

OFFICIALS

Dana Hennis, Chairman
Bryan Clark, Vice Chairman
Ginny Greger, Commissioner
Jim Main, Commissioner
Bobby Rossadillo, Commissioner

CITY OF KUNA
City Hall Council Chambers
751 W 4th Street, Kuna, ID 83634
Planning & Zoning Commission
REGULAR MEETING AGENDA
Tuesday, May 27, 2025, at 6:00 PM



*For questions, please call Planning and Zoning at (208) 922-5546.
ALL AGENDA ITEMS ARE ACTION ITEMS UNLESS OTHERWISE NOTED.*

1. CALL TO ORDER & ROLL CALL:

2. CONSENT AGENDA:

All items listed are routine and acted on with one (1) Motion by the Commission; there will be no separate discussion unless the Chairman, Commissioner, or Staff requests it be removed. Removed items will be placed under Business unless otherwise instructed.

A. Regular Commission Meeting Minutes Dated May 13, 2025

B. Decision and Reasoned Statement(s)

- 1.** Case No. 25-01-DAN – 6820 S. Ten Mile Rd.
- 2.** Case No. 25-02-AN – Hudon Annexation

Potential Motion:

- *Motion to Approve Consent agenda.*
- *Motion to Approve Consent agenda with amendments (i.e., correction to previous meeting minutes, etc.)*

3. PUBLIC HEARINGS:

A. Case No. 25-02-CPF (Combination Preliminary & Final Plat) for Valor Social Club – Troy Behunin, Senior Planner

Applicant requests Combined Preliminary and Final Plat approval in order to consolidate multiple remnant parcels and create a total of five (5) new lots on approx. 335 ac. Within existing R-6 (Medium Density Residential) and R-12 (High Density Residential) zones; The site is in Section 15 & 22, Township 2 North, Range 1 East. The site is located near N Cloverdale and E Kuna Roads, Kuna, ID.

Potential Motions:

- *Motion to recommend Approval/Conditional Approval/Denial of Case No. 25-02-CPF with Conditions as outlined in the staff report (and additional Conditions imposed by Commission, if applicable).*

4. BUSINESS ITEMS:

A. Case No. 25-07-DR (Design Review) for Jimmy Johns – Marina Lundy, Planner

Applicant requests Design Review approval for design of a new Jimmy John's Restaurant. The site is .56 acres and is located near the intersection of Meridian Rd and Profile Rd and is identified as parcel No. R0539830060 (SEC 19, T2N, R1E).

Potential Motions:

- *Motion to recommend Approve/Conditional Approve/Deny of Case No. 25-07-DR with Conditions as outlined in the staff report (and additional Conditions imposed by Commission, if applicable).*

B. Case No. 25-16-DR (Design Review) for Burger King – Marina Lundy, Planner

Applicant requests Design Review approval for design of a new Burger King Restaurant. The site is .802 acres and is located near the intersection of E Deer Flat Rd and N Meridian Rd and is identified as parcel No. R6949010600.

Potential Motions:

- *Motion to Approve/Conditional Approve/Deny of Case No. 25-16-DR with Conditions as outlined in the staff report (and additional Conditions imposed by Commission, if applicable).*

5. UPDATES & REPORTS:

6. ADJOURNMENT:

OFFICIALS

Dana Hennis, Chairman
Bryan Clark, Vice Chairman
Ginny Greger, Commissioner
Jim Main, Commissioner
Bobby Rossadillo, Commissioner

CITY OF KUNA
City Hall Council Chambers
751 W 4th Street, Kuna, ID 83634



Planning & Zoning Commission
REGULAR MEETING MINUTES
Tuesday, May 13, 2025, at 6:00 PM

For questions, please call Planning and Zoning at (208) 922-5546.
ALL AGENDA ITEMS ARE ACTION ITEMS UNLESS OTHERWISE NOTED.

I. CALL TO ORDER & ROLL CALL:

(Timestamp 00:00:02)

Chairman Dana Hennis Okay, it looks like it's about time to go ahead and call to order the regularly scheduled Planning & Zoning Commission meeting for Tuesday, May 13th, 2025. We'll go ahead and start with roll call.

Planning & Zoning Director Doug Hanson Chairman Dana Hennis.

Chairman Dana Hennis Present.

Planning & Zoning Director Doug Hanson Commissioner Bryan Clark.

Vice Chairman Bryan Clark Present.

Planning & Zoning Director Doug Hanson Commissioner Ginny Greger...Commissioner Jim Main.

Commissioner Jim Main Present.

Planning & Zoning Director Doug Hanson Commissioner Bobby Rossadillo.

Commissioner Bobby Rossadillo Present.

COMMISSIONERS PRESENT

Chairman Dana Hennis - Present
Vice Chairman Bryan Clark - Present
Commissioner Ginny Greger - Absent
Commissioner Jim Main - Present
Commissioner Bobby Rossadillo - Present

CITY STAFF PRESENT

Doug Hanson, Planning & Zoning Director
Troy Behunin, Senior Planner
Marina Lundy, Planner
Maren Ericson, City Attorney

2. **CONSENT AGENDA:**

All items listed are routine and acted on with one (1) Motion by the Commission; there will be no separate discussion unless the Chairman, Commissioner, or Staff requests it be removed. Removed items will be placed under Business unless otherwise instructed.

(Timestamp 00:00:26)

A. Regular Commission Meeting Minutes Dated April 8, 2025

B. Decision and Reasoned Statement(s)

1. Case No. 25-01-CPM – DESRI Solar
2. Case No. 24-09-AN, 24-06-S & 24-25-DR – Blossom Meadows
3. Case No. 25-02-DR – Kavemen Trailers

Potential Motion:

- *Motion to Approve Consent agenda.*
- *Motion to Approve Consent agenda with amendments (i.e., correction to previous meeting minutes, etc.)*

(Timestamp 00:00:26)

Chairman Dana Hennis Thank you. First up on the agenda is our consent agenda.

Commissioner Bobby Rosadillo I'll make a motion to approve the consent agenda.

Vice Chairman Bryan Clark Seconded.

Chairman Dana Hennis Thank you, all in favor?

All Commissioners Aye.

(Timestamp 00:00:31)

Motion To: Approve the Consent Agenda

Motion By: Commissioner Bobby Rosadillo

Motion Seconded By: Commissioner Bryan Clark

Further Discussion: None

Voting Aye: Commissioners Rosadillo, Main, Clark, Hennis

Voting Nay: None

Absent: Commissioner Greger

4-0-1

3. PUBLIC HEARINGS:

(Timestamp 00:00:39)

A. Case No. 25-01-DAN (De-Annexation) for 6820 S Ten Mile Road – Doug Hanson, Planning & Zoning Director

Applicant requests de-annexation from Kuna City Limits. The site is located at 6820 S Ten Mile Road within SEC 2, T2N, R1W.

Potential Motions:

- *Motion to recommend Approval/Conditional Approval/Denial of Case No. 25-01-DAN with Conditions as outlined in the staff report (and additional Conditions imposed by Commission, if applicable).*

(Timestamp 00:00:39)

Chairman Dana Hennis Next up on the agenda is our public hearings. So first up being case #25-01-DAN the de-annexation for 6820 S Ten Mile Rd., Doug.

Planning & Zoning Director Doug Hanson Good evening, Commissioners. For the record, Doug Hanson, Planning & Zoning Director, Development Services, 751 W 4th St. Kuna. The applicant requests de-annexation from Kuna city limits. The site is located at 6820 S Ten Mile Rd. The property was originally annexed on May 2nd, 2006 as a part of a 10-acre annexation. The property is not serviced by city water or wastewater utilities. The result of the annexation is not anticipated to cause any immediate or foreseeable future complications or detriment to the continued operation of city infrastructure. Kuna city limits are adjacent to the East, South and West of the subject site. Therefore, the de-annexation, if approved, will not create an enclave to prohibit surrounding property owners for requesting annexation in the future, if desired. And with that, I will stand by for any questions.

Chairman Dana Hennis Thank you.

Commissioner Bobby Rosadillo I think the one question I have is that the... in the staff report it was supportive of the de-annexation and in the Ada County's letter they were not in support of it?

Planning & Zoning Director Doug Hanson For the record, Doug Hanson, Kuna Planning & Zoning. I believe the Ada County comments, they were misinformed that the property was already connected to city infrastructure, and that's not the case.

Commissioner Bobby Rosadillo Okay, thank you.

Chairman Dana Hennis Any other questions? So just for clarification, the 10 acre, this is just a portion of that that was annexed already?

Planning & Zoning Director Doug Hanson For the record, Doug Hanson, Kuna Planning & Zoning. So, it originally annexed as approximately a 10 acre parcel and it is this is just a 1.1 acre piece of that original annexation, a record of survey has been recorded to split the lot back in '07, '08...

Chairman Dana Hennis But it's still the rest of that property is still annexed?

Planning & Zoning Director Doug Hanson The rest of the property is what the North Wastewater treatment plant for the City of Kuna sits on.

Chairman Dana Hennis So can I ask why is this being de-annexed?

Public Works Director Adam Wenger Sure, Commissioner. Adam Wenger, City of Kuna Public Works, 6950 S Ten Mile. The original annexation was a means to an end to get the property for the city to build the wastewater treatment plant. This was not a desire of the applicant necessarily at that time, or this time, or this time. And they have since determined that the cost benefit ratio of being within the city or the county is such that de-annexation makes sense.

Chairman Dana Hennis Okay, understood. Okay.

Public Works Director Adam Wenger Not much more to it than that apparently.

Chairman Dana Hennis Gotcha. okay. So this is being requested by that person?

Public Works Director Adam Wenger That's correct.

Chairman Dana Hennis Okay, thank you. Any other questions from Commission? And I assume we don't have. Any other parties involved that are speaking?

Planning & Zoning Director Doug Hanson Yeah. For the record, Doug Hanson Kuna Planning & Zoning. The applicant was unable to attend this evening.

Chairman Dana Hennis Okay. So I guess with that, do we have sign-up sheets?

[Brief Silence]

Chairman Dana Hennis Thank you. So with that, I will open up the public testimony at 6:04. I do not see anybody currently on the list to speak. Is there anybody in the audience that would like to speak on this application? Okay, and see none, I will go ahead and close the public testimony at 6:04. And that brings us to our deliberation. I guess this seems pretty straightforward.

Vice Chairman Bryan Clark Yeah, we... Looking through all the documentation, it looks like it's not really... not to be that guy, but it's not advantageous to the city to hold on to it.

Chairman Dana Hennis Correct. Yeah.

Commissioner Bobby Rosadillo I mean that would be my only concern. Are there negatives on the city's end as well? I mean obviously there's positives for the homeowners. Otherwise they wouldn't be acting for it, but just want to make sure there's no negative.

Chairman Dana Hennis Well, and then other adjacent properties that might have some influence, but it sounds like those are okay.

Commissioner Jim Main Right, I see no issue with it.

Chairman Dana Hennis Okay. Well, unless there's any further comments or questions, I'd stand for a motion.

Vice Chairman Bryan Clark Mr. Chairman, I move to recommend approval for... of case #25-01-DAN with conditions as outlined in the staff report.

Commissioner Jim Main I'll second that.

Chairman Dana Hennis Thank you, all in favor?

All Commissioners Aye.

Chairman Dana Hennis Any opposed? Nope. And that motion carries. Thank you.

(Timestamp 00:05:24)

Motion To: Recommend Approval Of Case #25-01-DAN With Conditions

Motion By: Commissioner Bryan Clark

Motion Seconded By: Commissioner Jim Main

Further Discussion: None

Voting Aye: Commissioners Rosadillo, Main, Clark, Hennis

Voting Nay: None

Absent: Commissioner Greger

4-0-1

B. Case Nos. 25-02-AN (Annexation) for Hudon – Marina Lundy, Planner

Applicant requests Annexation and Zoning for 847 S Ash Ave, Kuna ID 83634 which is located along W Sunbeam St. and S Ash Ave. Applicant is requesting the R-6 zone.

Potential Motions:

- *Motion to recommend Approval/Conditional Approval/Denial of Case No. 25-02-AN with Conditions as outlined in the staff report (and additional Conditions imposed by Commission, if applicable).*

(Timestamp 00:05:39)

Chairman Dana Hennis Next up on the agenda is case #25-02-AN, annexation for Hudon, Marina Lundy.

Planner Marina Lundy Good evening, members of the Commission. For the record, Marina Lundy, Planner, Kuna Development Services Department. The application before you this evening requests annexation into Kuna city limits as an R-6 zone. The applicant has requested to annex in order to receive pressurized irrigation through public works. The parcel touches city limits on the South and West side of the property and the proposed R-6 zone matches the city's future land use map. Staff would like to note that the applicant currently uses the property for agricultural purposes, which would be allowed to continue as a legal non-conforming use until such a time that the property develops in the future. The application will or the applicant will maintain their agricultural exemption with the Ada County Assessors Office. And staff has reviewed the application for compliance with Kuna City Code, Idaho Statutes, and the Kuna Comprehensive Plan. And should the Commission approve the application, staff recommends the applicant be subject to the proposed recommended conditions as outlined in the staff report. The applicant is present tonight and I will be here for any questions.

Chairman Dana Hennis Thank you. Any questions for staff at this time?

Commissioner Jim Main No.

Chairman Dana Hennis Would the applicant like to say anything further? You can come on up to the microphone, state your name and address, if you would please for the record.

Noel Hudon My name is Noel Hudon. *Any other?*

Chairman Dana Hennis *Just your address please.*

Noel Hudon 847 S Ash Ave. Kuna. Yeah, I just wanted to say I appreciate everyone being here for this, this meeting and this annexation. It means a lot to us to kind of get our water rights back to us. And we've been working really hard with the City Water Department and Kuna, so. This is some of this kind of been in the works for several years and I think this is the right move and you know we were city before we're kind of happy to be city again. So look forward to, you know, seeing us to meetings and you know, you know, getting back involved so that's all I have to say.

Chairman Dana Hennis Great. Thank you.

Noel Hudon If you guys have any questions I would be up to answer anything.

Commissioner Bobby Rosadillo I'm just curious why the R-6 designation?

Noel Hudon I was told that that matches the city's future plan development. I didn't request... We're. I'm an R1- right now. I mean, I didn't have anything. I was just like, 'hey, is there a possibility for future, maybe, splitting my property for my kids to build something or, you know, my mother-in-law house?' And they're like, 'well, our future development site is this'... And so I was like, 'well, that's more than I would ever need.' But any other questions?

Commissioner Bobby Rosadillo Thank you.

Chairman Dana Hennis Any other questions?

Commissioner Jim Main No.

Chairman Dana Hennis I guess I just have one. Have you read the staff report and the conditions in there and you're in agreeance with all of them?

Noel Hudon Yeah, we did talk in great detail, especially about the ACHD's because my property is under 5 acres and not the over and this and that. And yeah, I think I think everything's good. You know? So I read everything and I think we've had good discussions.

Chairman Dana Hennis Okay, well perfect. Just want to make sure.

Noel Hudon Thank you.

Chairman Dana Hennis Thank you. So with that, I will go ahead and open up the public testimony at 6:09. And again seeing nobody listed on here, I'll ask anybody in the audience that has any desire to testify on this application at all? Nope, okay and see none. I'll go ahead and close the public testimony at 6:09. And that'll take us to our deliberation. Again, I think that one...this one's pretty straightforward and you know it's owner requested and to get the water back. So I think that's a good thing.

Commissioner Jim Main Yeah, I do have one question. I see Tim's out here. We didn't... I didn't see anything from you in the packet. Is there any opposition from the school district on this one?

[Inaudible]

Commissioner Jim Main Okay.

Commissioner Bobby Rosadillo I think they did, they did have a letter.

Commissioner Jim Main They did? Okay. Thank you. Yeah, I don't. I don't see any issue with it. Basically. Would it? It conforms to the adjacent properties?

Vice Chairman Bryan Clark Yeah. No, I don't see anything.

Chairman Dana Hennis If there's no other questions or concerns, I'd stand for a motion.

Vice Chairman Bryan Clark Mr. Chairman, I move that we recommend approval of case #25-02-AN with conditions as outlined in the staff report.

Commissioner Bobby Rosadillo I'll second that.

Chairman Dana Hennis Thank you all. In favor?

All Commissioners Aye.

Chairman Dana Hennis any opposed? No motion carries. Thank you.

(Timestamp 00:10:38)

Motion To: Recommend Approval Of Case #25-02-AN With Conditions

Motion By: Commissioner Bryan Clark

Motion Seconded By: Commissioner Bobby Rosadillo

Further Discussion: None

Voting Aye: Commissioners Rosadillo, Main, Clark, Hennis

Voting Nay: None

Absent: Commissioner Greger

4-0-1

4. BUSINESS ITEMS:

5. UPDATES & REPORTS:

(Timestamp 00:10:58)

Chairman Dana Hennis With that, that completes our agenda for tonight. Is there any other reports or announcements from the city, from staff?

Planning & Zoning Director Doug Hanson No.

6. ADJOURNMENT:

(Timestamp 00:11:14)

Vice Chairman Bryan Clark Okay, Mr. Chairman, I move that we adjourn.

Commissioner Bobby Rosadillo Second.

Chairman Dana Hennis Thank you. All in favor?

All Commissioners Aye.

Chairman Dana Hennis Thank you.

(Timestamp 00:11:14)

Motion To: Adjourn

Motion By: Commissioner Bryan Clark

Motion Seconded By: Commissioner Bobby Rosadillo

Further Discussion: None

Voting Aye: Commissioners Rosadillo, Main, Clark, Hennis

Voting Nay: None

Absent: Commissioner Greger

4-0-1

Dana Hennis, Chairman

ATTEST:

Doug Hanson, Director

Minutes prepared by Garrett Michaelson, Deputy City Clerk.



CITY OF KUNA

751 W 4th Street • Kuna, ID 83634
 (208) 922-5274 • www.kunacity.id.gov

Planning & Zoning Commission Public Hearing Sign-In Sheet
 May 13, 2025

Case No.: 25-01-DAN (Annexation)

Case Name: 6820 S Ten Mile Road

IN FAVOR	NEUTRAL	IN OPPOSITION
<input type="checkbox"/> Testify <input type="checkbox"/> NOT Testify	<input type="checkbox"/> Testify <input type="checkbox"/> NOT Testify	<input type="checkbox"/> Testify <input type="checkbox"/> NOT Testify
Name	Name	Name
Address	Address	Address
City, State, ZIP	City, State, ZIP	City, State, ZIP
<input type="checkbox"/> Testify <input type="checkbox"/> NOT Testify	<input type="checkbox"/> Testify <input type="checkbox"/> NOT Testify	<input type="checkbox"/> Testify <input type="checkbox"/> NOT Testify
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CITY OF KUNA
 751 W 4th Street • Kuna, ID 83634
 (208) 922-5546 • www.kunacity.id.gov

P&Z Commission Public Hearing Sign-In Sheet
 May 13, 2025

Case No.: 25-02-AN

Case Name: Hudon Annexation

IN FAVOR	NEUTRAL	IN OPPOSITION
<input type="checkbox"/> Testify <input type="checkbox"/> NOT Testify	<input type="checkbox"/> Testify <input type="checkbox"/> NOT Testify	<input type="checkbox"/> Testify <input type="checkbox"/> NOT Testify
Name	Name	Name
Address	Address	Address
City, State, ZIP	City, State, ZIP	City, State, ZIP
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Name	Name	Name
Address	Address	Address
City, State, ZIP	City, State, ZIP	City, State, ZIP

**BEFORE THE PLANNING AND ZONING COMMISSION
CITY OF KUNA, ADA COUNTY IDAHO**

IN THE MATTER OF THE APPLICATION OF	)	Case No. 25-01-DAN
	)	(De-annexation)
DURRANT HOME PLACE LLC)	
	)	DECISION AND REASONED
	)	STATEMENT FOR THE 6820 S
<i>Related to the De-annexation of a property</i>	)	TEN MILE ROAD DE-
<i>located at 6820 S Ten Mile Road.</i>	)	ANNEXATION

**SECTION 1
INTRODUCTION AND PROCEDURAL BACKGROUND**

THESE MATTERS came before the Planning and Zoning Commission, the “Commission” on May 13, 2025, where the Commission voted to recommend for approval Case No. 25-01-DAN. Thereafter, this Decision was prepared and presented to the Commission on May 27, 2025, for formal adoption of the Commission’s decision.

**SECTION 2
DECISION**

The Commission, having considered the record and listened to the arguments and presentations at the hearing, DOES HEREBY ORDER AND DECIDE:

The De-annexation Application (25-02-DAN) is hereby *Recommended Approval*.

**SECTION 3
RECORD OF EXHIBITS AND TESTIMONY**

I. List of Exhibits.

- AFFIDAVIT OF LEGAL INTEREST
- ANNEXATION AND ZONING APPLICATION
- COMMITMENT TO PROPERTY POSTING
- LEGAL DESCRIPTION
- NARRATIVE
- NEIGHBORHOOD MEETING CERTIFICATION
- ORIGINAL ANNEXATION ORDINANCE
- PLANNING & ZONING APPLICATION COVERSHEET
- VICINITY MAP
- ADA COUNTY DEVELOPMENT SERVICES
- BOISE PROJECT BOARD OF CONTROL
- DEPARTMENT OF ENVIRONMENTAL QUALITY
- IDAHO TRANSPORTATION DEPARTMENT
- KUNA SCHOOL DISTRICT
- PUBLIC WORKS

- AGENCY TRANSMITTAL
- IP PUBLICATION PZ 05.13.2025
- PROOF OF LEGAL MAILER PZ 05.13.2025
- PROOF OF PROPERTY POSTING PZ
- CASE NO. 25-01-DAN STAFF REPORT

II. Testimony.

a. Those who testified at the Commission hearing on May 13, 2025 are as follows, to-wit:

1. City Staff:

Doug Hanson, Planning & Zoning Director

2. Appearing for the Applicant:

The Applicant did not appear to provide testimony.

**SECTION 4
REASONED STATEMENT**

I. Relevant Criteria and Standards Considered

a. Relevant City Ordinance Provisions.

1. Kuna City Code (KCC) Title 5 Development Regulations, Chapter 7 Annexations

b. Relevant Statutory Provisions

1. Chapter 2 of Title 50, Idaho Code

i. I.C. § 50-222 – Annexation by Cities

c. Pertinent Constitutional Provisions

II. Factual Findings

a. General Factual Findings.

1. Statement of Fact

Parcel Number(s):	S1302233715
Future Land Use Map Designation:	Mixed Use
Existing Land Use:	Single Family Residence
Current Zoning:	A (Agriculture) – City of Kuna

Proposed Zoning:	N/A
Development Area:	1.18 Acres
Adjacent Zoning Districts:	North: RR (Rural Residential), Ada County; East: A (Agriculture), City; South: A (Agriculture), City; West: R-6 (Medium Density Residential), City
Adjacent Street(s) Existing & Proposed:	North: N/A; East: N/A; South: N/A; West: S Ten Mile Road (Existing)
Internal Street(s) Existing & Proposed:	N/A
Adjacent Bike/Pedestrian Facilities:	N/A
Adjacent Parks:	N/A
Land Dedication Requirements:	N/A

2. Procedural Findings:

Neighborhood Meeting	February 26, 2025
Pre-Application Meeting	March 3, 2025
Agency Comments Request	April 3, 2025
300 ft Legal Mailer Notice Commission	April 25, 2025
Idaho Press Newspaper Published Hearing Notice Commission	April 25, 2025
Site Posting	April 28, 2025
Commission Public Hearing	Held on May 13, 2025
Commission Decision and Reasoned Statement Entered	Entered on May 27, 2025

- a. Relevant Contested Facts.
 1. None

- b. Commissions' Factual Findings on Relevant Contested Fact.
 1. None

III. Rationale for the Decision Based Upon Facts and Relevant Criteria and Standards Considered.

It is the rationale of the Commission that de-annexation will not create an enclave to prohibit surrounding property owners from requesting annexation in the future if they desire and that the result of de-annexation is not anticipated to cause any immediate or foreseeable future complications or detriment to the continued operation of City infrastructure as the subject site is not serviced by City water or wastewater utilities.

Conditions of Approval

1. None

SECTION 5 NOTICE TO APPLICANT AND AFFECTED PARTIES

De-annexations are legislative decisions, and are not subject to judicial review, appeal, or reconsideration.

BY ACTION OF THE PLANNING & ZONING COMMISSION of the City of Kuna at its regular meeting held on the 27th day of May 2025.

P&Z Commission Chairman,
Dana Hennis

**BEFORE THE PLANNING AND ZONING COMMISSION
CITY OF KUNA, ADA COUNTY IDAHO**

IN THE MATTER OF THE APPLICATION OF	)	Case No. 25-02-AN (Annexation)
)	
HUDON ANNEXATION)	
)	
<i>Related to the Annexation and Zoning of a</i>	)	DECISION AND REASONED
<i>property located at 847 S Ash Ave.</i>	)	STATEMENT FOR THE HUDON
<i>(R5070502020).</i>	)	ANNEXATION

**SECTION 1
INTRODUCTION AND PROCEDURAL BACKGROUND**

THESE MATTERS came before the Planning and Zoning Commission, the “Commission” on May 13, 2025, where the Commission voted to recommend for approval case No. 25-02-AN. Thereafter, this Decision was prepared and presented to the Commission on May 27, 2025, for formal adoption of the Commission’s decision.

**SECTION 2
DECISION**

The Commission, having considered the record and listened to the arguments and presentations at the hearing, DOES HEREBY ORDER AND DECIDE:

The Annexation Application (25-02-AN) is hereby *Recommended Approval*.

**SECTION 3
RECORD OF EXHIBITS AND TESTIMONY**

I. List of Exhibits.

- PLANNING AND ZONING COVERSHEET
- ANNEXATION AND ZONING APPLICATION
- NARRATIVE
- AFFIDAVIT OF LEGAL INTEREST
- WARRANTY DEED
- LEGAL DESCRIPTION
- COMMITMENT TO PROPERTY POSTING
- NEIGHBORHOOD MEETING CERTIFICATION
- AGENCY TRANSMITTAL
- ITD AGENCY COMMENT
- KSD AGENCY COMMENT
- DEQ AGENCY COMMENT
- NMID AGENCY COMMENT
- ACHD AGENCY COMMENT
- SITE POSTING 1

- SITE POSTING 2
- PROOF OF PROPERTY POSTING

II. Testimony.

a. Those who testified at the Commission hearing on May 13, 2025 are as follows, to-wit:

1. City Staff:

Marina Lundy, Planner

2. Appearing for the Applicant:

Noel Hudon, 847 S Ash Ave, Kuna ID 83634

**SECTION 4
REASONED STATEMENT**

I. Relevant Criteria and Standards Considered

a. Relevant City Ordinance Provisions.

