

**OFFICIALS**

Dana Hennis, Chairman  
Bryan Clark, Vice Chairman  
Ginny Greger, Commissioner  
Jim Main, Commissioner  
Bobby Rossadillo, Commissioner

**CITY OF KUNA**  
**City Hall Council Chambers**  
**751 W 4<sup>th</sup> Street, Kuna, ID 83634**  
**Planning & Zoning Commission**  
**REGULAR MEETING AGENDA**  
**Tuesday, August 12, 2025, at 6:00 PM**



*For questions, please call Planning and Zoning at (208) 922-5546.*  
*ALL AGENDA ITEMS ARE ACTION ITEMS UNLESS OTHERWISE NOTED.*

**1. CALL TO ORDER & ROLL CALL:**

**2. CONSENT AGENDA:**

*All items listed are routine and acted on with one (1) Motion by the Commission; there will be no separate discussion unless the Chairman, Commissioner, or Staff requests it be removed. Removed items will be placed under Business unless otherwise instructed.*

- A. Regular Commission Meeting Minutes Dated July 22, 2025
- B. Decision and Reasoned Statement(s)
  - 1. Case No. 25-01-ZC Wanner Buckner/City of Kuna Rezone
  - 2. Case No. 25-24-DR Kuna Data Center Site Plan Amendment
  - 3. Case Nos. 22-15-S, 22-07-ZC & 22-34-DR; Gallica Heights Subdivision

*Potential Motion:*

- *Motion to Approve Consent agenda.*
- *Motion to Approve Consent agenda with amendments (i.e., correction to previous meeting minutes, etc.)*

**3. PUBLIC HEARINGS:**

**4. BUSINESS ITEMS:**

- A. Case No. 25-17-DR (Design Review) for Mark Adams Storage – Troy Behunin – Senior Planner

Applicant requests Design Review approval for a 36’ X 70’ Pole Style building with an accompanying 16 X 70’ attached lean-to on 1.5 acres, near the Southeast Corner of E Stagecoach Wy. and S Swan Falls Road (APN: S1325233606); Section 25, Township 1 North, Range 1 West.

*Potential Motions:*

- *Motion to approve/deny Case No. 25-17-DR with Conditions as outlined in the staff report (and additional Conditions imposed by Commission, if applicable).*

**5. UPDATES & REPORTS:**

**6. ADJOURNMENT:**

---

**OFFICIALS**

Dana Hennis, Chairman  
Bryan Clark, Vice Chairman  
Ginny Greger, Commissioner  
Jim Main, Commissioner  
Bobby Rossadillo, Commissioner

**CITY OF KUNA**  
**City Hall Council Chambers**  
**751 W 4<sup>th</sup> Street, Kuna, ID 83634**

**Planning & Zoning Commission**  
**REGULAR MEETING MINUTES**  
**Tuesday, July 22, 2025, at 6:00 PM**



*For questions, please call Planning and Zoning at (208) 922-5546.*  
*ALL AGENDA ITEMS ARE ACTION ITEMS UNLESS OTHERWISE NOTED.*

**I. CALL TO ORDER & ROLL CALL:**

*(Timestamp 00:00:44)*

**Chairman Dana Hennis** Okay. We'll go ahead and call to order. Tonight's regularly planned regularly scheduled Planning & Zoning Commission meeting for Tuesday, July 22nd, 2025, and we'll start with roll call.

**Planning & Zoning Director Doug Hanson** Chairman Dana Hennis.

**Chairman Dana Hennis** Present.

**Planning & Zoning Director Doug Hanson** Commissioner Bryan Clark...Commissioner Ginny Greger.

**Commissioner Ginny Greger** Present.

**Planning & Zoning Director Doug Hanson** Commissioner Jim Main.

**Commissioner Jim Main** Present.

**Planning & Zoning Director Doug Hanson** Commissioner Bobby Rossadillo...

**COMMISSIONERS PRESENT**

Chairman Dana Hennis - Present  
Vice Chairman Bryan Clark - Absent  
Commissioner Ginny Greger - Present  
Commissioner Jim Main - Present  
Commissioner Bobby Rossadillo - Absent

**CITY STAFF PRESENT**

Doug Hanson, Planning & Zoning Director  
Troy Behunin, Senior Planner  
Marina Lundy, Planner  
Matt Johnson, City Attorney

## **2. CONSENT AGENDA:**

*All items listed are routine and acted on with one (1) Motion by the Commission; there will be no separate discussion unless the Chairman, Commissioner, or Staff requests it be removed. Removed items will be placed under Business unless otherwise instructed.*

*(Timestamp 00:01:12)*

**A.** Regular Commission Meeting Minutes Dated July 08, 2025

**B.** Decision and Reasoned Statement(s)

1. Case No. 24-08-AN Madrone Village Annex
2. Case No. 25-02-CPF Valor Social Club
3. Case No. 25-14-DR Kuna Mora Industrial
4. Case No. 25-08-DR Valor Social Club Phase One
5. Case No. 25-18-DR Athleta Townhomes

*Potential Motion:*

- *Motion to Approve Consent agenda.*
- *Motion to Approve Consent agenda with amendments (i.e., correction to previous meeting minutes, etc.)*

*(Timestamp 00:01:12)*

**Chairman Dana Hennis** Okay, first up on the agenda is our consent agenda.

**Commissioner Jim Main** Mr. Chairman, I move that we approve the consent agenda.

**Commissioner Ginny Greger** I'll second that.

**Chairman Dana Hennis** Thank you, all in favor?

**All Commissioners** Aye.

**Chairman Dana Hennis** Any opposed? Nope, thank you.

*(Timestamp 00:01:18)*

**Motion To:** Approve The Consent Agenda

**Motion By:** Commissioner Jim Main

**Motion Seconded By:** Commissioner Ginny Greger

**Further Discussion:** None

**Voting Aye:** Commissioners Main, Greger, Hennis

**Voting Nay:** None

**Absent:** Commissioners Rosadillo, Clark

**3-0-2**

### 3. PUBLIC HEARINGS:

### 4. BUSINESS ITEMS:

*(Timestamp 00:01:30)*

A. Case No. 25-24-DR (Design Review) for Kuna Data Center Site Plan Amendment - Marina Lundy - Planner

Applicant requests Design Review approval for a site plan that includes the addition of 40 acres to the north of the existing Kuna Data Center campus. The site is located at 14375 S Cole Rd. (Parcel No. S1531222400).

*Potential Motions:*

- *Motion to approve/deny Case No. 25-24-DR with Conditions as outlined in the staff report (and additional Conditions imposed by Commission, if applicable).*

*(Timestamp 00:01:30)*

**Chairman Dana Hennis** So, next up on the agenda is business item for case #25-24-DR, Design Review, for the Kuna Data Center site plan amendment.

**Planner Marina Lundy** Good evening, Members of the Commission. For the record, Marina Lundy Planner, Kuna Development Services department. The application before you this evening requests design review approval for approximately 40 acres already zoned M-1 to add to the previously approved data center site plan. The original site plan was approved June 13th, 2023. The site is located at 14375 S Cole Rd. Kuna, ID at the intersection of South Cole Rd. And West Kuna Mora Rd. The site plan proposes 2 buildings that would be 135,000 square feet and would be rapid deployment membrane structures with an estimated 25-year lifespan. This would not increase an employee or construction traffic at the site. These additional 40... the additional 40-acre site would also improve water flow and quality without needing city support by enabling better internal water and wastewater systems. Their planned industrial wastewater use will activate idle city infrastructure, boost treatment efficiency, reduce well-water use, and potentially expand the cities, water rights and storage capacity. Staff has reviewed the proposed design review application for compliance with Kuna City Code and the Comprehensive plan, and should the Commission approve the application, staff recommends the applicant be subject to the proposed recommended conditions as outlined in the staff report. I'll be here for any questions that you have about the application and the applicant is present tonight.

**Chairman Dana Hennis** Thank you. Does the Commission have any questions for staff at this time?

**Commissioner Jim Main** No questions.

**Chairman Dana Hennis** Okay, would the applicant... or does the applicant have presentation or?

**Susan Devine, Parametrix** *(away from Microphone)* We don't have a presentation, but we'd be happy to answer any questions

**Chairman Dana Hennis** And go ahead and state your name and address for the record, please

**Susan Devine, Parametrix** For the record, Susan Devine's address is 7761 W Riverside Drive in Boise. I'm with Parametrix and I'm happy to answer any questions. We don't have a formal presentation.

**Chairman Dana Hennis** Is there any questions for the applicant at this time?

**Commissioner Jim Main** No.

**Chairman Dana Hennis** You got lucky.

*[Laughter]*

**Susan Devine, Parametrix** I thought I was going to be able to weigh in on the benefits of engineers versus our architect versus planners. But apparently...

**Commissioner Jim Main** What are your thoughts on that?

**Susan Devine, Parametrix** I don't need to. But I'm going to abstain.

*[Laughter]*

**Commissioner Jim Main** Are you...Are you an engineer?

**Susan Devine, Parametrix** I'm a planner.

**Commissioner Jim Main** Oh, you're a planner.

*[Laughter]*

**Susan Devine, Parametrix** Alright, thank you very much.

**Chairman Dana Hennis** I guess I'll have, let me ask a couple of quick questions on that one. So, the membrane structures are just meant to basically be long-term temporary type structures, right? Are they going to be a permanent foundation?

**Susan Devine, Parametrix** They are on a foundation, a concrete foundation, and so from a meta perspective, the whole fleet is about a 25 year life cycle as they're constantly getting improved and changed and updated to meet different network demands, but they are. I'm not sure if you're familiar with that.... There's a structure off of Federal Way in Boise that is the Aquatic Center, which is a similar facility which also has a 25-plus year lifespan intention.

**Chairman Dana Hennis** Right, yeah, and I'm familiar with the sprung type facility, so I was just more or less wondering what the foundations were if they're going to be basically permanent foundations for these.

**Susan Devine, Parametrix** They are permanent foundations, yes.

**Chairman Dana Hennis** Okay, and I guess that's pretty much all I had. That kind of answers..., so it's intended to be a, it's full life cycle and then whatever needs to be changed down, there is infrastructure changes.

**Susan Devine, Parametrix** Correct. Whatever the next evolution of the data structures would be.

**Chairman Dana Hennis** Okay, perfect. Thank you.

**Susan Devine, Parametrix** You're welcome.

**Chairman Dana Hennis** Other questions?

**Commissioner Jim Main** No.

**Chairman Dana Hennis** Okay, thank you. I mean, this is a... I guess This goes up to our deliberation at this point. Pretty standard structures. They've been fairly well tested over the years.

**Commissioner Jim Main** Yeah, it's right they're Industrial in nature, there's no increase in employee or vehicle use out there. And as far as landscaping and they're using natural plant buffers, which is ...it's out in the middle of the desert, so...

**Chairman Dana Hennis** Right, and this will help with the city facilities out there as well, like was said the wastewater and the infrastructure will help.

**Commissioner Jim Main** Right.

**Chairman Dana Hennis** That is a big, long building. Well, if there's no other questions or concerns, I would stand for a motion.

**Commissioner Ginny Greger** Mr. Chair...

**Commissioner Jim Main** Mr. Chair.

**Commissioner Ginny Greger** Go ahead.

**Commissioner Jim Main** Mr. Chairman, I move to approve case #25-24-DR with conditions as outlined in the staff report.

**Commissioner Ginny Greger** I'll second that.

**Chairman Dana Hennis** Thank you, all in favor?

**All Commissioners** Aye.

**Chairman Dana Hennis** Any opposed? Thank you. Motion passes. That was easy.

*(Timestamp 00:06:40)*

**Motion To:** Approve Case #25-24-DR With Conditions

**Motion By:** Commissioner Jim Main

**Motion Seconded By:** Commissioner Ginny Greger

**Further Discussion:** None

**Voting Aye:** Commissioners Main, Greger, Hennis

**Voting Nay:** None

**Absent:** Commissioners Rosadillo, Clark

**3-0-2**

## **5. UPDATES & REPORTS:**

*(Timestamp 00:07:03)*

**Chairman Dana Hennis** I don't see any other items on the agenda tonight. Is there anything from staff?

**Planning & Zoning Director Doug Hanson** That is it for this evening.

## **6. ADJOURNMENT:**

*(Timestamp 00:07:11)*

**Commissioner Ginny Greger** Mr. Chairman, I make a motion, we adjourn.

**Commissioner Jim Main** Second.

**Chairman Dana Hennis** All in favor?

**All Commissioners** Aye.

**Chairman Dana Hennis** Thank you.

*(Timestamp 00:06:40)*

**Motion To:** Adjourn

**Motion By:** Commissioner Ginny Greger

**Motion Seconded By:** Commissioner Jim Main

**Further Discussion:** None

**Voting Aye:** Commissioners Main, Greger, Hennis

**Voting Nay:** None

**Absent:** Commissioners Rosadillo, Clark

**3-0-2**

---

Dana Hennis, Chairman

ATTEST:

---

Doug Hanson, Director

*Minutes prepared by Garrett Michaelson, Deputy City Clerk.*

**BEFORE THE PLANNING AND ZONING COMMISSION  
CITY OF KUNA, ADA COUNTY IDAHO**

IN THE MATTER OF THE APPLICATION OF	)	<b>Case No. 25-01-ZC (Rezone)</b>
	)	
<b>WANNER-BUCKNER/CITY OF KUNA REZONE</b>	)	
	)	
	)	<b>DECISION AND REASONED</b>
<i>Related to the Rezone of a properties located at</i>	)	<b>STATEMENT FOR THE</b>
<i>700 N Meridian Rd. (S1419325400,</i>	)	<b>WANNER-BUCKNER/CITY OF</b>
<i>S1419314800, &amp; S1419314950).</i>	)	<b>KUNA REZONE APPLICATION.</b>

---

**SECTION 1  
INTRODUCTION AND PROCEDURAL BACKGROUND**

THESE MATTERS came before the Planning and Zoning Commission, the “Commission” on July 8, 2025, where the Commission voted to recommend for approval case No. 25-01-ZC. Thereafter, this Decision was prepared and presented to the Commission on July 22, 2025, for formal adoption of the Commission’s decision.

**SECTION 2  
DECISION**

The Commission, having considered the record and listened to the arguments and presentations at the hearing, DOES HEREBY ORDER AND DECIDE:

The Rezone Application (25-01-ZC) is hereby *Recommended Approval*.

**SECTION 3  
RECORD OF EXHIBITS AND TESTIMONY**

**I. List of Exhibits.**

- ARIAL MAP
- AFFIDAVIT - TRUE GRITT SPORTS
- AFFIDAVIT - WANNER-BUCKNER
- APPLICATION COVERSHEET
- COMMITMENT TO PROPERTY POSTING
- DEED & LEGAL DESCRIPTION - CITY OF KUNA
- DEED & LEGAL DESCRIPTION - WANNER-BUCKNER
- NARRATIVE

- NEIGHBORHOOD MEETING CERTIFICATE
- NEIGHBORHOOD MEETING LETTERS
- REZONE APPLICATION
- SWING SITE PLAN
- VICINITY MAP
- WANNER-BUCKNER
- AGENCY TRANSMITTAL
- ACHD AGENCY COMMENT
- DEQ AGENCY COMMENT
- ITD AGENCY COMMENT
- SITE POSTING 1
- SITE POSTING 2
- PROOF OF PROPERTY POSTING

**II. Testimony.**

a. Those who testified at the Commission hearing on July 8, 2025 are as follows, to-wit:

1. City Staff:

Marina Lundy, Planner

2. Appearing for the Applicant:

Jessica Hall, Economic Development, 751 W 4<sup>th</sup> St., Kuna ID, 83634

3. Public Testimony:

Tina Townley, 2955 Meadow View Rd., Kuna ID, 83634

Lorrie Somozzi, 101 S. Fusion Ave, Kuna ID, 83634

**SECTION 4  
REASONED STATEMENT**

**I. Relevant Criteria and Standards Considered**

a. Relevant City Ordinance Provisions.

1. Kuna City Code (KCC) Title 5 Development Regulations, Chapter 8, Part 3 Zoning  
Amendment

b. Relevant Statutory Provisions

1. Title 67, Chapter 65 Local Land Use Planning

i. I.C. § 67-6511 Zoning Ordinance

c. Pertinent Constitutional Provisions

**II. Factual Findings**

a. General Factual Findings.

1. Statement of Fact

<b>Parcel Number(s):</b>	S1419325400, S1419314800, & S1419314950
<b>Future Land Use Map Designation:</b>	Commercial, Public, and Medium Density Residential
<b>Existing Land Use:</b>	Agriculture
<b>Current Zoning:</b>	A (Agriculture)
<b>Proposed Zoning:</b>	C-2 (Area Commercial)
<b>Development Area:</b>	75.86
<b>Adjacent Zoning Districts:</b>	<b>North:</b> A (Agriculture), R-8 (Medium Density Residential) <b>East:</b> R-8 (Medium Density Residential) <b>South:</b> C-2 (Area Commercial), A (Agriculture) <b>West:</b> RUT (Rural Urban Transition)
<b>Adjacent Street(s) Existing &amp; Proposed:</b>	<b>North:</b> E Meadow View Rd. (Existing) <b>East:</b> None <b>South:</b> E Kuna Rd. (Existing) <b>West:</b> N Meridian Rd. (Existing)
<b>Internal Street(s) Existing &amp; Proposed:</b>	None
<b>Adjacent Bike/Pedestrian Facilities:</b>	None
<b>Adjacent Parks:</b>	None
<b>Land Dedication Requirements:</b>	N/A

2. Procedural Findings:

Neighborhood Meeting	April 14, 2025
----------------------	----------------

Pre-Application Meeting	February 4, 2025
Agency Comments Request	April 22, 2025
300 ft Legal Mailer Notice	June 19, 2025
Idaho Press Newspaper Published Hearing Notice	June 19, 2025
Site Posting	June 19, 2025
Commission Public Hearing	July 8, 2025
Commission Decision and Reasoned Statement Entered	August 12, 2025

- a. Relevant Contested Facts.
  1. Concerns were raised about increased traffic and potential noise that could be created if the site were to develop based on the conceptual site plan that was included in the application.
- b. Commissions’ Factual Findings on Relevant Contested Fact.
  1. The Commission noted that a Traffic Impact Study would be required if the applicant were to move forward with an application based on the conceptual site plan and the development would have to comply with the City’s quiet hours ordinance.

**III. Rationale for the Decision Based Upon Facts and Relevant Criteria and Standards Considered.**

It is the rationale of the Commission that the Rezone of the subject real property as proposed in the applications is consistent with the Future Land Use Map. As such, the Commission recommended approval of the Rezone.

**IV. Conditions of Approval**

1. At time of development the applicant and/or owner shall obtain written approval on letterhead or may be written/stamped on the approved construction plans from the agencies noted below. All submittals are required to include the lighting, landscaping, drainage, and development plans. All site improvements are prohibited prior to approval of the following agencies:
  - a. The City Engineer shall approve the sewer hook-ups.
  - b. The City Engineer shall approve all civil plans. No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of the drainage plan.
  - c. Central District Health Department recommends the plan be designed and constructed in conformance with standards contained in, “Catalog for Best Management Practices for Idaho

Cities and Counties”.

- d. The Kuna Fire District shall approve fire flow requirements and/or construction plans. Installation of fire protection facilities as required by Kuna Fire District are required.
  - e. The Kuna Municipal Irrigation District and Boise Project Board of Control shall approve any modifications to the existing irrigation system.
  - f. Approval from Ada County Highway District (ACHD) shall be obtained and Impact Fees must be paid prior to *issuance* of any building permit(s).
  - g. All public rights-of-way shall be dedicated and constructed to standards of the City and Ada County Highway District. No public street construction may commence without the approval and permit from Ada County Highway District.
2. Installation of service facilities at the time of future development shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground, see KCC 6-4-2-W.
  3. Connection to City Services (Sewer, Water, Pressurized Irrigation) is required. At time of development all City services shall be brought to and through the subject property. The applicant shall conform to all corresponding Master Plans.
  4. Any future site improvements the property owner shall comply with the provisions set forth in Kuna City Code (KCC).
  5. Any site improvements and/or building construction shall be subject to Design Review prior to commencement.
  6. The land owner/applicant/developer, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the City Council, or seek amending them through public hearing processes.
  7. Developer/owner/applicant shall follow staff, City engineers and other agency recommended requirements as applicable.
  8. Developer/owner/applicant shall comply with all local, state and federal laws.

