 LED

## LED Specification Bollard



|                |
|----------------|
| Catalog Number |
| Notes          |
| Type           |

Hit the Tab key or mouse over the page to see all interactive elements.

### Introduction

The KBR8 Bollard is a stylish, fully integrated LED solution for walkways. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

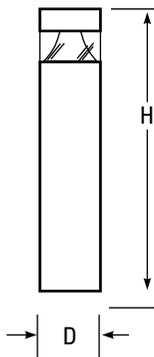
With an expected service life of over 20 years of nighttime use and up to 70% in energy savings over comparable 100W metal halide luminaires, the KBR8 Bollard is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

### Specifications

8" Round  
(20.3 cm)

**Height:** 40"  
(101.6 cm)

**Weight (max):** 27 lbs  
(12.25 kg)



### Ordering Information

**EXAMPLE:** KBR8 LED 16C 700 40K SYM MVOLT DDBXD

| KBR8 LED |   |               |                       |   |        |                             |                            |                        |  |  |                          |   |
|----------|---|---------------|-----------------------|---|--------|-----------------------------|----------------------------|------------------------|--|--|--------------------------|---|
| Series   | LEDs  | Drive current |                       | Color temperature                             |        | Distribution                |                            | Voltage                | Control options  | Other options  | Finish <i>(required)</i> |   |
| KBR8 LED | <b>Asymmetric</b><br>12C 12 LEDs <sup>1</sup> | 350           | 350 mA                | 30K   | 3000 K | ASY Asymmetric <sup>1</sup> | SYM Symmetric <sup>2</sup> | MVOLT <sup>5</sup>     | <b>Shipped installed</b><br>PE Photoelectric cell, button type       | <b>Shipped installed</b><br>SF Single fuse (120, 277, 347V) <sup>4,7</sup> | DWHXD                    | White   |
|          |   | 450           | 450 mA <sup>3,4</sup> | 40K   | 4000 K |                             |                            | 120 <sup>5</sup>       |  |  | 208 <sup>5</sup>         | DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) |
|          | <b>Symmetric</b><br>16C 16 LEDs <sup>2</sup>  | 530           | 530 mA                | 50K   | 5000 K |                             |                            | 240 <sup>5</sup>       | ELCW Emergency battery backup, CA Title 20 Noncompliant <sup>6</sup> | H24 24" overall height   | DDBXD                    | Dark bronze   |
|          |   | 700           | 700 mA                | AMBPC Amber phosphor converted                |        | 277 <sup>5</sup>            | H30 30" overall height     | H36 36" overall height |  | DBLXD  | Black                    |   |
|          |   |               |                       | AMBLW Amber limited wavelength <sup>3,4</sup> |        |                             |                            | 347 <sup>4</sup>       |  | FG Ground-fault festoon outlet   | DDBTXD                   | Textured dark bronze  |
|          |   |               |                       |   |        |                             |                            |                        |  | L/AB Without anchor bolts (3 bolt base)                                    | DBLBXD                   | Textured black  |
|          |   |               |                       |   |        |                             |                            |                        |  | L/AB4 4 bolt retrofit base without anchor bolts <sup>8</sup>               | DNATXD                   | Textured natural aluminum   |
|          |   |               |                       |   |        |                             |                            |                        |  |  | DWHGXD                   | Textured white  |

### Accessories

Ordered and shipped separately.

MRAB U Anchor bolts for KBR8 LED<sup>8</sup>

### NOTES

- 1 Only available in the 12C, ASY version.
- 2 Only available in the 16C, SYM version.
- 3 Only available with 450 AMBLW version.
- 4 Not available with ELCW.
- 5 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options), or photocontrol (PE option).
- 6 Not available with 347V. Not available with fusing. Not available with 450 AMBLW.
- 7 Single fuse (SF) requires 120, 277, or 347 voltage option. Double fuse (DF) requires 208 or 240 voltage option.
- 8 MRAB U not available with L/AB4 option.