1. 1. Kuna City Code (KCC) Title 5 Development Regulations, Chapter 8, Part 3

Annexation, Rezone application fee

b. Relevant Statutory Provisions

1. Chapter 2 of Title 50, Idaho Code

i. I.C. § 50-222 – Annexation by Cities

c. Pertinent Constitutional Provisions

II. Factual Findings

a. General Factual Findings.

1. Statement of Fact

Parcel Number(s):	R5070502020
Future Land Use Map Designation:	Medium Density Residential
Existing Land Use:	Residential

Current Zoning:	Rural Urban Transition
Proposed Zoning:	R-6, Medium Density Residential
Development Area:	4.42 Acres
Adjacent Zoning Districts:	North: R-1 (Estate Residential) East: RUT (Rural Urban Transition) South: A (Agricultural) West: R-6 (Medium Density Residential)
Adjacent Street(s) Existing & Proposed:	North: W Sunbeam St. (Existing) East: S Ash Ave (Existing) South: None West: S Tsunami Ave (Existing)
Internal Street(s) Existing & Proposed:	None
Adjacent Bike/Pedestrian Facilities:	None
Adjacent Parks:	None
Land Dedication Requirements:	N/A

2. Procedural Findings:

Neighborhood Meeting	February 26, 2025
Pre-Application Meeting	March 3, 2025
Agency Comments Request	April 3, 2025
300 ft Legal Mailer Notice	April 25, 2025
Idaho Press Newspaper Published Hearing Notice	April 25, 2025
Site Posting	April 28, 2025
Commission Public Hearing	Held on May 13, 2025
Commission Decision and Reasoned Statement Entered	Entered on May 27, 2025

- a. Relevant Contested Facts.
 1. None

- b. Commissions' Factual Findings on Relevant Contested Fact.
 1. None

III. Rationale for the Decision Based Upon Facts and Relevant Criteria and Standards Considered.

It is the rationale of the City Council that annexation of the subject real property as proposed in the applications will constitute orderly development. As such, the Council chooses to approve the proposed annexation.

IV. Conditions of Approval

1. Developer/Owner/Applicant shall submit the appropriate applications preceding any future development.
2. Developer/Owner/Applicant shall follow the Kuna Comprehensive Plan and FLUM.
3. Developer/Owner/Applicant shall follow Idaho Code §50-222 and Kuna City Code Title 5.
4. Developer/Owner/Applicant and all successors shall comply with all Local, State and Federal Laws.
5. Irrigation connection fees will be re-assessed at the time of future development.

SECTION 5 NOTICES TO APPLICANT AND AFFECTED PARTIES

Annexations are legislative decisions, and are not subject to judicial review, appeal, or reconsideration.

BY ACTION OF THE PLANNING & ZONING COMMISSION of the City of Kuna at its regular meeting held on the 27th day of May 2025.

P&Z Commission Chairman,
Dana Hennis

CASE NO. 25-02-CPF

VALOR SOCIAL CLUB, COMBO PLAT

Senior Planner: Troy Behunin, TBehunin@KunaID.Gov, 208.387.7729

**ALL APPLICATION MATERIALS:
25-02-CPF VALOR SOCIAL CLUB**

If you require assistance accessing the application materials through the link provided above or would like to review the application materials in person at City Hall please contact the assigned planner.



**CITY OF KUNA:
PLANNING & ZONING
COMMISSION
STAFF MEMO**

City of Kuna P&Z Commission

Entitlements Requested:	Combo Plat	Rezone	Annexation	Special Use	Planned Unit Development	Design Review	Time Extension
Title:	Valor Social Club		Application Number:		25-02-CPF		
Date:	5/27/2025		Staff Contact:		Troy Behunin		
Owner(s)/Applicant:	Mark Tate, M3 Companies, LLC		Applicant Contact:		claclair@jub.com		
Representative:	JUB Engineers, Inc.		Representative Contact:		Caleb LaClair		

Purpose
 Applicant requests Combined Preliminary and Final Plat approval in order to consolidate multiple remnant parcels and create a total of five (5) new lots on approx. 335 ac. within existing R-6 (Medium Density Residential) and R-12 (High Density Residential) zones; The site is in Section 15 & 22, Township 2 North, Range 1 East . The site is located near N Cloverdale and E Kuna Roads, Kuna, ID.

Statement of Fact	
Parcel Number(s):	S1415663600, S1415336001, S1415341101, S1415438401, S1422244227, S1422120900 & S141544900.
Future Land Use Map Designation:	Mixed use, Commercial
Existing Land Use:	Vacant
Current Zoning:	C-2
Proposed Zoning:	C-2
Development Area:	.968 acres
Adjacent Zoning Districts:	North: PC (Ada County), RR (Ada County) East: PC (Ada County) South: R-6 & R-12 (City) West: RR (Ada County)
Adjacent Street(s) Existing & Proposed:	North: None East: None South: E Kuna Flat Road West: S Cloverdale Road
Internal Street(s) Existing & Proposed:	1 private access road to connect to Tiercel Dr..
Adjacent Bike/Pedestrian Facilities:	Internal pathways for bikers and pedestrians and golf carts.
Adjacent Parks:	2 City Parks will be developed within the overall Planned Community.
Land Dedication Requirements:	N/A

Comprehensive Plan and Future Land Use Map Analysis

The Comprehensive Plan identifies the subject property as Medium and High Density Residential with an existing Recorded Development Agreement allowing some design flexibilities and standards. The existing R-6 and R-12 zones are viewed as a compatible zoning district for this application.

The site is located near the intersection of S Cloverdale Road and E Kuna Road. The existing zoning and land uses for the subject site agrees with the Future Land Use Map (FLUM) of the City of Kuna.

Staff Analysis

The applicant requests combination plat approval to combine a small number of remnant parcels and to create a subdivision of 5 total lots. This will remove the excess remnant parcels and prepare the land for future development foreseen in the recorded Development Agreement for the greater Flacon Crest Planned Community. The combination plat will create two (2) buildable lots for future development.

Upon staff review, the proposed application meets the requirements and intent of the recorded Development Agreement, Kuna City Code and the Comprehensive Plan. Staff recommends the Commission approve the application with the conditions outlined in Staff's report.

Recommended Conditions of Approval

1. The Developer/Owner/Applicant shall obtain written approval on letterhead or it may be written/stamped on the approved plans of the construction plans from the agencies noted below. All submittals are required to include lighting, landscaping, drainage, and development plans. All site improvements are prohibited prior to approval of the following agencies:
 - a. The City Engineer shall approve the sewer connections.
 - b. The City Engineer shall approve all civil plans. No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of the drainage plan.
 - c. Central District Health Department recommends the plan be designed and constructed in conformance with standards contained in, "Catalog for Best Management Practices for Idaho Cities and Counties."
 - d. The Kuna Rural Fire District shall approve fire flow requirements and/or building plans. Installation of fire protection facilities as required by Kuna Rural Fire District are required.
 - e. The Kuna Municipal Irrigation System (KMIS) and Boise Project Board of Control shall approve any modifications to the existing irrigation system.
 - f. Approval from Ada County Highway District (ACHD) shall be obtained, and Impact Fees must be paid prior to issuance of any building permit(s).
 - g. All public Rights-of-Way shall be dedicated and constructed to the standards of the City and Ada County Highway District. No public street construction may commence without the approval and permit from Ada County Highway District.
2. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground, see KCC 5-9-4.
3. Compliance with Idaho Code, Section §31-3805 pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site. Compliance with the requirements of the Boise Project Board of Control is required.
4. When required, submit a petition to the City (as necessary, confirmed with the City engineer) consenting to the pooling of irrigation surface water rights for delivery purposes and request to annex the irrigation surface water rights appurtenant to the property over to the Kuna Municipal Pressure Irrigation System of the City (KMIS).
5. It is the responsibility of the Developer or his Engineer to coordinate and design for the stricter requirement

between outside agencies and the City of Kuna standards for the entire development.

6. The Developer/Owner/Applicant, and/or any future assigns having an interest in the subject property, shall fully comply with all Conditions of development as approved by the City Council, or seek amending them through Public Hearing processes.
7. Developer/Owner/Applicant shall follow staff, City Engineers and other agency recommended requirements as applicable.
8. Developer/Owner/Applicant shall comply with all local, state, and federal laws.



PRELIMINARY PLAT FOR
VALOR SOCIAL CLUB SUBDIVISION
 SITUATE IN A PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 15 AND THE NORTHEAST QUARTER AND THE NORTHWEST QUARTER OF SECTION 22,
 TOWNSHIP 2 NORTH, RANGE 1 EAST, BOISE MERIDIAN,
KUNA, IDAHO
2025

SHEET INDEX

SHEET NUMBER	SHEET TITLE
PP-01	BOUNDARY AND PROJECT INFORMATION
PP-02	BOUNDARY DETAIL - LOT AND EASEMENT EXHIBIT
PP-03	LOTING & EXISTING CONDITIONS PLAN
PP-04	LOTING & EXISTING CONDITIONS PLAN
PP-05	LOTING & EXISTING CONDITIONS PLAN
PP-06	LOTING & EXISTING CONDITIONS PLAN

DEVELOPER
 M3 COMPANIES
 1673 SHORELINE DR.
 SUITE #200
 BOISE, IDAHO 83702
 208-939-6263
 MARK TATE

CIVIL ENGINEER
 CALEB LACLAIR, P.E.
 J-U-B ENGINEERS, INC.
 2760 W. EXCURSION LN.
 STE. 400
 MERIDIAN, ID 83642
 208-869-2545

LAND SURVEYOR
 MICHAEL BYRNS, P.L.S.
 IDAHO SURVEY GROUP
 9955 W EMERALD ST
 BOISE, ID 83704
 208-846-8570

OWNER
 FALCON CREST CLUB
 PARTNERS LLC
 5430 LBJ FREEWAY
 DALLAS, TX 75240

OWNER
 MG ID VGV I LLC
 4168 N MARSHALL WAY
 SCOTTSDALE, AZ 85251

OWNER
 FALCON CREST LLC
 2528 N. CLOVERDALE RD.
 BOISE, ID 83713

OWNER
 M3 VALOR GOLF VILLAS, LLC
 7033 E. GREENWAY PARKWAY
 STE. 100
 SCOTTSDALE, AZ 85254

FIRE DISTRICT:
 KUNA FIRE DISTRICT
 150 W. BOISE STREET
 KUNA, ID 83634
 PHONE: (208) 922-1144

ROADWAYS
 ALL ROADWAYS ARE PRIVATE

SCHOOL DISTRICT:
 KUNA SCHOOL DISTRICT
 711 E. PORTER STREET
 KUNA, ID 83634
 PHONE: (208) 922-1000

POWER:
 IDAHO POWER
 JESS POWELL
 1221 W. IDAHO STREET
 BOISE, ID 83702
 PHONE: (208) 388-6399

IRRIGATION DISTRICT:
 BOISE PROJECT BOARD OF CONTROL
 2465 OVERLAND ROAD
 BOISE, ID 83705
 PHONE: (208) 344-1141

PRESSURE IRRIGATION:
 HOME OWNERS ASSOCIATION
 AND GOLF COURSE
 RESPECTIVELY



BOUNDARY LEGEND

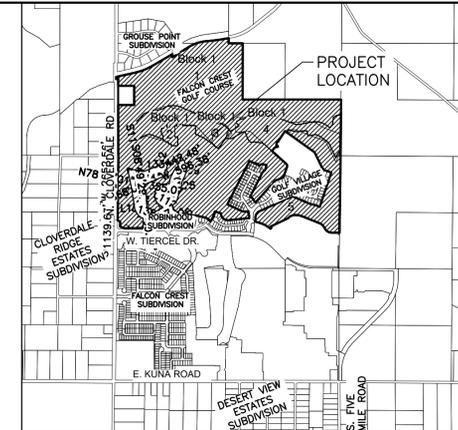
- Subdivision Boundary Line
- - - Section Line
- - - Center Line
- - - Right-of-way Line
- - - Existing Parcel Line
- - - Section Corner
- - - Quarter-Section Corner
- - - Property Corner

LEGEND

- | EXISTING | PROPOSED |
|-----------|-------------|
| — SS — | — S — S — |
| — W — | — W — W — |
| — GI — | — GI — GI — |
| — PI — | — PI — PI — |
| — SD — | — SD — SD — |
| — CL — | — CL — |
| — L — | — L — |
| — E — | — E — |
| — C & G — | — C & G — |
| — SM — | — SM — |
| — D — | — D — |
| — F — | — F — |
| — SL — | — SL — |
| — T — | — T — |
| — EC — | — EC — |
| — GL — | — GL — |
| — FL — | — FL — |
| — FH — | — FH — |
| — 10' — | — 10' — |
| — 2' — | — 2' — |

LAND USE SUMMARY

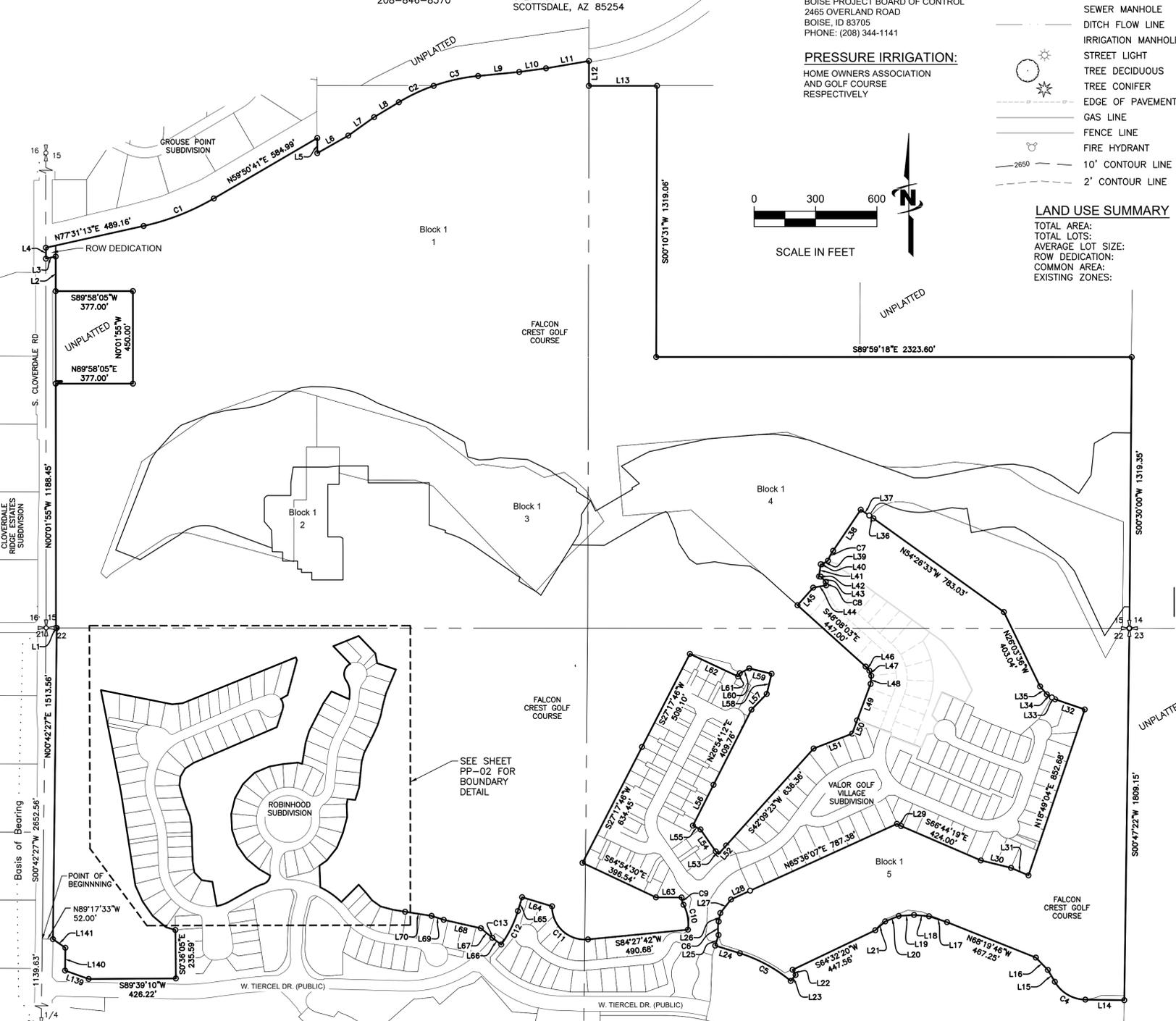
TOTAL AREA: 334.33 AC.
 TOTAL LOTS: 5 LOTS
 AVERAGE LOT SIZE: 66.85 AC.
 ROW DEDICATION: 0.06 AC.
 COMMON AREA: NA
 EXISTING ZONES: R-6, R-12



JUB
 J-U-B ENGINEERS, INC.
 2760 W. EXCURSION LN.
 Suite 400
 Meridian, ID 83642
 Phone: 208.376.7330
 www.jub.com

PROFESSIONAL ENGINEER
 CALEB LACLAIR
 17192
 04/01/2025
 STATE OF IDAHO
 CALEB LACLAIR

NO.	REVISION	DESCRIPTION	BY	DATE



Line Table

Line #	Direction	Length
L1	N89°58'56"W	4.00'
L2	N00°01'51"W	168.61'
L3	S77°30'17"W	49.16'
L4	N00°01'55"W	53.25'
L5	S00°04'47"W	73.34'
L6	N60°34'54"E	173.97'
L7	N54°35'24"E	154.96'
L8	N59°04'14"E	141.05'
L9	N84°23'54"E	201.72'
L10	N82°25'00"E	132.20'
L11	N80°20'05"E	212.68'
L12	S00°07'54"W	120.88'
L13	S89°59'40"E	333.01'
L14	N89°12'38"W	190.41'
L15	N30°51'38"W	67.01'
L16	N44°13'37"W	83.70'
L17	N72°06'48"W	92.57'
L18	N84°48'23"W	73.44'
L19	S86°05'15"W	75.01'
L20	S68°12'28"W	71.17'
L21	S48°20'35"W	64.56'
L22	S30°01'28"E	29.16'
L23	S39°38'08"W	37.57'
L24	N72°44'52"W	126.08'
L25	N17°15'08"E	54.24'
L26	N11°13'36"E	42.13'
L27	N38°17'57"E	84.26'
L28	N65°36'07"E	102.69'
L29	S62°55'44"E	23.17'
L30	S76°12'04"E	152.07'

Line Table

Line #	Direction	Length
L31	S66°44'19"E	92.38'
L32	N00°01'51"W	153.00'
L33	N59°06'42"W	18.50'
L34	N59°06'42"W	28.56'
L35	N40°34'22"W	50.84'
L36	N55°54'04"W	25.00'
L37	N55°54'04"W	50.00'
L38	S34°05'56"W	240.96'
L39	S59°14'22"W	34.92'
L40	N82°10'49"W	5.53'
L41	S07°49'11"W	60.00'
L42	S82°10'49"E	8.60'
L43	S43°40'34"E	34.86'
L44	S80°05'57"W	64.32'
L45	S41°48'31"W	115.00'
L46	S42°33'48"E	27.15'
L47	S20°29'54"E	26.70'
L48	S05°05'23"W	39.67'
L49	S20°25'28"W	188.68'
L50	S20°25'28"W	69.22'
L51	S68°59'10"W	201.65'
L52	S42°09'23"W	55.98'
L53	N47°50'37"W	19.10'
L54	N34°49'22"W	130.00'
L55	N63°05'48"W	41.32'
L56	N26°54'12"E	222.63'
L57	N44°14'33"E	106.74'
L58	N13°37'52"E	100.70'
L59	N76°22'08"W	111.98'
L60	S63°22'40"W	51.96'

Line Table

Line #	Direction	Length
L61	S27°17'46"W	18.16'
L62	N65°01'01"W	260.21'
L63	S89°48'26"E	124.88'
L64	N73°11'27"W	152.74'
L65	S17°10'02"W	70.35'
L66	N53°10'16"W	54.12'
L67	N50°26'50"W	72.94'
L68	N77°12'03"W	186.00'
L69	N72°09'34"W	62.24'
L70	N81°09'06"W	130.91'
L71	N70°31'05"W	122.39'
L72	N00°42'27"E	110.67'
L73	N55°00'22"W	74.18'

Curve Table

Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C1	369.58'	1198.00'	17°40'31"	N68°40'57"E	368.11'
C2	188.25'	930.00'	11°35'52"	N64°52'10"E	187.93'
C3	222.86'	930.00'	13°43'48"	N77°32'00"E	222.33'
C4	180.23'	175.00'	59°00'25"	N59°42'26"W	172.37'
C5	284.09'	727.19'	22°23'01"	N61°33'22"W	282.29'
C6	65.75'	175.00'	21°31'36"	N00°27'47"E	65.36'
C7	54.65'	233.00'	13°26'22"	S27°22'45"W	54.53'
C8	17.07'	230.00'	4°15'12"	S07°17'55"E	17.07'
C9	36.96'	82.00'	25°49'21"	S15°07'25"E	36.64'
C10	125.27'	200.00'	35°53'15"	S10°05'28"E	123.23'
C11	268.64'	160.00'	96°11'57"	N47°26'19"W	238.18'
C12	183.06'	555.00'	18°53'53"	S26°36'59"W	182.23'
C13	0.20'	524.99'	0°01'17"	N36°49'05"E	0.20'



BOUNDARY CERTIFICATION

VALOR SOCIAL CLUB SUBDIVISION
 KUNA, IDAHO
 BOUNDARY AND PROJECT INFORMATION

FILE: 10-25-014 PRE-PLAT
 JUB PROJ #: 10-25-014
 DRAWN BY: EE
 CHECKED BY: CAL
 AT FULL SIZE, IF NOT ONE INCH SCALE ACCORDINGLY
 SHEET NUMBER: **PP-01**

Plot Date: 4/2/2025 3:41 PM Plotted By: Caleb Laclair
 Date Created: 4/1/2025 10:00 AM Central Client: M3 PROJECT: 10-25-014 VALOR SOCIAL CLUB SUBDIVISION: 10-25-014 PRE-PLAT.DWG



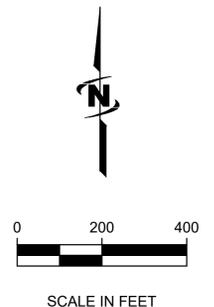
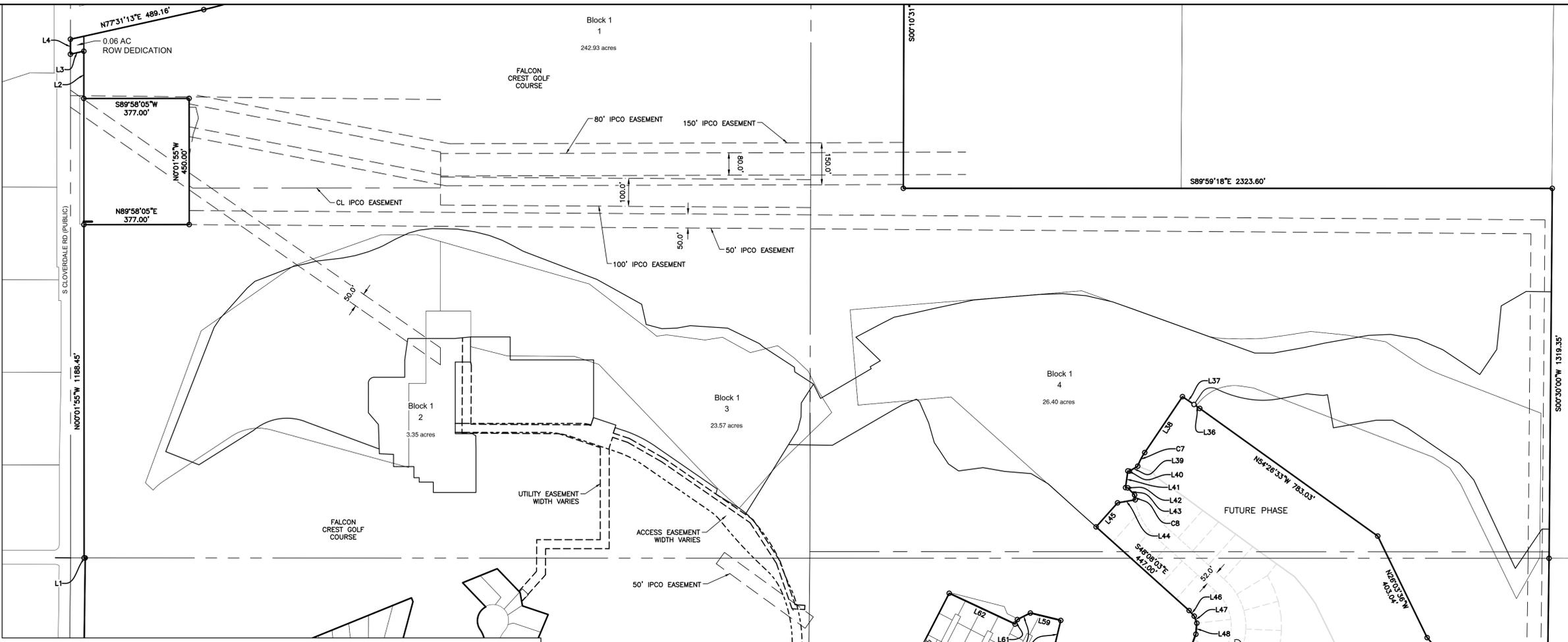
REUSE OF DRAWINGS
JUB SHALL RETAIN ALL COMMON LAW, STATUTORY, COPYRIGHT AND PATENT RIGHTS IN THIS DOCUMENT. ANY REUSE OF THIS DOCUMENT WITHOUT WRITTEN CONSENT BY JUB WILL BE AT CLIENT'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO JUB.