**SECTION 5**  
**NOTICES TO APPLICANT AND AFFECTED PARTIES**

Pursuant to KCC 5-8-912, an applicant or affected party may appeal this decision to the Kuna City Council. The applicant or affected party must file a written notice of appeal with the City Clerk stating specifically the decision(s) to be reviewed by the Council and the grounds for the appeal with the Director before 5:00 p.m. of the tenth calendar day, or the next business day following the tenth calendar day should the tenth day fall on a weekend or holiday, after decision is issued and provided in writing to the applicant.

**BY ACTION OF THE PLANNING & ZONING COMMISSION** of the City of Kuna at its regular meeting held on the 12<sup>th</sup> day of August 2025.

---

P&Z Commission Chairman,  
Dana Hennis



- ITD
- KRFD

## II. Public Hearing Witnesses.

**Witness Testimony:** Those who testified at the Commission July 22, 2025, hearing are as follows, to-wit:

- a. City Staff:  
Marina Lundy, Planner, Planning & Zoning Dept.
- b. Appearing for the Applicant:  
Susan Devine, 7761 W Riverside Dr., Boise ID, 83714
- c. Public Testimony:

### SECTION 4 CONDITIONS OF APPROVAL

1. The Developer/Owner/Applicant shall obtain written approval on letterhead or may be written/stamped on the approved plans of the construction plans from the agencies noted below. All submittals are required to include lighting, landscaping, drainage, and development plans. All site improvements are prohibited prior to approval of the following agencies:
  - a. The City Engineer shall approve all sewer connections.
  - b. The City Engineer shall approve all civil plans. No construction, grading, filling, clearing or excavation of any kind shall be initiated until the Applicant has received an approved drainage plan.
  - c. Central District Health Department recommends the plan be designed and constructed in conformance with standards contained in, "Catalog for Best Management Practices for Idaho Cities and Counties".
  - d. The Kuna Rural Fire District shall approve fire flow requirements and/or building plans. Installation of fire protection facilities as required by the Fire District are required.
  - e. The Kuna Municipal Irrigation System and Boise Project Board of Control shall approve any modifications to the existing irrigation system.
  - f. Approval from Ada County Highway District (ACHD) shall be obtained and Impact Fees must be paid prior to issuance of any building permit(s).
  - g. All public Rights-Of-Way shall be dedicated and constructed to standards of the City and Ada County Highway District. No public street construction may commence without the approval and permit from Ada County Highway District.

2. The Developer/Owner/Applicant, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the Commission, or seek amending them through appropriate application processes as outlined in KCC.
3. Developer/Owner/Applicant shall follow staff, City Engineer and other agency recommended requirements, as applicable.
4. This development shall be completed per the approved site plan and landscape plan, or as otherwise determined by staff.
5. All required landscaping shall be permanently maintained in healthy growing condition. The property owner shall remove and replace unhealthy or dead plant material within three (3) days or as the planting season permits, as required to meet the standards of these requirements. Maintenance and planting within public rights-of-way shall be with approval from the public entities owning the property.
6. Landscaping shall not be placed within 10 feet of any and all meter pits, pressurized irrigation valves and/or ACHD underground facilities, and must honor all vision triangles.
7. This development is subject to Architectural and Landscape compliance Design Review inspections prior to receiving a Certificate of Occupancy. Design Review inspection fees shall be paid prior to requesting staff inspection.
8. Developer/Owner/Applicant/Contractors are hereby notified of Kuna's working hours. Construction of any kind shall only be conducted within the hours specified in KCC 10-6-3. Noises and other public nuisances/distractions outside of this time frame are subject to lawful penalties.
9. Developer/Owner/Applicant is hereby notified of Kuna's weed control policies and requirements KCC 8-1-3. Weeds, grasses, vines or other growth which endanger property or are over twelve (12) inches in height shall be continuously cut down, weeded out, sprayed, burned, removed or destroyed throughout all seasons.
10. Developer/Owner/Applicant and all successors shall comply with all Local, State and Federal Laws.
11. Developer/Owner/Applicant shall comply with Kuna City Code and Idaho State code.

**SECTION 5**  
**NOTICES TO APPLICANT AND AFFECTED PARTIES**

Pursuant to KCC 5-8-912, an applicant or affected party may appeal this decision to the Kuna City Council. The applicant or affected party must file a written notice of appeal with the City Clerk stating specifically the decision(s) to be reviewed by the Council and the grounds for the appeal with the Director before 5:00 p.m. of the tenth calendar day, or the next business day following the tenth calendar day should the tenth day fall on a weekend or holiday, after decision is issued and provided in writing to the applicant.

**BY ACTION OF THE CITY COMMISSION** of the City of Kuna at its regular meeting held on the 12<sup>th</sup> day of August 2025.

\_\_\_\_\_  
Dana Hennis, Chairman

**BEFORE THE PLANNING & ZONING COMMISSION OF THE  
CITY OF KUNA, ADA COUNTY, IDAHO**

IN THE MATTER OF THE APPLICATIONS OF ) **Case Nos.:** 22-07-ZC (Rezone), 22-15-S  
) (Preliminary Plat) & 22-34-DR (Design  
) Review)  
**THISTLE FARMS, LLC** )  
)  
)  
*Related to the development of real property* ) **DECISION AND REASONED**  
*located Southeast Corner of Black Cat &* ) **STATEMENT FOR GALLICA**  
*Columbia Roads (Parcel Nos. S1310223100,* ) **HEIGHTS SUB.**  
*S1310233700, and S1310233610).*

---

**SECTION 1  
INTRODUCTION AND PROCEDURAL BACKGROUND**

THESE MATTERS came before the Planning & Zoning Commission of the City of Kuna (“the Commission”) for Public Hearing on June 24, 2025, the Commission entered recommendations and decisions on the application. Thereafter, this Decision and Reasoned Statement was prepared and presented to the Commission on August 12, 2025, for formal adoption of the Commission’s recommendation and decisions.

**SECTION 2  
DECISION**

The Commission, having considered the record and listened to the arguments and presentations at the hearing, DOES HEREBY ORDER AND DECIDE:

- The Rezone Application (Case No. 22-07-ZC) is hereby *Recommended Approval*.
- The Preliminary Plat Application (Case No. 22-15-S) is hereby *Recommended Approval*.
- The Design Review Application (Case No. 22-34-DR) is hereby *Approved*.

**SECTION 3  
RECORD OF EXHIBITS AND WITNESSES**

**I. List of Exhibits.**

- AFFIDAVITS OF LEGAL INTEREST
- APPLICATION ANNEXATION AND ZONING
- COMMITMENT TO PROPERTY POSTING
- ANNEXATION LEGAL DESCRIPTION
- R-6 LEGAL DESCRIPTION
- R-12 LEGAL DESCRIPTION
- NARRATIVE

Gallica Heights Subdivision

- NEIGHBORHOOD MEETING CERTIFICATION
- PZ APPLICATION COVERSHEET
- WARRANTY DEED
- VICINITY MAP
- APPLICANT PRESENTATION PZ 11.12.24
- IP PUBLICATION PZ 11.12.2024
- PROOF OF LEGAL NOTICE MAILER PZ 10.25.2024
- PROOF OF PROPERTY POSTING PZ 10.17.2024
- IP PUBLICATION CC 1.10.2025
- PROOF OF LEGAL NOTICE MAILER CC 1.10.2025
- PROOF OF PROPERTY POSTING CC 1.3.2025
- IP PUBLICATION PZ 6.6.2025
- PROOF OF LEGAL NOTICE MAILER CC 6.3.2025
- PROOF OF PROPERTY POSTING PZ 6.13.2025
- AGENCY TRANSMITTAL 4.12.2024
- ACHD
- ADA COUNTY DSD
- BKID
- BPBC UPDATED
- CDHD
- COMPASS
- DEQ
- DEQ UPDATED
- ITD
- ITD UPDATED
- KRFD
- KSD
- KUNA PARKS & REC DEPT.
- NMID
- NMID DUAL LETTER
- PUBLIC WORKS
- PZ CASE PACKET 11.10.2024
- STAFF REPORT PZ 11.12.2024
- PZ DECISION N REASONED STATEMENT 1.14.2025
- PZ MINUTES 11.12.2024
- SIGN UP SHEET PZ 11.12.2024
- STAFF MEMO CC 2.4.2025
- eMAIL FREDERICK 11.29.22
- eMAILGROW - WILHITE 7.7.23
- eMAILGROW - WILHITE 6.18.25
- eMAIL RUWE 7.5.23
- eMAIL BACH 3.4.25
- eMAIL SELLARS 3.6.25

- LETTER STEWART 12.7.22
- LETTER STEWART 2.1.24
- LETTER HOUGH 2.1.24
- eMAIL HOUGH 6.18.25
- LETTER ANDERSON 12.2.22
- LETTER ANDERSON 3.5.25
- COMMISSION DECISION AND REASONED STATEMENT
- COMMISSION MEETING MINUTES

## **II. Public Hearing Witnesses.**

**Witness Testimony:** Those who testified at the Commission June 24, 2024, hearing are as follows, to-wit:

- a. City Staff:  
Troy Behunin, Senior Planner, Kuna, DSD
- b. Appearing for the Applicant:  
Elizabeth Koeckeritz, Givens-Pursely, 601 Bannock, St., Boise, ID 83702
- c. Other Testimony:  
Keith Donahue, BLUMM 1811 W Rescue St., Boise, ID  
Dayna Grow, 7946 S Saddle Bag Wy., Nampa, ID 83687  
Jim Grow, 7946 S Saddle Bag Wy., Nampa, ID 83687  
Bob Wilson, 718 E Tucman St., Kuna, ID 83634  
Bryan Fletcher, GEM Prep, 12547 Delmar St., Boise, ID 83713  
Ursula ‘Rose’ Sellers, 8121 S Old Farm Pl., Meridian, ID 83642  
Dan VanGrouw, 7900 S Old Farm Ln., Meridian, ID 83642  
Tim Eck, 6357 Buena Vista, Star, ID  
Jamie Markosian, Kittleson & Assoc., 101 S Capital Blvd. Boise, ID 83702

## **SECTION 4 REASONED STATEMENT**

### **I. Relevant Criteria and Standards Considered**

- a. Relevant City Ordinance Provisions.
  1. Kuna City Code 1-14-3
  2. Title 5 Kuna City Code, Development Regulations
  3. Title 5 Kuna City Code, Chapter 8 Zoning Code, Part 9, Design Review
  4. Title 5 Kuna City Code, Chapter 9 Subdivision Code

- 5. Title 5 Kuna City Code, Chapter 8 Zoning Code, Part 1, Rezone Process
- b. Relevant Statutory Provisions.
  - 1. Chapter 13 of Title 50, Idaho Code.
  - 2. Chapter 65 of Title 67, Idaho Code
- c. Pertinent Constitutional Provisions

**II. Factual Findings**

- a. General Factual Findings.
  - 1. Statement of Fact

<b>Parcel Number(s):</b>	S1310223100, S1310233700, and S1310233610
<b>Future Land Use Map Designation:</b>	Medium Residential Density
<b>Existing Land Use:</b>	Residential
<b>Current Zoning:</b>	Agriculture (Kuna City)
<b>Proposed Zoning:</b>	R-4 & R-6, Medium Density Residential, and C-1 (Neighborhood Commercial).
<b>Development Area:</b>	132.50 acres
<b>Adjacent Zoning Districts:</b>	<b>North:</b> RR (Rural Residential); <b>East:</b> RR (Rural Residential) & Agriculture; <b>South:</b> R-6 (Medium Residential); <b>West:</b> RR (Rural Residential).
<b>Adjacent Street(s) Existing &amp; Proposed:</b>	North: W Columbia Rd.; East: None; South: None; West: Black Cat Rd.
<b>Internal Street(s) Existing &amp; Proposed:</b>	<b>Proposed.</b> S Shayla Ave., S Veridian Ave., S Bisque Ave., S Dude Ave., S Donny Ave., S Montoya Ave., S Humperdink Ave., S Rugen, S Gump Way, S Skellington Ave., S Sally Ave., S Zero Ave., S Rufio Way, S Hook Ave., W Lebowski St., W Sobchak St., W Frodo St., W Westly St., W Giantsbane St., W Fezzik St, W Inigo St., W Vezzini St., W Declan St., W Hodor St., W Arya St., W Rickon St. W Wing Over Way.
<b>Adjacent Bike/Pedestrian Facilities:</b>	None
<b>Adjacent Parks:</b>	Providing a School Lot, City Park and internal paths along Canal.
<b>Land Dedication Requirements:</b>	N/A

- 2. Procedural Findings:

<b>Neighborhood Meeting</b>	Held on May 19, 2022. 18 Attendees were present.
-----------------------------	--

<b>Pre-Application Meeting</b>	Held on June 10, 2021.
<b>Agency Comments Request</b>	September 1, 2022.
<b>UPDATED Agency Comments Request</b>	December 19, 2024 & March 7, 2025
<b>300 FT Legal Mailer Notice</b>	Sent on June 3, 2025.
<b>Idaho Press Newspaper Published Hearing Notice</b>	Published on June 6, 2025.
<b>Site Posting</b>	Posted on June 13, 2025.
<b>Planning and Zoning Public Hearing</b>	Held on June 24, 2025.
<b>Planning and Zoning Commission Written Recommendation and Decision Entered</b>	Sent to P&Z August 12, 2025.

b. Relevant Contested Facts.

1. Multiple members of the Public testified;
  - a. Columbia Road and Black Cat Road corridors are congested and the intersection of the two roads is overwhelmed by current traffic flows.
  - b. Citizens expressed concern about the hill on Columbia Road.
  - c. The development would increase these issues and add additional lights and noise to the area.
2. A Traffic Impact Study (TIS) which was accepted by ACHD outlines Site Specific Conditions of Approval in order to proceed. These Conditions would mitigate traffic concerns and improve the flow and congestion for the area and maintains acceptable levels of Service (LOS). In ACHD’s report in Section B.2, it states the Columbia Road PM Peak Traffic Count is 375 Vehicles Per Hour (VPH), and Black Cat Road is 182 VPH and both roads receive a Better than “E” Level of Service. An acceptable Level of Service for Black Cat and Columbia roads is 575 VPH.

c. Commissions Factual Findings on Relevant Contested Fact.

1. From evidence and testimony presented, the Commission determined that the subject road corridors and intersection are performing at an acceptable level of service and the proposed improvements will positively impact service levels.

**III. Rationale for the Decision Based Upon Facts and Relevant Criteria and Standards Considered.**

It is the rationale of the Commission that the rezone, preliminary plat and design review applications are in compliance with Idaho Code, Kuna City Code and the Comprehensive plan.

**IV. Conditions of Approval.**

1. Buffers, curb, gutter and sidewalk (attached and detached) shall be installed in accordance with *KCC 5-10-13-B-1-b*.
2. Developer/Owner/Applicant shall work with Ada County Highway District and the City of Kuna to complete all required traffic improvements to the surrounding roadways and intersections as detailed in the Ada County Highway District staff report.
3. Developer/Owner/Applicant shall install a sign at the terminus of the proposed stub street stating; “this road will continue in the future”. Developer/Owner/Applicant shall obtain proper language from Ada County Highway District.
4. Developer shall place a Contractors Sign at the entry of the subdivision.

5. Developer/Owner/Applicant shall measure all front building setbacks from back of sidewalk on all internal local roads.
6. Developer/Owner/Applicant shall ensure the proper easement widths on all lots in accordance with *KCC 5-8-1117-D-6*.
7. It is the responsibility of the Developer to ensure any anticipated buildings fit any given buildable lot in accordance with *KCC 5-8-503*.
8. Fencing within and around the site shall comply with *KCC 5-8-905* (unless specifically approved otherwise and permitted).
9. All required landscaping shall be permanently maintained in a healthy growing condition. The property Owner shall remove and replace unhealthy or dead plant material within 3 days or as the planting season permits as required to meet the standards of these requirements. Maintenance and planting in public Rights-of-Way shall be with approval from ACHD.
10. Landscaping shall not be placed within ten (10) feet of any meter pits, pressurized irrigation valves and/or ACHD underground facilities and must honor all vision triangles.
11. The Landscape Plan and Preliminary Plat as submitted will be considered binding site plans as amended and/or approved.
12. All signage within/for the project shall comply with Kuna City Code and shall be approved through the applicable sign approval process listed in *KCC 5-8-901-B*.
13. If any revisions are made, the Applicant shall provide the Planning and Zoning Staff with a revised copy of the Preliminary Plat. Any revisions of the Plat are subject to Administrative Determination to rule if the revision is substantial.
14. Developer/Owner/Applicant is hereby notified that this project is subject to Design Review inspection fees. Required inspections (post construction), are to verify building and landscaping compliance prior to requesting signature on the final plat.
15. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground, see *KCC 5-9-402-B-22*.
16. Compliance with *I.C. §31-3805* is required. Delivery of water shall not be impeded by any construction on site. Compliance with the requirements of the Boise Project Board of Control is required.
17. When required, submit a petition to the City (as necessary, confirmed with the City Engineer) consenting to the pooling of irrigation surface water rights for delivery purposes and request to annex the irrigation surface water rights appurtenant to the property over to the Kuna Municipal Pressure Irrigation System of the City (KMIS).
18. Connection to City Services (Sewer, Water, Pressurized Irrigation) is required. The Applicant shall conform to all corresponding City of Kuna Master Plans.
19. The Developer/Owner/Applicant shall be required to participate, as determined by the City Engineer, in the development of additional Lift Station capacity, and or a Water Booster Station as necessary.
20. The Developer/Owner/Applicant shall not submit an application for Final Plat until the City's Public Works Director issues a Will-Serve Letter stating the City's appurtenance has capacity to service the proposed development with domestic water, and accept the wastewater discharged from the proposed development.
21. In the event a Will-Serve Letter is not issued within the time the Applicant is required to record a Final Plat, the Applicant shall have good cause and be eligible to receive, pursuant to *KCC 5-9-203-J*, a Time Extension to file a Final Plat up to and until a Will-Serve Letter has been issued.
22. Developer/Owner/Applicant shall work with staff in order to provide final locations of streetlights as required by Kuna City Code. Streetlights for the site shall be LED lighting and must comply with Kuna City Code and established Dark Sky practices.
23. In accordance with *R90-2022*, once the Danskin Sewer Force Main is completed, 40 Equivalent Dwelling Units (EDU's) may be issued on a Phase-by-Phase basis.

24. The Developer/Owner/Applicant shall obtain written approval on letterhead or may be written/stamped on the approved plans of the construction plans from the agencies noted below. All submittals are required to include lighting, landscaping, drainage, and development plans. All site improvements are prohibited prior to approval of the following agencies:
  - A. The City Engineer shall approve all sewer connections.
  - B. The City Engineer shall approve all civil plans. No construction, grading, filling, clearing or excavation of any kind shall be initiated until the Applicant has received an approved drainage plan.
  - C. Central District Health Department recommends the plan be designed and constructed in conformance with standards contained in, "Catalog for Best Management Practices for Idaho Cities and Counties".
  - D. The Kuna Rural Fire District shall approve fire flow requirements and/or building plans. Installation of fire protection facilities as required by the Fire District are required.
  - E. The Kuna Municipal Irrigation System and Boise Project Board of Control shall approve any modifications to the existing irrigation system.
  - F. Approval from Ada County Highway District (ACHD) shall be obtained, and Impact Fees must be paid prior to issuance of any building permit(s). Please consult staff if there are questions about the process.
  - G. All public rights-of-way shall be dedicated and constructed to the standards of the City and Ada County Highway District. No public street construction may commence without the approval and permit from Ada County Highway District.
25. The Developer/Owner/Applicant, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the City Council, or seek amending them through Public Hearing processes.
26. Developer/Owner/Applicant/Contractors are hereby notified of Kuna's working hours. Construction of any kind shall only be conducted within hours specified in *KCC 10-6-3*. Noises and other public nuisances/distractions outside of this time frame are subject to lawful penalties.
27. Developer/Owner/Applicant is hereby notified of Kuna's weed control policies and requirements *KCC 8-1-3*. Weeds, grasses, vines or other growth which endanger property or are over twelve (12) inches in height shall be continuously cut down, weeded out, sprayed, burned, removed or destroyed throughout all seasons.
28. Applicant is conditioned to provide sidewalks entirely within the Rights-of-Way, compliant with Kuna City Code.
29. Applicant is conditioned to work with the City Engineer for proper easement widths for the project as a whole.
30. Applicant is conditioned to submit a Landscape plan with a plant detail reflecting the required changes for staffs approval and be compliant with Kuna City Code.
31. Developer/Owner/Applicant and all successors shall comply with all Local, State and Federal Laws.