## Performance Data

Actual values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Lumen performance may differ as a result of end-user environment and application. Actual wattage may differ by +/- 8% when operating between 120-480V +/- 10%.

| Light Engines                  | Drive Current | System Watts | 3000 K |     |   |   |   | 4000 K |     |   |   |   | 5000 K |     |   |   |   | Limited Wavelength Amber |     |   |   |   |  |
|--------------------------------|---------------|--------------|--------|-----|---|---|---|--------|-----|---|---|---|--------|-----|---|---|---|--------------------------|-----|---|---|---|--|
|                                |               |              | Lumens | LPW | B | U | G | Lumens | LPW | B | U | G | Lumens | LPW | B | U | G | Lumens                   | LPW | B | U | G |  |
| Asymmetric 3 Engines (12 LEDs) | 350           | 16           | 641    | 40  | 1 | 1 | 1 | 809    | 51  | 1 | 1 | 1 | 870    | 54  | 1 | 1 | 1 |                          |     |   |   |   |  |
|                                | 530           | 22           | 947    | 43  | 1 | 1 | 1 | 1,191  | 54  | 1 | 1 | 1 | 1,282  | 58  | 1 | 1 | 1 |                          |     |   |   |   |  |
|                                | 700           | 31           | 1,214  | 40  | 1 | 1 | 1 | 1,527  | 51  | 1 | 1 | 1 | 1,646  | 55  | 1 | 1 | 1 |                          |     |   |   |   |  |
|                                | Amber 450     | 16           |        |     |   |   |   |        |     |   |   |   |        |     |   |   |   | 324                      | 20  | 0 | 1 | 0 |  |
| Symmetric 4 Engines (16 LEDs)  | 350           | 20           | 888    | 44  | 1 | 0 | 0 | 1,116  | 56  | 1 | 0 | 0 | 1,203  | 60  | 1 | 0 | 0 |                          |     |   |   |   |  |
|                                | 530           | 28           | 1,254  | 45  | 1 | 0 | 0 | 1,598  | 57  | 1 | 0 | 1 | 1,719  | 61  | 1 | 0 | 1 |                          |     |   |   |   |  |
|                                | 700           | 39           | 1,608  | 41  | 1 | 0 | 1 | 2,022  | 52  | 1 | 0 | 1 | 2,180  | 56  | 2 | 0 | 1 |                          |     |   |   |   |  |
|                                | Amber 450     | 20           |        |     |   |   |   |        |     |   |   |   |        |     |   |   |   | 374                      | 19  | 0 | 0 | 0 |  |

**Note:** Available with phosphor-converted amber LED's (nomenclature AMBPC). These LED's produce light with 97+% >530 nm. Output can be calculated by applying a 0.7 factor to 4000 K lumen values and photometric files.

## Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

| Operating Hours          | 0    | 25,000 | 50,000 | 100,000 |
|--------------------------|------|--------|--------|---------|
| Lumen Maintenance Factor | 1.00 | 0.98   | 0.97   | 0.95    |