NO.	DESCRIPTION	BY	DATE

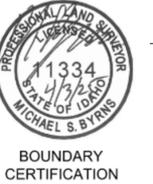
**VALOR SOCIAL CLUB SUBDIVISION
KUNA, IDAHO**
BOUNDARY DETAIL - LOT AND EASEMENT EXHIBIT

FILE: 10-25-014 PRE-PLAT
JUB PROJ #: 10-25-014
DRAWN BY: EE
DESIGN BY: EE
CHECKED BY: CAL
SCALE: AS SHOWN
AT FULL SIZE, IF NOT ONE INCH SCALE ACCORDINGLY
LAST UPDATED: 4/3/2025

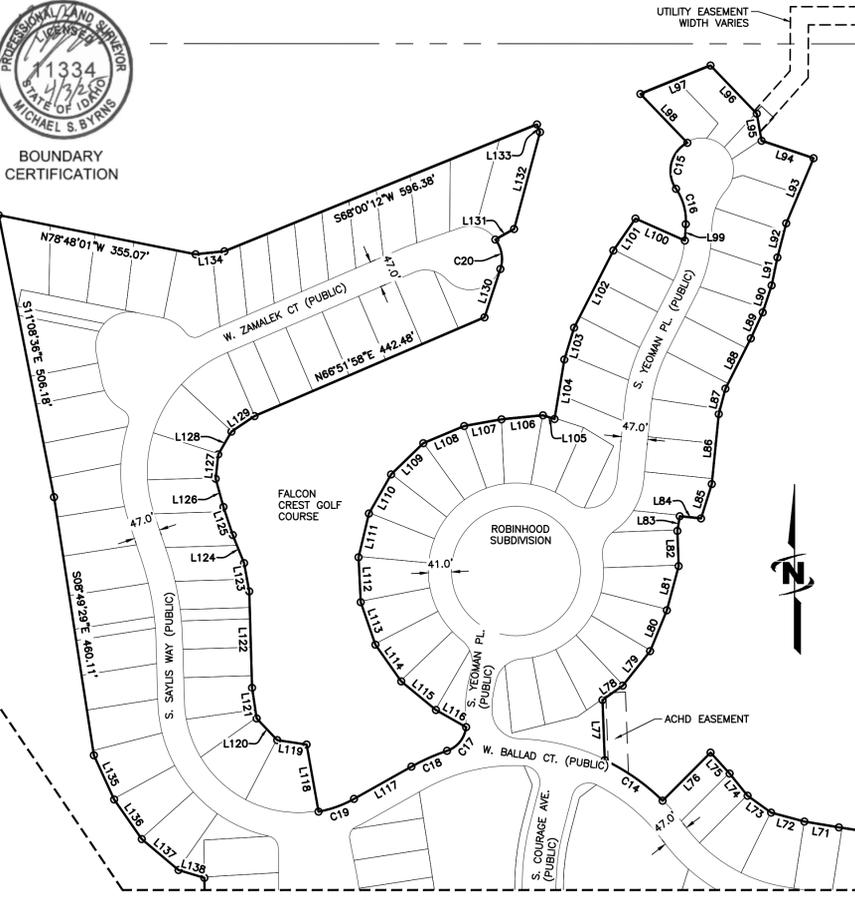
SHEET NUMBER:
PP-02



NOTE:
1. SEE FINAL PLAT FOR DETAILED EASEMENT INFORMATION
2. SEE PP-01 FOR PLAT NOTES AND BOUNDARY DATA NOT SHOWN ON THIS SHEET.
3. SEE SHEETS PP-03 THROUGH PP-06 FOR INTERIOR LOT LINE DIMENSIONS



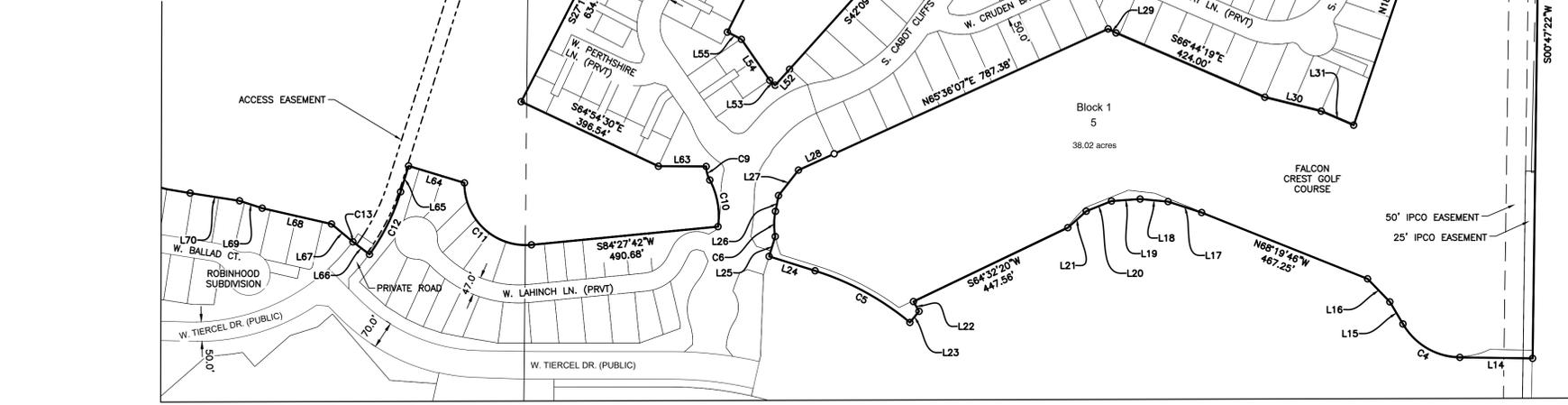
BOUNDARY CERTIFICATION



BOUNDARY DETAIL
SCALE: 1" = 150'

Curve Table

Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C14	125.50'	373.50'	19°15'10"	N55°02'57"W	124.92'
C15	94.26'	56.00'	96°26'19"	S13°53'09"W	83.52'
C16	65.73'	100.00'	37°39'30"	S15°30'15"E	64.55'
C17	56.49'	50.00'	64°43'56"	S39°01'31"W	53.53'
C18	69.03'	373.50'	10°35'23"	S66°05'47"W	68.93'
C19	66.95'	201.50'	19°02'10"	S70°19'11"W	66.64'
C20	54.81'	56.00'	56°04'34"	N09°45'34"W	52.65'



Line Table

Line #	Direction	Length
L71	N80°30'09"W	62.00'
L72	N75°02'59"W	60.91'
L73	N54°19'50"W	51.13'
L74	N39°11'32"W	50.25'
L75	N42°23'46"W	50.05'
L76	S45°04'15"W	120.00'
L77	N02°09'23"W	105.97'
L78	N54°51'12"E	43.75'
L79	N38°35'36"E	77.78'
L80	N22°19'59"E	77.78'

Line Table

Line #	Direction	Length
L81	N15°05'13"E	80.58'
L82	N02°03'26"W	62.00'
L83	N09°18'11"E	26.16'
L84	S84°15'48"E	37.81'
L85	N17°24'12"E	63.31'
L86	N05°44'12"E	124.00'
L87	N14°48'05"E	46.13'
L88	N26°53'53"E	99.48'
L89	N24°40'42"E	50.29'
L90	N18°15'27"E	50.00'

Line Table

Line #	Direction	Length
L91	N11°46'20"E	50.35'
L92	N14°37'55"E	62.14'
L93	N22°52'23"E	124.36'
L94	N71°30'52"W	97.04'
L95	N10°05'24"W	48.53'
L96	N43°58'57"W	117.87'
L97	S68°00'12"W	133.72'
L98	S43°58'57"E	119.64'
L99	S03°19'30"W	28.98'
L100	N66°05'03"W	95.61'

Line Table

Line #	Direction	Length
L101	S34°45'48"W	68.47'
L102	S27°05'58"W	152.70'
L103	S17°05'11"W	58.67'
L104	S09°23'47"W	106.17'
L105	N72°04'52"W	21.37'
L106	S84°25'44"W	73.72'
L107	S79°51'40"W	67.05'
L108	S67°22'53"W	78.51'
L109	S45°57'22"W	79.20'
L110	S29°41'45"W	79.20'

Line Table

Line #	Direction	Length
L111	S13°26'08"W	79.20'
L112	S02°49'29"E	79.20'
L113	S19°05'05"E	79.20'
L114	S35°20'42"E	79.20'
L115	S50°32'11"E	79.42'
L116	S60°29'17"E	61.32'
L117	S60°48'05"W	116.36'
L118	N10°09'44"W	120.00'
L119	N81°20'14"W	52.60'
L120	N43°41'14"W	52.60'

Line Table

Line #	Direction	Length
L121	N08°36'49"W	54.53'
L122	N01°41'08"W	170.00'
L123	N10°19'47"W	50.57'
L124	N22°02'23"W	53.33'
L125	N18°26'47"W	52.22'
L126	N15°29'35"W	51.49'
L127	N06°02'31"E	43.10'
L128	N30°17'23"E	46.37'
L129	N56°04'34"E	49.19'
L130	N18°16'43"E	89.69'

Line Table

Line #	Direction	Length
L131	N60°39'42"E	37.99'
L132	N15°05'07"E	176.65'
L133	N21°59'48"W	14.60'
L134	S84°05'51"W	51.29'
L135	S24°40'27"E	85.69'
L136	S35°04'13"E	85.12'
L137	S49°58'04"E	84.86'
L138	S73°23'45"E	47.82'

REUSE OF DRAWINGS

JUB SHALL RETAIN ALL COMMON LAW, STATUTORY, COPYRIGHT AND PATENT RIGHTS IN THIS DRAWING. ANY REUSE OF THIS DRAWING WITHOUT JUB'S PRIOR WRITTEN CONSENT SHALL NOT BE REUSED WITHOUT JUB'S PRIOR WRITTEN CONSENT. ANY REUSE WITHOUT WRITTEN CONSENT BY JUB WILL BE AT CLIENT'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO JUB.

NO.	DESCRIPTION	BY	APPR.	DATE

SEE SHEET PP-04

VALOR SOCIAL CLUB SUBDIVISION
 KUNA, IDAHO

LOTING AND EXISTING CONDITIONS PLAN

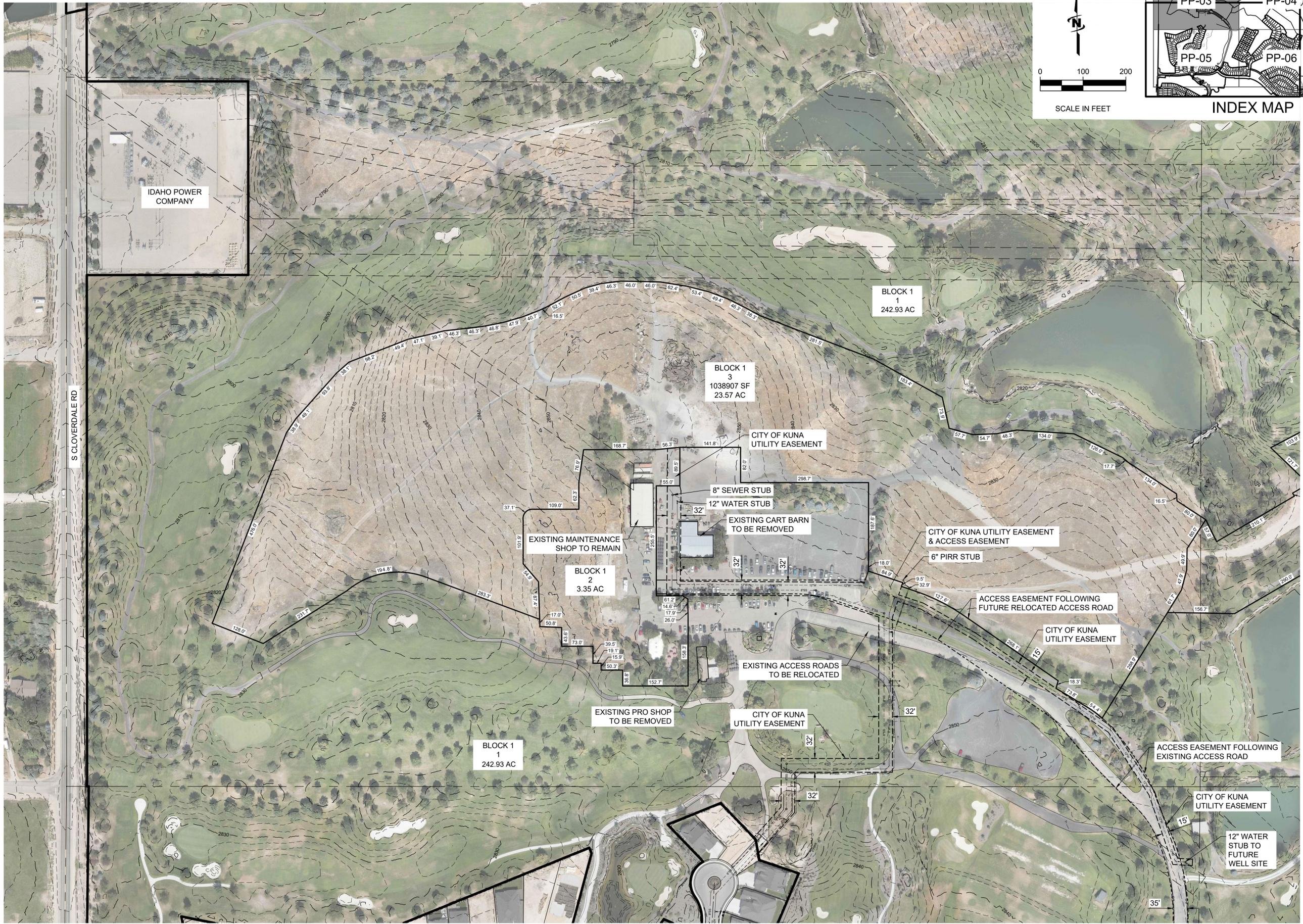
FILE: 10-25-014 EXISTING
 JUB PROJ #: 10-25-014
 DRAWN BY: KAS
 DESIGN BY: MPD
 CHECKED BY: CAL
 SCALE: ONE INCH = 40 FEET
 AT FULL SIZE, IF NOT ONE INCH SCALE ACCORDINGLY
 LAST UPDATED: 4/1/2025

SHEET NUMBER:
PP-03

NOTES:
 1. SEE SHEET PP-01 FOR PLAT NOTES AND DATA TABLE.
 2. SEE SHEETS PP-01 AND PP-02 FOR SUBDIVISION BOUNDARY AND EXISTING EASEMENT INFORMATION.

SCALE IN FEET

INDEX MAP

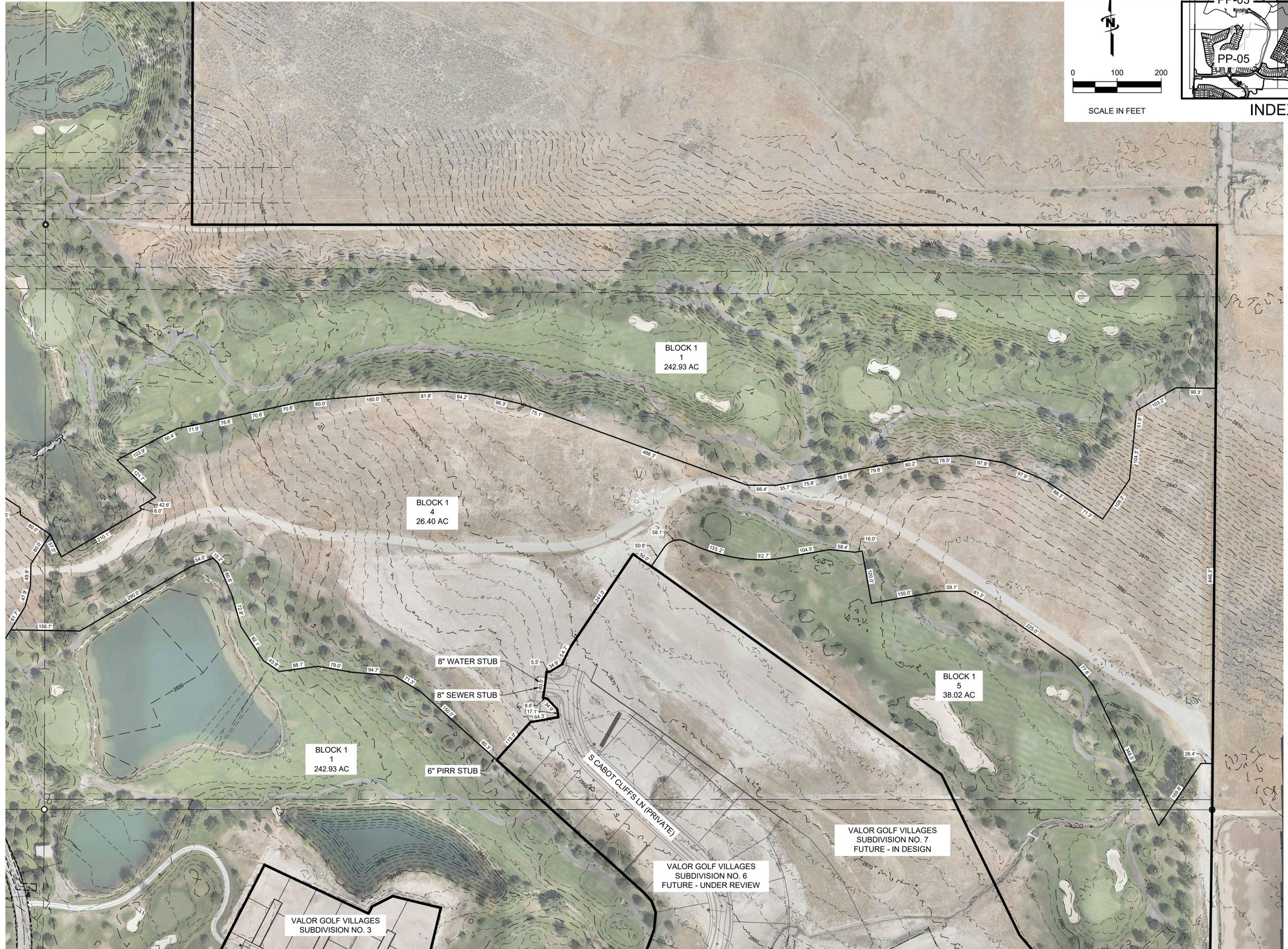


SEE SHEET PP-05

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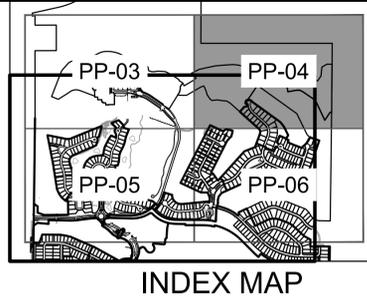
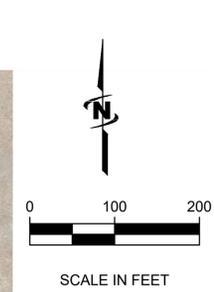
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SEE SHEET PP-03

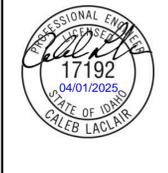


SEE SHEET PP-06

- NOTES:
 1. SEE SHEET PP-01 FOR PLAT NOTES AND DATA TABLE.
 2. SEE SHEETS PP-01 AND PP-02 FOR SUBDIVISION BOUNDARY AND EXISTING EASEMENT INFORMATION.



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 J-U-B ENGINEERS, INC.
 2760 W. Excursion Ln.
 Suite 400
 Meridian, ID 83642
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NO.	REVISION	DESCRIPTION	BY	APPR.	DATE

VALOR SOCIAL CLUB SUBDIVISION
KUNA, IDAHO
LOTING AND EXISTING CONDITIONS PLAN

FILE : 10-25-014_EXISTING
 JUB PROJ # : 10-25-014
 DRAWN BY: KAS
 DESIGN BY: MPD
 CHECKED BY: CAL
 ONE INCH
 AT FULL SIZE, IF NOT ONE INCH, SCALE ACCORDINGLY
 LAST UPDATED: 4/1/2025
 SHEET NUMBER:
PP-04

SEE SHEET PP-03

- NOTES:
- SEE SHEET PP-01 FOR PLAT NOTES AND DATA TABLE.
 - SEE SHEETS PP-01 AND PP-02 FOR SUBDIVISION BOUNDARY AND EXISTING EASEMENT INFORMATION.

SCALE IN FEET

INDEX MAP

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NO.	REVISION	DESCRIPTION	BY	DATE

SEE SHEET PP-06



VALOR SOCIAL CLUB SUBDIVISION
 KUNA, IDAHO

LOTTING AND EXISTING CONDITIONS PLAN

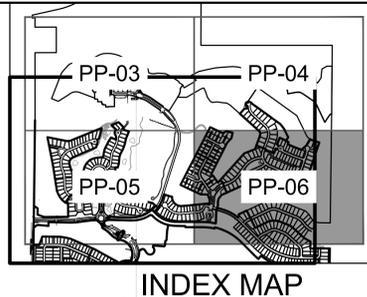
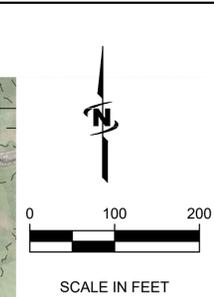
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 LAST UPDATED: 4/1/2025

SHEET NUMBER: PP-05

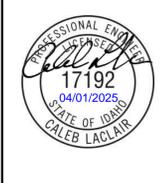
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SEE SHEET PP-04

NOTES:
1. SEE SHEET PP-01 FOR PLAT NOTES AND DATA TABLE.
2. SEE SHEETS PP-01 AND PP-02 FOR SUBDIVISION BOUNDARY AND EXISTING EASEMENT INFORMATION.



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NO.	DESCRIPTION	BY	DATE

VALOR SOCIAL CLUB SUBDIVISION
KUNA, IDAHO
LOTING AND EXISTING CONDITIONS PLAN

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JUB PROJ #: 10-25-014
DRAWN BY: KAS
DESIGN BY: MPD
CHECKED BY: CAL
ONE INCH
AT FULL SIZE, IF NOT ONE
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LAST UPDATED: 4/1/2025
SHEET NUMBER:

PP-06



SEE SHEET PP-05

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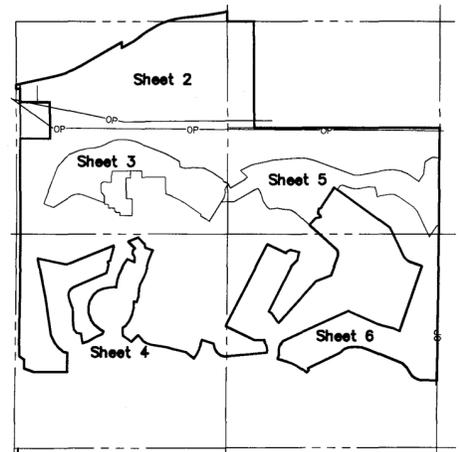
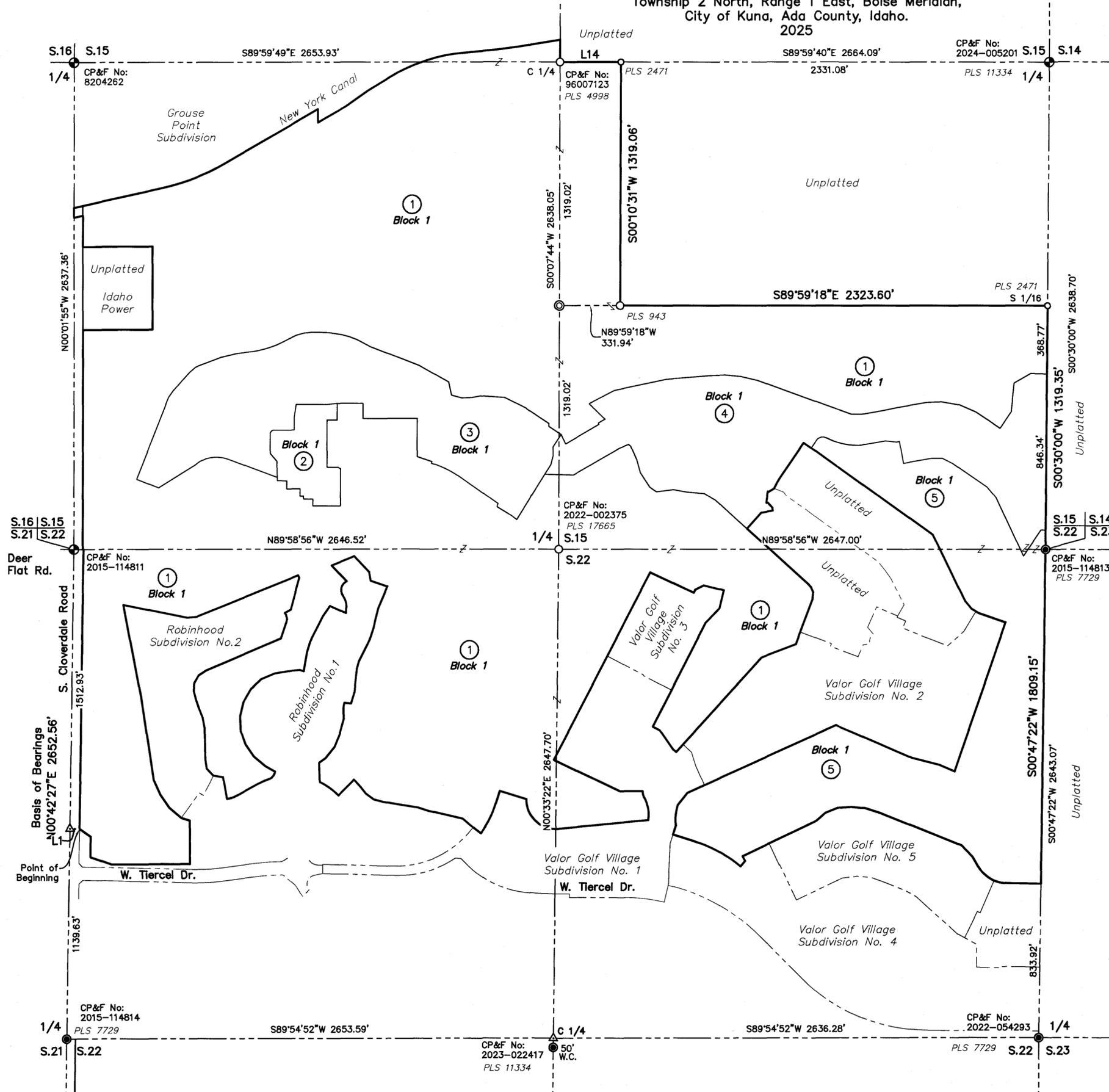
Plat Showing

Valor Social Club Subdivision

Situated in a portion of Lot 17, Block 2, of the Grouse Point Subdivision; the West half of the Southwest quarter; the Northeast quarter of the Southwest quarter; the Southeast quarter of the Southwest quarter; the West half of the Northwest quarter of the Northwest quarter; and the South half of the Southeast quarter in Section 15; and the West half of the Northwest quarter; the Southeast quarter of the Northwest quarter; the East half of the Northeast quarter of the Northwest quarter; the West half of the Northeast quarter of the Northwest quarter; and the Northeast quarter in Section 22, Township 2 North, Range 1 East, Boise Meridian, City of Kuna, Ada County, Idaho. 2025



Scale: 1" = 400'



Key Map
Scale: 1" = 1500'

Legend

- Found 1/2" Iron Pin, reset with 5/8" x 24" Iron Pin with Plastic Cap, "ISG PLS 11334" Unless Otherwise Noted
- Found 5/8" Iron Pin, PLS 15528 or as Noted
- Found Brass Cap Monument
- Found Aluminum Cap Monument
- Found 5/8" Iron Pin "ISG PLS 11334"
- Found 1" Magnetically Detectable Copper Disk Monument stamped with PLS 15528
- △ Calculated Point, Nothing Found or Set
- R.M. Reference Monument
- W.C. Witness Corner
- Set 5/8" x 24" Iron Pin with Plastic Cap, "ISG PLS 11334"
- Set 5/8" x 24" Iron Pin with Aluminum Cap.
- Set 1/2" x 24" Iron Pin with Plastic Cap, "ESMT ISG PLS 11334"
- ① Lot Number
- Subdivision Boundary Line
- Lot Line
- Right-of-Way Line
- Centerline
- ID Power Easement Line
- Power Line
- ACHD Easement Line
- Kuna Utility Easement Line
- Canal Easement Line
- Utility Easement Line
- HOA Easement Line
- Access Easement Line
- Section Line
- Adjacent Parcel Line
- Tie Line
- ▨ Building
- Parcel Hook (Vinculum)

Surveyor's Narrative:

The purpose of this survey is to subdivide the property shown hereon. The subdivision lot lines were provided by JUB Engineers. The bearing system is: NAD83(2011) Epoch 2010 IDWest 1103. The convergence angle at the west quarter-section corner of Section 22 is -0°24'08".