## **SECTION 5 REQUIRED NOTICES TO APPLICANT AND AFFECTED PARTIES**

I.C. 6735(2)(b) Any applicant or affected person seeking judicial review of compliance with the provisions of this section must first seek reconsideration of the final decision within fourteen (14) days. Such written request must identify specific deficiencies in the decision for which reconsideration is sought. Upon reconsideration, the decision may be affirmed, reversed or modified after compliance with applicable procedural standards. A written decision shall be provided to the applicant or affected person within sixty (60) days of receipt of the request for

reconsideration or the request is deemed denied. A decision shall not be deemed final for purposes of judicial review unless the process required in this subsection has been followed. The twenty-eight (28) day time frame for seeking judicial review is tolled until the date of the written decision regarding reconsideration or the expiration of the sixty (60) day reconsideration period, whichever occurs first.

**BY ACTION OF THE PLANNING AND ZONING COMMISSION** of the City of Kuna at its regular meeting held on the 12<sup>th</sup> day of August 2025.

---

Dana Hennis, Chairman

**CASE NO. 25-17-DR**

**MARK ADAMS COMMERCIAL STORAGE**

**Planner: Troy Behunin**

**[TBehunin@KunaID.gov](mailto:TBehunin@KunaID.gov)**

**Phone: 208.387.7729**

**ALL APPLICATION MATERIALS:**  
**[25-17-DR - MARK ADAMS COMMERCIAL STORAGE](#)**

**If you require assistance accessing the application materials through the link provided above or would like to review the application materials in person at City Hall please contact the assigned planner.**

## P&Z Commission Staff Report

Entitlements Requested:	Final Plat	Rezone	Annexation	Special Use	Planned Unit Development	Design Review	Time Extension
<b>Title:</b>	Mark Adams Storage		<b>Application Number:</b>		25-17-DR		
<b>Date:</b>	8/12/2025		<b>Staff Contact:</b>		Troy Behunin		
<b>Owner(s)/Applicant:</b>	Mark Adams		<b>Applicant Contact:</b>		<a href="mailto:mark@northwestpowersystems.com">mark@northwestpowersystems.com</a>		
<b>Representative:</b>	David Daniel		<b>Representative Contact:</b>		<a href="mailto:ddaniel@clearybuilding.com">ddaniel@clearybuilding.com</a>		

### Purpose

Applicant requests Design Review approval for a 36' X 70' Pole Style building with an accompanying 16 X 70' attached lean-to on 1.5 acres, near the Southeast Corner of E Stagecoach Wy. and S Swan Falls Road (APN: S1325233606); Section 25, Township 1 North, Range 1 West.

### Statement of Fact

<b>Parcel Number(s):</b>	S1325233606
<b>Future Land Use Map Designation:</b>	Commercial
<b>Existing Land Use:</b>	Commercial
<b>Current Zoning:</b>	L-O (Limited Office is an outdated zone)
<b>Proposed Zoning:</b>	L-O
<b>Development Area:</b>	1.50 Acres
<b>Adjacent Zoning Districts:</b>	<b>North:</b> M-1 <b>East:</b> M-1 <b>South:</b> M-1 <b>West:</b> M-1
<b>Adjacent Street(s) Existing &amp; Proposed:</b>	<b>North:</b> E Stagecoach Wy <b>East:</b> Best Business Ave. <b>South:</b> None <b>West:</b> S Swan Falls Road
<b>Internal Street(s) Existing &amp; Proposed:</b>	None
<b>Adjacent Bike/Pedestrian Facilities:</b>	None
<b>Adjacent Parks:</b>	None
<b>Land Dedication Requirements:</b>	N/A

### Comprehensive Plan and Future Land Use Map Analysis

The Comprehensive Plan identifies the subject property as Commercial, the existing zone is a L-O (Limited Office) City of Kuna Zone. The proposed zoning and land use for the subject site agrees with the Future Land Use Map (FLUM) of the City of Kuna.

### Staff Analysis

The applicant submits a request to construct a 36' X 70' Pole Style building with an accompanying 16 X 70' attached lean-to. Applicant proposes to use the existing house for office space and will remain in place. This application proposes converting the existing home into a Commercial use and if approved, all residential uses shall cease.

Applicant has stated there is no intent to add water or electrical to the proposed structure at this time.

Staff notes this application is only for business use of the structure and is not to be used as a storage facility for the public.

Staff was able to locate multiple parking spaces in front of the existing house which appear to comply with KCC 5-8-1403. Staff recommends the applicant be conditioned to stripe parking spaces for the site. Applicant is hereby notified the parking needs may not be satisfied Off-Site, which includes street parking, or parking outside this proposal. If additional parking is needed, a Design Review Application will be required to accommodate that need.

Staff recommends the applicant be conditioned to place weed barrier and decorative rock over the dirt inside the circular driveway in order to avoid a weed patch.

Upon staff's review, the proposed application meets the requirements and intent of Kuna City Code with adherence to the proposed conditions. Staff recommends the Commission approve the application with the conditions outlined in staff's report.

### Recommended Conditions of Approval

1. Developer/Owner/Applicant shall work with Ada County Highway District and the City of Kuna to complete all required traffic improvements to provide public access to the site as this project will have internal private streets, as detailed in the Ada County Highway District staff report.
2. Developer/Owner/Applicant shall measure all front building setbacks from back of sidewalk on all internal local roads.
3. Applicant shall ensure the proper easement widths on all lots in accordance with KCC 5-9-308.
4. It is the responsibility of the Developer to ensure any anticipated buildings fit any given buildable lot.
5. Fencing within and around the site shall comply with KCC 5-8-1005 (unless specifically approved otherwise and permitted).
6. All required landscaping shall be permanently maintained in a healthy condition. The property Owner shall remove and replace unhealthy or dead plant material within 3 days or as the planting season permits as required

to meet the standards of these requirements. Maintenance and planting in public Rights-of-Way shall be with approval from ACHD.

7. Landscaping shall not be placed within ten (10) feet of any meter pits, pressurized irrigation valves and/or ACHD underground facilities and must honor all vision triangles.
8. All signage within/for the project shall comply with Kuna City Code and shall be approved through the applicable sign approval process listed in KCC 5-8-1704 through 1706.
9. Develop/Owner/Applicant is hereby notified this project is subject to Design Review inspections and fees. Required inspections (post construction), are to verify building and landscaping compliance prior to requesting signature on the final plat.
10. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground, see KCC 5-9-402-B-22.
11. Connection to City Services (Sewer and Water) is required. The Applicant shall conform to all corresponding City of Kuna Master Plans.
12. Developer/Owner/Applicant shall work with staff in order to provide final locations of streetlights as required by Kuna City Code. Streetlights for the site shall be LED lighting and must comply with Kuna City Code and established Dark Sky practices.
13. The Developer/Owner/Applicant, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the City Council, or seek amending them through Public Hearing processes.
14. Developer/Owner/Applicant/Contractors are hereby notified of Kuna's working hours. Construction of any kind shall only be conducted within hours specified in KCC 10-6-3. Noises and other public nuisances/distractions outside of this time frame are subject to lawful penalties
15. Developer/Owner/Applicant is hereby notified of Kuna's weed control policies and requirements KCC 8-1-3. Weeds, grasses, vines or other growth which endanger property or are over 12 inches in height shall be continuously cut down, weeded out, sprayed, burned, removed or destroyed throughout all seasons.
16. Developer/Owner/Applicant shall submit an updated site plan showing the painted stalls, upon receipt, staff will release the written decision.
17. This application is only for business use only and is not to be used as a public storage facility.
18. Applicant is conditioned to place weed barrier and decorative rock over the dirt inside the circular driveway.
19. This property is converted to commercial use and all residential uses shall cease.
20. Developer/Owner/Applicant will comply with all federal, state, and local laws.

Mark Adams

May 1, 2025

3565 Stagecoach Way

Kuna, ID 83634

Project Narrative;

To Whom It May Concern:

This project is for a 36' x 70' pole style building with a 16' x 70' lean attached to one side located at 355 Stagecoach Way Parcel #: S1325233606. This building will be used for storage and light maintenance of vehicles generators that are being prepped for installation and/ or repaired. Customers will not have access to this building. This project will not cause additional employees to be hired.

This building will be insulated along with electrical, concrete included in this project, there will not be any plumbing included in this project.

Lighting on this project will be limited to the building only. Exterior lighting will be limited to 1 LED light next to each man door and LED Dusk to Dawn lights above the overhead doors, with a 15-degree downward angle. There will not be any exterior speakers mounted on this building.

This will be a post-framed building with a steel exterior. The colors of steel are Roof: Charcoal Gray, Walls: Light Gray, All trim: Onyx Textured (Black), Windows and overhead doors: White.

All storm water drainage will be maintained on site as depicted on the site plan

Thank you for your time and consideration of this project.

Sincerely,

Mark Adams – Owner

David Daniel: Contractor

Cleary Building Corp

Branch Manager



## Northwest Power Systems, Inc.

355 E Stagecoach Way  
Kuna, Idaho 83634

Phone 208.378.6562

[mark@northwestpowersystems.com](mailto:mark@northwestpowersystems.com)

RCE-34783

March 25, 2025

To Whom it may concern,

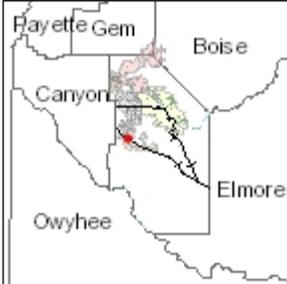
Northwest Power Systems was established in March 2002. Northwest Power Systems is a Power Generation equipment company for standby and prime power generator diesel and ng/lpg powered. We are the distributor for Blue Star Power Systems which is our industrial line and Briggs and Stratton which is our residential line. Northwest Power Systems is also a dealer for Perkins, Isuzu and Kubota engines. We support many other manufacturers in the Power Generation industry selling and servicing their products.

Northwest Power Systems services, maintain and repairs all brands of generators from basic maintenance to full on overhauls or repower. With our combined 80+ years of experience it makes us the perfect solution for our customers' needs. Whether our customers bring us their equipment, or we provide onsite field services we can do the job.

Our customers include local cities, state and federal, which includes police, fire, water and wastewater facilities. We serve farmers, ranchers and the construction industry. Northwest Power Systems covers the eastern side of Oregon, Washington, Montana, Wyoming, northern Utah, Nevada and most of Idaho. Our field service technicians are on call 24 hours, 7 days a week to meet our customers' needs.

# Ada County Assessor

This map is a user generated static output from an Internet mapping site and is for general reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION OR LEGAL PURPOSES.



### Legend

- + Railroad
- Roads (<2,000 scale)
  - <all other values>
  - Interstate
  - Ramp
  - Principal Arterial
  - Collector
  - Minor Arterial
  - Local
  - Parks
  - Alley
  - Driveway
- Parks
- Address
- Townships
- Sections
- Condos
- Parcels

raster.DBO.AdaOrthos:

- Red: Band\_1
- Green: Band\_2
- Blue: Band\_3

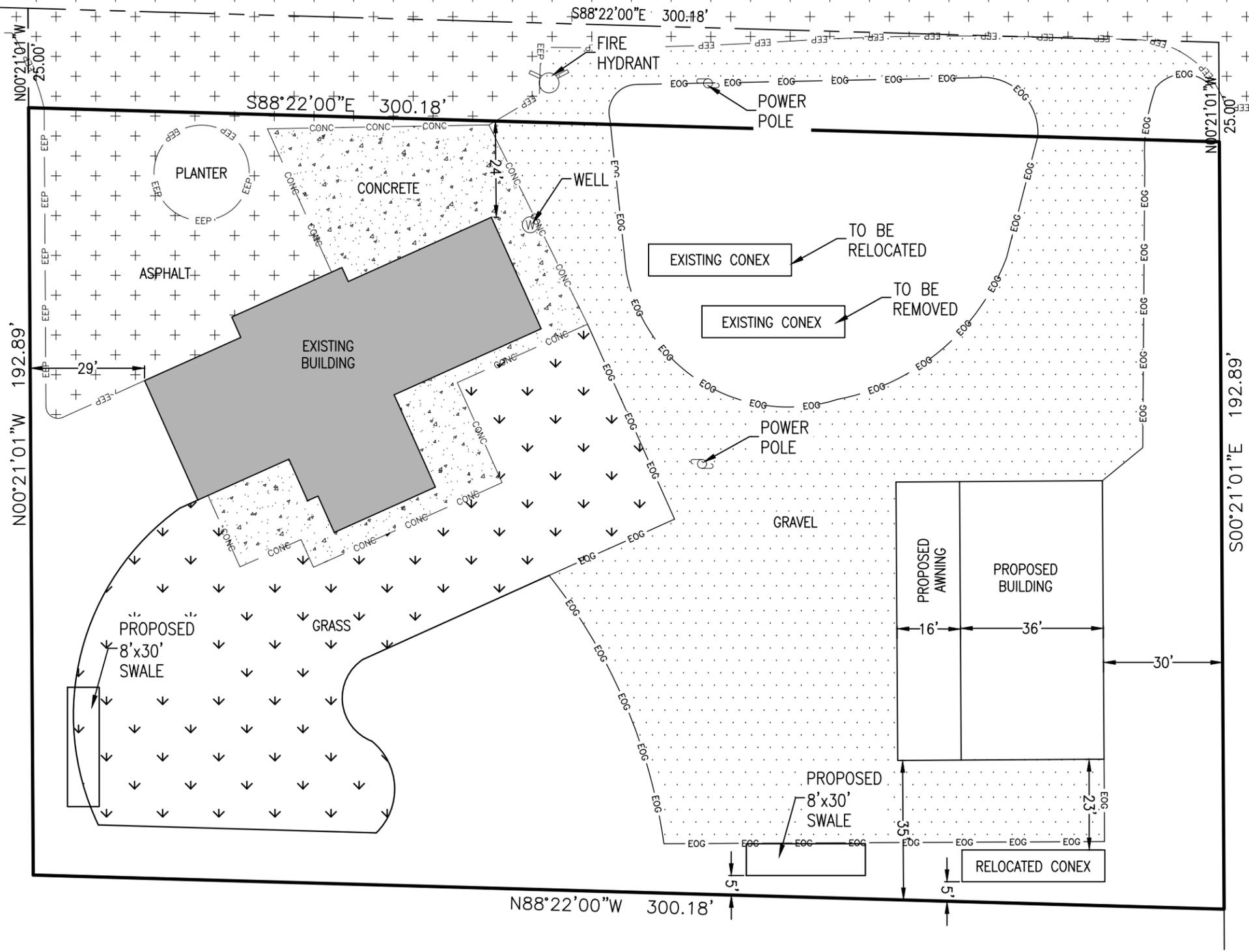
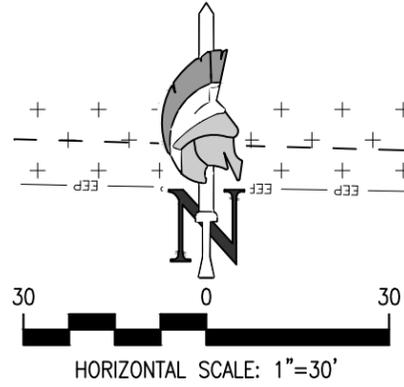
0.01 Miles

Map Scale: 381.99

5/7/2025

# 355 Stagecoach Way

## Site Plan Sketch



**CENTURION ENGINEERS, INC.**  
 Consulting Engineers, Land Surveyors, Planners  
 2323 S. Vista Ave. Suite 206 | Boise, ID 83705  
 208.343.3381 | www.centengr.com

**GENERAL NOTES AND SPECIFICATIONS**

- The materials and labor shown on these plans that are provided by Cleary Building Corp. are limited to those materials and labor as defined by the Cleary Building Corp. contract. Additional materials or accessories that are not being provided by Cleary Building Corp. may be shown on plans for context or building code compliance.
- This building is designed in accordance with the following codes and specifications:  
 2018 International Residential Code (IRC)  
 2018 Edition Of "National Design Specifications for Wood Construction"

Risk Category: II  
 Building Use: Private Garage  
 Building Area: 3640 Sq. Ft.

**Building Design Loads:**

**Snow Design Data:**  
 Ground Snow Load (Pg): 20 PSF  
 Design-Balanced Roof Snow Load: 3D PSF  
 Snow Exposure Factor (Ce): 1.0  
 Slope Factor (Cs): .94  
 Thermal Factor (Ct): 1.2  
 Snow Load Impenetrance Factor (Is): 1.0  
 Flat Roof Snow Load (P<sub>f</sub>): 16.8 PSF  
 Sloped Roof Snow Load (P<sub>s</sub>): 15.8 PSF  
 Unbalanced Snow Loads: 4.7 PSF Windward  
 15.8 PSF Leeward  
 11.78 PSF Leeward surcharge  
 5.7 Ft. Width of surcharge

**Deck Design Load:**  
 Live Load: 40 PSF  
 Dead Load: 10 PSF

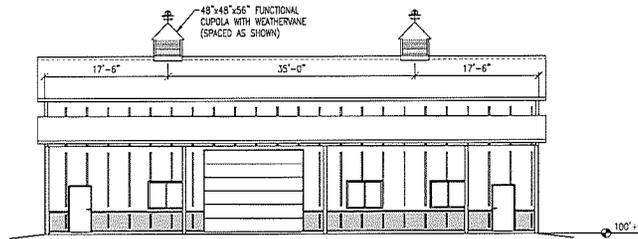
**Wind Design Data:**  
 Basic Design Wind Speed (V): 115 MPH  
 Wind Exposure: C  
 Design Internal Pressure Coefficient: ± 0.18

**Earthquake Design Data:**  
 Basic Seismic Force Resisting System: Building Frame System/Light Frame  
 Walls Sheathed with Steel Sheets  
 Design Base Shear: 1548 LBS  
 Seismic Response Coefficient (C<sub>s</sub>): 0.051  
 Analysis Procedure Used: Equivalent Lateral Force Procedure  
 Seismic Design Category: C  
 Mapped Spectral Response Accelerations (S<sub>s</sub>): 23.55g  
 (S<sub>1</sub>): 10.22g  
 Spectral Response Coefficients (C<sub>ps</sub>): 0.308g  
 (C<sub>m</sub>): 0.163g  
 Site Class: D  
 Seismic Importance Factor (I<sub>e</sub>): 1.0  
 Response Modification Factor (R): 6

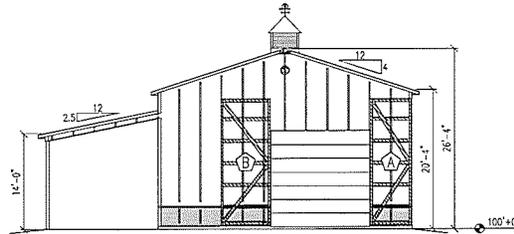
- All lumber, unless noted otherwise, shall be S4S #2 SPF or better. All lumber embedded in the ground shall be treated with Chromated Copper Arsenate to a retention level of .60 lbs. per cubic foot. AWPA U1, UC4B.
- All nails are to be threaded hardened steel unless otherwise noted.
- Grading should be such that the surface water is drained away from the foundation. Minimum grade would be six inches of vertical drop per ten feet of horizontal away from the foundation (5%).
- Fill used for concrete floor slab sub grade, if present, shall be reasonably graded granular material. Fill used in columns holes shall be the excavated soil unless noted otherwise. All fill shall be free from debris, stones over 4" and frozen material.
- Electrical work, heating, ventilating, air conditioning, plumbing, and site draining is not a part of this drawing and shall be installed as per applicable codes.
- This design is based on a building site with sand, silty sand, clayey sand, silt gravel, clayey gravel soil. As per the IBC building code and Referenced Standard ASAE 486.1, an assumed soil bearing design value of 1500 psf with increases for depth and width has been used in this design. If information is discovered before or during construction contrary to this, the building designer should be contacted.

**NOTE:**  
 This building, as depicted, must be constructed 5 feet or more from any and all lot lines and 10 feet or more from any other buildings on the same lot. See IBC code and/or the local building official for exceptions.