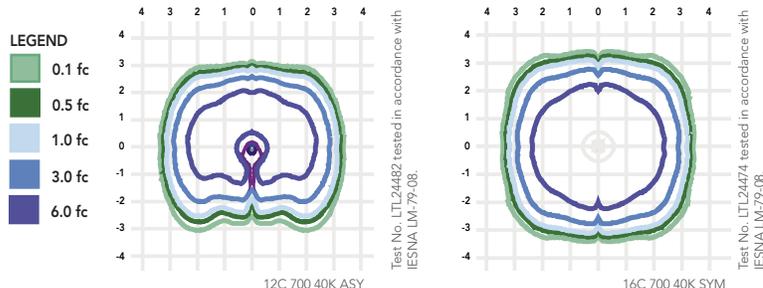
## Electrical Load

| Light Engines | Drive Current (mA) | System Watts | Current (A) |       |       |       |       |
|---------------|--------------------|--------------|-------------|-------|-------|-------|-------|
|               |                    |              | 120         | 208   | 240   | 277   | 347   |
| 12C           | 350                | 16W          | 0.158       | 0.118 | 0.114 | 0.109 | 0.105 |
|               | 530                | 22W          | 0.217       | 0.146 | 0.136 | 0.128 | 0.118 |
|               | 700                | 31W          | 0.296       | 0.185 | 0.168 | 0.153 | 0.139 |
|               | Amber 450          | 16W          | 0.161       | 0.120 | 0.115 | 0.110 | 0.106 |
| 16C           | 350                | 20W          | 0.197       | 0.137 | 0.128 | 0.121 | 0.114 |
|               | 530                | 28W          | 0.282       | 0.178 | 0.162 | 0.148 | 0.135 |
|               | 700                | 39W          | 0.385       | 0.231 | 0.207 | 0.185 | 0.163 |
|               | Amber 450          | 20W          | 0.199       | 0.139 | 0.130 | 0.123 | 0.116 |

## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [KBR8 Bollard homepage](#).

Isofootcandle plots for the KB LED Bollards. Distances are in units of mounting height (3').



## FEATURES & SPECIFICATIONS

### INTENDED USE

The rugged construction and clean lines of the KBA bollard is ideal for illuminating building entryways, walking paths, and pedestrian plazas, as well as any other location requiring a low mounting height light source with fully cutoff illumination.

### CONSTRUCTION

One-piece 8-inch round extruded aluminum shaft with thick side walls for extreme durability, a high-impact clear acrylic lens and welded top cap. Die-cast aluminum mounting ring allows for easy leveling even in sloped locations and a full 360-degree rotation for precise alignment during installation. Three 1/2" x 11" anchor bolts with double nuts and washers and 3/4" bolt circle template ensure stability. Overall height is 42" standard.

### FINISH

Exterior parts are protected by a zinc-infused super durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering for maximum retention of gloss and luster. A tightly controlled multi-stage process ensures a minimum 3-mil thickness for a finish that can withstand the elements without cracking or peeling. Available in both textured and non-textured finishes.

### OPTICS

Two fully cutoff optical distributions are available: symmetrical and asymmetrical. IP66 sealed LED light engine provides smoothly graduated illumination without any uplight. Light engines are available in standard 4000 K (>70 CRI) or optional 3000 K (>80 CRI) or 5000 K (67 CRI). Limited-wavelength amber LEDs are also available.

### ELECTRICAL

Light engines consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (L95/100,000 hours at 700mA at 25°C). Class 2 electronic drivers are designed for an expected life of 100,000 hours with < 1% failure rate. Electrical components are mounted on a removable power tray.

### LISTINGS

CSA certified to U.S. and Canadian standards. Light engines are IP66 rated. Rated for -40°C minimum ambient. Cold-weather emergency battery backup rated for -20°C minimum ambient.

### BUY AMERICAN

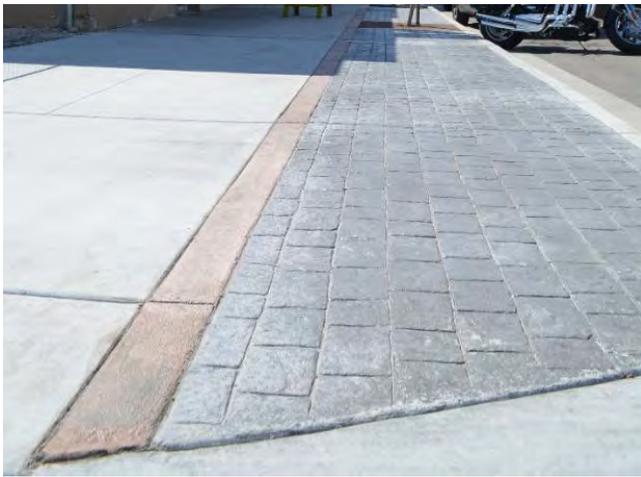
This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FARS, DFARS and DOT. Please refer to [www.acuitybrands.com/resources/buy-american](http://www.acuitybrands.com/resources/buy-american) for additional information.