Reference Documents:

Deed Inst. No.s: 522630, 97025425, 9906766-7, 100049801-3, 108003131, 2021-042022, 2023-050159, & 2024-003113.
ROS No.s: 10338, 13525, 13691, & 13950.
Subdivisions: Robinhood Subdivision No. 1 & 2, Valor Golf Village Subdivision No. 1-5, & Grouse Point Subdivision



See Sheet 8 for Notes and Line & Curve Tables.

Book _____ Page _____

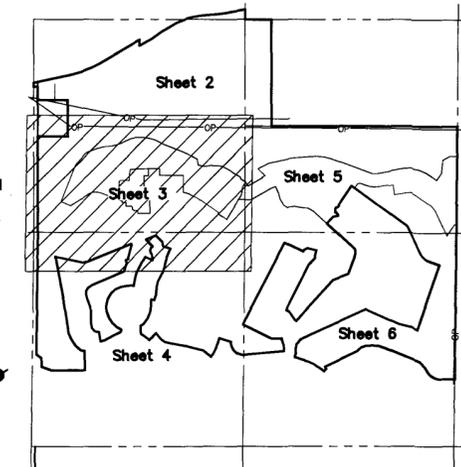
ISG IDAHO SURVEY GROUP, LLC

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BOISE, IDAHO 83704
(208) 846-8570
WWW.IDAHOSURVEY.COM

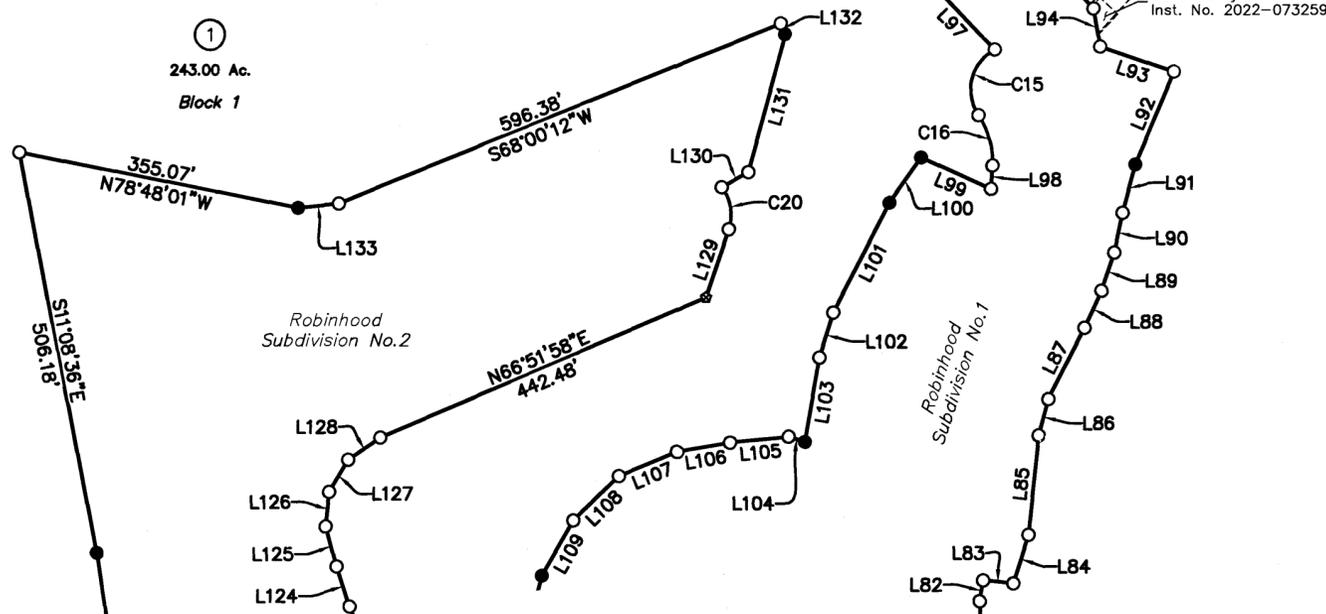
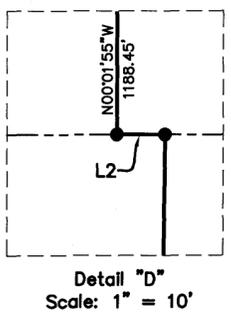
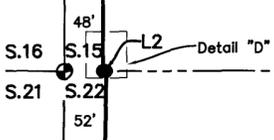
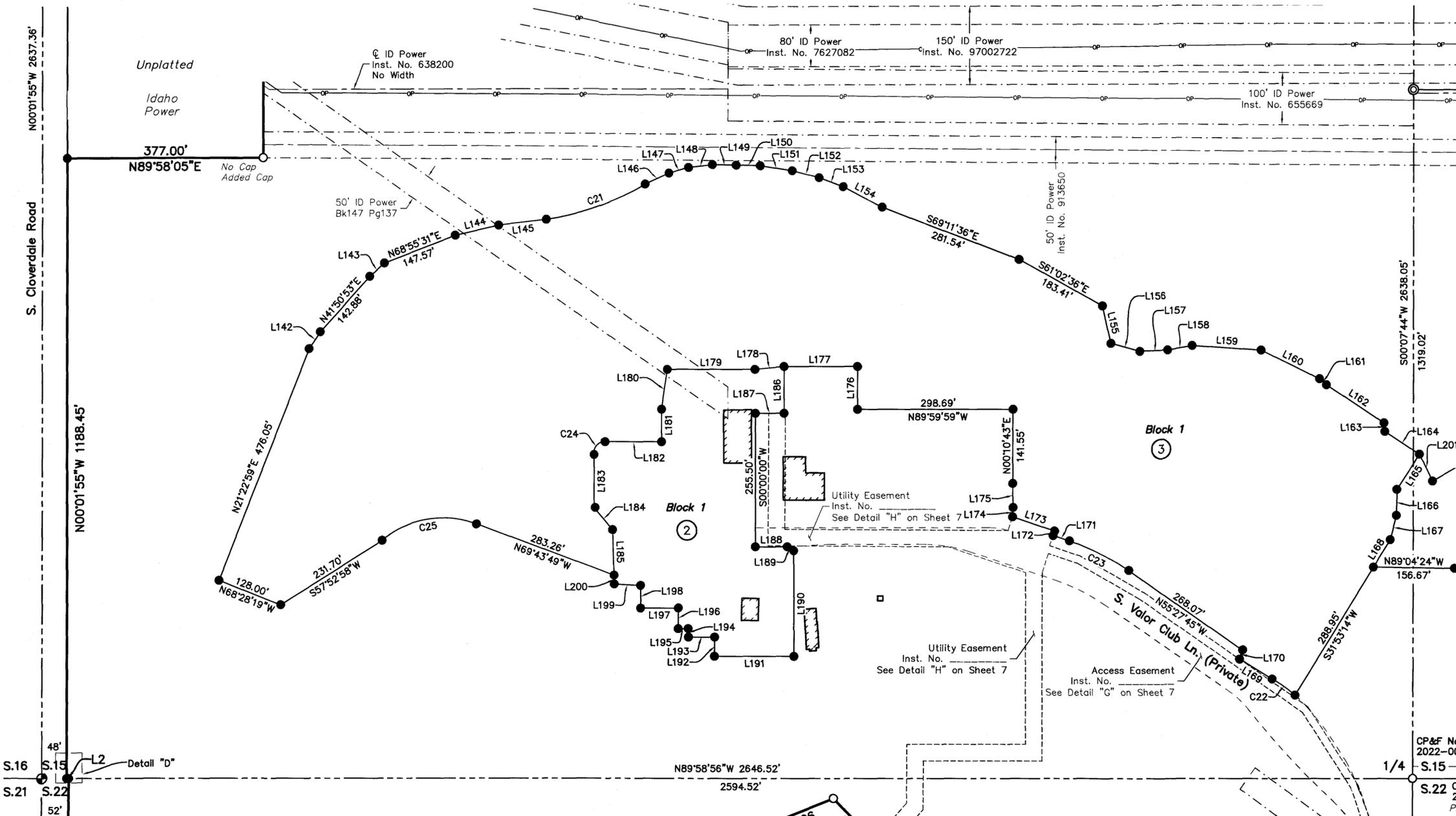
Valor Social Club Subdivision



Scale: 1" = 150'



Key Map
Scale: 1" = 1500'



CP&F No:
2022-002375
S.15
1/4
S.22 CP&F No:
2022-002375
PLS 17665

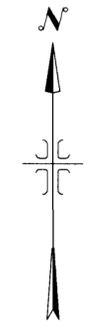


See Sheet 8 for Notes and Line & Curve Tables.
See Sheet 1 for Legend.

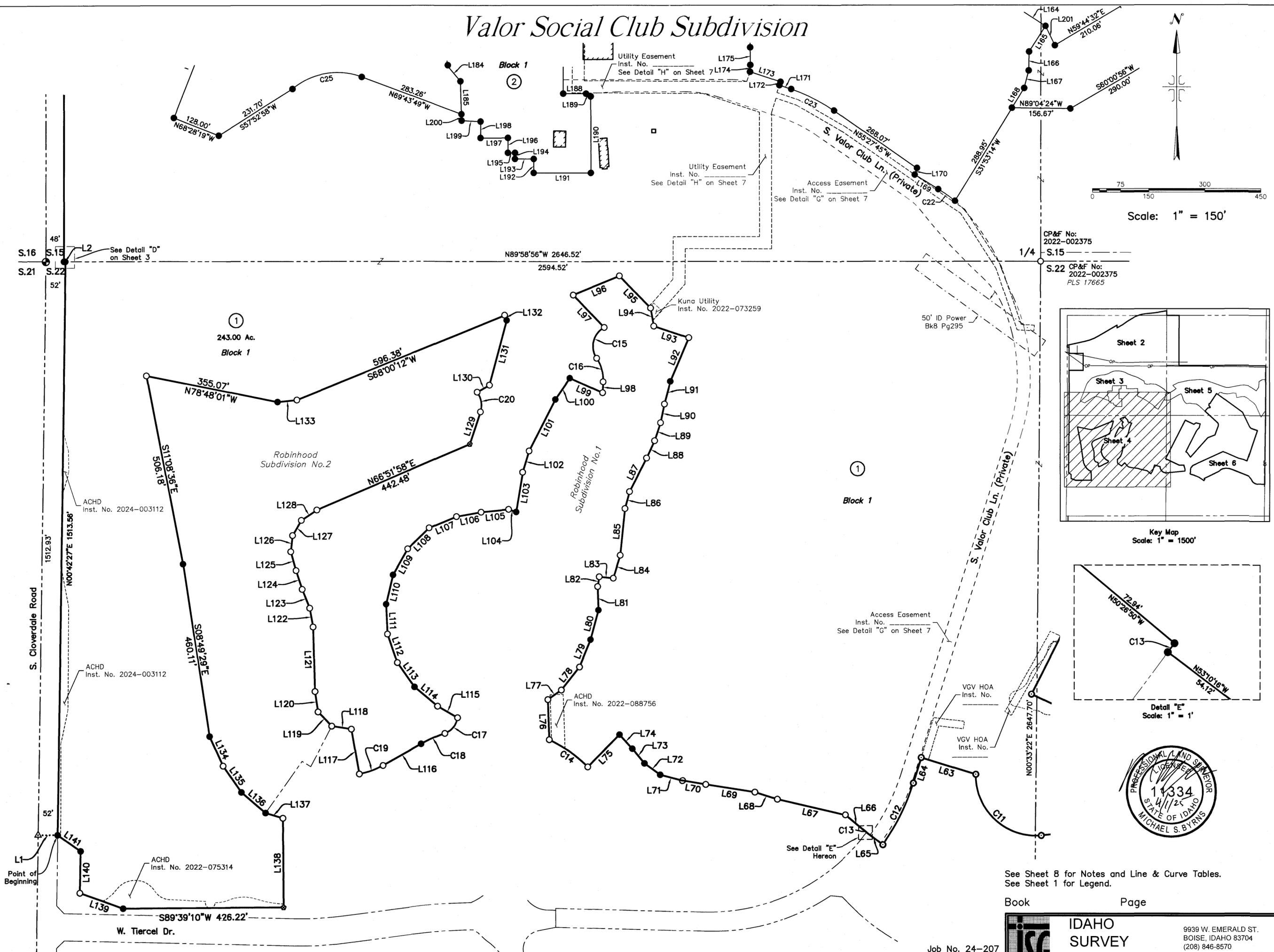
Book _____ Page _____

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Valor Social Club Subdivision

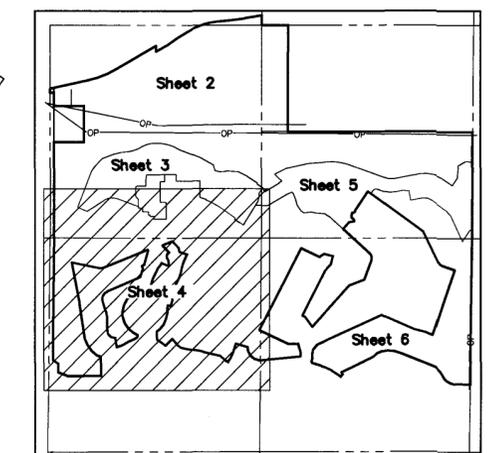


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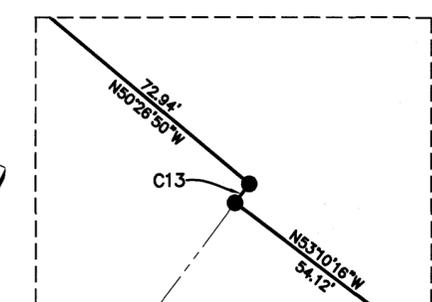


CP&F No:
2022-002375
S.15

CP&F No:
2022-002375
PLS 17665
S.22



Key Map
Scale: 1" = 1500'



Detail "E"
Scale: 1" = 1'



See Sheet 8 for Notes and Line & Curve Tables.
See Sheet 1 for Legend.

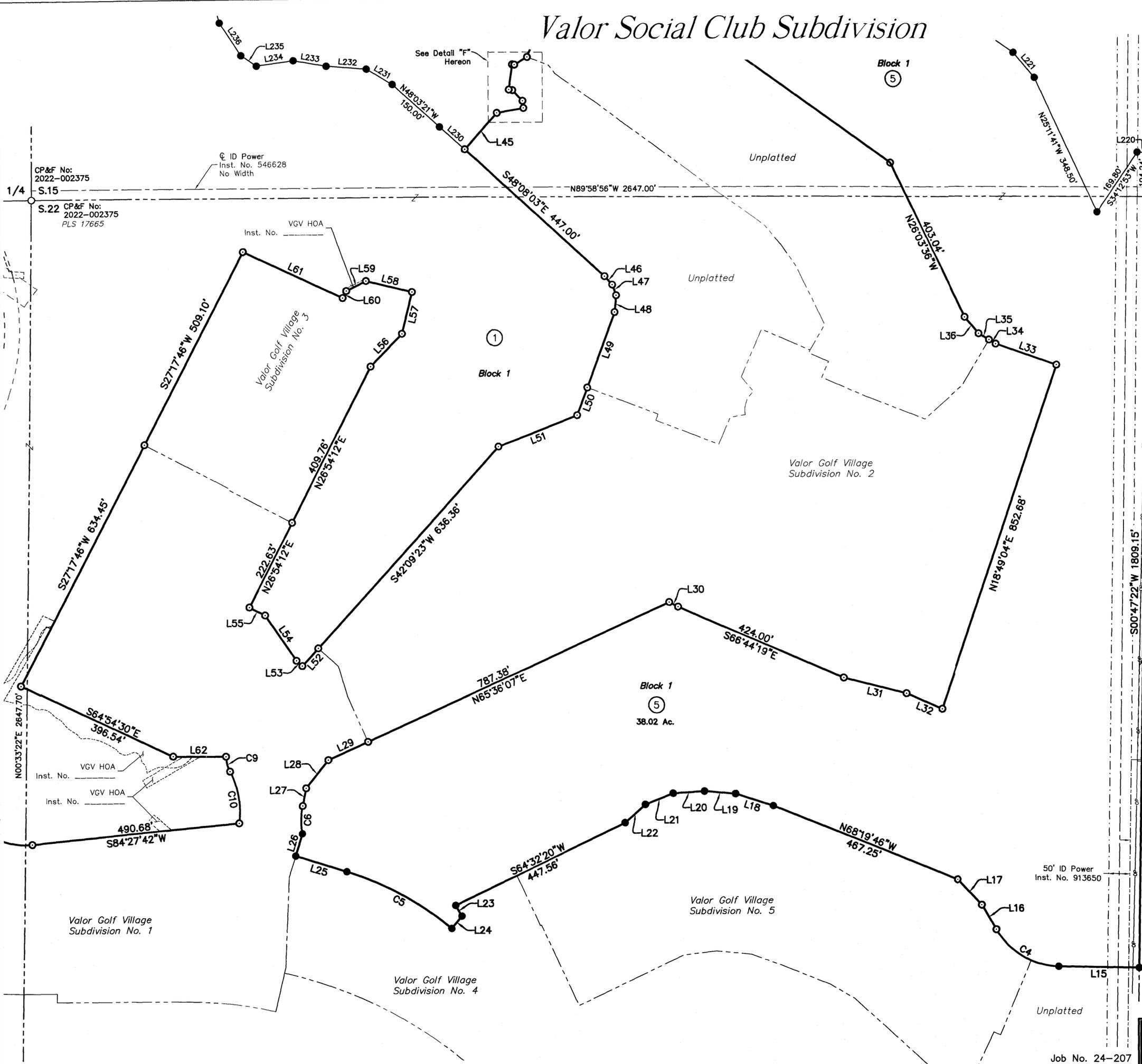
Book _____ Page _____

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Job No. 24-207
Sheet 4 of 10

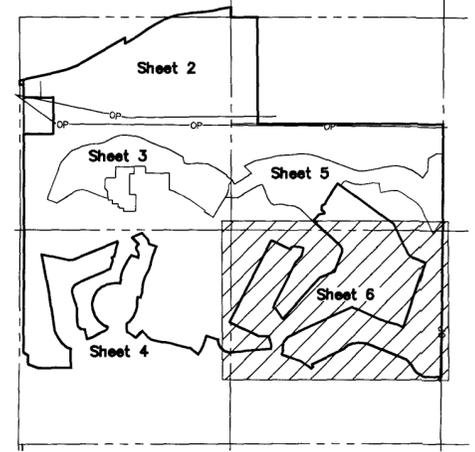
Valor Social Club Subdivision



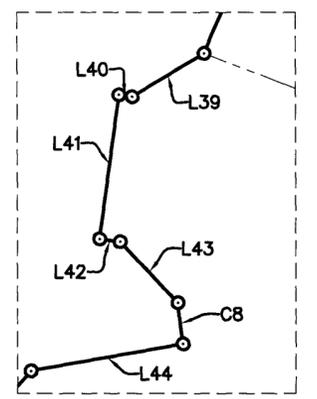
CP&F No:
2015-114813
PLS 7729



Scale: 1" = 150'



Key Map
Scale: 1" = 1500'



Detail "F"
Scale: 1" = 50'

Ⓞ ID Power
Inst. No. 708856
No Width

25' ID Power
Inst. No. 99019323

50' ID Power
Inst. No. 913650



See Sheet 8 for Notes and Line & Curve Tables.
See Sheet 1 for Legend.

Book _____ Page _____



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Job No. 24-207
Sheet 6 of 10

Valor Social Club Subdivision

Notes

- This development recognizes Idaho Code, Title 22, Chapter 45 Right to Farm Act, Section 22-4503, which states "No agricultural operation, agricultural facility or expansion thereof shall be or become a nuisance, private or public, by any changed conditions in or about the surrounding nonagricultural activities after it has been in operation for more than one (1) year, when the operation, facility or expansion was not nuisance the time it began or was constructed. The provisions of this section shall not apply when nuisance results from the improper or negligent operation of an agricultural operation, agricultural facility or expansion thereof."
- The land within this plat is not within an Irrigation District as defined in Idaho Code 31-3805, and the requirements in Idaho Code 31-3805 are not applicable. Water for irrigation purposes shall be provided by Valor Maintenance Corporation.
- Any re-subdivision of this plat shall comply with the applicable regulations in effect at the time of the re-subdivision.
- Minimum building setbacks shall be in accordance with the applicable zoning and subdivision regulations at the time of issuance of individual building permits, or as specifically approved and/or required by Development Agreement Instrument No. 2019-111089.
- Lots shall not be reduced in size without prior approval from the health authority.
- No additional domestic water supplies shall be installed beyond the water system approved in the sanitary restriction release.
- Reference is made to the public health letter on file with the Ada County Recorder regarding additional restrictions.
- Maintenance of any irrigation, drainage pipe, or ditch, crossing a lot is the responsibility of the lot owner, unless such responsibility is assumed by an irrigation or drainage entity or district.
- Pressurized irrigation shall be private.
- The _____ Association, Inc., its ownership, and maintenance commitments cannot be dissolved without the express written consent of the City of Kuna, Idaho.
- This development is subject to that Declaration of Covenants, Conditions, and Restrictions, which will be recorded concurrently with this plat; and any existing or future amendments, restatements, or supplements to said Declaration.
- This Development is subject to Development Agreement Instrument No. 2019-111089 and includes annexation into the City of Kuna.
- City utility responsibility ends at the water meter pit and at the sewer connection to the sewer mainline respectively.
- The subdivision is located in Zone X of the Flood Insurance Rate Map No. 16001C0265J (Panel 265 of 875) which bears an effective date of June 19, 2020, and Map No. 16001C0425H (Panel 425 of 875) which bears an effective date of February 19, 2003, and is not in a Special Flood Hazard Area.
- No easement created hereon shall preclude the construction and maintenance of hard-surfaced driveways, landscaping (except trees), parking, or other such non-permanent improvements.
- All easements are parallel (or concentric) to the lines (or arcs) that they are dimensioned from, unless otherwise noted.
- Previously existing Idaho Power Easements Instrument Number 913649, 913650, 7848474, 732957, 108099276, 97002722, 7534531, 638200, 7627082, 655669, 708856, 99019323, 546628, and Book 147 Page 137, Book 8 Page 295.
- Previously existing ACHD Permanent Easements Instrument Number 110079250, 2024-003112, 2022-075314 and 2022-088756.
- Previously existing Kuna Utility Easement Instrument No. 2022-073259.
- Previously existing HOA easements Instrument No.s _____.
- New Utility Easement Instrument No. _____.
- New Access Easement Instrument No. _____.