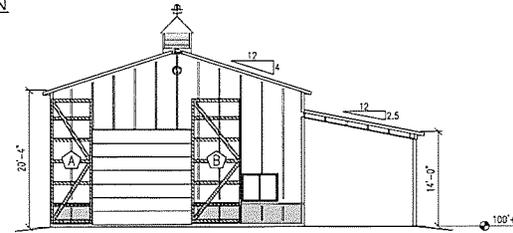
**NOTE:**  
 This document, as presented and sealed, is not intended to be, nor should it be construed as such, a complete building design. It is intended to represent just the building itself. It should also be noted that the designer is unaware of any subsurface investigation reports. Footings have been sized on assumed values as per note 8.0 under General Specifications and Notes. The designer excludes determination that the assumed soil conditions are present at the site. If a concrete floor will be installed, the design of the concrete floor is not part of these plans, nor is it intended to be. If shown, the concrete floor is only depicted to show its location with respect to related components of the building. The client or general contractor is encouraged to contract with other professional engineers or architects for the design of the concrete floor and its subgrade.



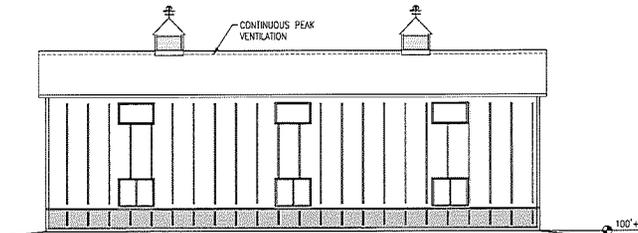
**WEST ELEVATION**



**SOUTH ELEVATION**



**NORTH ELEVATION**



**EAST ELEVATION**

**TABLE OF CONTENTS**

- 110. ELEVATIONS
- 120. FLOOR PLAN
- 121. OFFICE/BATHROOM FRAMING DETAILS
- 125. ROOF FRAMING PLAN
- 130. TYPICAL SECTION A
- 131. TYPICAL SECTION B
- 132. TYPICAL SECTION C
- 133. TYPICAL SECTION D
- 140. HEADER DETAILS
- 150. DIAPHRAGM ACTION AND MISC. DETAILS
- 160. SHEAR TRUSS DETAILS
- 170. TRUSS DIAGRAMS



190 PAOLI STREET / P.O. BOX 930220  
 VERONA, WI 53593 / (800) 373-5550

DRAWN BY: KELLY CAFFEY

DATE DRAWN: 06/06/24

PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME: ADAMS, MARK  
 PROJECT SITE ADDRESS: 355 STAGECOACH WAY  
 KUINA, ID 83634 (ADA)  
 BUILDING SIZE: 36' 0" x 70' 0" x 20' 4"  
 SHEET NAME: ELEVATIONS

PROJECT NUMBER: 2024100986

SHEET NUMBER: 110

WHEN PRINTED ON 24"x36"  
 PAPER SCALE IS N.T.S.



Cleary Building Corp.  
 C-638

9/9/2024

COLUMNS	COLUMN SIZE	HOLE DEPTH	HOLE DIAMETER	FOOTING SIZE	NUMBER OF COLUMNS REQUIRED
(A) SIDEWALL	4-PLY 2x8x26'-0"	6'-6"	20"	10'x20" CONCRETE (SEE NOTE/DETAIL)	6
(B) SIDEWALL	4-PLY 2x8x26'-0"	6'-8"	24"	12'x24" CONCRETE (SEE NOTE/DETAIL)	5
(C) DOOR	4-PLY 2x8x26'-0"	6'-5"	18"	9'x18" CONCRETE (SEE NOTE/DETAIL)	2
(D) CORNER	3-PLY 2x8x26'-0"	5'-10"	18"	4'x14" PRECAST CONCRETE FOOTING	2
(E) CORNER	3-PLY 2x8x26'-0"	5'-10"	24"	4'x14" PRECAST CONCRETE FOOTING	2
(F) ENDWALL	4-PLY 2x8x27'-11"	5'-10"	24"	4'x14" PRECAST CONCRETE FOOTING	2
(G) ENDWALL	4-PLY 2x8x29'-0"	5'-10"	24"	4'x14" PRECAST CONCRETE FOOTING	2
(H) ENDWALL	4-PLY 2x8x31'-3"	5'-10"	24"	4'x14" PRECAST CONCRETE FOOTING	2
(I) HEADER POST	4-PLY 2x8x7'-11"	---	---	HEADER POST B.E.=12' 5 1/2"	1
(J) VERT. BRACE	2-PLY 2x8x10'-4"	---	---	VERTICAL BRACE B.E.=14' 5 1/2"	2
(K) SIDEWALL	4-PLY 2x8x18'-0"	4'-10"	20"	10'x20" CONCRETE (SEE NOTE/DETAIL)	2
(L) SIDEWALL	4-PLY 2x8x18'-0"	4'-9"	18"	9'x18" CONCRETE (SEE NOTE/DETAIL)	1
(M) CORNER	3-PLY 2x8x18'-0"	4'-2"	18"	9'x18" CONCRETE (SEE NOTE/DETAIL)	1
(N) CORNER	3-PLY 2x8x18'-0"	4'-2"	18"	4'x14" PRECAST CONCRETE FOOTING	1

BUILDING ACCESSORY SCHEDULE					
ITEM	SIZE	B.E./T.E.	QTY	ROUGH OPENING & ACCESSORY FEATURES	
1	SOLID WALK DOOR	3' 0" x 6' 8"	B.E. = 100' 4"	4	R.O. 3' 4 3/8" x 6' 9 3/4", STANDARD, BRILLIANT, LEV./LEV. LOCKSET, KSV/LATCH D.B., KEYS ALIKE
2	SINGLE HORIZ. WINDOW	5' 0" x 4' 0"	T.E. = 107' 9"	7	HIGH PERFORMANCE, BRILLIANT, INSULATED DOUBLE PANE, NAL FIN, LOW-E / WARM EDGE, SCREEN, TYVEK AT WINDOW ONLY
3	OVERHEAD DOOR	14' 0" x 12' 0"	B.E. = 100' 4"	1	L.D. = 13' 11 1/2", HIGH LIFT, TRIM INSIDE EDGE, DOOR BY CLEARY SUB
4	FIXED LITE WINDOW	5' 0" x 3' 0"	T.E. = 118' 9"	3	HIGH PERFORMANCE, BRILLIANT, INSULATED DOUBLE PANE, NAL FIN, LOW-E / WARM EDGE, TYVEK AT WINDOW ONLY
5	OVERHEAD DOOR	14' 0" x 14' 0"	B.E. = 100' 4"	2	L.D. = 13' 11 1/2", HIGH LIFT, TRIM INSIDE EDGE, DOOR BY CLEARY SUB

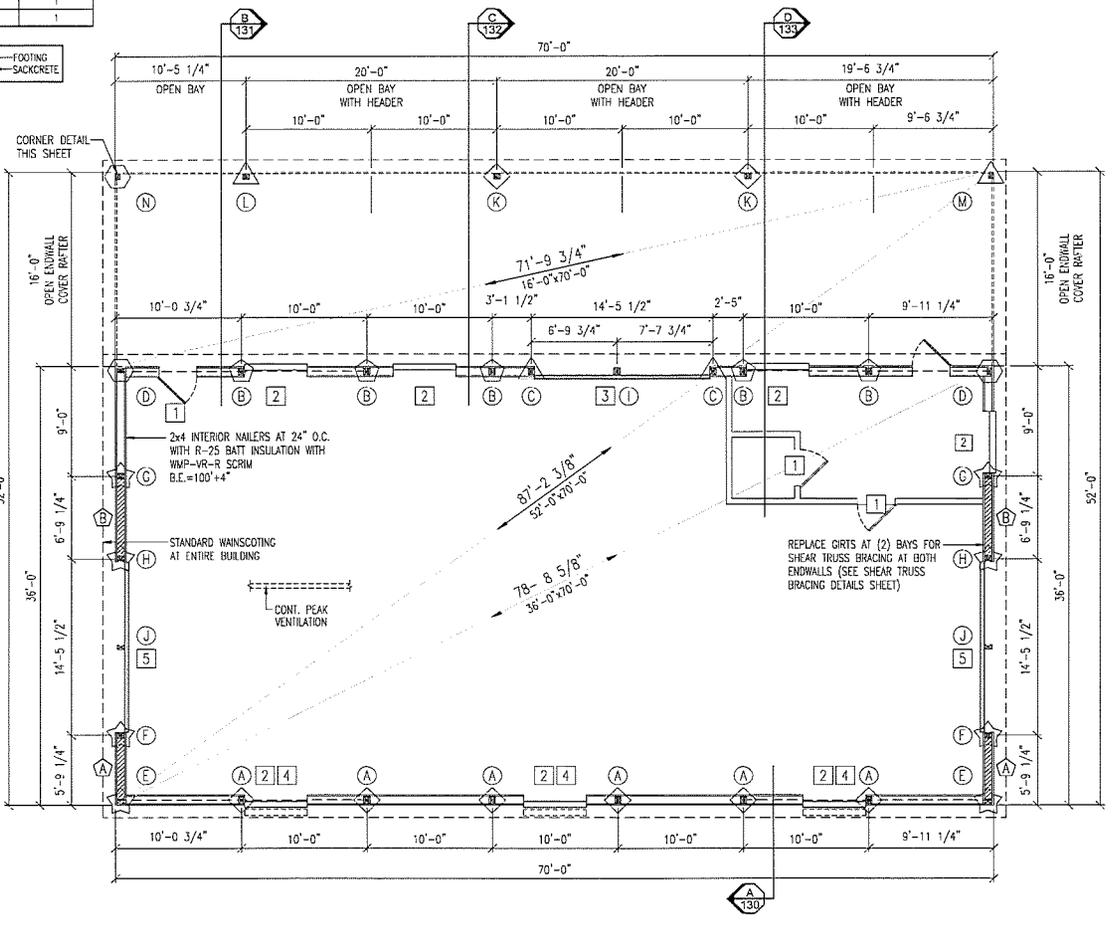
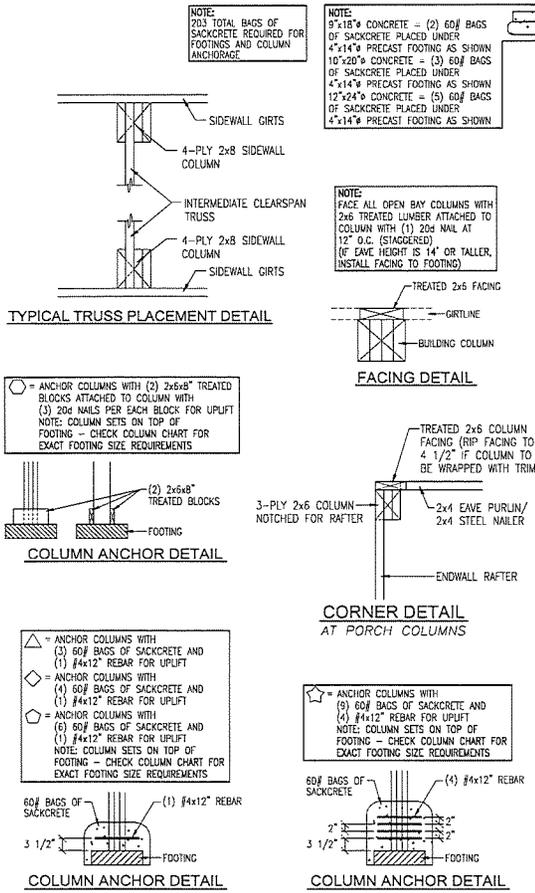
- NOTES:
- FIELD VERIFY ALL DOOR AND WINDOW ROUGH OPENING SIZES PRIOR TO INSTALLING FRAME-OUTS
  - ENDWALL COLUMNS ARE 3-PLY TO THE BUILDING EAVE HEIGHT AND 1-PLY FROM THERE TO THE ROOF PLANE
  - END WALL 1 ON BUILDING 1 (SOUTH) - INSTALL STANDARD 15" SHAMROCK
  - END WALL 2 ON BUILDING 1 (NORTH) - INSTALL STANDARD 15" SHAMROCK
  - 2x4 CORNER BRACING TO BE INSTALLED AT ALL CORNERS AND OVERHEAD DOORS
  - TRIM ALL VERTICAL 3-TRIM WITH GYMN TRIM

**CLEARY BUILDING CORP.**  
 190 PAOLI STREET / P.O. BOX 930220  
 VERONA, WI 53583 / (800) 373-5580

DRAWN BY: KELLY GAFFNEY  
 DATE DRAWN: 06/06/24

PLAN REVISIONS:

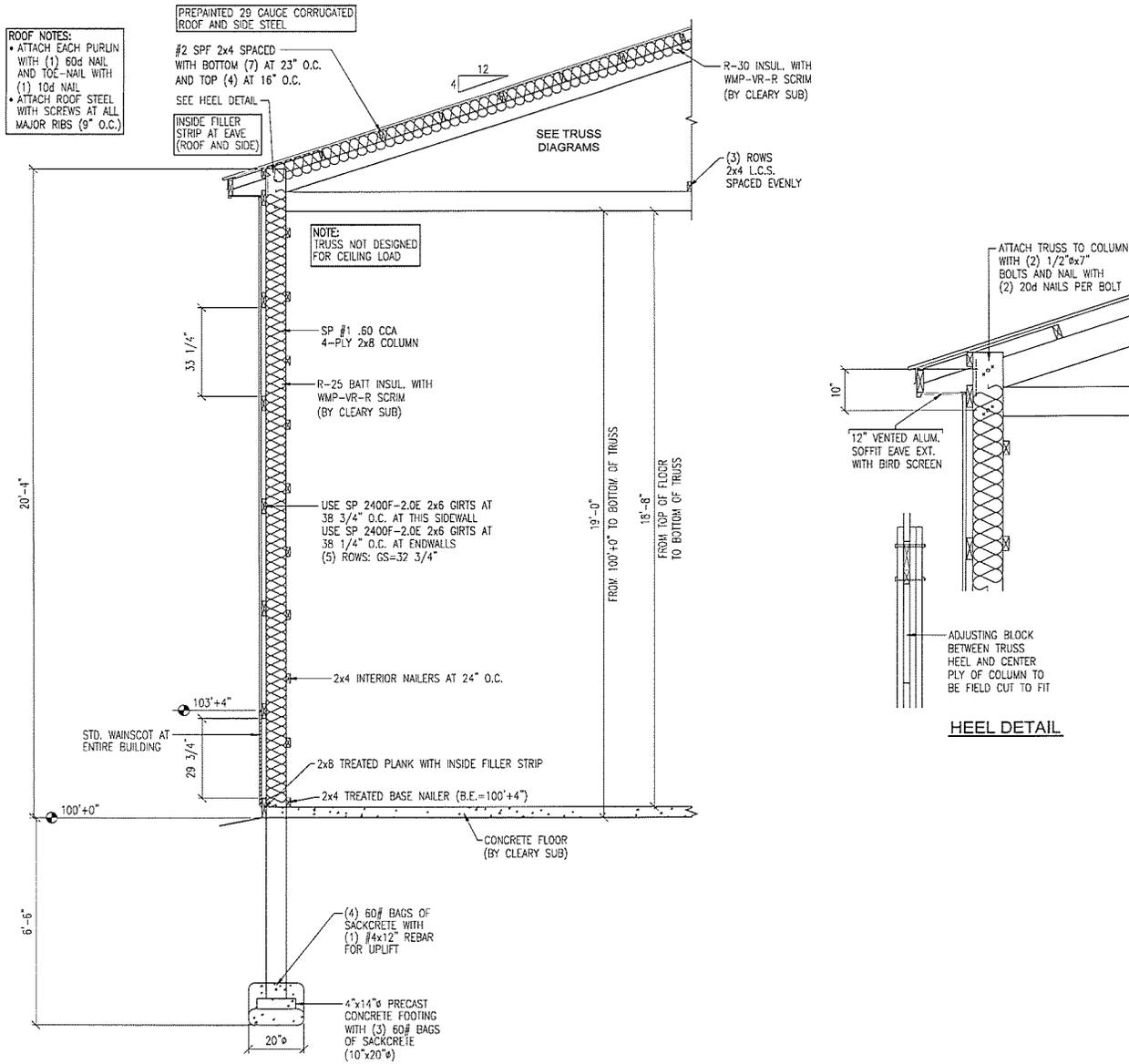
NUMBER	DATE	BY
1	7/2/24	MW
2		
3		
4		



PROJECT NAME: ADAMS, MARK  
 PROJECT SITE ADDRESS: 355 STAGECOACH WAY  
 BUILDING SIZE: 36' 0" x 70' 0" x 20' 4"  
 PROJECT NUMBER: 2024100986  
 SHEET NUMBER: 120

WHEN PRINTED ON 24"x36" PAPER SCALE IS N.T.S.





**ROOF NOTES:**  
 • ATTACH EACH PURLIN WITH (1) 60d NAIL AND TOE-NAIL WITH (1) 10d NAIL  
 • ATTACH ROOF STEEL WITH SCREWS AT ALL MAJOR RIBS (9" O.C.)

PREPAINTED 29 GAUGE CORRUGATED ROOF AND SIDE STEEL

#2 SP# 2x4 SPACED WITH BOTTOM (7) AT 23" O.C. AND TOP (4) AT 16" O.C.

SEE HEEL DETAIL  
 INSIDE FILLER STRIP AT EAVE (ROOF AND SIDE)

SEE TRUSS DIAGRAMS

R-30 INSUL. WITH WMP-VR-R SCRIM (BY CLEARY SUB)

(3) ROWS 2x4 L.C.S. SPACED EVENLY

**NOTE:**  
 TRUSS NOT DESIGNED FOR CEILING LOAD

SP #1 .60 CCA 4-PLY 2x8 COLUMN

R-25 BATT INSUL. WITH WMP-VR-R SCRIM (BY CLEARY SUB)

USE SP 2400F-2.0E 2x6 GIRTS AT 38 3/4" O.C. AT THIS SIDOWALL  
 USE SP 2400F-2.0E 2x6 GIRTS AT 38 1/4" O.C. AT ENDWALLS  
 (5) ROWS: GS=32 3/4"

2x4 INTERIOR NAILERS AT 24" O.C.