### WARRANTY

Five-year limited warranty. Complete warranty terms located at [www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx).

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.





## SIDEWALKS

### *Tree grates*

---

Urban Accessories Kiva 2-Piece/5-ft square

### *Tree placement*

---

20' to 40' apart

Avoid obstructing signage

### *Concrete Colors*

---

Red: Weathered Oak BASF RHEOCOLOR RC2505

Gray: Stone Harbor BASF RHEOCOLOR RC2501 15 lbs/CY of concrete

### *Stamped Concrete Pattern*

---

Asher Cut Slate

### *Bulbouts*

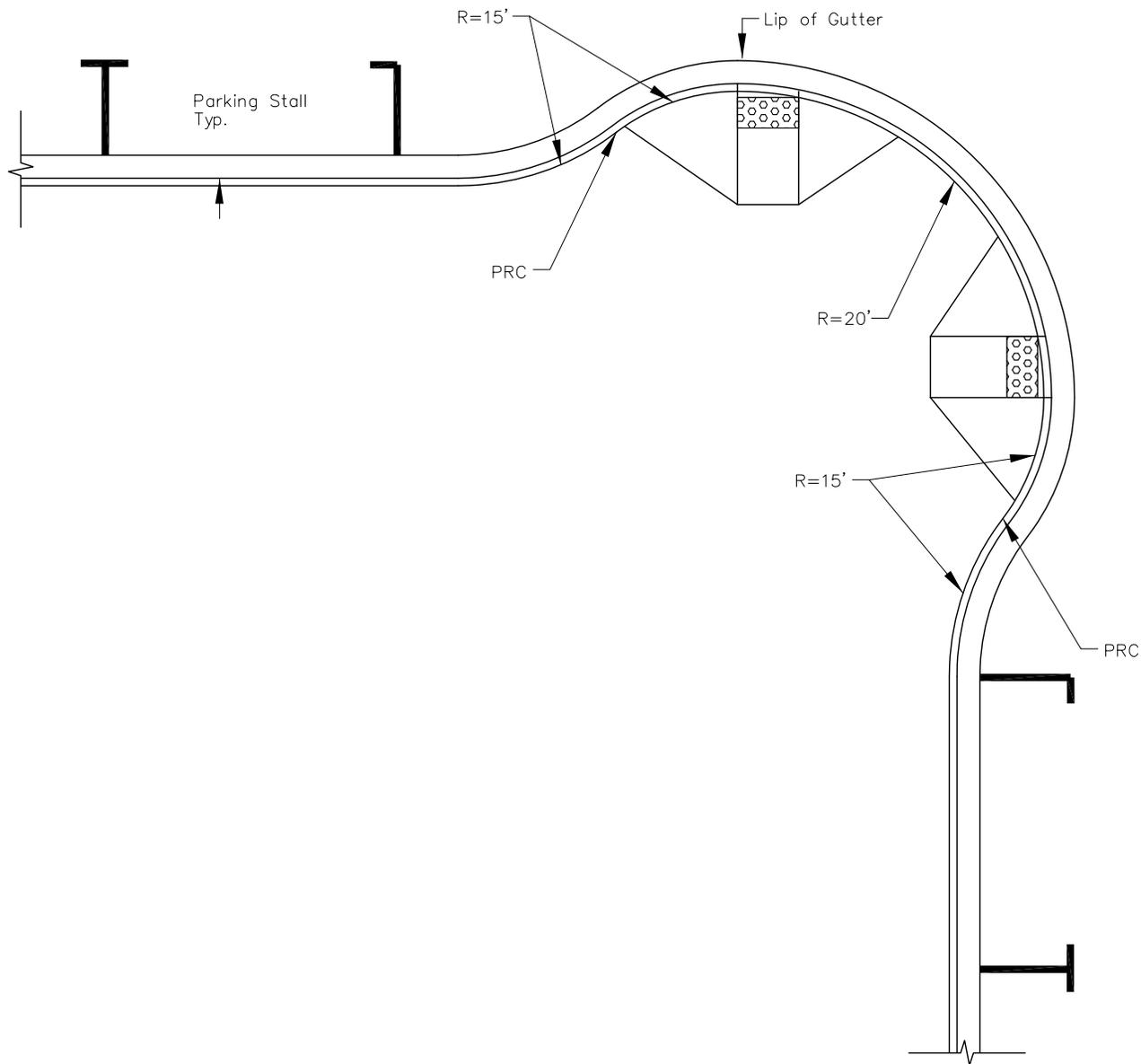
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ACHD SD-710F