Line Table		
Line	Bearing	Length
L1	S89°17'33"E	52.00'
L2	N89°58'56"W	4.00'
L3	N00°01'51"W	168.61'
L4	S77°30'17"W	49.16'
L5	N00°01'55"W	53.25'
L6	S00°04'47"W	73.34'
L7	N60°34'54"E	173.97'
L8	N54°35'24"E	154.96'
L9	N59°04'14"E	141.05'
L10	N84°23'54"E	201.72'
L11	N82°25'00"E	132.20'
L12	N80°20'05"E	212.68'
L13	S00°07'54"W	120.88'
L14	S89°59'40"E	333.01'
L15	N89°12'38"W	190.41'
L16	N30°51'38"W	67.01'
L17	N44°13'37"W	83.70'
L18	N72°06'48"W	92.57'
L19	N84°48'23"W	73.44'
L20	S86°05'15"W	75.01'
L21	S68°12'28"W	71.17'
L22	S48°20'35"W	64.56'
L23	S30°01'28"E	29.16'
L24	S39°38'08"W	37.57'
L25	N72°44'52"W	126.08'
L26	N17°15'08"E	54.24'
L27	N11°13'36"E	42.13'
L28	N38°17'57"E	84.26'
L29	N65°36'07"E	102.69'
L30	S62°55'44"E	23.17'
L31	S76°12'04"E	152.07'
L32	S66°44'19"E	92.38'
L33	N71°10'56"W	153.00'
L34	N59°06'42"W	18.50'
L35	N59°06'42"W	28.56'
L36	N40°34'22"W	50.84'
L37	N55°54'04"W	75.00'
L38	S34°05'56"W	240.96'
L39	S59°14'22"W	34.92'
L40	N82°10'49"W	5.53'
L41	S07°49'11"W	60.00'
L42	S82°10'49"E	8.60'
L43	S43°40'34"E	34.86'
L44	S80°05'57"W	64.32'
L45	S41°48'31"W	115.00'
L46	S42°33'48"E	27.15'
L47	S20°29'54"E	26.70'
L48	S05°05'23"W	39.67'
L49	S20°25'28"W	188.68'
L50	S20°25'28"W	69.22'

Line Table		
Line	Bearing	Length
L51	S68°59'10"W	201.65'
L52	S42°09'23"W	55.98'
L53	N47°50'37"W	19.10'
L54	N34°49'22"W	130.00'
L55	N63°05'48"W	41.32'
L56	N44°14'33"E	106.74'
L57	N13°37'52"E	100.70'
L58	N76°22'08"W	111.98'
L59	S63°22'40"W	51.96'
L60	S27°17'46"W	18.16'
L61	N65°01'01"W	260.21'
L62	S89°48'26"E	124.88'
L63	N73°11'27"W	152.74'
L64	S17°10'02"W	70.35'
L65	N53°10'16"W	54.12'
L66	N50°26'50"W	72.94'
L67	N77°12'03"W	186.00'
L68	N72°09'34"W	62.24'
L69	N81°09'06"W	130.91'
L70	N80°30'09"W	62.00'
L71	N75°02'59"W	60.91'
L72	N54°19'50"W	51.13'
L73	N39°11'32"W	50.25'
L74	N42°23'46"W	50.05'
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L78	N38°35'36"E	77.78'
L79	N22°19'59"E	77.78'
L80	N15°05'13"E	80.58'
L81	N02°03'26"W	62.00'
L82	N09°18'11"E	26.16'
L83	S84°15'48"E	37.81'
L84	N17°24'12"E	63.31'
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L86	N14°48'05"E	46.13'
L87	N26°53'53"E	99.48'
L88	N24°40'42"E	50.29'
L89	N18°15'27"E	50.00'
L90	N11°46'20"E	50.35'
L91	N14°37'55"E	62.14'
L92	N22°52'23"E	124.36'
L93	N71°30'52"W	97.04'
L94	N10°05'24"W	48.53'
L95	N43°58'57"W	117.87'
L96	S68°00'12"W	133.72'
L97	S43°58'57"E	119.64'
L98	S03°19'30"W	28.98'
L99	N66°05'03"W	95.61'
L100	S34°45'48"W	68.47'

Line Table		
Line	Bearing	Length
L101	S27°05'58"W	152.70'
L102	S17°05'11"W	58.67'
L103	S09°23'47"W	106.17'
L104	N72°04'52"W	21.37'
L105	S84°25'44"W	73.72'
L106	S79°51'40"W	67.05'
L107	S67°22'53"W	78.51'
L108	S45°57'22"W	79.20'
L109	S29°41'45"W	79.20'
L110	S13°26'08"W	79.20'
L111	S02°49'29"E	79.20'
L112	S19°05'05"E	79.20'
L113	S35°20'42"E	79.20'
L114	S50°32'11"E	79.42'
L115	S60°29'17"E	61.32'
L116	S60°48'05"W	116.36'
L117	N10°09'44"W	120.00'
L118	N81°20'14"W	52.60'
L119	N43°41'14"W	52.60'
L120	N08°36'49"W	54.53'
L121	N01°41'08"W	170.00'
L122	N10°19'47"W	50.57'
L123	N22°02'23"W	53.33'
L124	N18°26'47"W	52.22'
L125	N15°29'35"W	51.49'
L126	N06°02'31"E	43.10'
L127	N30°17'23"E	46.37'
L128	N56°04'34"E	49.19'
L129	N18°16'43"E	89.69'
L130	N60°39'42"E	37.99'
L131	N15°05'07"E	176.65'
L132	N21°59'48"W	14.60'
L133	S84°05'51"W	51.29'
L134	S24°40'27"E	85.69'
L135	S35°04'13"E	85.12'
L136	S49°58'04"E	84.86'
L137	S73°23'45"E	47.82'
L138	S00°36'05"E	235.56'
L139	N70°31'05"W	122.39'
L140	N00°42'27"E	110.67'
L141	N55°00'22"W	74.18'
L142	N33°58'39"E	38.92'
L143	N48°43'50"E	38.10'
L144	N76°53'26"E	86.25'
L145	N83°28'10"E	92.60'
L146	N65°30'26"E	50.55'
L147	N74°33'40"E	39.42'
L148	N83°11'20"E	46.33'
L149	S89°12'00"E	46.00'
L150	S88°28'02"E	46.02'

Line Table		
Line	Bearing	Length
L151	S80°59'08"E	62.37'
L152	S75°56'16"E	53.41'
L153	S69°31'01"E	49.43'
L154	S62°28'49"E	84.59'
L155	S12°33'07"E	73.94'
L156	S75°07'19"E	57.69'
L157	N87°47'04"E	54.74'
L158	N79°41'05"E	48.33'
L159	S86°11'32"E	134.00'
L160	S64°05'39"E	126.00'
L161	S49°25'12"E	17.68'
L162	S57°00'13"E	134.00'
L163	S04°19'01"E	16.50'
L164	S56°59'37"E	80.00'
L165	S33°00'00"W	80.00'
L166	S01°11'36"W	49.90'
L167	S14°38'21"W	47.90'
L168	S31°53'14"W	61.70'
L169	N58°55'55"W	73.79'
L170	N16°00'56"E	18.32'
L171	N71°32'10"W	32.94'
L172	N18°27'50"E	9.50'
L173	N71°32'10"W	84.86'
L174	N02°02'15"E	18.03'
L175	N00°32'54"W	46.09'
L176	N00°00'00"E	82.00'
L177	S89°59'59"W	141.83'
L178	S84°22'01"W	56.27'
L179	N89°59'42"W	168.68'
L180	S08°18'03"W	76.94'
L181	S00°00'19"W	62.31'
L182	N89°58'40"W	108.96'
L183	S00°01'19"W	101.86'
L184	S40°41'25"E	54.92'
L185	S01°47'17"E	87.41'
L186	S00°00'00"W	89.50'
L187	N90°00'00"W	55.00'
L188	S89°59'48"E	61.23'
L189	S59°02'10"E	14.58'
L190	S00°08'30"E	202.21'
L191	N90°00'00"W	152.74'
L192	N00°00'00"E	36.81'
L193	N90°00'00"W	50.32'
L194	N00°00'00"E	15.94'
L195	N90°00'00"W	19.06'
L196	N00°00'00"E	39.53'
L197	N90°00'00"W	73.05'
L198	N00°00'15"W	43.58'
L199	N87°38'37"W	50.84'
L200	N01°47'17"W	17.01'

Line Table		
Line	Bearing	Length
L201	S26°22'29"E	56.96'
L202	N30°15'28"W	8.00'
L203	N59°44'32"E	42.63'
L204	N46°12'28"W	121.68'
L205	N85°21'49"E	80.00'
L206	N88°00'20"E	81.83'
L207	S84°51'07"E	84.17'
L208	S77°00'51"E	96.26'
L209	S89°56'10"E	66.44'
L210	N79°53'31"E	111.26'
L211	N77°47'31"E	75.98'
L212	N87°32'46"E	78.47'
L213	S80°24'12"E	97.87'
L214	S67°01'20"E	97.87'
L215	S56°38'34"E	88.30'
L216	S55°47'07"E	71.31'
L217	N34°12'53"E	108.22'
L218	N60°05'03"E	103.19'
L219	S89°10'07"E	90.28'
L220	N89°21'14"W	26.36'
L221	N40°59'44"W	77.57'
L222	N62°35'41"W	61.34'
L223	S89°46'45"W	59.05'
L224	S79°57'29"W	155.00'
L225	N10°02'31"W	120.00'
L226	S79°57'29"W	16.00'
L227	N84°08'34"W	58.41'
L228	S79°57'29"W	104.45'
L229	S34°05'56"W	50.87'
L230	N48°23'11"W	80.27'
L231	N59°11'29"W	71.34'
L232	N85°13'55"W	94.69'
L233	N80°14'26"W	79.02'
L234	S82°25'09"W	88.15'
L235	N55°53'19"W	43.88'
L236	N33°29'40"W	92.08'
L237	N16°02'44"W	72.78'
L238	N23°37'03"W	80.85'
L239	N46°36'12"W	15.18'
L240	S68°46'08"W	54.01'
L241	N00°01'55"W	53.24'

Curve Table					
Curve	Length	Radius	Delta	Chord Bearing	Chord Length
C1	369.58'	1198.00'	17°40'31"	N68°40'57"E	368.11'
C2	188.25'	930.00'	11°35'52"	N64°52'10"E	187.93'
C3	222.86'	930.00'	13°43'48"	N77°32'00"E	222.33'
C4	180.23'	175.00'	59°00'25"	N59°42'26"W	172.37'
C5	284.09'	727.19'	22°23'01"	N61°33'22"W	282.29'
C6	65.75'	175.00'	21°31'36"	N00°27'47"E	65.36'
C7	54.65'	233.00'	13°26'22"	S27°22'45"W	54.53'
C8	17.07'	230.00'	4°15'12"	S07°17'55"E	17.07'
C9	36.96'	82.00'	25°49'21"	S15°07'25"E	36.64'
C10	125.27'	200.00'	35°53'15"	S10°05'28"E	123.23'
C11	268.64'	160.00'	96°11'57"	N47°26'19"W	238.18'
C12	183.06'	555.00'	18°53'53"	S26°36'59"W	182.23'
C13	0.20'	525.00'	0°01'17"	N36°49'05"E	0.20'
C14	125.50'	373.50'	19°15'10"	N55°02'57"W	124.92'
C15	94.26'	56.00'	96°26'19"	S13°53'09"W	83.52'
C16	65.73'	100.00'	37°39'30"	S15°30'15"E	64.55'
C17	56.49'	50.00'	64°43'56"	S39°01'31"W	53.53'
C18	69.03'	373.50'	10°35'23"	S66°05'47"W	68.93'
C19	66.95'	201.50'	19°02'10"	S70°19'11"W	66.64'
C20	54.81'	56.00'	56°04'34"	N09°45'34"W	52.65'
C21	203.98'	537.80'	21°43'52"	N70°23'37"E	202.76'
C22	54.35'	262.49'	11°51'50"	N55°07'41"W	54.26'
C23	127.59'	457.00'	15°59'48"	N63°32'16"W	127.18'
C24	37.06'	21.52'	98°40'00"	S40°03'09"W	32.65'
C25	194.81'	186.50'	59°50'53"	S80°20'45"W	186.07'
C					

Certificate Of Owners

Valor Social Club Subdivision

Certificate of Surveyor

Know all men by these presents: that M3 ID Valor Golf Villas, LLC, an Arizona limited liability company, is the owner of the real property described as follows: To Wit:

I, Michael S. Byrns, do hereby certify that I am a Professional Land Surveyor, licensed by the State of Idaho, and that this plat is correct and was surveyed in accordance with Idaho Code relating to plats and surveys.



Commencing at the west quarter corner of Section 22, Township 2 North, Range 1 East, Boise Meridian, from which the northwest corner of Section 22 bears N00°42'27"E, 2652.56 feet;

Thence N00°42'27"E, 1139.63 feet along the west line of the northwest quarter of Section 22;

Thence S89°17'33"E, 52.00 feet to the east right-of-way line of S. Cloverdale Rd., the POINT OF BEGINNING;

Hence along the east right-of-way line of S. Cloverdale Rd.:

Thence N00°42'27"E, 1513.56 feet; Thence N89°58'56"W, 4.00 feet; Thence N00°01'55"W, 1188.45 feet to the boundary of the Idaho Power Parcel (Warranty Deed Instrument Number 522630, records of Ada County, Idaho);

Hence along the boundary of the Idaho Power Parcel:

Thence N89°58'05"E, 377.00 feet; Thence N00°01'55"W, 450.00 feet; Thence S89°58'05"W, 377.00 feet to the east right-of-way line of S. Cloverdale Rd. (Parcel 1 of Warranty Deed Instrument Number 108003131, records of Ada County, Idaho);

Thence N00°01'51"W, 168.61 feet along the east right-of-way line of S. Cloverdale Rd.; Thence S77°30'17"W, 49.16 feet along the boundary of Parcel 1 of Warranty Deed Instrument Number 108003131, to the west line of Section 15;

Thence N00°01'55"W, 53.25 feet along the west line of Section 15 to the centerline of the New York Canal;

Hence along the centerline of the New York Canal:

Thence N77°31'13"E, 489.16 feet; Thence 369.58 feet on a curve to the left, having a radius of 1198.00 feet, a central angle of 17°40'31", a chord bearing of N68°40'57"E, and a chord length of 368.11 feet; Thence N59°50'41"E, 584.99 feet to the west line of the northeast quarter of the southwest quarter of Section 15;

Thence S00°04'47"W, 73.34 feet along the west line of the northeast quarter of the southwest quarter to the boundary of Parcel 1 of Grant Deed Instrument Number 100049803, records of Ada County, Idaho;

Hence along the boundary of Parcel 1 of Grant Deed Instrument Number 100049803:

Thence N60°34'54"E, 173.97 feet; Thence N54°35'24"E, 154.96 feet; Thence N59°04'14"E, 141.05 feet; Thence 188.25 feet on a curve to the right, having a radius of 930.00 feet, a central angle of 11°35'52", a chord bearing of N64°52'10"E, and a chord length of 187.93 feet to the north line of the northeast quarter of the southwest quarter of Section 15, the south boundary of Lot 17, Block 2 of Grouse Point Subdivision, and the boundary of the Grouse Point parcel (Grant Deed Instrument Number 100049801, records of Ada County, Idaho);

Hence along the boundary of the Grouse Point parcel:

Thence continuing 222.86 feet on a curve to the right, having a radius of 930.00 feet, a central angle of 13°43'48", a chord bearing of N77°32'00"E, and a chord length of 222.33 feet; Thence N84°23'54"E, 201.72 feet; Thence N82°25'00"E, 132.20 feet; Thence N80°20'05"E, 212.68 feet to the boundary of Lot 17, Block 2 of Grouse Point Subdivision, and the east line of the northwest quarter of Section 15;

Thence S00°07'54"W, 120.88 feet along the boundary of Lot 17, and the east line of the northwest quarter to the center quarter-section corner; Thence S89°59'40"E, 333.01 feet along the north line of the west half of the northwest quarter of the southeast quarter of Section 15 to the center-west-west-east two-hundred fifty-sixth-section corner; Thence S00°10'31"W, 1319.06 feet along the east line of the west half of the northwest quarter of the southeast quarter of the southeast quarter of Section 15 to the south sixteenth-section corner on the east line of Section 15; Thence S00°30'00"W, 1319.35 feet along the east line of the south half of the southeast quarter of Section 15 to the northeast corner of Section 22; Thence S00°47'22"W, 1809.15 feet along the east line of the northeast quarter of Section 22; Thence N89°12'38"W, 190.41 feet; Thence 180.23 feet on a curve to the right, having a radius of 175.00 feet, a central angle of 59°00'25", a chord bearing of N59°42'26"W, and a chord length of 172.37 feet, to and along the boundary of Valor Golf Village Subdivision No. 5 (Book _____ of Plats at Pages _____ through _____, records of Ada County, Idaho);

Hence along the boundary of Valor Golf Village Subdivision No. 5:

Thence on a non-tangent line N30°51'38"W, 67.01 feet; Thence N44°13'37"W, 83.70 feet; Thence N68°19'46"W, 467.25 feet; Thence N72°06'48"W, 92.57 feet; Thence N84°48'23"W, 73.44 feet; Thence S86°05'15"W, 75.01 feet; Thence S68°12'28"W, 71.17 feet; Thence S48°20'35"W, 64.56 feet; Thence S64°32'20"W, 447.56 feet to and along the boundary of Valor Golf Village Subdivision No. 4 (Book _____ of Plats at Pages _____ through _____);

Hence along the boundary of Valor Golf Village Subdivision No. 4:

Thence S30°01'28"E, 29.16 feet; Thence S39°38'08"W, 37.57 feet; Thence 284.09 feet on a non-tangent curve to the left, having a radius of 727.19 feet, a central angle of 22°23'01", a chord bearing of N61°33'22"W, and a chord length of 282.29 feet; Thence N72°44'52"W, 126.08 feet to the boundary of Valor Golf Village Subdivision No. 1 (Book 127 of Plats at Pages 20609 through 20615, records of Ada County, Idaho);

Hence along the boundary of Valor Golf Village Subdivision No. 1:

Thence N17°15'08"E, 54.24 feet; Thence 65.75 feet on a non-tangent curve to the right, having a radius of 175.00 feet, a central angle of 21°31'36", a chord bearing of N00°27'47"E, and a chord length of 65.36 feet; Thence N11°13'36"E, 42.13 feet; Thence N38°17'57"E, 84.26 feet; Thence N65°36'07"E, 102.69 feet to the boundary of Valor Golf Village Subdivision No. 2 (Book 129 of Plats at Pages 21022 through 21027, records of Ada County, Idaho);

Hence along the boundary of Valor Golf Village Subdivision No. 2:

Thence continuing N65°36'07"E, 787.38 feet; Thence S62°55'44"E, 23.17 feet; Thence S66°44'19"E, 424.00 feet; Thence S76°12'04"E, 152.07 feet; Thence S66°44'19"E, 92.38 feet; Thence N18°49'04"E, 852.68 feet; Thence N71°10'56"W, 153.00 feet; Thence N59°06'42"W, 18.50 feet; Thence continuing N59°06'42"W, 28.56 feet; Thence N40°34'22"W, 50.84 feet; Thence N26°03'36"W, 403.04 feet; Thence N54°28'33"W, 783.03 feet; Thence N55°54'04"W, 75.00 feet; Thence S34°05'56"W, 240.96 feet; Thence 54.65 feet on a curve to the left, having a radius of 233.00 feet, a central angle of 13°26'22", a chord bearing of S27°22'45"W, and a chord length of 54.53 feet;

Thence on a non-tangent line S59°14'22"W, 34.92 feet; Thence N82°10'49"W, 5.53 feet; Thence S07°49'11"W, 60.00 feet; Thence S82°10'49"E, 8.60 feet; Thence S43°40'34"E, 34.86 feet; Thence 17.07 feet on a non-tangent curve to the left, having a radius of 230.00 feet, a central angle of 4°15'12", a chord bearing of S07°17'55"E, and a chord length of 17.07 feet; Thence on a non-tangent line S80°05'57"W, 64.32 feet; Thence S41°48'31"W, 115.00 feet; Thence S48°08'03"E, 447.00 feet; Thence S42°33'48"E, 27.15 feet; Thence S20°29'54"E, 26.70 feet; Thence S05°05'23"W, 39.67 feet; Thence S20°25'28"W, 188.68 feet to the boundary of Valor Golf Village Subdivision No. 2;

Hence along the boundary of Valor Golf Village Subdivision No. 2:

Thence continuing S20°25'28"W, 69.22 feet; Thence S68°59'10"W, 201.65 feet; Thence S42°09'23"W, 636.36 feet to the boundary of Valor Golf Village Subdivision No. 1;

Hence along the boundary of Valor Golf Village Subdivision No. 1:

Thence continuing S42°09'23"W, 55.98 feet; Thence N47°50'37"W, 19.10 feet; Thence N34°49'22"W, 130.00 feet; Thence N63°05'48"W, 41.32 feet; Thence N26°54'12"E, 222.63 feet to the boundary of Valor Golf Village Subdivision No. 3 (Book 129 of Plats at Pages 21247 through 21250, records of Ada County, Idaho);

Hence along the boundary of Valor Golf Village Subdivision No. 3:

Thence continuing N26°54'12"E, 409.76 feet; Thence N44°14'33"E, 106.74 feet; Thence N13°37'52"E, 100.70 feet; Thence N76°22'08"W, 111.98 feet; Thence S63°22'40"W, 51.96 feet; Thence S27°17'46"W, 18.16 feet; Thence N65°01'01"W, 260.21 feet; Thence S27°17'46"W, 509.10 feet to the boundary of Valor Golf Village Subdivision No. 1;

Hence along the boundary of Valor Golf Village Subdivision No. 1:

Thence continuing S27°17'46"W, 634.45 feet; Thence S64°54'30"E, 396.54 feet; Thence S89°48'26"E, 124.88 feet; Thence 36.96 feet on a non-tangent curve to the left, having a radius of 82.00 feet, a central angle of 25°49'21", a chord bearing of S15°07'25"E, and a chord length of 36.64 feet; Thence 125.27 feet on a reverse curve to the right, having a radius of 200.00 feet, a central angle of 35°53'15", a chord bearing of S10°05'28"E, and a chord length of 123.23 feet; Thence on a non-tangent line S84°27'42"W, 490.68 feet; Thence 268.64 feet on a curve to the right, having a radius of 160.00 feet, a central angle of 96°11'57", a chord bearing of N47°26'19"W, and a chord length of 238.18 feet; Thence on a non-tangent line N73°11'27"W, 152.74 feet; Thence S17°10'02"W, 70.35 feet; Thence 183.06 feet on a curve to the right, having a radius of 555.00 feet, a central angle of 18°53'53", a chord bearing of S26°36'59"W, and a chord length of 182.23 feet; Thence on a non-tangent line N53°10'16"W, 54.12 feet; Thence 0.20 feet on a non-tangent curve to the left, having a radius of 525.00 feet, a central angle of 0°01'17", a chord bearing of N36°49'05"E, and a chord length of 0.20 feet to the boundary of Robinhood Subdivision No. 1 (Book 124 of Plats at Pages 19818 through 19831, records of Ada County, Idaho);

Hence along the boundary of Robinhood Subdivision No. 1:

Thence on a non-tangent line N50°26'50"W, 72.94 feet; Thence N77°12'03"W, 186.00 feet; Thence N72°09'34"W, 62.24 feet; Thence N81°09'06"W, 130.91 feet; Thence N80°30'09"W, 62.00 feet; Thence N75°02'59"W, 60.91 feet; Thence N54°19'50"W, 51.13 feet; Thence N39°11'32"W, 50.25 feet; Thence N42°23'46"W, 50.05 feet; Thence S45°04'15"W, 120.00 feet; Thence 125.50 feet on a non-tangent curve to the left, having a radius of 373.50 feet, a central angle of 19°15'10", a chord bearing of N55°02'57"W, and a chord length of 124.92 feet; Thence on a non-tangent line N02°09'23"W, 105.97 feet; Thence N54°51'12"E, 43.75 feet; Thence N38°35'36"E, 77.78 feet; Thence N22°19'59"E, 77.78 feet; Thence N15°05'13"E, 80.58 feet; Thence N02°03'26"W, 62.00 feet; Thence N09°18'11"E, 26.16 feet; Thence S84°15'48"E, 37.81 feet; Thence N17°24'12"E, 63.31 feet; Thence N05°44'12"E, 124.00 feet; Thence N14°48'05"E, 46.13 feet; Thence N26°53'53"E, 99.48 feet; Thence N24°40'42"E, 50.29 feet; Thence N18°15'27"E, 50.00 feet; Thence N11°46'20"E, 50.35 feet; Thence N14°37'55"E, 62.14 feet; Thence N22°52'23"E, 124.36 feet; Thence N71°30'52"W, 97.04 feet; Thence N10°05'24"W, 48.53 feet; Thence N43°58'57"W, 117.87 feet; Thence S68°00'12"W, 133.72 feet; Thence S43°58'57"E, 119.64 feet; Thence 94.26 feet on a non-tangent curve to the left, having a radius of 56.00 feet, a central angle of 96°26'19", a chord bearing of S13°53'09"W, and a chord length of 83.52 feet; Thence 65.73 feet on a reverse curve to the right, having a radius of 100.00 feet, a central angle of 37°39'30", a chord bearing of S15°30'15"E, and a chord length of 64.55 feet; Thence S03°19'30"W, 28.98 feet; Thence N66°05'03"W, 95.61 feet; Thence S34°45'48"W, 68.47 feet; Thence S27°05'58"W, 152.70 feet; Thence S17°05'11"W, 58.67 feet; Thence S09°23'47"W, 106.17 feet; Thence N72°04'52"W, 21.37 feet; Thence S84°25'44"W, 73.72 feet; Thence S79°51'40"W, 67.05 feet; Thence S67°22'53"W, 78.51 feet; Thence S45°57'22"W, 79.20 feet; Thence S13°26'08"W, 79.20 feet; Thence S02°49'29"E, 79.20 feet; Thence S19°05'05"E, 79.20 feet;

Thence S35°20'42"E, 79.20 feet; Thence S50°32'11"E, 79.42 feet; Thence S60°29'17"E, 61.32 feet; Thence 56.49 feet on a non-tangent curve to the right, having a radius of 50.00 feet, a central angle of 64°43'56", a chord bearing of S39°01'31"W, and a chord length of 53.53 feet; Thence 69.03 feet on a reverse curve to the left, having a radius of 373.50 feet, a central angle of 10°35'23", a chord bearing of S66°05'47"W, and a chord length of 68.93 feet; Thence S60°48'05"W, 116.36 feet; Thence 66.95 feet on a curve to the right, having a radius of 201.50 feet, a central angle of 19°02'10", a chord bearing of S70°19'11"W, and a chord length of 66.64 feet; Thence on a non-tangent line N10°09'44"W, 120.00 feet; Thence N81°20'14"W, 52.60 feet to the boundary of Robinhood Subdivision No. 2 (Book 125 of Plats at Pages 19919 through 19926, records of Ada County, Idaho);

Hence along the boundary of Robinhood Subdivision No. 2:

Thence N43°41'14"W, 52.60 feet; Thence N08°36'49"W, 54.53 feet; Thence N01°41'08"W, 170.00 feet; Thence N10°19'47"W, 50.57 feet; Thence N22°02'23"W, 53.33 feet; Thence N18°26'47"W, 52.22 feet; Thence N15°29'35"W, 51.49 feet; Thence N06°02'31"E, 43.10 feet; Thence N30°17'23"E, 46.37 feet; Thence N56°04'34"E, 49.19 feet; Thence N66°51'58"E, 442.48 feet; Thence N18°16'43"E, 89.69 feet; Thence S4.81 feet on a non-tangent curve to the left, having a radius of 56.00 feet, a central angle of 56°04'34", a chord bearing of N09°45'34"W, and a chord length of 52.65 feet; Thence on a non-tangent line N60°39'42"E, 37.99 feet; Thence N15°05'07"E, 176.65 feet; Thence N21°59'48"W, 14.60 feet; Thence S68°00'12"W, 596.38 feet; Thence S84°05'51"W, 51.29 feet; Thence N7°48'01"W, 355.07 feet; Thence S11°08'36"E, 506.18 feet; Thence S08°49'29"E, 460.11 feet; Thence S24°40'27"E, 85.69 feet; Thence S35°04'13"E, 85.12 feet; Thence S49°58'04"E, 84.86 feet to the Boundary of Robinhood Subdivision No. 1;

Hence along the Boundary of Robinhood Subdivision No. 1:

Thence S73°23'45"E, 47.82 feet; Thence S00°36'05"E, 235.59 feet; Thence S89°39'10"W, 426.22 feet; Thence N70°31'05"W, 122.39 feet; Thence N00°42'27"E, 110.67 feet; Thence N55°00'22"W, 74.18 feet to the POINT OF BEGINNING.