STD. WAINSCOT AT ENTIRE BUILDING

103'+4"

29 3/4"

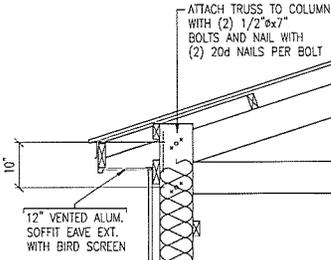
2x8 TREATED PLANK WITH INSIDE FILLER STRIP

2x4 TREATED BASE NAILER (8.E.=100'+4")

CONCRETE FLOOR (BY CLEARY SUB)

(4) 60# BAGS OF SACKCRETE WITH (1) #4x12" REBAR FOR UPLIFT

4"x14" PRECAST CONCRETE FOOTING WITH (3) 60# BAGS OF SACKCRETE (10"x20"x4)



**HEEL DETAIL**



190 PAOLI STREET / P.O. BOX 930220  
 VERONA, WI 53593 / (800) 373-5550

DRAWN BY: KELLY CAFFEY

DATE DRAWN: 06/06/24

PLAN REVISIONS:

NUMBER	DATE	BY
1		
2	09/04/24	JENKINS
3		
4		

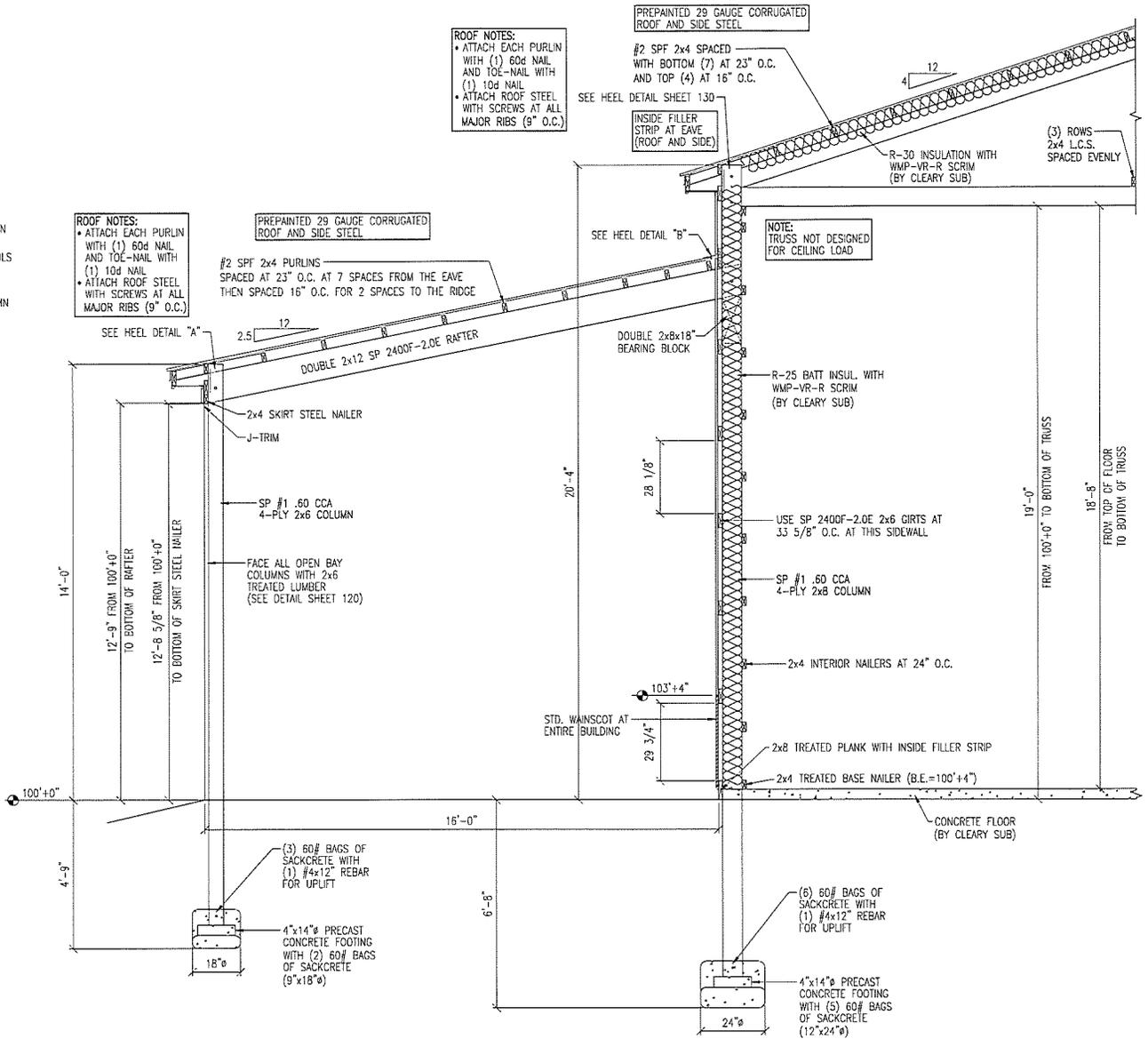
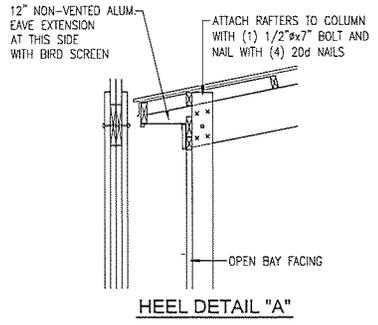
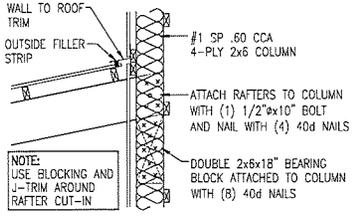
PROJECT NAME:  
**ADAMS, MARK**  
 PROJECT SITE ADDRESS:  
 355 STAGECOACH WAY  
 KUNA, ID 83634 (ADA)  
 BUILDING SIZE:  
 36' 0" x 70' 0" x 20' 4"  
 SHEET NAME:  
**TYPICAL SECTION A**

PROJECT NUMBER:  
**2024100986**  
 SHEET NUMBER:  
**130**

WHEN PRINTED ON 24"x36"  
 PAPER SCALE IS N.T.S.



Cleary & Miller Corp.  
 C-636



DRAWN BY: KELLY GAFFNEY  
 DATE DRAWN: 06/06/24

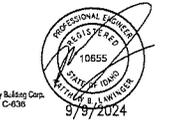
PLAN REVISIONS:

NUMBER	DATE	BY
1		
2	09/04/24	JENKINS
3		
4		

PROJECT NAME: ADAMS, MARK  
 PROJECT SITE ADDRESS: 355 STAGECOACH WAY KUINA, ID 83634 (ADA)  
 BUILDING SIZE: 36' 0" x 70' 0" x 20' 4"  
 SHEET NAME: TYPICAL SECTION B

PROJECT NUMBER: 2024100986  
 SHEET NUMBER: 131

WHEN PRINTED ON 24"x36" PAPER SCALE IS N.T.S.



NUMBER	DATE	BY
1		
2	09/04/24	JENKINS
3		
4		

PROJECT NAME:  
**ADAMS, MARK**

PROJECT SITE ADDRESS:  
355 STAGECOACH WAY  
KUNA, ID 83634 (ADA)

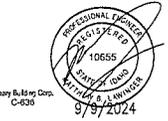
BUILDING SIZE:  
36' 0" x 70' 0" x 20' 4"

SHEET NAME:  
TYPICAL SECTION C

PROJECT NUMBER:  
**2024100986**

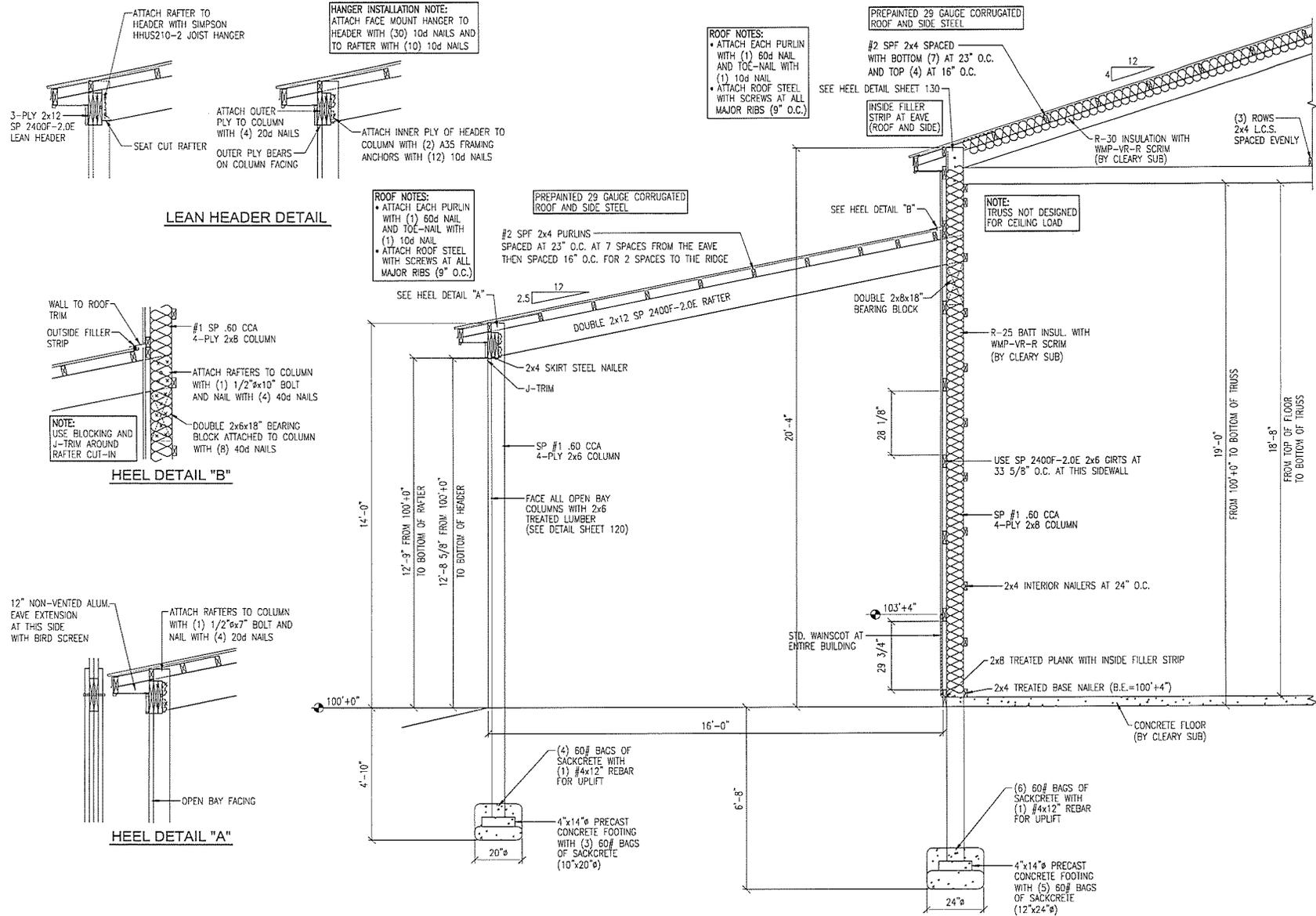
SHEET NUMBER:  
**132**

WHEN PRINTED ON 24"x36"  
PAPER SCALE IS N.T.S.



Cleary Built by Dns.  
C-030

File Name and Path: \\CLEARY\SHARES\ENG\CommCAD\CAD FILES\2024\2024 100986\2024100986-103-SEC C-2.dwg  
Date Plotted: 9/30/24 9:23 AM  
Printed By: Matthew B. Lawinger



**LEAN HEADER DETAIL**

**HEEL DETAIL "B"**

**HEEL DETAIL "A"**

**ROOF NOTES:**  
• ATTACH EACH PURLIN WITH (1) 60d NAIL AND TOE-NAIL WITH (1) 10d NAIL  
• ATTACH ROOF STEEL WITH SCREWS AT ALL MAJOR RIBS (9" O.C.)

**ROOF NOTES:**  
• ATTACH EACH PURLIN WITH (1) 60d NAIL AND TOE-NAIL WITH (1) 10d NAIL  
• ATTACH ROOF STEEL WITH SCREWS AT ALL MAJOR RIBS (9" O.C.)

PREPARED 29 GAUGE CORRUGATED ROOF AND SIDE STEEL

PREPARED 29 GAUGE CORRUGATED ROOF AND SIDE STEEL

#2 SPF 2x4 SPACED WITH BOTTOM (7) AT 23" O.C. AND TOP (4) AT 16" O.C.

SEE HEEL DETAIL SHEET 130  
INSIDE FILLER STRIP AT EAVE (ROOF AND SIDE)

NOTE: TRUSS NOT DESIGNED FOR CEILING LOAD

#2 SPF 2x4 PURLINS SPACED AT 23" O.C. AT 7 SPACES FROM THE EAVE THEN SPACED 16" O.C. FOR 2 SPACES TO THE RIDGE

SEE HEEL DETAIL "B"

R-25 BATT INSUL WITH WMP-VR-R SCRIM (BY CLEARY SUB)

USE SP 2400F-2.0E 2x6 GIRTS AT 33 5/8" O.C. AT THIS SIDEWALL

#1 SP #1 .60 CCA 4-PLY 2x8 COLUMN

2x4 INTERIOR NAILERS AT 24" O.C.

2x8 TREATED PLANK WITH INSIDE FILLER STRIP

2x4 TREATED BASE NAILER (B.E.=100'+4')

CONCRETE FLOOR (BY CLEARY SUB)

(4) 60# BAGS OF SACKCRETE WITH (1) #4x12" REBAR FOR UPLIFT

4'x14" PRECAST CONCRETE FOOTING WITH (3) 60# BAGS OF SACKCRETE (10'x20")

(6) 60# BAGS OF SACKCRETE WITH (1) #4x12" REBAR FOR UPLIFT

4'x14" PRECAST CONCRETE FOOTING WITH (5) 60# BAGS OF SACKCRETE (12'x24")

STD. WAINSCOT AT ENTIRE BUILDING

FROM 100'+0" TO BOTTOM OF TRUSS

FROM TOP OF FLOOR TO BOTTOM OF TRUSS

20'-4"

28 1/8"

103'+4"

29 3/4"

6'-5"

16'-0"

14'-0"

12'-9" FROM 100'+0" TO BOTTOM OF RAFTER

12'-8 5/8" FROM 100'+0" TO BOTTOM OF HEADER

100'+0"

4'-10"

20"

24"

ATTACH RAFTER TO HEADER WITH SIMPSON HHUS210-2 JOIST HANGER

**HANGER INSTALLATION NOTE:**  
ATTACH FACE MOUNT HANGER TO HEADER WITH (30) 10d NAILS AND TO RAFTER WITH (10) 10d NAILS

3-PLY 2x12 SP 2400F-2.0E LEAN HEADER

SEAT CUT RAFTER

ATTACH OUTER PLY TO COLUMN WITH (4) 20d NAILS

OUTER PLY BEARS ON COLUMN FACING

ATTACH INNER PLY OF HEADER TO COLUMN WITH (2) A35 FRAMING ANCHORS WITH (12) 10d NAILS

WALL TO ROOF TRIM

OUTSIDE FILLER STRIP

#1 SP .60 CCA 4-PLY 2x8 COLUMN

ATTACH RAFTERS TO COLUMN WITH (1) 1/2"x10" BOLT AND NAIL WITH (4) 40d NAILS

DOUBLE 2x6x18" BEARING BLOCK ATTACHED TO COLUMN WITH (8) 40d NAILS

NOTE: USE BLOCKING AND J-TRIM AROUND RAFTER CUT-IN

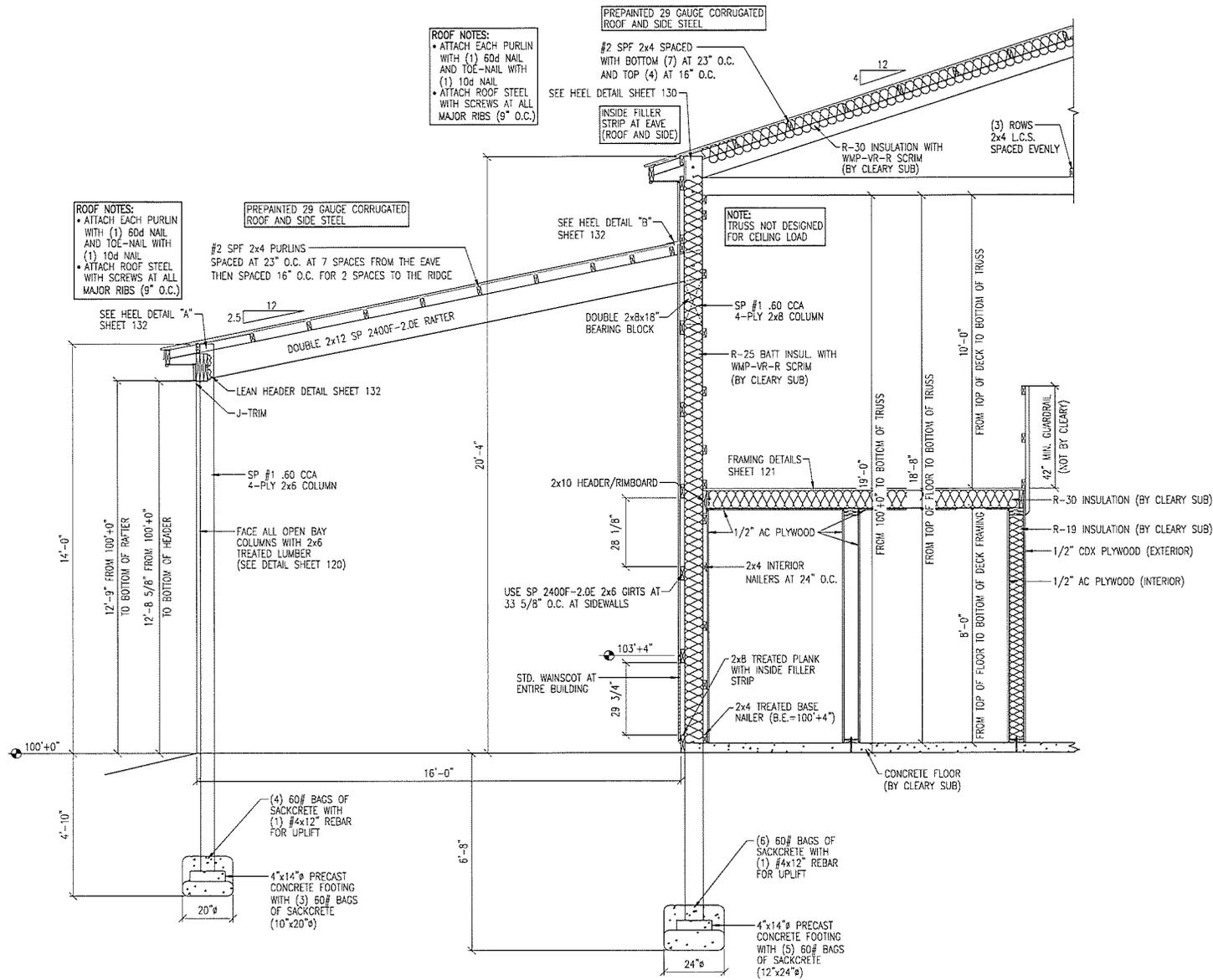
**HEEL DETAIL "B"**

12" NON-VENTED ALUM. EAVE EXTENSION AT THIS SIDE WITH BIRD SCREEN

ATTACH RAFTERS TO COLUMN WITH (1) 1/2"x7" BOLT AND NAIL WITH (4) 20d NAILS

OPEN BAY FACING

**HEEL DETAIL "A"**



**CLEARY BUILDING CORP.**  
 190 PACLI STREET / P.O. BOX 938220  
 VERONA, WI 53583 / (800) 373-5550

DRAWN BY: KELLY GAFFNEY  
 DATE DRAWN: 06/06/24

PLAN REVISIONS:

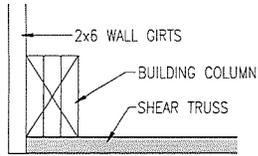
NUMBER	DATE	BY
1		
2	09/04/24	JENKINS
3		
4		

PROJECT NAME: ADAMS, MARK  
 PROJECT SITE ADDRESS: 355 STAGECOACH WAY  
 BUILDING SIZE: 36' 0" x 70' 0" x 20' 4"  
 SHEET NAME: TYPICAL SECTION D

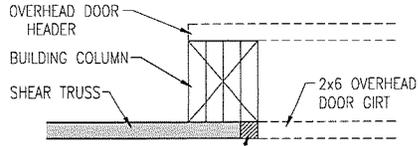
PROJECT NUMBER: 2024100986  
 SHEET NUMBER: 133

WHEN PRINTED ON 24"x36" PAPER SCALE IS N.T.S.