City of Kuna Colored Concrete pattern

***Specs attached***

# ACHD Bulbout Standard



**NOTES:**

- ① NO TANGENT SECTION BETWEEN REVERSE CURVES IS REQUIRED, BUT ALLOWED IF NEEDED
- ② THIS DETAIL IS THE MINIMUM RADII ALLOWED FOR REVERSED CURVES AT CURB BULBOUTS, RADII GREATER THAN THE 15' MINIMUM IS ALLOWED IF REQUESTED AND APPROVED BY ACHD.

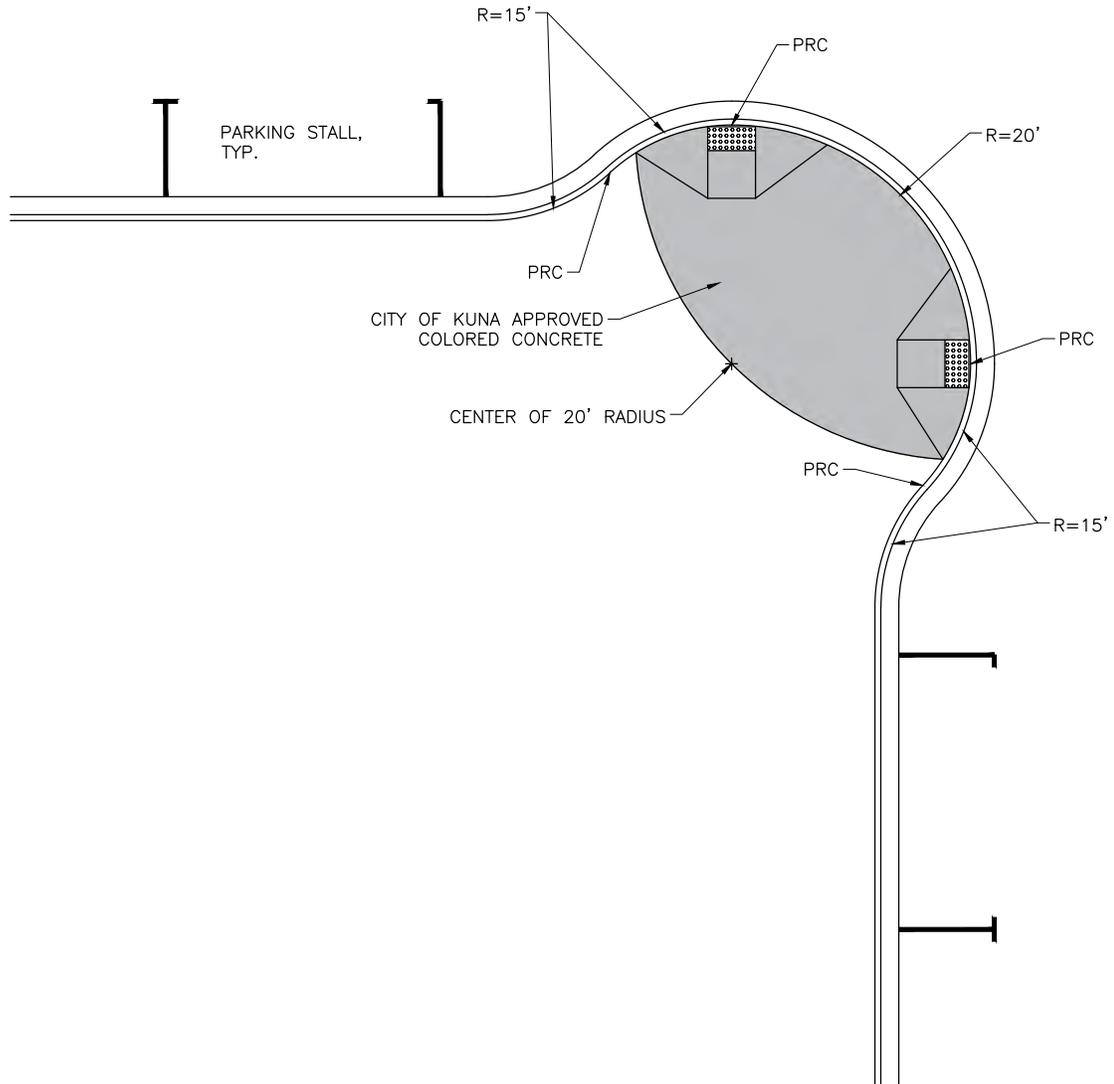
2017 ACHD REVISION

IDAHO STANDARDS  
FOR PUBLIC WORKS  
CONSTRUCTION  
(ACHD SUPPLEMENT)

MINIMUM CURB RADII FOR  
CURB BULBOUTS

STANDARD DRAWING  
NO. SD-710F

# Kuna Main Street Bulbout Standard



## NOTES:

1. NO TANGENT SECTION BETWEEN REVERSE CURVES IS REQUIRE, BUT ALLOWED IF NEEDED.
2. THIS DETAIL IS THE MINIMUM RADII ALLOWED FOR REVERSE CURVES AT CURB BULBOUITS. RADII GREATER THAN THE 15' MINIMUM IS ALLOWED IF REQUESTED AND APPROVED BY THE CITY OF KUNA AND ACHD.



## STREET FURNITURE

Downtown Kuna Street Furniture is decorative, artistic, functional, and accessible to increase visual interest and improve storefront experience.

### *Items provided by the city of Kuna*

---

Benches

Trash Receptacles

Bike Racks