The above-described parcel contains 334.33 acres, more or less.

It is the intention of the undersigned to hereby include the above described real property in this plat and to dedicate to the public, the public streets as shown on this plat. The private roads shown on this plat are not dedicated to the public. Any easements created by this plat are not dedicated to the public and are non-exclusive, however, the right to use said easements is hereby reserved for the uses specifically depicted on the plat, and for any other purposes specifically designated hereon, and no permanent structures, other than for such uses and purposes, are to be erected within the lines of said easements. All lots in this plat will be eligible to receive water service from the City of Kuna and City of Kuna has agreed in writing to serve all the lots in this subdivision.

M3 ID Valor Golf Villas, LLC, an Arizona limited liability company
By: M3 Builders, LLC, an Arizona limited liability company
Its: Manager
By: The M3 Companies, LLC, an Arizona limited liability company
Its: Member

M3 ID VGV I, LLC, an Arizona limited liability company
as owner of Lot 4, Block 1, upon recording.
By: M3 Builders, LLC, an Arizona limited liability company
Its: Manager
By: The M3 Companies, LLC, an Arizona limited liability company
Its: Member

Falcon Crest Club Partners, LLC, a Delaware limited liability company
as owner of Lots 1, 2, & 5, Block 1, upon recording.
By: FC Club Group, LLC, a Delaware limited liability company
Its: Managing Member

Falcon Crest, LLC, an Idaho limited liability company
as owner of Lot 3, Block 1, upon recording.
By: Terry Cook
Its: Manager

By: William I. Brownlee
Its: Manager

Acknowledgment

State of _____

County of _____

This record was acknowledged before me on

this _____ day of _____, 20____
by William I. Brownlee, as Manager of The M3 Companies, LLC, Member of M3 Builders, LLC, Manager of M3 ID Valor Golf Villas, LLC.

In witness whereof, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Signature of Notary Public

My Commission Expires: _____

By: William I. Brownlee
Its: Manager

Acknowledgment

State of _____

County of _____

This record was acknowledged before me on

this _____ day of _____, 20____
by William I. Brownlee, as Manager of The M3 Companies, LLC, Member of M3 Builders, LLC, Manager of M3 ID VGV I, LLC.

In witness whereof, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Signature of Notary Public

My Commission Expires: _____

By: Douglas Howe
Its: Vice President

Acknowledgment

State of _____

County of _____

This record was acknowledged before me on

this _____ day of _____, 20____
by Douglas Howe, as Vice President of FC Club Group, LLC, Managing Member of Falcon Crest Club Partners, LLC.

In witness whereof, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Signature of Notary Public

My Commission Expires: _____

Acknowledgment

State of _____

County of _____

This record was acknowledged before me on

this _____ day of _____, 20____
by Terry Cook, as Manager of Falcon Crest, LLC.

In witness whereof, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Signature of Notary Public

My Commission Expires: _____

Book

Page



IDAHO SURVEY GROUP, LLC

9939 W. EMERALD ST.
BOISE, IDAHO 83704
(208) 846-8570
WWW.IDAHOSURVEY.COM

Job No. 24-207
Sheet 9 of 10

From: [Troy Behunin](#)
To: [Ada County Engineer](#); [Ada County Highway District](#); [Adam Ingram](#); [Angel Robins \(Idaho Power\)](#); [Bobby Withrow](#); [Boise Kuna Irrigation District](#); [Boise Project Board of Control](#); [Boise Project Board of Control 2](#); [Brent Moore \(Ada County\)](#); [Brian Graves Kuna School District](#); [Camille Burt \(USPS\)](#); [Central District Health Department](#); [Chief Fratusco](#); [COMPASS](#); [David Reinhardt](#); [DEQ](#); [Eric Adolfsen](#); [Erika Olvera \(NMID\)](#); [Idaho Power Easements](#); [Idaho Power Easements 2](#); [Intermountain Gas](#); [ITD](#); [ITD Kendra Conder](#); [J&M Sanitation](#); [Jason Reddy](#); [Jonathon Gillen](#); [Justin Walker](#); [Krvstal Hinkle](#); [Leon Letson \(Ada County\)](#); [Marc Boyer \(Kuna Postmaster\)](#); [Megan Leatherman](#); [Meridian Fire \(Brandon Medica\)](#); [Meridian Fire \(Steve Taublee\)](#); [Nampa Meridian Irrigation District](#); [New York Irrigation](#); [Niki Benyakhlef ITD](#); [Paris Dickerson](#); [Public Works](#); [Robbie Reno](#); [Sam Feist](#); [Scott Arellano \(KRFD\)](#); [Sparklight/Cable One \(John Walburn\)](#); [Tim Jensen \(Kuna School District\)](#); [TJ Lawrence \(Interim KRFD Chief\)](#)
Cc: [Doug Hanson](#); [Marina Lundy](#); [Topacio Irish](#)
Subject: Valor Social Club Combo Plat Request for Comments
Date: Thursday, April 17, 2025 3:45:00 PM
Attachments: [image001.png](#)

Afternoon Greetings Everyone,

The City of Kuna requests official comments from your organization in relation to the services it provides and how this project impacts those services.

Please find the request for formal comments below for a new proposal in the City of Kuna

***To view submittal packet please click [BLUE](#) link below next to Case Number(s).**

Agency Transmittal – April 17, 2025

Notice is hereby given by the City of Kuna the following actions are under consideration:

CASE NUMBER:	25-02-CPF (Combined Preliminary & Final Plat) – Valor Social Club Subdivision .
PROJECT DESCRIPTION	Applicant requests Combined Preliminary & Final Plat approval in order to consolidate multiple remnant parcels and create a total of five (5) new lots on approx. 335 ac. within existing R-6 (Medium Density Residential) and R-12 (High Density Residential) zones; The site is in Section 15 & 22, Township 2 North, Range 1 East (See Application for Parcel numbers).
SITE LOCATION	Near the NEC of Cloverdale and Kuna Roads., Kuna, ID 83634.
REPRESENTATIVE	Caleb LaClair J-U-B Engineers, Inc. 2760 W Excursion Ln. Ste. 400 Meridian, ID, 83642 208.376.7330 claclair@jub.com
SCHEDULED HEARING DATE	Tuesday, May 27, 2025 , at 6:00 PM, Kuna City Hall Council Chambers, 751 W 4 th Street, Kuna, ID 83634
STAFF CONTACT	Troy Behunin Senior Planner TBehunin@kunaid.gov

Click the [BLUE](#) link next to the “CASE NUMBER(S)” box above – Either hover and <[CLICK](#)> or,

hold the Ctrl button and <**CLICK**>.

Please let our office know if you have any questions or need additional information.

Thanks.

Troy



751 W. 4th Street
P.O. Box 13
Kuna, ID 83634

Troy Behunin

Senior Planner

City of Kuna | Development Services

Phone: 208.387.7729

Email: TBehunin@KunaID.Gov

www.kunacity.id.gov

All e-mail messages sent to or received by City of Kuna e-mail accounts are subject to Idaho law, in regard to both release and retention, and may be released upon request, unless exempt from disclosure by law.

From: [Alicia Flavel](#)
To: [Troy Behunin](#); [Ada County Engineer](#); [Ada County Highway District](#); [Adam Ingram](#); [Angel Robins \(Idaho Power\)](#); [Bobby Withrow](#); [Boise Project Board of Control](#); [Boise Project Board of Control 2](#); bmoore@adacounty.id.gov; [Brian Graves Kuna School District](#); [Camille Burt \(USPS\)](#); [Central District Health Department](#); [Chief Fratusco](#); [COMPASS](#); [David Reinhardt](#); [DEQ](#); [Eric Adolfson](#); [Erika Olvera \(NMID\)](#); [Idaho Power Easements](#); [Idaho Power Easements 2](#); [Intermountain Gas](#); [ITD](#); [ITD Kendra Conder](#); [J&M Sanitation](#); [Jason Reddy](#); [Jonathon Gillen](#); [Justin Walker](#); [Krystal Hinkle](#); lletson@adacounty.id.gov; [Marc Boyer \(Kuna Postmaster\)](#); [Megan Leatherman](#); [Meridian Fire \(Brandon Medica\)](#); [Meridian Fire \(Steve Taublee\)](#); [Nampa Meridian Irrigation District](#); [New York Irrigation](#); [Niki Benyakhlef ITD](#); [Paris Dickerson](#); [PWoffice](#); [Robbie Reno](#); [Sam Feist](#); [Scott Arellano \(KRFD\)](#); [Sparklight/Cable One \(John Walburn\)](#); [Tim Jensen \(Kuna School District\)](#); [TLawrence Kuna Fire](#)
Cc: [Doug Hanson](#); [Marina Lundy](#); [Topacio Irish](#)
Subject: Re: Valor Social Club Combo Plat Request for Comments
Date: Friday, April 18, 2025 8:04:41 AM
Attachments: [image001.png](#)

There are no surface irrigation to this land it is on high ground.

Alicia Flavel
Secretary-Treasurer
Boise-Kuna Irrigation District
129 N. School Avenue
Kuna, Idaho 83634
Phone: 208-922-5608
Fax: 208-922-5659

From: Troy Behunin <tbehunin@kunaid.gov>
Sent: Thursday, April 17, 2025 3:45 PM
To: Ada County Engineer <agilman@adaweb.net>; Ada County Highway District <planningreview@achdidaho.org>; Adam Ingram <adam.ingram@cableone.biz>; Angel Robins (Idaho Power) <ARobins@idahopower.com>; Bobby Withrow <bwithrow@kunaid.gov>; Boise Kuna Irrigation District <aflavel.bkirrdist@gmail.com>; Boise Project Board of Control <tritthaler@boiseproject.org>; Boise Project Board of Control 2 <gashley@boiseproject.org>; bmoore@adacounty.id.gov <bmoore@adacounty.id.gov>; Brian Graves Kuna School District <bgraves@kunaschools.org>; Camille Burt (USPS) <camille.r.burt@usps.gov>; Central District Health Department <lbadigian@cdhd.idaho.gov>; Chief Fratusco <mfratusco@adacounty.id.gov>; COMPASS <gisshared@compassidaho.org>; David Reinhardt <reinhardt.david@westada.org>; DEQ <BRO.Admin@deq.idaho.gov>; Eric Adolfson <eadolfson@compassidaho.org>; Erika Olvera (NMID) <eolvera@nmid.org>; Idaho Power Easements <easements@idahopower.com>; Idaho Power Easements 2 <kfunke@idahopower.com>; Intermountain Gas <bryce.ostler@intgas.com>; ITD <D3Development.Services@itd.idaho.gov>; ITD Kendra Conder <Kendra.Conder@itd.idaho.gov>; J&M Sanitation <Chad.Gordon@jmsanitation.com>; Jason Reddy <jjreddy@kunaschools.org>; Jonathon Gillen <gillen.jonathon@westada.org>; Justin Walker <jwalker@kellerassociates.com>; Krystal Hinkle <khinkle@kunafire.com>; lletson@adacounty.id.gov <lletson@adacounty.id.gov>; Marc Boyer (Kuna Postmaster) <marc.c.boyer@usps.gov>; Megan Leatherman <mleatherman@adaweb.net>; Meridian Fire (Brandon Medica) <bmedica@meridiantcity.org>; Meridian Fire (Steve Taublee) <staulbee@meridiantcity.org>; Nampa Meridian Irrigation District <nmid@nmid.org>; New York Irrigation <terri@nyid.org>; Niki Benyakhlef ITD <Niki.Benyakhlef@itd.idaho.gov>; Paris Dickerson <PDickerson@idahopower.com>; PWoffice <PWoffice@kunaid.gov>; Robbie Reno <rreno@kunaschools.org>; Sam Feist <SFeist@kunaid.gov>; Scott Arellano (KRFD) <scott@fccnw.com>; Sparklight/Cable One (John Walburn) <john.walburn@cableone.biz>; Tim Jensen (Kuna School District) <tejensen@kunaschools.org>; TLawrence Kuna Fire <tlawrence@kunafire.com>

Cc: Doug Hanson <dhanson@kunaid.gov>; Marina Lundy <MLundy@kunaid.gov>; Topacio Irish <TIrish@kunaid.gov>

Subject: Valor Social Club Combo Plat Request for Comments

Afternoon Greetings Everyone,

The City of Kuna requests official comments from your organization in relation to the services it provides and how this project impacts those services.

Please find the request for formal comments below for a new proposal in the City of Kuna

***To view submittal packet please click [BLUE](#) link below next to Case Number(s).**

Agency Transmittal – April 17, 2025

Notice is hereby given by the City of Kuna the following actions are under consideration:

CASE NUMBER:	25-02-CPF (Combined Preliminary & Final Plat) – Valor Social Club Subdivision .
PROJECT DESCRIPTION	Applicant requests Combined Preliminary & Final Plat approval in order to consolidate multiple remnant parcels and create a total of five (5) new lots on approx. 335 ac. within existing R-6 (Medium Density Residential) and R-12 (High Density Residential) zones; The site is in Section 15 & 22, Township 2 North, Range 1 East (See Application for Parcel numbers).
SITE LOCATION	Near the NEC of Cloverdale and Kuna Roads., Kuna, ID 83634.
REPRESENTATIVE	Caleb LaClair J-U-B Engineers, Inc. 2760 W Excursion Ln. Ste. 400 Meridian, ID, 83642 208.376.7330 claclair@jub.com
SCHEDULED HEARING DATE	Tuesday, May 27, 2025 , at 6:00 PM, Kuna City Hall Council Chambers, 751 W 4 th Street, Kuna, ID 83634
STAFF CONTACT	Troy Behunin Senior Planner TBehunin@kunaid.gov

Click the [BLUE](#) link next to the “CASE NUMBER(S)” box above – Either hover and <CLICK> or, hold the Ctrl button and <CLICK>.

Please let our office know if you have any questions or need additional information.

Thanks.

Troy

| [Troy Behunin](#)

RICHARD MURGOITIO
CHAIRMAN OF THE BOARD

DAN SHEIRBON
VICE CHAIRMAN OF THE BOARD

ROBERT D. CARTER
PROJECT MANAGER

THOMAS RITTHALER
ASSISTANT PROJECT MANAGER

APRYL GARDNER
SECRETARY-TREASURER

MARY SUE CHASE
ASSISTANT SECRETARY-
TREASURER

BOISE PROJECT BOARD OF CONTROL

(FORMERLY BOISE U.S. RECLAMATION PROJECT)

2465 OVERLAND ROAD
BOISE, IDAHO 83705-3155

OPERATING AGENCY FOR 167,000
ACRES FOR THE FOLLOWING
IRRIGATION DISTRICTS

NAMPA-MERIDIAN DISTRICT
BOISE-KUNA DISTRICT
WILDER DISTRICT
NEW YORK DISTRICT
BIG BEND DISTRICT

TEL: (208) 344-1141
FAX: (208) 344-1437

24 April 2025

RECEIVED

APR 28 2025

CITY OF KUNA

City of Kuna
751 W. 4th Street
Kuna, Idaho 83634

RE: Falcon Crest Development
NE Corner of Cloverdale and Kuna Rd.
New York Irrigation District
Main Canal 1069+00
Sec. 22, T2N, R1E, BM.

Case # 25-02-CPF

NY-660-001-00, 660-002-00

Troy Behunin, Senior Planner:

The United States' New York Canal borders this property. The rights of way for this canal are held in the name of the United States through the Bureau of Reclamation under the authority of the Act of August 30, 1890. (26 Stat. 391; 43 U.S.C. 945)

The Boise Project Board of Control is contracted to operate and maintain the New York Canal. The normal limits of this easement are asserted 25 feet from the water edge to the south and 25 feet out and parallel to the lower toe of the canal embankment; however, any basement style houses, storm retention and/or detention ponds, catch basins and/or seepage beds planned on being constructed within this development must be a minimum of 125 feet from the lower toe to protect the integrity of the canal due to the underground reach from the storm facilities leaching and/or connecting to the underground reach of the New York Canal.

No excavation within the New York Canal's easement will be allowed as this will affect the integrity of the canal's embankment.

Whereas these easements are for the operation and maintenance of our facility, no activity should hinder our ability to do so. The Boise Project does not approve landscaping (gravel only) within its easements, as this will certainly increase our cost of maintenance. Easements must remain a flat drivable surface. No variances will be granted.

Fencing, gates, pathways and pressurized irrigation lines, as may be required, must be constructed just off the canal easement. No variances will be granted.

Per Idaho Statutes, Title 42, local irrigation/drainage ditches that cross this property, to serve neighboring properties, must remain unobstructed and protected by an appropriate easement by the landowner, developer and contractors.

If you have any further questions or comments regarding this matter, please do not hesitate to contact me at (208) 344-1141.

Sincerely,



Thomas Ritthaler
Assistant Project Manager, BPBC

tbr/tr

cc: Kevin Reeves
Terri Hasson
File

Watermaster, Div; 2 BPBC
Secretary – Treasurer, NYID



Ada County Transmittal
 Division of Community and Environmental Health

- Return to:
- ACZ
 - Boise
 - Eagle
 - Garden City
 - Meridian
 - Kuna
 - Star

Rezone/OTD # _____

Conditional/Accessory Use # _____

Preliminary / Final / Short Plat 25-02-CPF

Development Name/Section Valor Social Club CDH File # _____

- 1. We have No Objections to this Proposal.
- 2. We recommend Denial of this Proposal.
- 3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
- 4. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
 - high seasonal ground water waste flow characteristics
 - bedrock from original grade other _____
- 5. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
- 6. After written approvals from appropriate entities are submitted, we can approve this proposal for:
 - central sewage community sewage system community water well
 - interim sewage central water
 - individual sewage individual water
- 7. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
 - central sewage community sewage system community water
 - sewage dry lines central water
- 8. Infiltration beds for storm water disposal are considered shallow injection wells. If they are not in the City of Boise or ACHD right-of-way, an application and fee per well, vicinity map and construction plans must be submitted to CDH.
- 9. If restroom or plumbing facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
- 10. An accessory use application, fee, detailed site plan and floor plans must be submitted to CDH for review.
- 11. Land development application, fee per lot, test holes and full engineering report is required.
- 12. CDH makes no guarantee a septic permit will be issued on the split off lot. A speculative site evaluation is recommended.
- 13. We will require plans be submitted for a plan review for any:
 - food establishment swimming pools or spas child care center
 - beverage establishment grocery store
- 14. _____

Reviewed By: Row Boady Date: 4/21/25



April 21, 2025

Troy Behunin, Senior Planner
City of Kuna
751 W. 4th Street
Kuna, ID 83634
TBehunin@KunaID.Gov

Subject: Valor Social Club Combo Plat Request for Comments

Dear Mr. Behunin:

Thank you for the opportunity to respond to your request for comment. While DEQ does not review projects on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at: <https://www.deq.idaho.gov/public-information/assistance-and-resources/outreach-and-education/>.

The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:

1. AIR QUALITY

- Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), and open burning (58.01.01.600-617).
- IDAPA 58.01.01.614 sets out the rules for prescribed burning in Idaho. Please ensure all prescribed burning is done in compliance with the rules, and in compliance with the 2010 Operations Guide of the Montana/Idaho Airshed Group.

For questions, contact David Luft, Air Quality Manager, at 373-0550.

2. WASTEWATER AND RECYCLED WATER

- DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.16 and IDAPA 58.01.17 are the sections of Idaho rules regarding wastewater and recycled water. Please review these rules to determine whether this or future projects will require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the district health department.
- All projects for construction or modification of wastewater systems require preconstruction approval. Recycled water projects and subsurface disposal projects require separate permits as well.
- DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss the potential for development of a community treatment system along with best management practices for communities to protect ground water.
- DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for planning development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

3. DRINKING WATER

- DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.
- All projects for construction or modification of public drinking water systems require preconstruction approval.
- DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system (refer to the DEQ website at: <https://www.deq.idaho.gov/water-quality/drinking-water/>). For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.
- If any private wells are included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.
- DEQ recommends using an existing drinking water system whenever possible or construction of a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for protection of groundwater resources.
- DEQ recommends cities and counties develop and use a comprehensive land use management plan which addresses the present and future needs of this area for adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for further discussion and recommendations for planning development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

4. SURFACE WATER

- Please contact DEQ to determine whether this project will require an Idaho Pollutant Discharge Elimination System (IPDES) Permit. A Multi-Sector General Permit from DEQ may be required for facilities that have an allowable discharge of storm water or authorized non-storm water associated with the primary industrial activity and co-located industrial activity. For questions, contact James Craft, IPDES Compliance Supervisor, at (208) 373-0144.
- If this project is near a source of surface water, DEQ requests that projects incorporate the best construction management practices (BMPs) to assist in the protection of Idaho's water resources. Additionally, please contact DEQ to identify BMP alternatives and to determine whether this project is in an area with Total Maximum Daily Load stormwater permit conditions.
- The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call (208) 334-2190 for more information. Information is also available on the IDWR website at: <https://idwr.idaho.gov/streams/stream-channel-alteration-permits.html>
- The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.

For questions, contact Lance Holloway, Surface Water Manager, at (208) 373-0550.

5. SOLID WASTE, HAZARDOUS WASTE AND GROUND WATER CONTAMINATION

- **Solid Waste.** No trash or other solid waste shall be buried, burned, or otherwise disposed of at the project site. These disposal methods are regulated by various state regulations including Idaho's Solid Waste Management Regulations and Standards (IDAPA 58.01.06), Rules and Regulations for Hazardous Waste (IDAPA 58.01.05), and Rules and Regulations for the Prevention of Air Pollution (IDAPA 58.01.01). Inert and other approved materials are also defined in the Solid Waste Management Regulations and Standards
- **Hazardous Waste.** The types and number of requirements that must be complied with under the federal Resource Conservation and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.
- **Water Quality Standards.** Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA 58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.02.851 and 852). Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.02.851.01 and 04. Hazardous material released to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.

- **Ground Water Contamination.** DEQ requests that this project comply with Idaho’s Ground Water Quality Rules (IDAPA 58.01.11), which states that “No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water quality standard to be exceeded, injures a beneficial use of ground water, or is not in accordance with a permit, consent order or applicable best management practice, best available method or best practical method.”

For questions, contact Matthew Pabich, Waste & Remediation Manager, at (208) 373-0550.

6. ADDITIONAL NOTES

- If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, the site should be evaluated to determine whether the UST is regulated by DEQ. EPA regulates ASTs. UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at (208) 373-0550, or visit the DEQ website <https://www.deq.idaho.gov/waste-management-and-remediation/storage-tanks/leaking-underground-storage-tanks-in-idaho/> for assistance.
- If applicable to this project, DEQ recommends that BMPs be implemented for any of the following conditions: wash water from cleaning vehicles, fertilizers and pesticides, animal facilities, composted waste, and ponds. Please contact DEQ for more information on any of these conditions.

We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any of our technical staff at (208) 373-0550.

Sincerely,

A handwritten signature in blue ink that reads "Troy G. Smith". The signature is stylized with a large, sweeping initial "T" and "S".

Troy Smith
Regional Administrator

From: [Kendra Conder](#)
To: [Troy Behunin](#)
Subject: RE: Valor Social Club Combo Plat Request for Comments
Date: Monday, April 21, 2025 11:46:23 AM
Attachments: [image002.png](#)
[image003.png](#)

Hi Troy,

ITD has reviewed the application transmittal for Valor Social Club. The Department does not have any comments or concerns due to the distance from the State Highway System.

Thank you!