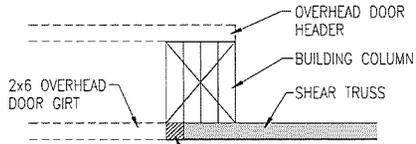


**SHEAR TRUSS DETAIL  
AT CORNER COLUMN**



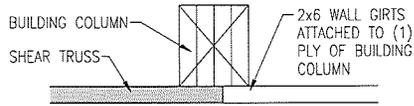
2x2 LEDGER FROM EXTERIOR  
2x6 OVERHEAD DOOR GIRT TO  
TOP OF 2x8 TREATED PLANK  
FOR PROPER TRIM ATTACHMENT

**SHEAR TRUSS DETAIL  
AT OVERHEAD DOOR OPENING**

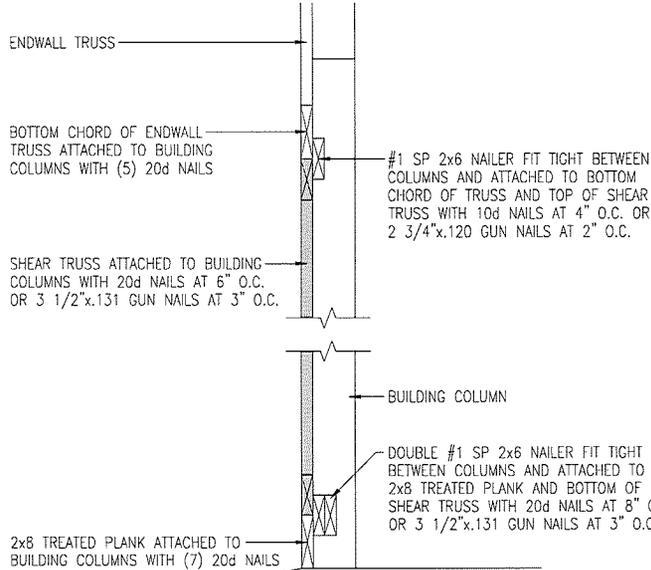


2x2 LEDGER FROM EXTERIOR  
2x6 OVERHEAD DOOR GIRT TO  
TOP OF 2x8 TREATED PLANK  
FOR PROPER TRIM ATTACHMENT

**SHEAR TRUSS DETAIL  
AT OVERHEAD DOOR OPENING**

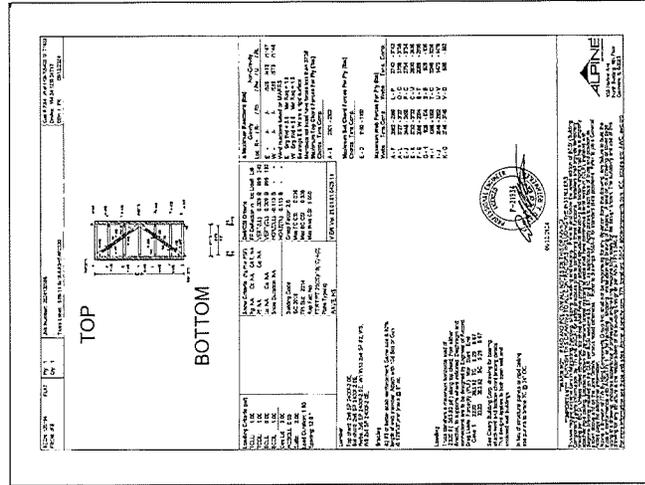


**SHEAR TRUSS DETAIL  
AT BUILDING COLUMN**

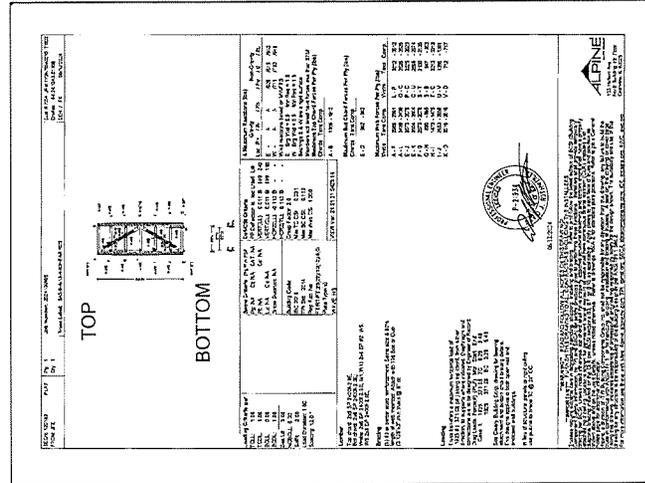


**ENDWALL SHEAR TRUSS SECTION**

SHEAR TRUSS B



SHEAR TRUSS A



**FOREMAN NOTE:**  
 TO ENSURE PROPER INSTALLATION OF SHEAR TRUSS,  
 PLEASE NOTE TOP AND BOTTOM NOTED ON DIAGRAM AND  
 VERIFY ENDWALL GIRT SPACING PRIOR TO INSTALLATION



DRAWN BY: KELLY GAFFNEY  
 DATE DRAWN: 06/06/24  
 PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

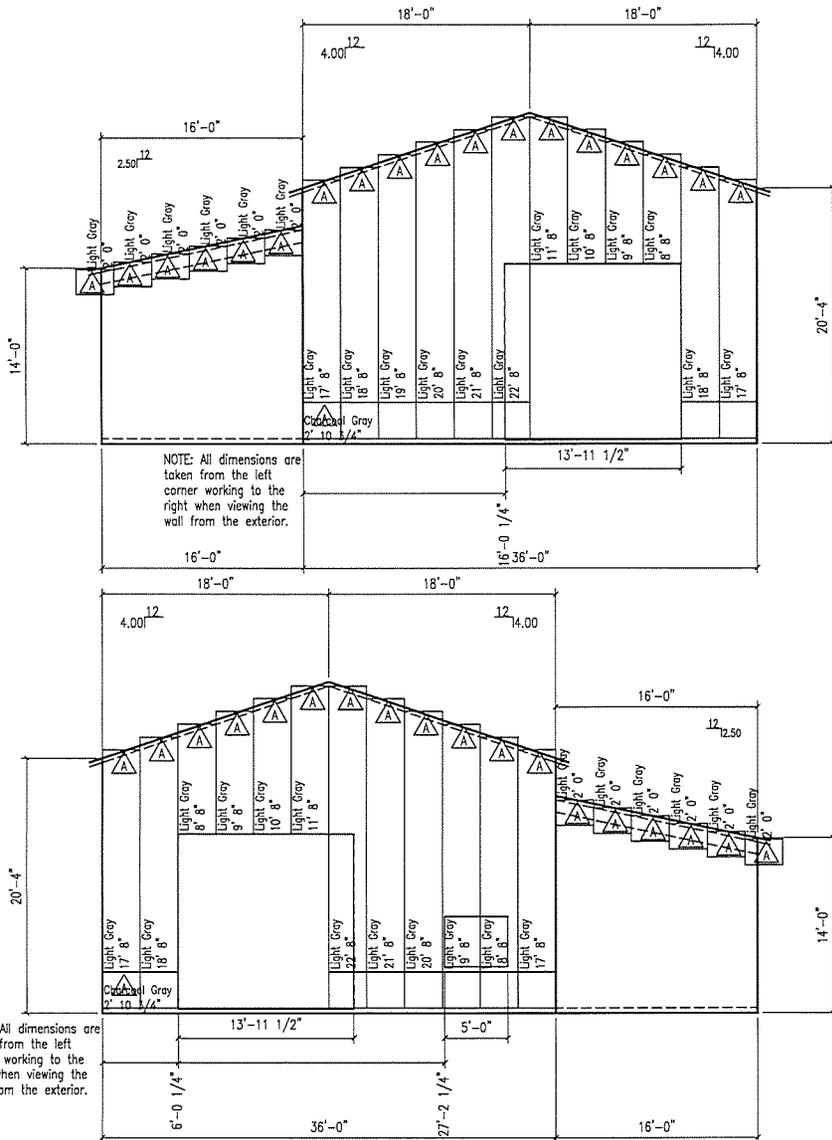
PROJECT NAME:  
**ADAMS, MARK**  
 PROJECT SITE ADDRESS:  
**355 STAGECOACH WAY  
 KUNA, ID 83634 (ADA)**  
 BUILDING SIZE:  
**36' 0" x 70' 0" x 20' 4"**  
 SHEET NAME:  
**SHEAR TRUSS BRACING DETAILS**

PROJECT NUMBER:  
**2024100986**  
 SHEET NUMBER:  
**160**

PAPER SCALE IS N.T.S.







TRIM COLORS	
TRIM (TYP.):	Onyx Texture
F&J TRIM:	Light Gray

PANEL FINISH TYPES	
A	Panel-Loc Plus - Prime SMP G90

**CLEARY**  
 BUILDING CORP.  
 180 PAOLI STREET / P.O. BOX 630220  
 VERONA, WI 53593 / (800) 373-5350

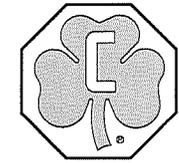
DRAWN BY: ADAM HEINITZ  
 DATE DRAWN: 06/27/24

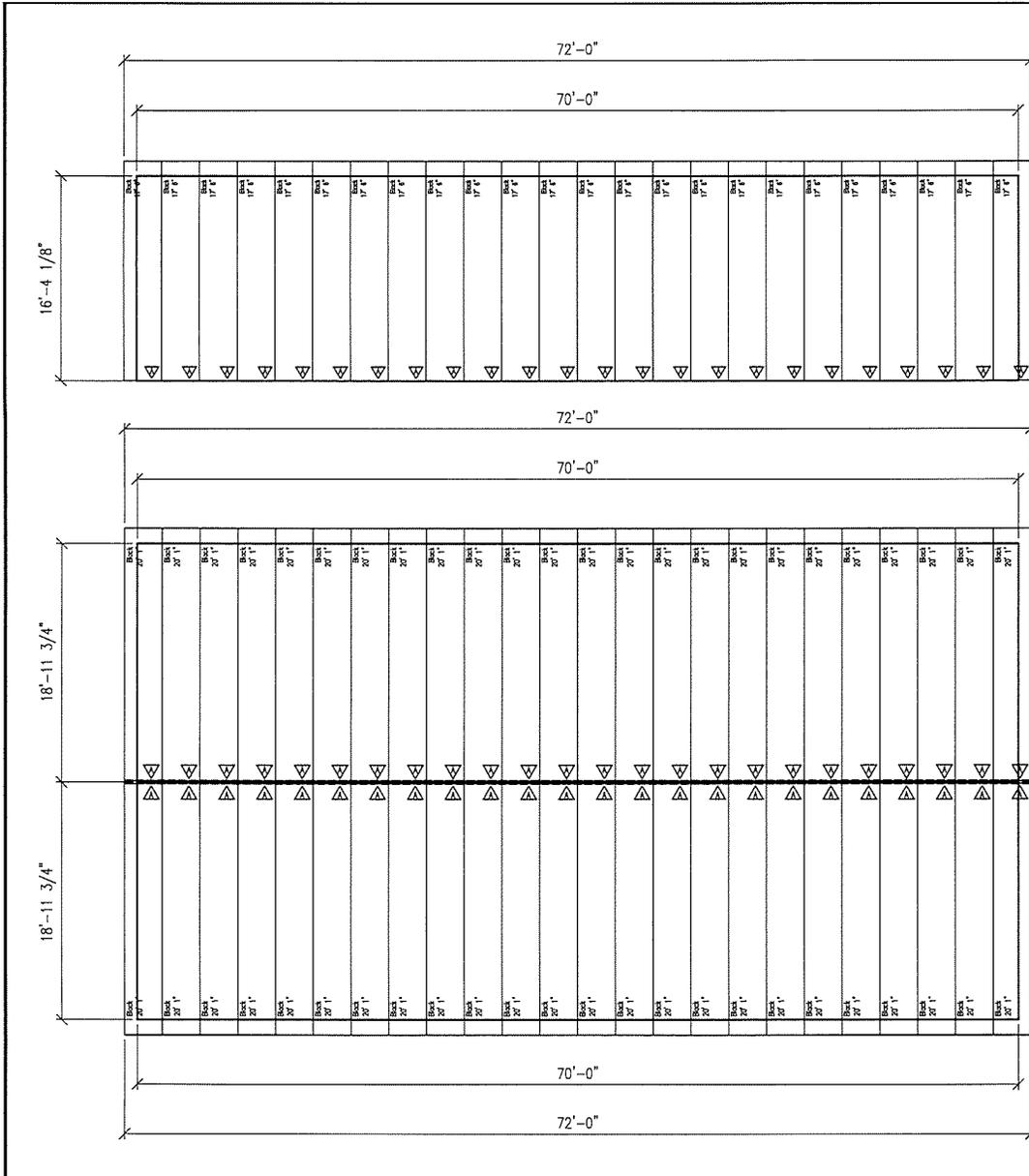
PLAN REVISIONS:		
NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME: ADAMS, MARK  
 PROJECT SITE ADDRESS: 355 STAGECOACH WAY  
 KUNA, ID 83634 (ADA)  
 BUILDING SIZE: 36' 0" x 70' 0" x 20' 4"  
 SHEET NAME: STEEL LAYOUT

PROJECT NUMBER: 2024100986  
 SHEET NUMBER: 180

WHEN PRINTED ON 24"x36" PAPER SCALE IS N.T.S.





PANEL FINISH TYPES	
A	Panel-Loc Plus - Prime SMP G90

**CLEARY BUILDING CORP.**  
 100 PAOLI STREET / P.O. BOX 030220  
 VERONA, VA 53593 / (800) 373-5550

DRAWN BY: ADAM HEINTZ  
 DATE DRAWN: 06/27/24

PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME:  
**ADAMS, MARK**

PROJECT SITE ADDRESS:  
 355 STAGECOACH WAY  
 KUINA, ID 83634 (ADA)

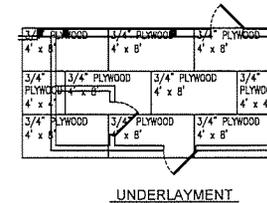
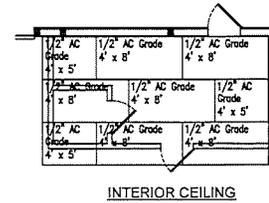
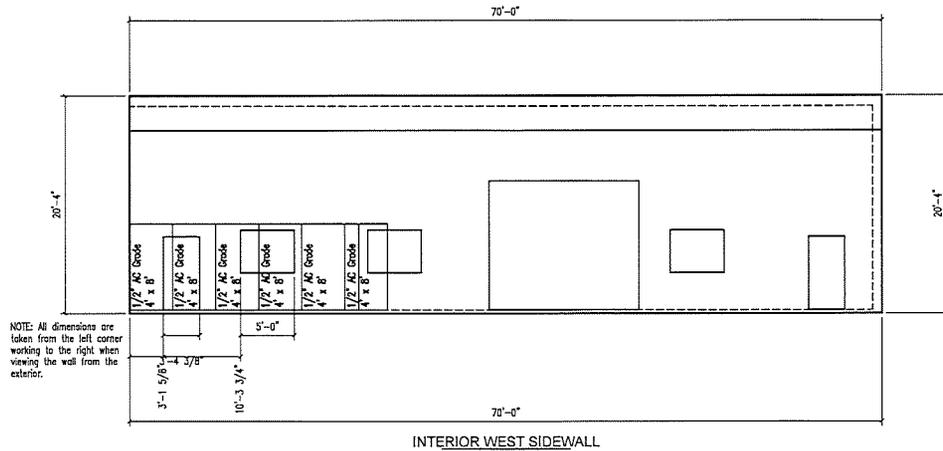
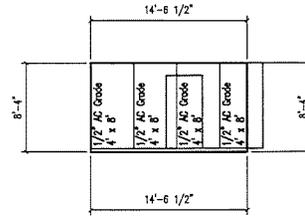
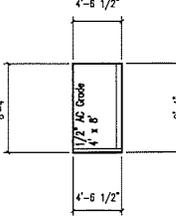
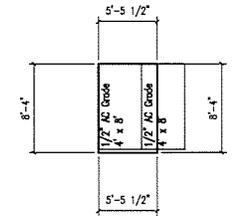
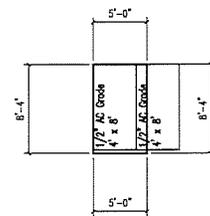
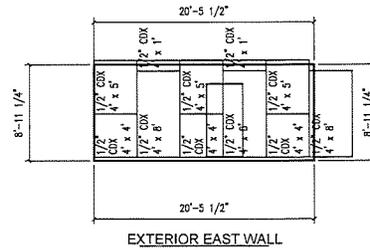
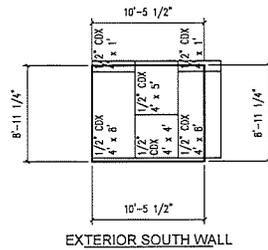
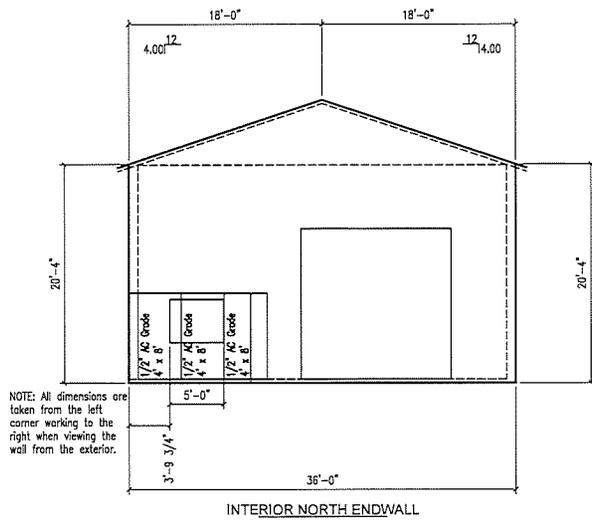
BUILDING SIZE:  
 BUILDING SIZE and TYPE  
 SHEET NAME:  
 ROOF STEEL LAYOUT

PROJECT NUMBER:  
**2024100986**

SHEET NUMBER:  
**182**

WHEN PRINTED ON 24"x36"  
 PAPER SCALE IS N.T.S.





190 PACLI STREET / P.O. BOX 930220  
 VERONA, WI 53503 / (800) 373-5550

DRAWN BY: ADAM HEINTZ

DATE DRAWN: 06/27/24

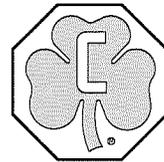
PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME:  
 ADAMS, MARK  
 PROJECT SITE ADDRESS:  
 355 STAGECOACH WAY  
 KUINA, ID 83634 (ADA)  
 BUILDING SIZE:  
 36' 0" x 70' 0" x 20' 4"  
 SHEET NAME:  
 INTERIOR LAYOUT

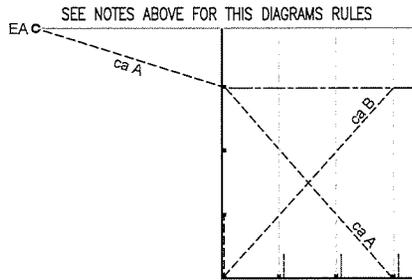
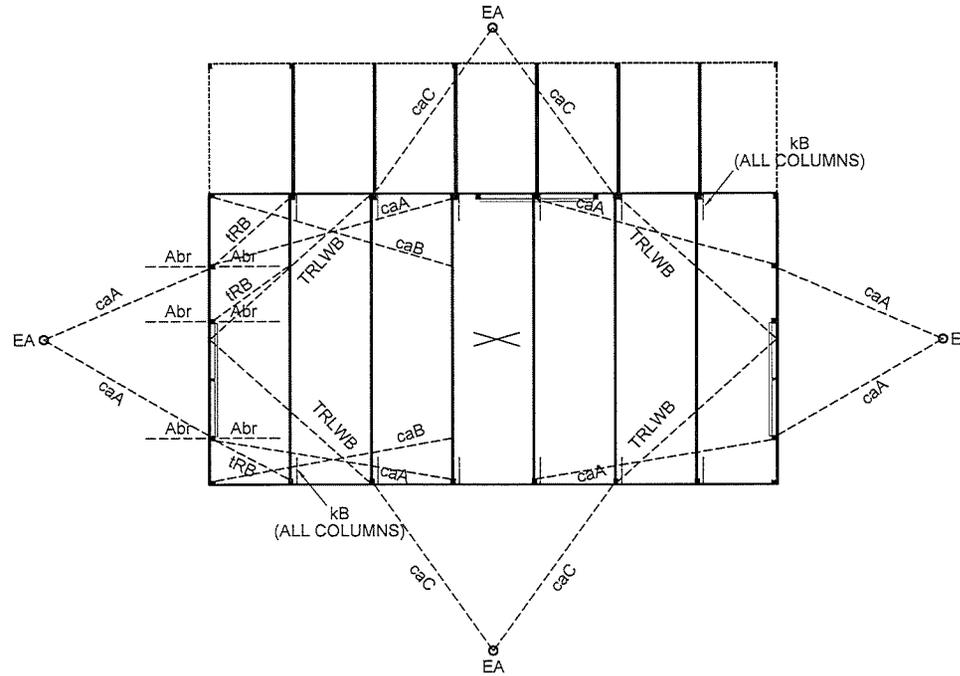
PROJECT NUMBER:  
 2024100986  
 SHEET NUMBER:  
 183

WHEN PRINTED ON 24"x36"  
 PAPER SCALE IS N.T.S.