Bike Stations

Water Fountains

### *Items provided by merchant or property owner*

---

Black, neutral or in accordance with color palettes:

Railing/fencing

Seating

Planters

### *Art*

---

To be approved by the Kuna Arts Commission



# DOWNTOWN DESIGN STANDARDS AMENDMENTS

|   |  |
|---|--|
| Resolution No. R40-2024 (July 2, 2024)      | <p><b>A RESOLUTION OF THE CITY COUNCIL OF KUNA, IDAHO:</b></p> <ul style="list-style-type: none"> <li>• <b>MAKING CERTAIN FINDINGS AND DECLARATION OF AUTHORITY; AND</b></li> <li>• <b>ADOPTING THE “CITY OF KUNA DOWNTOWN DESIGN STANDARDS”;</b><br/><b>AND</b></li> <li>• <b>DIRECTING THE CITY CLERK; AND</b></li> <li>• <b>PROVIDING AN EFFECTIVE DATE.</b></li> </ul> |
| Resolution No. R18-2025 (February 18, 2025) | <p><b>A RESOLUTION OF THE CITY COUNCIL OF KUNA, IDAHO:</b></p> <ul style="list-style-type: none"> <li>• <b>MAKING CERTAIN FINDINGS AND DECLARATION OF AUTHORITY; AND</b></li> <li>• <b>AMENDING THE “CITY OF KUNA DOWNTOWN DESIGN STANDARDS”;</b><br/><b>AND</b></li> <li>• <b>DIRECTING THE CITY CLERK; AND</b></li> <li>• <b>PROVIDING AN EFFECTIVE DATE.</b></li> </ul> |