Kendra Conder

District 3 | Development Services Coordinator
Idaho Transportation Department
Office: 208-334-8377
Cell: 208-972-3190



From: Troy Behunin <tbehunin@kunaid.gov>
Sent: Thursday, April 17, 2025 3:46 PM
To: Ada County Engineer <agilman@adaweb.net>; Ada County Highway District <planningreview@achdidaho.org>; Adam Ingram <adam.ingram@cableone.biz>; Angel Robins (Idaho Power) <ARobins@idahopower.com>; Bobby Withrow <bwithrow@kunaid.gov>; Boise Kuna Irrigation District <aflavel.bkirrdist@gmail.com>; Boise Project Board of Control <tritthaler@boiseproject.org>; Boise Project Board of Control 2 <gashley@boiseproject.org>; bmoore@adacounty.id.gov; Brian Graves Kuna School District <bgraves@kunaschools.org>; Camille Burt (USPS) <camille.r.burt@usps.gov>; Central District Health Department <lbadigian@cdhd.idaho.gov>; Chief Fratusco <mfratusco@adacounty.id.gov>; COMPASS <gissshared@compassidaho.org>; David Reinhardt <reinhardt.david@westada.org>; DEQ <BRO.Admin@deq.idaho.gov>; Eric Adolfson <eadolfson@compassidaho.org>; Erika Olvera (NMID) <eolvera@nmid.org>; Idaho Power Easements <easements@idahopower.com>; Idaho Power Easements 2 <kfunke@idahopower.com>; Intermountain Gas <bryce.ostler@intgas.com>; D3 Development Services <D3Development.Services@itd.idaho.gov>; Kendra Conder <Kendra.Conder@itd.idaho.gov>; J&M Sanitation <Chad.Gordon@jmsanitation.com>; Jason Reddy <jjreddy@kunaschools.org>; Jonathon Gillen <gillen.jonathon@westada.org>; Justin Walker <jwalker@kellerassociates.com>; Krystal Hinkle <khinkle@kunafire.com>; lletson@adacounty.id.gov; Marc Boyer (Kuna Postmaster) <marc.c.boyer@usps.gov>; Megan Leatherman <mleatherman@adaweb.net>; Meridian Fire (Brandon Medica) <bmedica@meridianscity.org>; Meridian Fire (Steve Taublee) <staulbee@meridianscity.org>; Nampa Meridian Irrigation District <nmid@nmid.org>; New York Irrigation <terri@nyid.org>; Niki Benyakhlef <Niki.Benyakhlef@itd.idaho.gov>; Paris Dickerson <PDickerson@idahopower.com>; PWOoffice <PWOoffice@kunaid.gov>; Robbie Reno <rreno@kunaschools.org>; Sam Feist <SFeist@kunaid.gov>; Scott Arellano (KRFD) <scott@fccnw.com>; Sparklight/Cable One (John Walburn) <john.walburn@cableone.biz>; Tim Jensen (Kuna School District) <tejensen@kunaschools.org>; TLawrence Kuna Fire <tlawrence@kunafire.com>
Cc: Doug Hanson <dhanson@kunaid.gov>; Marina Lundy <MLundy@kunaid.gov>; Topacio Irish

<Tlrish@kunaid.gov>

Subject: Valor Social Club Combo Plat Request for Comments

CAUTION: This email originated outside the State of Idaho network. Verifv links and attachments BEFORE you click or open, even if you recognize and/or trust the sender. Contact your agency service desk with any concerns.

Afternoon Greetings Everyone,

The City of Kuna requests official comments from your organization in relation to the services it provides and how this project impacts those services.

Please find the request for formal comments below for a new proposal in the City of Kuna

***To view submittal packet please click [BLUE](#) link below next to Case Number(s).**

Agency Transmittal – April 17, 2025

Notice is hereby given by the City of Kuna the following actions are under consideration:

CASE NUMBER:	25-02-CPF (Combined Preliminary & Final Plat) – Valor Social Club Subdivision .
PROJECT DESCRIPTION	Applicant requests Combined Preliminary & Final Plat approval in order to consolidate multiple remnant parcels and create a total of five (5) new lots on approx. 335 ac. within existing R-6 (Medium Density Residential) and R-12 (High Density Residential) zones; The site is in Section 15 & 22, Township 2 North, Range 1 East (See Application for Parcel numbers).
SITE LOCATION	Near the NEC of Cloverdale and Kuna Roads., Kuna, ID 83634.
REPRESENTATIVE	Caleb LaClair J-U-B Engineers, Inc. 2760 W Excursion Ln. Ste. 400 Meridian, ID, 83642 208.376.7330 claclair@jub.com
SCHEDULED HEARING DATE	Tuesday, May 27, 2025 , at 6:00 PM, Kuna City Hall Council Chambers, 751 W 4 th Street, Kuna, ID 83634
STAFF CONTACT	Troy Behunin Senior Planner TBehunin@kunaid.gov

Click the [BLUE](#) link next to the “CASE NUMBER(S)” box above – Either hover and <CLICK> or, hold the Ctrl button and <CLICK>.

Please let our office know if you have any questions or need additional information.

Thanks.



Kuna School District

Empowering students to lead productive lives.

Date: 5/7/25

RE: Valor Social Club Subdivision

Dear Kuna P&Z Commissioners and Council Members,

Kuna School District has reviewed application 25-02-CPF for Valor Social Club Subdivision and has no objection to the proposed plat changes as it relates to the adjustment of property lines for existing parcels.

Regards,

Jason Reddy and Tim Jensen
School District Planning Team

Kim Bekkedahl,
Superintendent

Brian Graves,
Asst. Superintendent

Jason Reddy,
Asst. Superintendent

Allison Westfall,
Communications Director

Brad Steadman,
Chief Financial Officer

Kelly Schamber,
Special Education Director

Kevin Gifford,
Curriculum, Instruction &
Assessment Director

CASE NO. 25-07-DR

JIMMY JOHN'S, 25-07-DR

Planner: Marina Lundy, MLundy@kunaid.gov, (986)269-8341

ALL APPLICATION MATERIALS: 25-07-DR
JIMMY JOHNS

If you require assistance accessing the application materials through the link provided above or would like to review the application materials in person at City Hall please contact the assigned planner.



**CITY OF KUNA:
P&Z COMMISSION
STAFF MEMO**

City of Kuna Council Staff Memo

Entitlements Requested:	Final Plat	Rezone	Annexation	Special Use	Planned Unit Development	Design Review	Time Extension
Title:	Jimmy John's		Application Number:		25-07-DR		
Date:	5/27/2025		Staff Contact:		Marina Lundy		
Owner(s)/Applicant:	Trevor Howard		Applicant Contact:		Trevor@timberlandassociates.org		
Representative:	Same as above		Representative Contact:		Same as above		

Purpose
 Applicant requests Design Review approval for design of a new Jimmy John's Restaurant. The site is .56 acres and is located near the intersection of Meridian Rd and Profile Rd and is identified as parcel No. R0539830060 (SEC 19, T2N, R1E).

Statement of Fact	
Parcel Number(s):	R0539830060
Future Land Use Map Designation:	Commercial
Existing Land Use:	Vacant lot
Current Zoning:	C-1
Proposed Zoning:	C-1
Development Area:	.56 Acres
Adjacent Zoning Districts:	North: C-1 East: R-6 South: A West: C-1
Adjacent Street(s) Existing & Proposed:	North: None East: N Jacksonmill Ave South: None West: N Meridian Rd
Internal Street(s) Existing & Proposed:	N/A
Adjacent Bike/Pedestrian Facilities:	None
Adjacent Parks:	None
Land Dedication Requirements:	N/A

Comprehensive Plan and Future Land Use Map Analysis
 The Comprehensive Plan identifies the subject property as Commercial, the existing zone is a C-1 (neighborhood commercial district) City of Kuna Zone. The proposed zoning and land use for the subject site agrees with the Future Land Use Map (FLUM) of the City of Kuna.

Staff Analysis

The applicant is submitting a request to construct an 876 square foot Jimmy John's restaurant with a drive through in Lot 3 Block 1 of Ashton Acres Subdivision. The site will have fifteen parking stalls, including one ADA-accessible, and two mobile pickup stalls. Access to the site will be from N. Jacksonmill Ave. and from connection to Lot 2 Block 1 (Del Taco) and Lot 4 Block 1 (NAPA Auto Parts).

The location of the Columnar Colorado Blue Spruce meant to replace an existing tree that conflicts with planned pedestrian facilities is not identified on the landscape plan. Staff also recommends the addition of more shade trees to the landscape in order to reduce the heat island effect and to maintain a cohesive landscape design in the entry corridor.

The trash enclosure will need to have two full gates without a center post in order to comply with J&M Sanitation standards and to allow enough access for their trucks to service the containers.

Upon staff review, the proposed application meets the requirements and intent of Kuna City Code with adherence to the proposed conditions and Comprehensive Plan. Staff recommend the Commission approve the application with the conditions outlined in staff's report.

Recommended Conditions of Approval

1. Developer/Owner/Applicant shall work with Ada County Highway District and the City of Kuna to complete all required traffic improvements to provide public access to the site as this project will have internal private streets, as detailed in the Ada County Highway District staff report.
2. Developer/Owner/Applicant shall measure all front building setbacks from back of sidewalk on all internal local roads.
3. Applicant shall ensure the proper easement widths on all lots in accordance with KCC 5-9-308.
4. It is the responsibility of the Developer to ensure any anticipated buildings fit any given buildable lot.
5. Fencing within and around the site shall comply with KCC 5-8-1005 (unless specifically approved otherwise and permitted).
6. All required landscaping shall be permanently maintained in a healthy condition. The property Owner shall remove and replace unhealthy or dead plant material within 3 days or as the planting season permits as required to meet the standards of these requirements. Maintenance and planting in public Rights-of-Way shall be with approval from ACHD.
7. Landscaping shall not be placed within ten (10) feet of any meter pits, pressurized irrigation valves and/or ACHD underground facilities and must honor all vision triangles.
8. All signage within/for the project shall comply with Kuna City Code and shall be approved through the applicable sign approval process listed in KCC 5-8-1704 through 1706.

10. Developer/Owner/Applicant is hereby notified this project is subject to Design Review inspections and fees. Required inspections (post construction), are to verify building and landscaping compliance prior to requesting signature on the final plat.
11. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground, see KCC 5-9-402-B-22.
12. Connection to City Services (Sewer and Water) is required. The Applicant shall conform to all corresponding City of Kuna Master Plans.
13. Developer/Owner/Applicant shall work with staff in order to provide final locations of streetlights as required by Kuna City Code. Streetlights for the site shall be LED lighting and must comply with Kuna City Code and established Dark Sky practices.
14. The Developer/Owner/Applicant, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the City Council, or seek amending them through Public Hearing processes.
15. Developer/Owner/Applicant/Contractors are hereby notified of Kuna's working hours. Construction of any kind shall only be conducted within hours specified in KCC 10-6-3. Noises and other public nuisances/distractions outside of this time frame are subject to lawful penalties
16. Developer/Owner/Applicant is hereby notified of Kuna's weed control policies and requirements KCC 8-1-3. Weeds, grasses, vines or other growth which endanger property or are over 12 inches in height shall be continuously cut down, weeded out, sprayed, burned, removed or destroyed throughout all seasons.
17. Developer/Owner/Applicant is conditioned to submit a trash enclosure and plan that complies with J&M Sanitation and Kuna City Code standards.

Project Narrative: Jimmy John's Restaurant – 1025 N Jacksonmill Ave, Kuna Idaho

This project involves the conversion of the currently vacant Lot 3 within the Ashville Acres Subdivision, located at 1025 N Jacksonmill Ave, into a fully functional Jimmy John's restaurant. The 0.55-acre site is situated between the newly constructed NAPA Auto Parts and Del Taco.

The anticipated completion date for this project is early fall 2025. Upon opening, a crew of approximately eight employees will operate seven days a week from 10:30 AM to 9:00 PM, serving "freaky fast, delicious sandwiches." A total of 16 employees are expected to be hired for restaurant operations.

The restaurant building will have a footprint of 876 square feet and a seating capacity of 18 customers. The facility will also include a drive-through.

The site will provide 15 parking spaces, including two spaces designated for mobile order pickup and one ADA-accessible space. Planned site improvements include signage, outdoor lighting, paved parking areas, landscaping, and the drive-through lane.

The proposed landscaping will incorporate a mix of shrubs—Compact Oregon Grape, Crimson Pygmy Barberry, and Black Knight Butterfly Bush—with rock mulch. All existing shade and evergreen trees planted as part of the Ashville Acres Subdivision landscaping will be preserved, with the exception of one tree that conflicts with planned pedestrian facilities. A Columnar Colorado Blue Spruce will be planted as a replacement for the removed tree.

VICINITY MAP

JIMMY JOHNS
1025 N JACKSONMILL AVE



Cafe Rio Fresh Modern Mexican
McDonald's

Panda Express

Del Taco

Project Location
1025 N Jacksonmill Ave

at Rd

S MERIDIAN ROAD

69

E Deer Flat Rd

Meadow View Rd

St

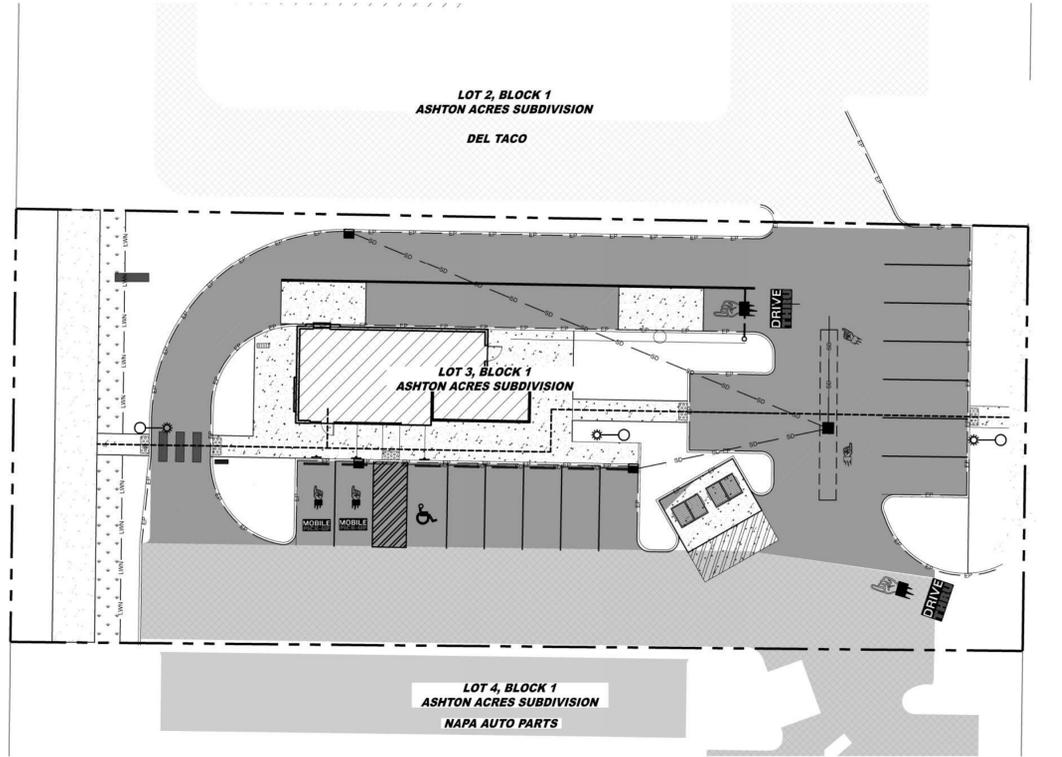


PROJECT GENERAL NOTES

- THE CONTOURS AND BENCHMARK ELEVATIONS ARE BASED ON THE NAVD 88 VERTICAL DATUM.
- THE PROJECT BENCHMARKS SHALL BE ESTABLISHED THROUGHOUT THE SITE BY THE SURVEYOR AND WILL BE PROVIDED TO THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL PROTECT ALL SURVEY MONUMENTS AND BENCHMARKS FROM DISTURBANCE THROUGHOUT CONSTRUCTION. DAMAGED BENCHMARKS WILL BE REPLACED BY THE PROJECT SURVEYOR AT THE CONTRACTOR'S EXPENSE IN ACCORDANCE WITH IC 50-1303.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE SAFETY REQUIREMENTS OF ANY JURISDICTIONAL BODY. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND TRAFFIC CONTROL WITHIN AND AROUND THE CONSTRUCTION AREA.
- ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE APPROVED PLANS, SPECIFICATIONS, SOILS REPORT, AND APPENDIX CHAPTER 33 OF THE INTERNATIONAL BUILDING CODE.
- WHERE NOTED, EXISTING TEST PITS/MONITORING WELLS SHALL BE RETAINED AND PROTECTED DURING CONSTRUCTION.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND/OR REQUIREMENTS OF THE CITY OF KUNA, ADA COUNTY HIGHWAY DISTRICT, AND THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY.
- A PRE CONSTRUCTION CONFERENCE SHALL BE HELD A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO START OF WORK. ALL CONTRACTORS, SUBCONTRACTORS, AND/OR UTILITY CONTRACTORS SHALL BE PRESENT.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL THE PROPOSED DRAINAGE IMPROVEMENTS ARE IN PLACE AND FUNCTIONING. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE ROUGH GRADING PLAN.
- ALL CONTRACTORS WORKING WITHIN THE PROJECT BOUNDARIES ARE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE SAFETY LAWS OF ANY JURISDICTIONAL BODY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND CONTROL OF TRAFFIC WITHIN AND AROUND THE CONSTRUCTION AREA.
- WORK SUBJECT TO APPROVAL BY ANY POLITICAL SUBDIVISION OR AGENCY MUST BE APPROVED PRIOR TO (A) BACKFILLING TRENCHES FOR PIPE (B) PLACING OF AGGREGATE BASE (C) PLACING OF CONCRETE (D) PLACING OF ASPHALT PAVING. WORK DONE WITHOUT SUCH APPROVAL SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PERFORMING THE WORK IN AN ACCEPTABLE MANNER.
- ALL CONTRACTORS WORKING WITHIN EXISTING PUBLIC ROAD RIGHT-OF-WAY ARE REQUIRED TO SECURE A RIGHT-OF-WAY CONSTRUCTION PERMIT FROM ADA COUNTY HIGHWAY DISTRICT AT LEAST TWENTY-FOUR (24) HOURS PRIOR TO ANY CONSTRUCTION.
- THE CONTRACTOR SHALL CONSTRUCT ALL IMPROVEMENTS IN ACCORDANCE WITH THE PLANS STAMPED "APPROVED FOR CONSTRUCTION" BY THE VARIOUS GOVERNING AGENCIES. THESE PLANS WILL BE PROVIDED TO THE CONTRACTOR BY THE ENGINEER PRIOR TO CONSTRUCTION. WORK SHALL NOT BE DONE WITHOUT THE CURRENT SET OF APPROVED PLANS.
- ALL LOT LINE AND EASEMENT INFORMATION SHALL BE TAKEN FROM ASHVILLE ACRES FARM SUBDIVISION NO. 6 PLAT.
- THE CONTRACTOR SHALL LIMIT CONSTRUCTION ACCESS TO THE OWNER APPROVED ACCESS POINTS.
- IF THE CONTRACTOR HAS ANY QUESTIONS CONCERNING THE PROJECT SPECIFICATIONS, HE/SHE SHALL CONTACT THE ENGINEER FOR DIRECTION. WHEN DISCREPANCIES OCCUR BETWEEN THE PLANS AND SPECIFICATIONS THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER. UNTIMELY NOTIFICATIONS MAY NEGATE ANY CONTRACTORS CLAIM FOR ADDITIONAL COMPENSATION.
- ALL COSTS INCURRED IN CORRECTING DEFICIENT WORK SHALL BE CHARGED TO THE CONTRACTOR. FAILURE TO CORRECT SUCH WORK WILL BE CAUSE FOR A STOP WORK ORDER AND POSSIBLE TERMINATION.
- ABANDONED BUILDINGS, TEST PITS OR WATERWAYS LOCATED WITHIN CURRENT OR FUTURE RIGHT-OF-WAY SHALL BE RE-EXCAVATED TO NATIVE SOIL AND BACKFILLED WITH STRUCTURAL FILL PER ISPCW SPECIFICATIONS. PROVIDE SOILS DATA TO VERIFY MATERIAL MEETS THE REQUIREMENTS FOR ENGINEERED FILL PER ISPCW SPECIFICATIONS AND COPY OF THE COMPACTION TESTS.
- SUBGRADE SHALL BE INSPECTED BY THE ENGINEER RESPONSIBLE FOR THE GEOTECHNICAL ASPECTS OF THE PROJECT.
- FINAL GRADING SHALL BE INSPECTED BY THE PROJECT ENGINEER.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW) AND THE PROJECT STANDARDS AND SPECIFICATIONS. NO EXCEPTIONS WILL BE ALLOWED UNLESS SPECIFICALLY AND PREVIOUSLY APPROVED IN WRITING BY ALL APPROPRIATE ENTITIES.
- ONLY PLAN SETS STAMPED "APPROVED FOR CONSTRUCTION" AND SIGNED BY AN AUTHORIZED REPRESENTATIVE OF THE CONTROLLING GOVERNMENTAL AGENCY SHALL BE USED BY THE PROJECT CONTRACTOR(S).
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL COMPLY WITH IDAHO CODE REGARDING UNDERGROUND FACILITIES DAMAGE PREVENTION. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED AS A RESULT OF FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. THE CONTRACTOR SHALL CONTACT DIGLINE (342-1585) FOR UTILITY LOCATIONS A MINIMUM OF 48 HOURS PRIOR TO DIGGING.
- ALL NATURAL SLOPES SHALL BE A MAXIMUM OF 2:1, UNLESS OTHERWISE STATED ON THIS PLAN. ASPHALT MINIMUM GRADE IS 1%. CONCRETE MINIMUM GRADE IS 0.4%. FINISH GRADE SHALL SLOPE AWAY FROM ALL BUILDINGS.
- REMOVE AND DISPOSE OFF-SITE AT AN APPROVED LOCATION ANY AND ALL EXCESS MATERIALS.
- SURVEY MONUMENTS SHALL BE PRESERVED, SET, AND/OR RESTORED IN ACCORDANCE WITH IC 50-1303.

JIMMY JOHN'S

1025 N. JACKSONMILL AVE.
LOT 3, BLOCK 1 OF ASHVILLE ACRES SUBDIVISION,
KUNA, IDAHO
FOR AGENCY APPROVAL
APRIL 2025



DEMOLITION NOTES

- COORDINATE GRAVITY IRRIGATION DITCH AND PIPE REMOVAL WITH DEVELOPER PRIOR TO COMMENCING CONSTRUCTION.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND/OR REQUIREMENTS OF THE CITY OF KUNA, ADA COUNTY HIGHWAY DISTRICT, THE LATEST EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), AND THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY. NO EXCEPTIONS WILL BE ALLOWED UNLESS SPECIFICALLY AND PREVIOUSLY APPROVED IN WRITING BY ALL APPROPRIATE ENTITIES.
- THE LOCATION OF EXISTING UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL COMPLY WITH IDAHO CODE, CHAPTER 22, TITLE 55 REGARDING UNDERGROUND FACILITIES DAMAGE PREVENTION. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES OR DIGLINE (1-800-342-1585) FOR EXACT LOCATION A MINIMUM OF 48 HOURS PRIOR TO DIGGING.
- UTILITIES ON THIS PLAN ARE BASED UPON A FIELD SURVEY BY TIMBERLINE SURVEYING, AND TIMBERLAND ASSOCIATES, RECORD DRAWINGS, AND FACILITY MAPS. TIMBERLAND ASSOCIATES MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, TIMBERLAND ASSOCIATES DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED AND HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PRESERVE AND PROTECT EXISTING FACILITIES NOT SCHEDULED FOR REMOVAL AND COORDINATE WITH THE PROJECT ENGINEER IF UNEXPECTED FACILITIES ARE ENCOUNTERED.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING DEMOLITION WITH THE APPROPRIATE PHASE OF CONSTRUCTION.
- ALL DEMOLISHED DEBRIS MUST BE COMPLETELY REMOVED FROM THE SITE. REMOVAL OF EXISTING CONSTRUCTION DEBRIS MUST CONTINUE TO EXPOSE NATIVE UNDISTURBED GRANULAR SOILS. SUITABLE NATIVE SOILS INCLUDE GW, GP, GM, SW, SP, SM IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM (USCS). CONTRACTOR SHALL COMPLY WITH ALL RECOMMENDED CONSTRUCTION CONSIDERATIONS, AS CONTAINED IN THE PROJECT GEOTECHNICAL REPORT.
- AFTER REMOVAL OF ALL DEBRIS, THE EXPOSED, EXCAVATED AREA SHALL BE INSPECTED BY THE ENGINEER TO VERIFY SUITABILITY OF SUBGRADE FOR PLACEMENT OF STRUCTURAL FILL. THE EXPOSED SUBGRADE MUST BE IN A COMPACT, FIRM, AND STABLE CONDITION PRIOR TO FILL PLACEMENT. THIS WILL BE CONFIRMED BY PROOF-ROLLING THE SUBGRADE IN A MANNER ACCEPTABLE TO THE ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEMOLISHED MATERIALS AT AN APPROVED OFF-SITE LOCATION. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THESE MATERIALS AFTER REMOVAL FROM THE SITE.
- CONTRACTOR IS RESPONSIBLE FOR SECURING AND PAYING FOR ALL PERMITS REQUIRED BY ANY POLITICAL SUBDIVISION OR AGENCY.
- CONTRACTOR SHALL BE REQUIRED TO PROVIDE A WATER TRUCK, AS NECESSARY, FOR DUST ABATEMENT DURING DEMOLITION AND REMOVAL OPERATIONS.
- CONTRACTOR SHALL CONDUCT CONSTRUCTION OPERATIONS TO PREVENT ANY SOIL OR OBJECTIONABLE MATERIAL RUNOFF FROM LEAVING THE SITE, OR ENTERING THE PUBLIC RIGHTS-OF-WAY.
- CONTRACTOR SHALL REMOVE ORGANIC OR DISTURBED SOILS WITHIN CLEARING LIMITS SHOWN ON THE CONSTRUCTION PLANS, AND WASTED OR STOCKPILED FOR LATER USE. ADDITIONAL DEPTHS MAY BE NECESSARY TO OBTAIN SUITABLE SUBGRADE MATERIALS AS DETERMINED BY THE ENGINEER.
- CONTRACTOR SHALL CLEAR AND GRUB ALL EXISTING UNSUITABLE TOPSOIL AND VEGETATION WHERE STRUCTURAL FILL IS TO BE PLACED. CONTRACTOR SHALL STOCKPILE MATERIAL IN DESIGNATED ON-SITE SPILL PILE LOCATION FOR LANDSCAPING. MATERIAL IN EXCESS OF THE LANDSCAPING NEEDS SHALL BE DISPOSED OF IN AN APPROVED OFF-SITE LOCATION.
- ITEMS SHOWN ON SHEET C0.4 REPRESENT THE EXISTING CONDITIONS OF THE SITE PRIOR TO CONSTRUCTION.
- OVER-EXCAVATION, IN AREAS WHERE EXISTING GRAVITY IRRIGATION IS PROPOSED TO BE TILED AND/OR REMOVED, IS ANTICIPATED IN ORDER TO REMOVE SOFT SUBGRADE SOILS. THE CONTRACTOR SHALL COMPLY WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEERING REPORT FOR DITCH EXCAVATIONS AND SHALL HAVE ALL EXCAVATED DITCH SUBGRADES INSPECTED BY A TESTING COMPANY OR THE GEOTECHNICAL ENGINEER, PRIOR TO PLACEMENT OF PIPE AND/OR BACKFILL OF THE DITCHES.