- 1-EA must be at a  $\geq$  distance away from the building than the ca As anchor point on the building
- 2-ca A must go 3 bays and attach on the endwall at the same point as ca A
- 3-ca B must go 3 bays and attach to the truss at approximately the same point as ca A's attachment on the endwall truss
- 4-Try to make the distance away from the building, the attachment height, and the distance the cables are apart the same distance
- 5-Buildings Total Earth Anchor Count
  - < 100' then use 4
  - $\geq$  100 and < 200 use 6
  - $\geq$  200 and < 300 use 8
  - $\geq$  300 and < 400 use 10
  - $\geq$  400 and < 500 use 12
  - $\geq$  500 and < 600 use 14
  - $\geq$  600 and < 700 use 16
  - $\geq$  700 and < 800 use 18



### BUILDING FRAMEWORK ERECTION PROCEDURE

1. INSTALL ALL BUILDING COLUMNS, WALL GIRTS, AND ANY SPECIFIED WALL BRACING.
2. INSTALL ALL EARTH ANCHORS (EA).
3. SELECT AN ENDWALL TO START. CHOOSE THE ENDWALL WITH THE FEWEST OPENINGS (IF POSSIBLE FACING PREVAILING WINDS)
4. ON THE STARTING ENDWALL, A-BRACE EACH ENDWALL COLUMN (Abr).
5. SET THE ENDWALL TRUSS.
6. INSTALL (4) CABLE SETS (caA) ON THE TOP CHORD OF THE ENDWALL TRUSS. TWO TO THE EARTH ANCHOR, AND TWO TO THE THIRD SIDEWALL COLUMN UNDER THE PLANK.
7. SET THE SECOND TRUSS (FIRST INTERIOR TRUSS). WITH THE CRANE STILL ATTACHED, INSTALL ALL PURLINS, ALL LOWER CHORD STABILIZERS, AND (2) KNEE BRACES FROM COLUMN TO TRUSS (KB). INSTALL TEMPORARY 2X4 ROOF LINE BRACES (IRB) ON THE TOP OF THE PURLINS. CONNECT EACH BRACE TO EACH PURLIN. COVER ENTIRE LENGTH AND WIDTH OF THE BAY. INSTALL ALL JACK BRACES IN THIS BAY. THE CRANE MAY NOW BE DISCONNECTED.
8. INSTALL ADDITIONAL TRUSSES. PURLINS MAY BE INSTALLED AT 8' O.C. ALL LOWER CHORD STABILIZERS SHOULD BE INSTALLED. PERMANENT (OR TEMPORARY) ROOF LINE WIND BRACING (TRLWB) SHOULD BE INSTALLED AS EACH TRUSS IS SET. KNEE BRACES (KB) SHOULD BE INSTALLED AS EACH TRUSS IS SET. NAIL EACH TRUSS TO COLUMNS WITH (4) 20d NAILS.
9. AT THE THIRD INTERIOR TRUSS INSTALL (2) CABLE SETS FROM TRUSS TOP CHORD TO THE BASE OF THE CORNER COLUMNS. (caB).
10. AS TRUSS SETTING PROGRESSES TO EARTH ANCHOR LOCATIONS, INSTALL(2) CABLES SETS PER ANCHOR (caC)
11. UPON INSTALLATION OF THE FAR ENDWALL TRUSS, RELOCATE CABLE (caB) TO THIS ENDWALL AS (caA). INSTALL CABLES TO THE ENDWALL EARTH ANCHOR (caA). INSTALL JACK BRACES THIS BAY.
12. INSTALL ANY ADDITIONAL PURLINS. PURLIN MATERIAL WILL HAVE BEEN USED FOR ENDWALL A-BRACES (Abr) AND COLUMN TO TRUSS KNEE BRACES (KB). ENDWALL A-BRACES MAY BE REMOVED WHEN ALL TRUSSES ARE SET AND JACKBRACES ARE IN PLACE. TRUSS TO COLUMN KNEE BRACES (KB) MAY BE REMOVED AS ROOF STEEL INSTALLATION PROGRESSES. REMOVE KNEE BRACES ONLY AS FAR AS ROOF STEEL INSTALLATION WILL PROGRESS IN A GIVEN DAY.
13. STRAIGHTEN BUILDING, INSTALL COLUMN TO TRUSS BOLTS. INSTALL PERMANENT ROOFLINE WINDBRACING.
14. CABLES SETS ARE TO BE LEFT IN PLACE UNTIL JUST BEFORE STEEL APPLICATION REQUIRES THEIR REMOVAL.
15. AT THE END OF EACH WORKDAY, AS FAR AS TRUSS SETTING IS PROGRESSED, ALL PURLINS SHALL BE INSTALLED, TRUSSES SHALL BE BOLTED AND PERMANENT ROOFLINE WINDBRACING INSTALLED.



190 PAOLI STREET / P.O. BOX 930220  
VERONA, WI 53593 / (800) 373-5550

DRAWN BY: ADAM HEINRITZ  
DATE DRAWN: 06/27/24

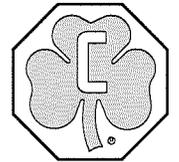
PLAN REVISIONS:

NUMBER	DATE	BY
1		
2		
3		
4		

PROJECT NAME: ADAMS, MARK  
PROJECT SITE ADDRESS: 355 STAGECOACH WAY  
KUNA, ID 83634 (ADA)  
BUILDING SIZE: 36' 0" x 70' 0" x 20' 4"  
SHEET NAME: BUILDING ANCHOR AND BRACING DETAILS

PROJECT NUMBER: 2024100986  
SHEET NUMBER: 200

WHEN PRINTED ON 24"x36" PAPER SCALE IS N.T.S.





P.O Box 930220  
Verona, WI 53593-0220  
Phone: (608) 845-9700  
Fax: (608) 845-7070

5/7/2025  
ADAMS, MARK  
Doc ID: 2653720250507155341  
Job ID: 2024100986

## Elevations & Floor Plan

### Client Information

**Building Specification For:**

ADAMS, MARK  
355 STAGECOACH WAY  
KUNA, IDAHO 83634  
Cell Phone: (208) 890-7451  
Email: mark@northwestpowersystems.com

**Building Site Location:**

Location: N/A  
Tenant: N/A  
355 STAGECOACH WAY  
KUNA, IDAHO 83634  
County: ADA

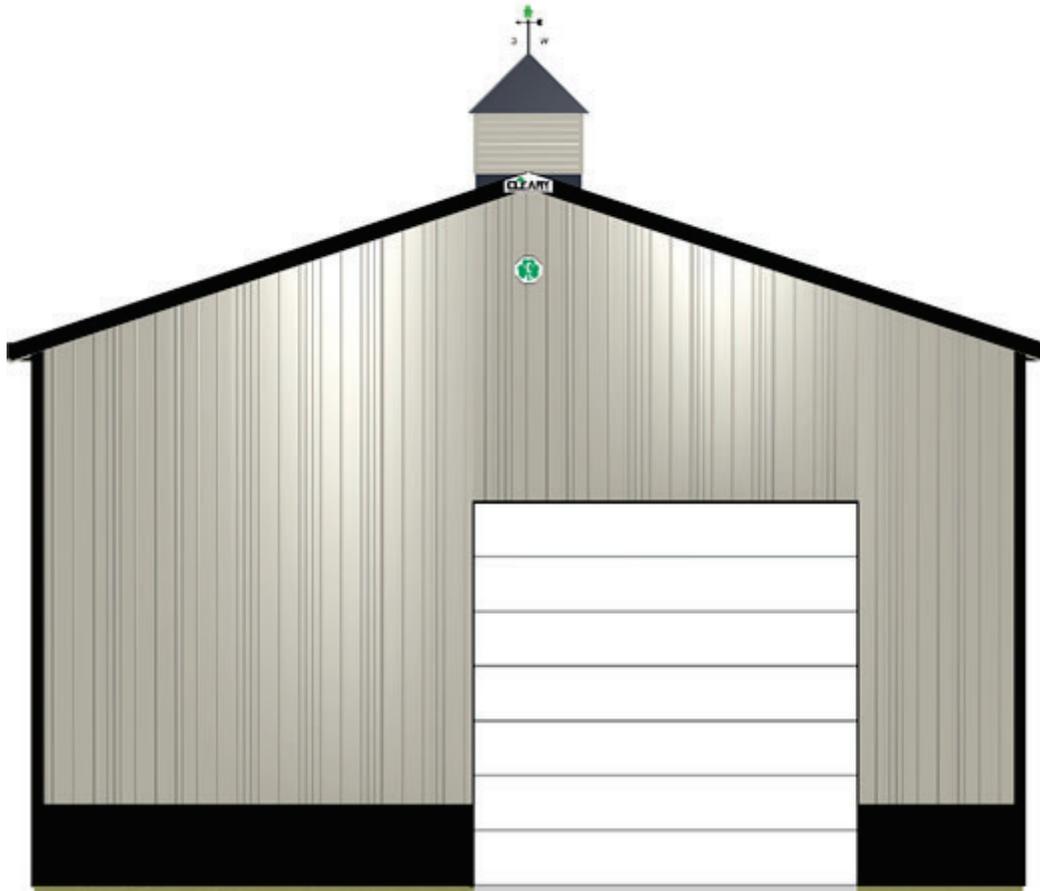
### Elevations for Building 1



P.O Box 930220  
Verona, WI 53593-0220  
Phone: (608) 845-9700  
Fax: (608) 845-7070

5/7/2025  
ADAMS, MARK  
Doc ID: 2653720250507155341  
Job ID: 2024100986

## Elevations & Floor Plan



**South End Wall 1 on Building 1**

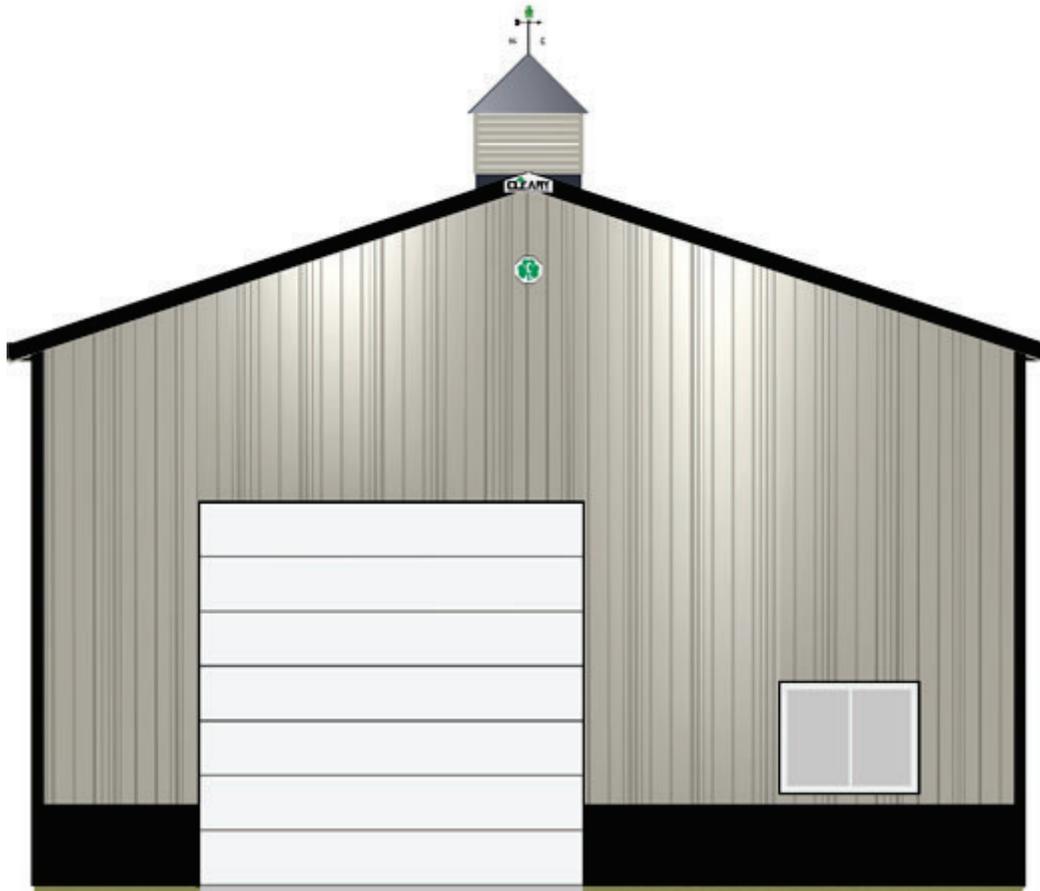
Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.



P.O Box 930220  
Verona, WI 53593-0220  
Phone: (608) 845-9700  
Fax: (608) 845-7070

5/7/2025  
ADAMS, MARK  
Doc ID: 2653720250507155341  
Job ID: 2024100986

## Elevations & Floor Plan



**North End Wall 2 on Building 1**

Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.



P.O Box 930220  
Verona, WI 53593-0220  
Phone: (608) 845-9700  
Fax: (608) 845-7070

5/7/2025  
ADAMS, MARK  
Doc ID: 2653720250507155341  
Job ID: 2024100986

## Elevations & Floor Plan



**West Side Wall 1 on Building 1**

Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.



P.O Box 930220  
Verona, WI 53593-0220  
Phone: (608) 845-9700  
Fax: (608) 845-7070

5/7/2025  
ADAMS, MARK  
Doc ID: 2653720250507155341  
Job ID: 2024100986

## Elevations & Floor Plan

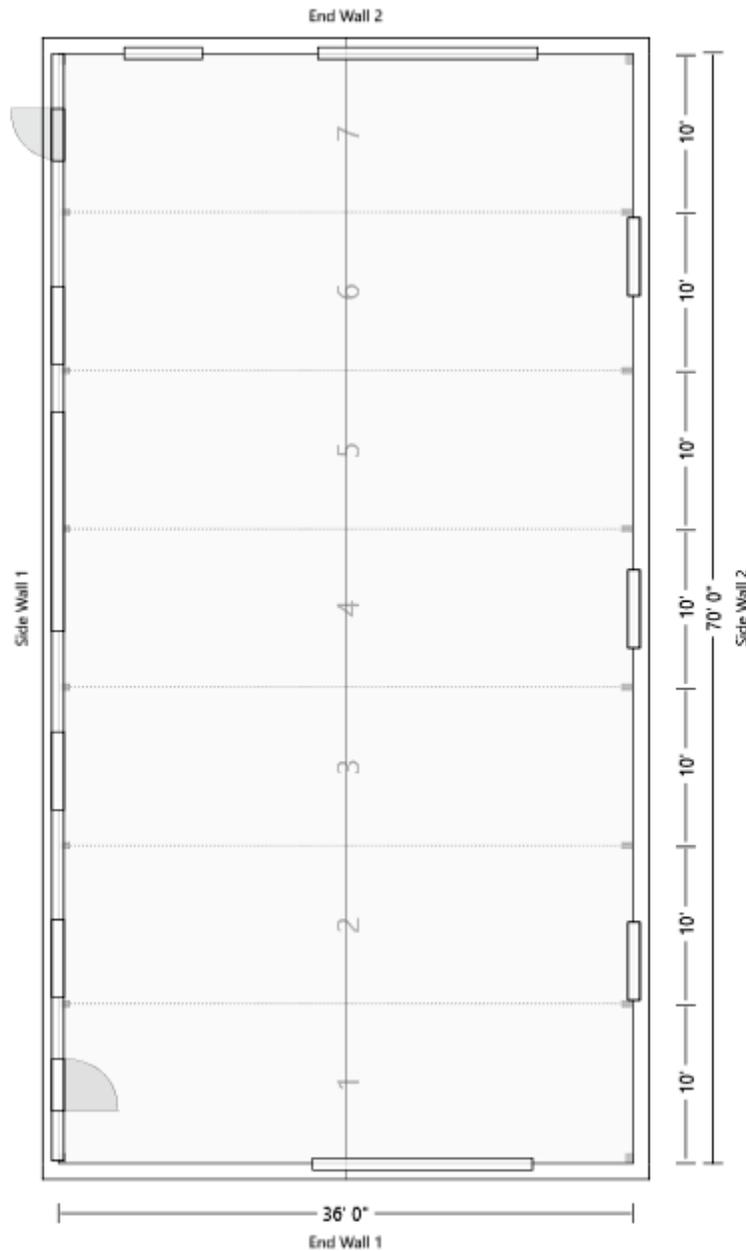


**East Side Wall 2 on Building 1**

Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.

## Elevations & Floor Plan

### Floor Plan



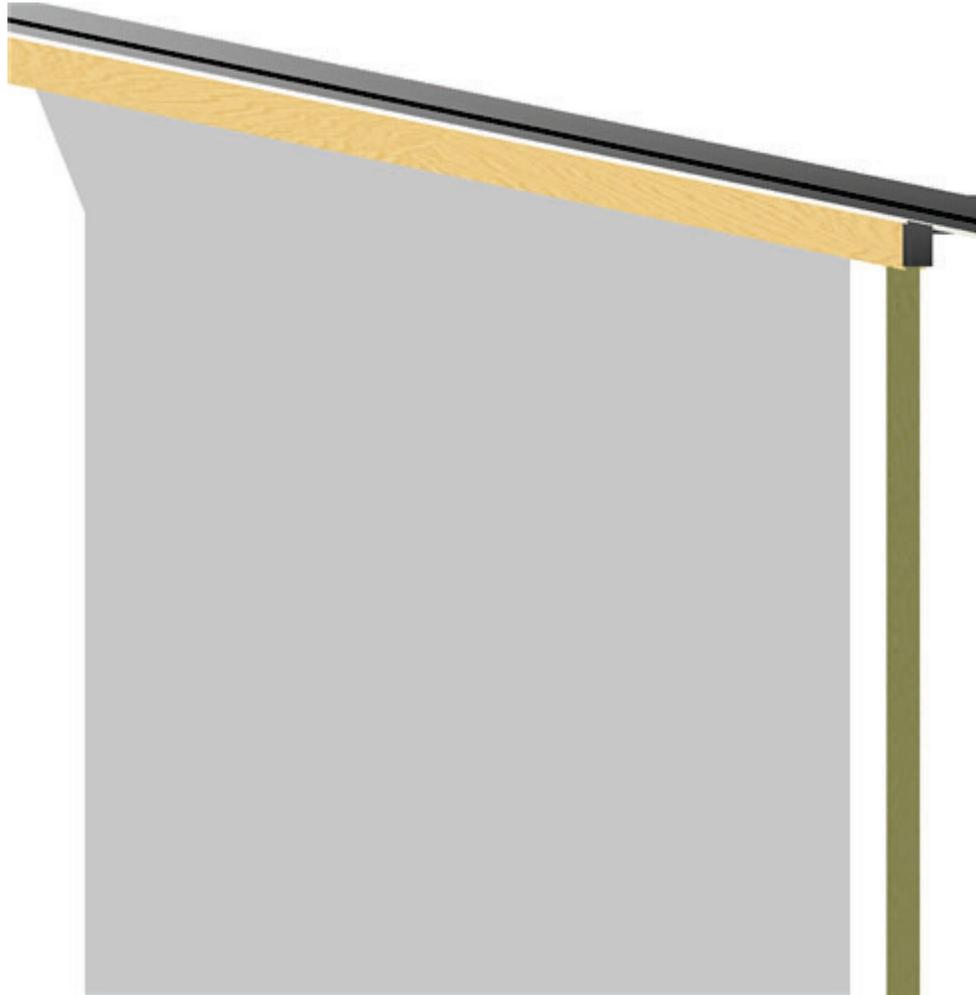


P.O Box 930220  
Verona, WI 53593-0220  
Phone: (608) 845-9700  
Fax: (608) 845-7070

5/7/2025  
ADAMS, MARK  
Doc ID: 2653720250507155341  
Job ID: 2024100986

## Elevations & Floor Plan

### Elevations for Building 2 (Lean)



**North End Wall 1 on Building 2 (Lean)**

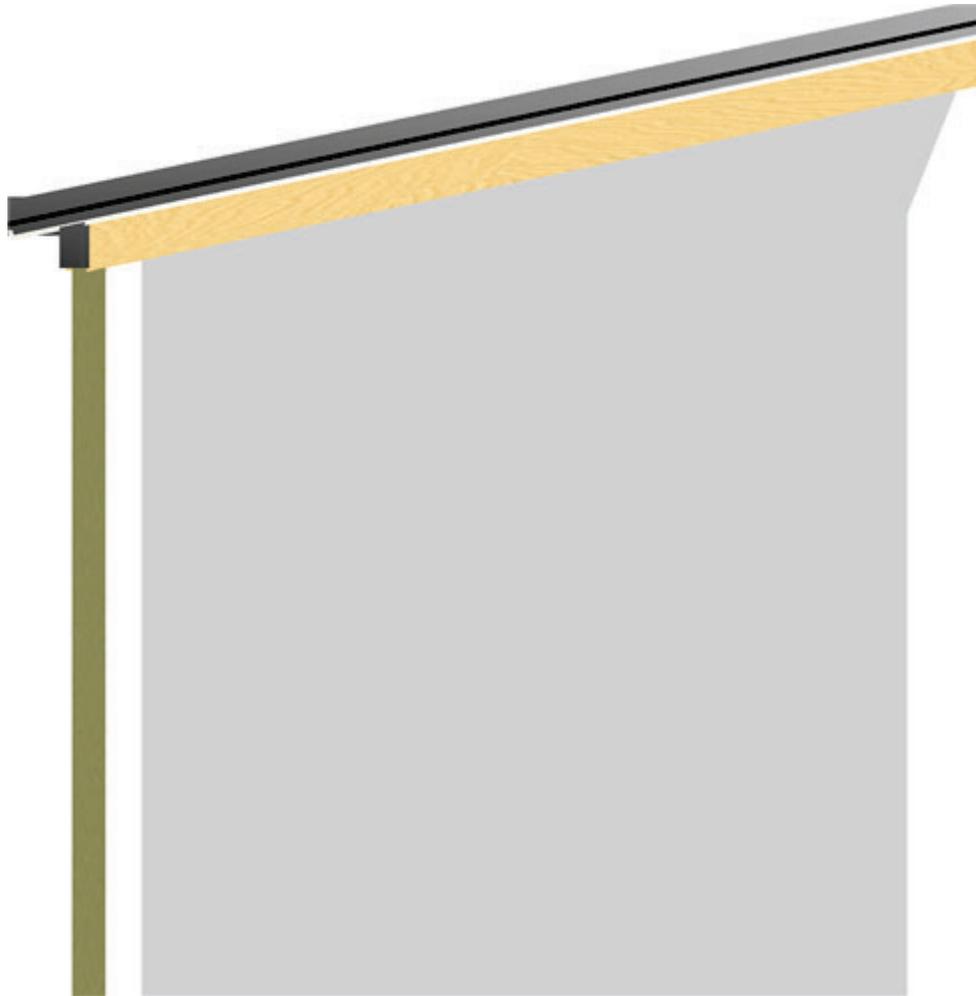
Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.



P.O Box 930220  
Verona, WI 53593-0220  
Phone: (608) 845-9700  
Fax: (608) 845-7070

5/7/2025  
ADAMS, MARK  
Doc ID: 2653720250507155341  
Job ID: 2024100986

## Elevations & Floor Plan



**South End Wall 2 on Building 2 (Lean)**

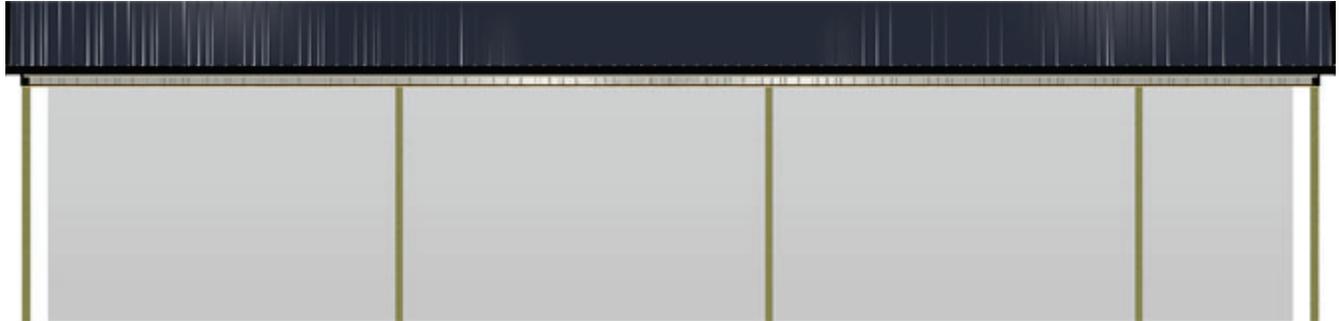
Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.



P.O Box 930220  
Verona, WI 53593-0220  
Phone: (608) 845-9700  
Fax: (608) 845-7070

5/7/2025  
ADAMS, MARK  
Doc ID: 2653720250507155341  
Job ID: 2024100986

## Elevations & Floor Plan



**West Side Wall 2 on Building 2 (Lean)**

Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.

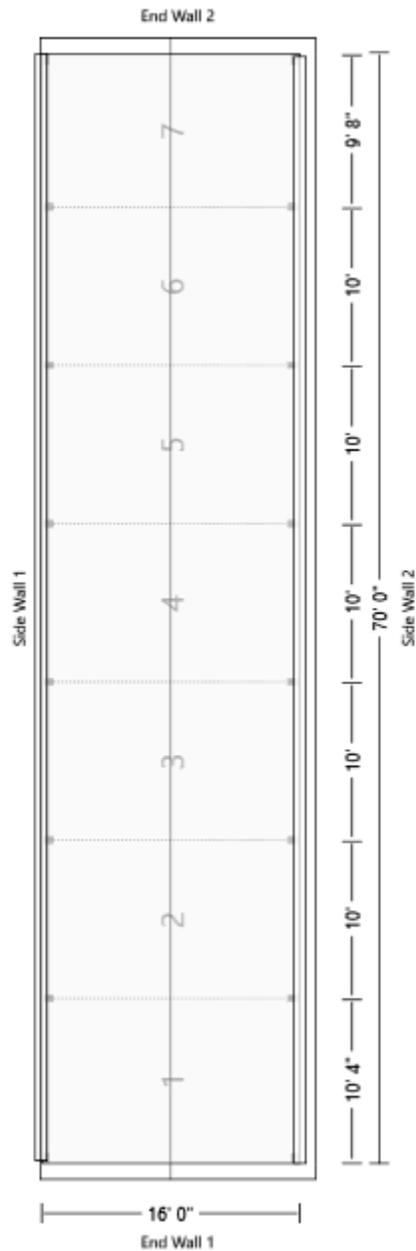


P.O Box 930220  
Verona, WI 53593-0220  
Phone: (608) 845-9700  
Fax: (608) 845-7070

5/7/2025  
ADAMS, MARK  
Doc ID: 2653720250507155341  
Job ID: 2024100986

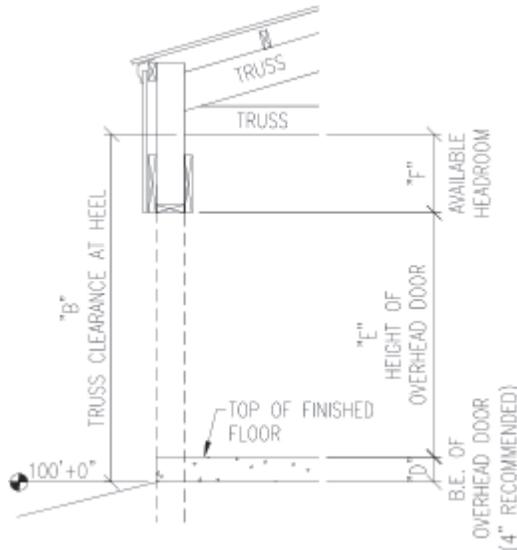
## Elevations & Floor Plan

### Floor Plan



## Elevations & Floor Plan

### Overhead Frameout & Headroom



"D" = Bottom elevation (B.E.) of overhead door: **0' 4"**

The bottom of all overhead doors (top of finished floor) are recommended to be placed at 4" above the 100'-0" mark (100'-4"). In building without paved floors, B.E. of doors may be lower - e.g. 100'-0".

"E" = Height of overhead door: **14' 0"**

Overhead door height = the height of the overhead door being placed in this building.

"F" = Available headroom: **4' 8"**

Available headroom = the space available for overhead door tracks and openers. If a ceiling is installed, headroom will be reduced by about 1". Door headroom requirements must be confirmed with the door supplier.

Headroom calculation formula:

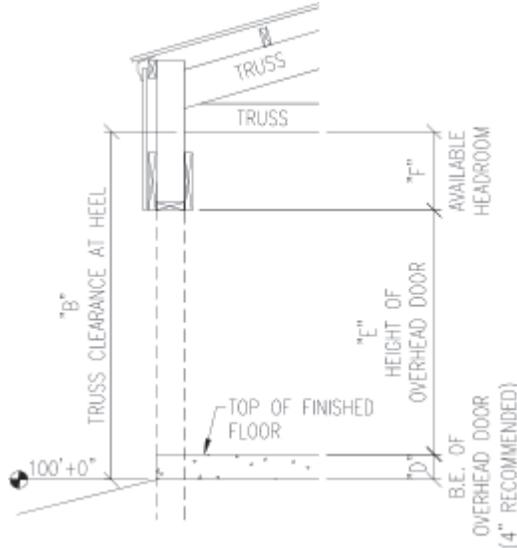
$$("B") - ("D") - ("E") = ("F")$$

$$(\text{Truss Clearance}) - (\text{B.E. of overhead door}) - (\text{Overhead door height}) = (\text{Available headroom})$$

Example:

$$(10'-0") - (4") - (8'-0") = (1'-8" \text{ of available headroom})$$

## Elevations & Floor Plan



"D" = Bottom elevation (B.E.) of overhead door: **0' 8"**

The bottom of all overhead doors (top of finished floor) are recommended to be placed at 4" above the 100'-0" mark (100'-4"). In building without paved floors, B.E. of doors may be lower - e.g. 100'-0".

"E" = Height of overhead door: **12' 0"**

Overhead door height = the height of the overhead door being placed in this building.

"F" = Available headroom: **6' 8"**

Available headroom = the space available for overhead door tracks and openers. If a ceiling is installed, headroom will be reduced by about 1". Door headroom requirements must be confirmed with the door supplier.

Headroom calculation formula:

$$("B") - ("D") - ("E") = ("F")$$

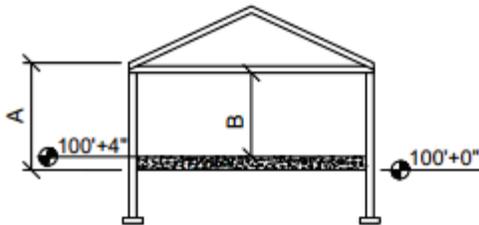
$$(\text{Truss Clearance}) - (\text{B.E. of overhead door}) - (\text{Overhead door height}) = (\text{Available headroom})$$

Example:

$$(10'-0") - (4") - (8'-0") = (1'-8" \text{ of available headroom})$$

## Interior Clearances and Exterior Heights

### Building 1



Standard Lower Chord Truss (SLC)

#### Interior Clearances:

"B"=Clearance from finished floor to bottom of truss: **18' 8"**

(Trusses not designed to support a ceiling)

#### Exterior Heights:

"A" = Actual Eave Height: **20' 4"**

Roof Peak Height: **26' 4"**

Roof Pitch: **4/12**

Top of concrete floor must be at 100'+4" for this foundation type. If thicker concrete floor is desired, the extra thickness will be below the 100'+0" mark.

**From:** [Troy Behunin](#)  
**To:** [Idaho Transportation Department - Kendra Conder](#); [J&M Sanitation](#); [Kuna Economic Development - Jessica Hall](#); [Kuna Police Department](#); [Kuna Rural Fire District](#); [Kuna Rural Fire District Plan Review](#); [Marina Lundy](#); [Public Works](#); [Taryn Villanueva](#)  
**Cc:** [Doug Hanson](#); [Sam Feist](#); [Jennifer Miller](#)  
**Subject:** Mark Adams - Storage Pole Style Building  
**Date:** Tuesday, July 15, 2025 4:49:00 PM  
**Attachments:** [image001.png](#)  
[image002.png](#)

---

Afternoon Greetings,

**Agency Transmittal – July 15, 2025**

Notice is hereby given by the City of Kuna the following actions are under consideration:

<b>CASE NUMBER:</b>	<input type="checkbox"/> <a href="#">25-17-DR MARK ADAMS STORAGE</a>
<b>PROJECT DESCRIPTION</b>	<p>The City of Kuna Planning and Zoning Department respectfully submits a Design Review application.</p> <p>The applicant seeks approval for a 36’ X 70’ Pole Style building with an accompanying 16 X 70’ attached lean-to:</p> <ol style="list-style-type: none"> <li>1. The new building will facilitate storage and light maintenance of vehicle generators.</li> </ol>
<b>APPLICANT</b>	<p>Dave Daniel            Cleary Building Corp.            326 E Franklin Rd., Meridian, ID 83642</p>
<b>SCHEDULED HEARING DATE</b>	Tuesday, <b>August 12, 2025</b> , at 6:00 P.M.
<b>REVIEWING BODY</b>	Planning & Zoning Commission
<b>STAFF CONTACT</b>	<p>Troy Behunin            208.387.7729  <a href="mailto:TBehunin@KunaID.Gov">TBehunin@KunaID.Gov</a></p>
<ul style="list-style-type: none"> <li>• We have enclosed information to assist you with your consideration and response; we would appreciate any information as to how this action would affect the service(s) your agency provides. <i>If your agency requires additional information, or if contact information for your agency needs updated, please notify our office.</i></li> <li>• <i>No response within <b>15 business days</b> will indicate you have no objection or comments regarding this project.</i></li> <li>• The hearing is scheduled to begin at 6:00 p.m. or as soon as it may be heard. Kuna City Hall is located at 751 W. 4<sup>th</sup> Street, Kuna, ID 83634. Please contact staff with questions.</li> </ul>	

Troy



751 W. 4th Street  
P.O. Box 13  
Kuna, ID 83634

**Troy Behunin**

**Senior Planner**

City of Kuna | Development Services

Phone: 208.387.7729

Email: [TBehunin@KunaID.Gov](mailto:TBehunin@KunaID.Gov)

[www.kunacity.id.gov](http://www.kunacity.id.gov)

*All e-mail messages sent to or received by City of Kuna e-mail accounts are subject to Idaho law, in regard to both release and retention, and may be released upon request, unless exempt from disclosure by law.*

## Troy Behunin

---

**From:** Kendra Conder <Kendra.Conder@itd.idaho.gov>  
**Sent:** Wednesday, July 16, 2025 12:15 PM  
**To:** Troy Behunin  
**Subject:** RE: Mark Adams - Storage Pole Style Building

**Categories:** Agency Comments

Hi Troy,

ITD has reviewed the application transmittal for 25-17-DR and does not have any comments.

Thank you!!

### Kendra Conder

District 3 | Development Services Coordinator  
Idaho Transportation Department  
Office: 208-334-8377  
Cell: 208-972-3190



YOUR Safety >>> YOUR Mobility >>> YOUR Economic Opportunity

---

**From:** Troy Behunin <tbehunin@kunaaid.gov>  
**Sent:** Tuesday, July 15, 2025 4:50 PM  
**To:** Kendra Conder <Kendra.Conder@itd.idaho.gov>; J&M Sanitation <chad.gordon@jmsanitation.com>; Jessica Reid <jhall@kunaaid.gov>; Kuna Police Department <mfratusco@adacounty.id.gov>; TLawrence Kuna Fire <tlawrence@kunafire.com>; Kuna Rural Fire District Plan Review <scott@fccnw.com>; Marina Lundy <MLundy@kunaaid.gov>; PWoffice <PWoffice@kunaaid.gov>; Taryn Villanueva <TVillanueva@kunaaid.gov>  
**Cc:** Doug Hanson <dhanson@kunaaid.gov>; Sam Feist <SFeist@kunaaid.gov>; Jennifer Miller <JMiller@kunaaid.gov>  
**Subject:** Mark Adams - Storage Pole Style Building

**CAUTION: This email originated outside the State of Idaho network. Verify links and attachments BEFORE you click or open, even if you recognize and/or trust the sender. Contact your agency service desk with any concerns.**

---

Afternoon Greetings,

### Agency Transmittal – July 15, 2025

Notice is hereby given by the City of Kuna the following actions are under consideration:

<b>CASE NUMBER:</b>	 <a href="#">25-17-DR MARK ADAMS STORAGE</a>
<b>PROJECT DESCRIPTION</b>	The City of Kuna Planning and Zoning Department respectfully submits a Design Review application.

	<p>The applicant seeks approval for a 36' X 70' Pole Style building with an accompanying 16 X 70' attached lean-to:</p> <p>1. The new building will facilitate storage and light maintenance of vehicle generators.</p>
<b>APPLICANT</b>	<p>Dave Daniel  Cleary Building Corp.  326 E Franklin Rd., Meridian, ID 83642</p>
<b>SCHEDULED HEARING DATE</b>	<p>Tuesday, <b>August 12, 2025</b>, at 6:00 P.M.</p>
<b>REVIEWING BODY</b>	<p>Planning &amp; Zoning Commission</p>
<b>STAFF CONTACT</b>	<p>Troy Behunin  208.387.7729  <a href="mailto:TBehunin@KunaID.Gov">TBehunin@KunaID.Gov</a></p>
<ul style="list-style-type: none"> <li>• We have enclosed information to assist you with your consideration and response; we would appreciate any information as to how this action would affect the service(s) your agency provides. <i>If your agency requires additional information, or if contact information for your agency needs updated, please notify our office.</i></li> <li>• <i>No response within <b>15 business days</b> will indicate you have no objection or comments regarding this project.</i></li> <li>• The hearing is scheduled to begin at 6:00 p.m. or as soon as it may be heard. Kuna City Hall is located at 751 W. 4<sup>th</sup> Street, Kuna, ID 83634. Please contact staff with questions.</li> </ul>	

Troy



751 W. 4th Street  
P.O. Box 13  
Kuna, ID 83634

**Troy Behunin**  
**Senior Planner**  
City of Kuna | Development Services  
Phone: 208.387.7729  
Email: [TBehunin@KunaID.Gov](mailto:TBehunin@KunaID.Gov)  
[www.kunacity.id.gov](http://www.kunacity.id.gov)

*All e-mail messages sent to or received by City of Kuna e-mail accounts are subject to Idaho law, in regard to both release and retention, and may be released upon request, unless exempt from disclosure by law.*

## Troy Behunin

---

**From:** Scott Arellano <scott@fccnw.com>  
**Sent:** Wednesday, July 16, 2025 7:04 AM  
**To:** Troy Behunin  
**Cc:** TLawrence Kuna Fire  
**Subject:** Re: Mark Adams - Storage Pole Style Building

**Categories:** Agency Comments

Good morning Troy,  
The Kuna Rural Fire District has no comments for the Design Review case on this project. We will address any other items during a more detailed commercial building permit review process.

Scott Arellano, CFM  
Kuna Rural Fire District  
Plan Review & Inspection  
1.208.780.9063 (Cell)  
1.208.629.8636 (Plan Review Office)  
1.208.922.1144 (Fire Admin)

On Tue, Jul 15, 2025 at 4:49 PM Troy Behunin <[tbehunin@kunaid.gov](mailto:tbehunin@kunaid.gov)> wrote:

Afternoon Greetings,

### Agency Transmittal – July 15, 2025

Notice is hereby given by the City of Kuna the following actions are under consideration:

<b>CASE NUMBER:</b>	 <a href="#">25-17-DR MARK ADAMS STORAGE</a>
<b>PROJECT DESCRIPTION</b>	The City of Kuna Planning and Zoning Department respectfully submits a Design Review application.

	<p>The applicant seeks approval for a 36' X 70' Pole Style building with an accompanying 16 X 70' attached lean-to:</p> <p>1. The new building will facilitate storage and light maintenance of vehicle generators.</p>
<b>APPLICANT</b>	<p>Dave Daniel</p> <p>Cleary Building Corp.</p> <p>326 E Franklin Rd., Meridian, ID 83642</p>
<b>SCHEDULED HEARING DATE</b>	Tuesday, <b>August 12, 2025</b> , at 6:00 P.M.
<b>REVIEWING BODY</b>	Planning & Zoning Commission
<b>STAFF CONTACT</b>	<p>Troy Behunin</p> <p>208.387.7729</p> <p><a href="mailto:TBehunin@KunaID.Gov">TBehunin@KunaID.Gov</a></p>
<ul style="list-style-type: none"> <li>• We have enclosed information to assist you with your consideration and response; we would appreciate any information as to how this action would affect the service(s) your agency provides. <i>If your agency requires additional information, or if contact information for your agency needs updated, please notify our office.</i></li> <li>• <i>No response within <b>15 business days</b> will indicate you have no objection or comments regarding this project.</i></li> <li>• The hearing is scheduled to begin at 6:00 p.m. or as soon as it may be heard. Kuna City Hall is located at 751 W. 4<sup>th</sup> Street, Kuna, ID 83634. Please contact staff with questions.</li> </ul>	

Troy



**Troy Behunin**

Senior Planner

City of Kuna | Development Services

751 W. 4th Street

Phone: 208.387.7729

P.O. Box 13

Email: [TBehunin@KunaID.Gov](mailto:TBehunin@KunaID.Gov)

Kuna, ID 83634

[www.kunacity.id.gov](http://www.kunacity.id.gov)

*All e-mail messages sent to or received by City of Kuna e-mail accounts are subject to Idaho law,*

*in regard to both release and retention, and may be released upon request, unless exempt from disclosure by law.*