GRADING NOTES

- ALL EARTHWORK INCLUDING CLEARING, GRUBBING, EXCAVATION, EMBANKMENT, BACKFILL, DEWATERING, AND EROSION CONTROL SHALL MEET THE SPECIFICATIONS OF SECTION 200 OF THE IDAHO AS WELL AS THE SPECIFICATIONS AND RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEERING REPORT.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL TEMPORARY AND/OR PERMANENT DRAINAGE IMPROVEMENTS ARE IN PLACE AND FUNCTIONING.
- IF REQUIRED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A SHORT TERM ACTIVITY EXEMPTION PERMIT FROM THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY (IDEQ). CONTACT CRAIG SHEPHERD AT THE SOUTHWEST REGIONAL IDEQ OFFICE (373-0557). THE CONTRACTOR SHALL SUBMIT TO IDEQ A DEWATERING PLAN WHICH OUTLINES THE LOCATION OF PROPOSED BMPs AND THE SEQUENCING OF THE DEWATERING ACTIVITIES. ALL CONSTRUCTION WATER GENERATED FROM EXCAVATION SHALL BE FREE OF SEDIMENT AND DEBRIS BEFORE IT LEAVES THE SITE.
- PRIOR TO PLACEMENT OF FILL MATERIAL, THE CONTRACTOR SHALL CLEAR THE SITE OF ALL WASTE MATERIALS AND VEGETATION AND PREPARE THE SUBGRADE AS RECOMMENDED IN THE PROJECT GEOTECHNICAL REPORT. ALL WASTE MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. THE SITE SHALL BE PROOF-ROLLED PRIOR TO PLACEMENT OF FILL MATERIAL TO ENSURE STABILITY OF SUBGRADE. A PROJECT ENGINEER REPRESENTATIVE SHALL REMAIN ON-SITE TO ENSURE PROPER PLACEMENT AND COMPACTION OF STRUCTURAL FILL.
- NO WORK SHALL BE DONE WITHIN JURISDICTIONAL WETLAND AREAS UNTIL A 404 PERMIT HAS BEEN ISSUED BY THE US ARMY CORPS OF ENGINEERS. ALL WORK WITHIN WETLAND AREAS SHALL ADHERE TO THE REQUIREMENTS OF THE 404 PERMIT.
- STRIP AND STOCKPILE TOPSOIL AND DISPOSE OF DEBRIS OFF-SITE. THE DEPTH OF STRIPPING COULD VARY IN THE FIELD DEPENDING ON THE DEPTH OF THE ROOT ZONE, SOIL COMPOSITION INCLUDING SOIL TYPE, MOISTURE CONTENT, AND STABILITY, AND THE WEATHER CONDITIONS DURING CONSTRUCTION. STRIPPING DEPTHS SHALL BE DIRECTED BY THE ON-SITE GEOTECHNICAL CONSULTANT. LOCATION OF STOCKPILED MATERIAL SHALL BE COORDINATED WITH THE OWNER AND ENGINEER PRIOR TO PLACEMENT.
- TESTING SHALL BE PERFORMED PER THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL REPORT AND ISPCW. FILL MATERIAL WITHIN THE LOT AREA SHALL BE COMPACTED TO 95% MODIFIED PROCTOR PER THE REQUIREMENTS OF ASTM D1557. TESTING FREQUENCY SHALL ALLOW FOR A MINIMUM OF ONE COMPACTION TEST PER LIFT PER LOT. THE COMPACTION TESTS ON THE FINAL LIFT FOR EACH LOT SHALL BE SUPPLIED TO THE PROJECT ENGINEER AT THE COMPLETION OF THE PROJECT.
- THE SUBGRADE WITHIN THE ROAD RIGHT-OF-WAYS SHALL BE STRIPPED, COMPACTED, INSPECTED, AND PROOF-ROLLED WITH A HEAVY RUBBER-TIRED FULL LOADED TANDEM AXLE OR EQUIVALENT PRIOR TO PLACEMENT OF FILL. FILL WITHIN THE ROADWAY AREAS SHALL BE COMPACTED TO NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY OF THE SOIL AS INDICATED BY ASTM D698 IN FLEXIBLE PAVEMENT AREAS.
- STRUCTURAL FILL IS DEFINED BY THE GEOTECHNICAL CONSULTANT. SEE THE PROJECT GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DETERMINE WHICH TREES WITHIN THE PROJECT LIMITS ARE TO REMAIN AND WHICH ARE TO BE REMOVED.
- TOPSOIL AND OTHER STOCKPILE AREAS TO BE COORDINATED BETWEEN CONTRACTOR AND OWNER BEFORE THE START OF CONSTRUCTION.
- NO GRADING WORK SHALL OCCUR UNTIL THE OWNER HAS FILED A NOTICE OF INTENT FOR CONSTRUCTION ACTIVITY WITH THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY (IDEQ) WHEN REQUIRED BY IDEQ.
- ALL MATERIAL FURNISHED ON OR FOR THE PROJECT MUST MEET THE MINIMUM REQUIREMENTS OF THE APPROVING AGENCIES OR AS SET FORTH HEREIN, WHICHEVER IS MORE RESTRICTIVE. CONTRACTORS MUST FURNISH PROOF THAT ALL MATERIALS INSTALLED ON THIS PROJECT MEET THE REQUIREMENTS AT THE REQUEST OF THE AGENCY AND/OR THE ENGINEER.

UTILITY NOTES

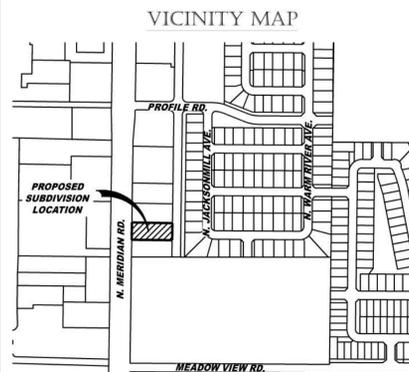
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BY CALLING DIGLINE AT PHONE # (800) 342-1585 BEFORE COMMENCING WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING UNDERGROUND UTILITIES.
- ALL WELL ABANDONMENT SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE IDAHO DEPARTMENT OF WATER RESOURCES (IDWR) AND IDAHO CODE. THE CONTRACTOR SHALL RETAIN A LICENSED WELL DRILLER FOR ABANDONMENT. COORDINATE WITH ROB WHITNEY AT IDWR WESTERN REGION (334-2190).
- EXISTING OVERHEAD POWERLINES SHALL BE RETAINED AND PROTECTED AS NEEDED TO MAINTAIN SERVICE TO ADJACENT PROPERTIES. THE CONTRACTOR SHALL COORDINATE WITH IDAHO POWER COMPANY TO ABANDON OR RELOCATE ALL OTHER OVERHEAD POWER LINES AND POLES AS REQUIRED.
- EXISTING SEPTIC SYSTEMS ASSOCIATED WITH ANY ABANDONED BUILDINGS ON THE SITE SHALL BE ABANDONED ACCORDING TO THE REQUIREMENTS OF THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY TECHNICAL GUIDANCE MANUAL. THE CONTRACTOR SHALL VERIFY THE LOCATION OF THE SEPTIC TANK, DRAINFIELD, AND ALL APPURTENANCES. ALL INLET AND OUTLET PIPING SHALL BE DISCONNECTED FROM THE SEPTIC TANK. ALL BURIED PIPING SHALL BE EXCAVATED AND TRACED FROM THE SEPTIC TANK TO THE DRAINFIELD TO THE FULL EXTENTS. THE CONTRACTOR SHALL VERIFY THE EXISTENCE OF A DRAINFIELD AND SHALL EXCAVATE THE DRAINFIELD SOILS TO AT LEAST THE MINIMUM GROUNDWATER LEVEL OR AS DIRECTED BY THE ENGINEER AFTER FIELD SITE INSPECTION OF THE DRAINFIELD AREA. THE DRAINFIELD SOILS SHALL BE DISPOSED OF OFF-SITE OR MIXED WITH THE WETLAND STRIPPINGS IF AUTHORIZED BY THE ENGINEER. AFTER INSPECTION OF EXCAVATED SOILS, THE CONTRACTOR SHALL BACKFILL THE DRAINFIELD AREA WITH STRUCTURAL FILL.

TRAFFIC CONTROL NOTES

- ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" FOR STREETS AND HIGHWAYS.
- ALL WARNING FLAGS AND FLASHERS SHALL BE CONSIDERED INCIDENTAL TO THE TRAFFIC CONTROL BID ITEMS.
- THE FLAGGERS SHALL BE EQUIPPED WITH TWO WAY RADIOS CAPABLE OF TRANSMITTING A DISTANCE OF 2 MILES AND BATTERIES TO LAST THROUGH EACH DAY OF OPERATION.
- SIGNS AND SIGN STANDS NOT IN USE SHALL BE REMOVED OR LAID DOWN AT LEAST 15 FEET FROM THE EDGE OF THE TRAVEL WAY.
- ONE LANE OF TRAFFIC SHALL BE OPEN TO LOCAL TRAFFIC AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE ALL SIGNAGE NECESSARY TO ALERT THE SURROUNDING PUBLIC OF THE CONSTRUCTION TAKING PLACE. THE CONTRACTOR ASSUMES RESPONSIBILITY FOR THE SIGNS NEEDED FOR PUBLIC SAFETY.
- ALL CONTRACTORS WORKING WITHIN THE PUBLIC ROAD RIGHT-OF-WAY ARE REQUIRED TO SECURE A RIGHT-OF-WAY CONSTRUCTION PERMIT FROM ACHD AT LEAST TWENTY-FOUR (24) HOURS PRIOR TO ANY CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE A DETAILED TRAFFIC CONTROL PLAN TO ACHD FOR APPROVAL PRIOR TO ANY CONSTRUCTION.

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CONTACT INFORMATION

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 ADDRESS: 60 DIFFICULT DR.
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 CONTACT: ROBERT BRIGGS
 EMAIL: RBRIGGS@RJRUSSOLLC.ORG



ADA NOTES

- ALL SIDEWALKS AND ACCESSIBLE ROUTES SHALL MEET THE FOLLOWING SLOPE REQUIREMENTS LISTED BELOW. CONTRACTOR WILL BE REQUIRED TO REPLACE/REPAIR ANY IMPROVEMENTS NOT MEETING THESE CRITERIA AT HIS OWN COST.

SIDEWALK AND ACCESSIBLE ROUTES -2% CROSS SLOPE -5% MAXIMUM RUNNING SLOPE RAMPS -2% MAXIMUM CROSS SLOPE -8.33% (1:12) MAXIMUM RUNNING SLOPE	ADA PARKING AREAS AND LANDINGS -2% MAXIMUM SLOPE ANY DIRECTION
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- TRUNCATED DOMES SHALL BE CAST INTO CONCRETE (STAMPED CONCRETE AND ADHESIVE MATS NOT ALLOWED) AND SHALL BE COLORED TRAFFIC YELLOW.
- ALL ADA SIGNAGE AND STAMPING SHALL MEET THE MINIMUM REQUIREMENTS OF THE MOST CURRENT EDITIONS OF THE ADA, MUTCD, AND ISPCW.

PAVING AND CURB NOTES

- CONTRACTOR IS RESPONSIBLE FOR THE PROPER TRANSITIONS BETWEEN THE VARIOUS CURB TYPES AND AS NECESSARY TO MAINTAIN ADA COMPLIANCE FOR ALL PEDESTRIAN RAMPS.

VERTICAL DATUM

- VERTICAL DATUM IS NAVD 88



NO.	REVISIONS	DATE

JIMMY JOHN'S
 1025 N. JACKSONMILL AVE, KUNA, IDAHO
 COVER SHEET

TIMBERLAND ASSOCIATE, LLC.
 60 DIFFICULT DR.
 IDAHO CITY, ID 83631
 PHONE: (208) 559-2663
 TREVOR@TIMBERLANDASSOCIATES.ORG

DESIGN BY: TLH
 DRAWN BY: EPS
 CHECKED BY: TLH
 DATE: 4/1/2025
 PROJECT: 24-13
 SHEET NO.

C0.0

CITY OF KUNA GENERAL CONSTRUCTION NOTES

- 1. ALL WORK (INCLUDING BUT NOT LIMITED TO CONSTRUCTION OF PRESSURIZED IRRIGATION, SEWER, WATER, STREETS, CURB GUTTER SIDEWALK, AND STREETLIGHTS) SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE KUNA STANDARD CONSTRUCTION SPECIFICATIONS, ADA COUNTY HIGHWAY DISTRICT SPECIFICATIONS, IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION, IDAHO STATE PLUMBING CODE, IDAHO STATE ELECTRICAL CODE, FEDERAL AND STATE LAWS.
2. ALL WORK SHALL BE COMPLETED IN A PROFESSIONAL, HIGH QUALITY MANNER. SUBSTANDARD, INCOMPLETE OR OTHERWISE DEFICIENT WORK SHALL BE REJECTED.
3. CONTRACTOR SHALL REQUEST CITY OF KUNA INSPECTION OF PRESSURIZED IRRIGATION, SEWER, WATER LINES AND APPURTENANCES AT LEAST TWENTY-FOUR (24) HOURS BEFORE BACKFILLING.
4. CONTRACTOR SHALL NOTIFY OWNER'S ENGINEER AND THE CITY OF KUNA'S ENGINEER AND THE CITY OF KUNA FORTY-EIGHT (48) HOURS BEFORE INITIAL CONSTRUCTION BEGINS.
5. CONTRACTOR SHALL NOTIFY THE CITY OF KUNA WHEN SHUTTING DOWN A JOB FOR ANY REASON AND PROVIDE 48 HOURS NOTICE BEFORE RESTARTING WORK.
6. CONTRACTOR SHALL STAMP PI, S, OR W IN THE SIDEWALK OR CURB WHERE PRESSURIZED IRRIGATION, SEWER, OR WATER CROSS UNDER THE SIDEWALK OR CURB. WATER (W) STAMP SHALL BE IN LINE WITH THE WATER METER BOX.
7. ALL POTABLE/NON-POTABLE WATER CROSSINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ISPPWC SD 407.
8. ALL PIPE (PRESSURIZED IRRIGATION, SEWER & WATER) MAINS AND SERVICES, SHALL BE BEDDED WITH TYPE I OR TYPE III BEDDING. IN AREAS OF ROCK EXCAVATION, BEDDING BELOW THE BOTTOM OF PIPE SHALL BE AT LEAST SIX (6) INCHES THICK.
9. CONTRACTOR(S) SHALL REMOVE ALL OBSTRUCTIONS, ABOVE AND BELOW GROUND, AS REQUIRED FOR THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS. THIS SHALL INCLUDE CLEARING ALL TREES, STUMPS, BRUSH, UNDERGROWTH, HEDGES, HEAVY GROWTH OF GRASS OR WEEDS, FENCE STRUCTURES, DEBRIS, RUBBISH AND MATERIALS WHICH, IN THE OPINION OF THE ENGINEER, ARE UNSUITABLE FOR THE FOUNDATION OF PAVEMENTS.
10. ALL MATERIAL(S) NOT SUITABLE FOR FUTURE USE ON SITE SHALL BE DISPOSED OF OFF SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
11. CONTRACTOR SHALL LOCATE AND PROTECT CRITICAL CONSTRUCTION CONTROL POINTS WITHIN THE PROJECT WORK LIMITS.
12. SURVEY CONTROL MONUMENTS SHALL BE PRESERVED, SET, AND/OR RESTORED IN ACCORDANCE WITH IDAHO CODE 50-1303.
13. CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL REPLACEMENT DRAINAGE FACILITIES ARE IN PLACE, FUNCTIONING, AND ACCEPTED BY ACHD OR CITY.
14. ALL CONTRACTORS WORKING WITHIN THE PROJECT BOUNDARIES ARE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE SAFETY LAWS OF ANY JURISDICTIONAL BODY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, TRENCH SHORING, SAFETY DEVICES AND TRAFFIC CONTROL WITHIN AND AROUND THE CONSTRUCTION AREA.
15. EXISTING A.C. PAVEMENT SHALL BE SAW CUT TO A NEAT, STRAIGHT LINE PARALLEL OR PERPENDICULAR TO THE STREET CENTERLINE AND THE EXPOSED EDGE SHALL BE TACKED WITH EMULSION BEFORE PAVING.
16. ALL MATERIALS MUST MEET THE MINIMUM REQUIREMENTS OF THE APPROVING AGENCIES OR AS SET FORTH HEREIN, WHICHEVER IS MORE RESTRICTIVE. ALL MATERIALS AND EQUIPMENT SHALL BE NEW.
17. ALL CONTRACTORS WORKING WITHIN THE PUBLIC ROAD RIGHT-OF-WAY SHALL SECURE A RIGHT-OF-WAY PERMIT FROM ACHD AT LEAST 24 HOURS BEFORE ANY CONSTRUCTION.
18. ALL COSTS OF RETESTING FAILED TESTS SHALL BE BORNE BY THE CONTRACTOR.
19. ALL COSTS FOR CORRECTING DEFICIENT WORK SHALL BE BORNE BY THE CONTRACTOR. FAILURE TO CORRECT DEFECTIVE WORK WILL BE CAUSE FOR A STOP WORK ORDER.
20. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CURBS, GUTTERS, STORM DRAINS, CHANNEL CROSSINGS AND SEWER ELEVATIONS OR INVERTS BEFORE BEGINNING CONSTRUCTION AND SHALL NOTIFY THE OWNER'S ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PROJECT DRAWINGS.
21. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND DEPTH OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
22. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING REQUIRED NPDES PERMITS, SUBMITTING NOTICE OF INTENT (NOI) TO DISCHARGE STORM WATER, AND PREPARING A POLLUTION PREVENTION PLAN (PPP) IN ACCORDANCE WITH IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY (IDEQ) REGULATIONS. CONTACT THE IDEQ AT (833) 473-3724 OR PDISE@PERMITTING.IDEQ.IDAHO.GOV FOR REQUIRED INFORMATION. STORM WATER PERMIT SHALL BE PRESENTED TO THE ENGINEER AT LEAST 48 HOURS BEFORE BEGINNING CONSTRUCTION.
23. ALL UTILITIES, INCLUDING SERVICE LINES, WITHIN STREET TRAVEL WAYS SHALL BE IN PLACE, TESTED AND FULLY FUNCTIONAL, PRIOR TO CURB, GUTTER, SIDEWALK AND STREET CONSTRUCTION.
24. PAVEMENT AND CONCRETE REMOVED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITHIN SEVEN (7) CALENDAR DAYS FROM THE TIME THE PAVEMENT AND/OR CONCRETE IS REMOVED PER ISPPWC AND ACHD STANDARDS.
25. PAVING SHALL NOT PROCEED UNTIL THE CONTRACTOR OBTAINS WRITTEN APPROVAL OF ALL INSTALLED WATER, SEWER, AND PRESSURE IRRIGATION FACILITIES FROM THE CITY OF KUNA.
26. ALL ROCK BLASTING SHALL OCCUR BEFORE INSTALLING SEWER MAINS, WATER MAINS, PRESSURE IRRIGATION MAINS OR SERVICE LINE CROSSINGS. BLASTING IN THE PROXIMITY OF EXISTING UTILITIES MAY BE PERFORMED AS LONG AS THE HORIZONTAL DISTANCE FROM THE EXISTING UTILITY IS EQUAL TO OR GREATER THAN THE EXCAVATION DEPTH FROM THE EXISTING UTILITY OR FIFTEEN (15) FEET, WHICHEVER IS GREATER. THE BLASTING CONTRACTOR SHALL BE RESPONSIBLE FOR ANY/ALL DAMAGE TO ANY/ALL EXISTING UTILITIES.
27. THE DEVELOPER SHALL RETAIN AN IDAHO REGISTERED PROFESSIONAL ENGINEER TO PERFORM INSPECTION SERVICES DURING CONSTRUCTION. THE ENGINEER SHALL PROVIDE A WRITTEN CERTIFICATION LETTER TO THE CITY OF KUNA THAT THE PROJECT WAS COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. COPIES OF ALL AIR TESTS, DEFLECTION TESTS, PRESSURE TESTS, AND BACTERIOLOGICAL TEST RESULTS SHALL BE FURNISHED WITH THE CERTIFICATION LETTER.
28. THE CITY OF KUNA WILL PROVIDE PERIODIC INSPECTION AND OBSERVE TESTING FOR AN EIGHT (8) HOUR DAY, FROM 7:30 A.M. TO 3:30 P.M., FOR A FORTY (40) HOUR WORK WEEK. CONTRACTOR SHALL REIMBURSE THE CITY AT RATES ESTABLISHED BY THE CITY FOR INSPECTIONS EXCEEDING THE NORMAL WORK WEEK, INCLUDING LEGAL HOLIDAYS. OVERTIME INSPECTION RATES AND A LIST OF LEGAL HOLIDAYS AND A REQUEST FOR INSPECTION OUTSIDE STANDARD CITY BUSINESS HOURS FORM CAN BE OBTAINED FROM THE CITY PUBLIC WORKS DEPARTMENT.
29. WHEN CONSTRUCTION IS SATISFACTORILY COMPLETED, CLEANED AND TESTED AND AFTER ALL OTHER UTILITIES ARE INSTALLED THE DEVELOPER SHALL REQUEST A CITY OF KUNA FINAL ACCEPTANCE INSPECTION. AT A MINIMUM, THE FINAL ACCEPTANCE INSPECTION SHALL INCLUDE:
a. CLEAN ALL SEWER MAINLINES CLEAN
b. DEFLECTION TEST SEWER MAINLINE
c. VISUALLY INSPECT EACH MANHOLE
d. WITNESS SEWER MAINLINE AIR PRESSURE TEST
e. WITNESS WATER MAINLINE PRESSURE TEST
f. WITNESS PRESSURE IRRIGATION PRESSURE TEST
g. CLEAN AND TELEVIEW ALL SEWER MAIN LINES
h. VISUAL INSPECTION OF THE SEWER MAINS
i. PROVIDE A DVD OF ALL SEWER MAIN VISUAL INSPECTION
j. ALL TESTING SHALL BE PROVIDED AND PAID FOR BY THE DEVELOPER
30. CITY HAS THE RIGHT TO INSPECT THE WORK AT ANY TIME DURING CONSTRUCTION. ANY WORK NOT CONFORMING TO THE APPROVED PLANS AND SPECIFICATIONS SHALL BE REJECTED.
31. THE DEVELOPER SHALL GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR FOLLOWING ACCEPTANCE BY THE CITY. THIS GUARANTEE SHALL COVER ALL DAMAGE, MATERIALS, LABOR, AND WORKMANSHIP.
32. DEVELOPER SHALL NOTIFY ALL PURCHASERS OF LOTS, AND THEIR CONTRACTORS, THAT CITY UTILITY SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. ANY DAMAGE TO THESE SYSTEMS DURING HOME CONSTRUCTION SHALL BE BILLED DIRECTLY TO THE OWNER OF RECORD WHEN THE DAMAGE IS FOUND.
33. THE DEVELOPER SHALL PROVIDE RECORD DRAWINGS - ONE (1) SET OF ELECTRONIC DRAWINGS ON CD OR THUMB DRIVE IN PDF FORMAT, AND TWO (2) 24" X 36" SETS ON WHITE PAPER BEFORE FINAL PLAT OR WITHIN 30 DAYS OF FINAL ACCEPTANCE.
34. WHEN HDPE IS APPROVED BY THE CITY ENGINEER OR DESIGNED AS AN ALTERNATIVE MATERIAL, THE INTERIOR BEADING AT FUSION WELDS SHALL BE REMOVED.
35. PIPE PROFILES SHALL HAVE A MINIMUM SCALE OF 1" = 10' AND MAXIMUM SCALE OF 1" = 40' UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER OR ITS DESIGNEE.

CITY OF KUNA WATER NOTES

- 1. ALL EXISTING WELLS SHALL BE ABANDONED IN ACCORDANCE WITH IDAHO DEPARTMENT OF WATER RESOURCES REQUIREMENTS. CONTACT IDWR 208-334-2190.
2. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER SERVICE TO ALL EXISTING WATER USERS AFFECTED BY CONSTRUCTION.
3. CONTRACTOR SHALL PREVENT THE ENTRY OF ANIMALS, DIRT AND OTHER FOREIGN MATTER INTO PIPES AND SHALL NOT LEAVE ANY OPEN PIPE END AT ANY TIME WHEN ABSENT FROM THE WORK SITE.
4. ALL WATER MAIN LINE PIPE SHALL BE PVC CONFORMING TO AWWA C-900 DR 18 (235 PSI) OR CLASS 152 CEMENT MORTAR LINED DUCTILE IRON CONFORMING TO AWWA C-152. ALL FITTINGS SHALL BE DUCTILE IRON CONFORMING TO AWWA C-110.
5. ALL WATER MAIN LINE PIPE, AND SERVICES SHALL BE BEDDED WITH TYPE I OR TYPE III BEDDING. IN AREAS OF ROCK EXCAVATION, PIPE BEDDING SHALL BE AT LEAST SIX (6) INCHES THICK MEASURED FROM THE PIPE BELL.
6. ALL WATER MAIN PIPE SHALL BE COVERED WITH AT LEAST FOUR (4) FEET AND NO MORE THAN SIX (6) FEET OF APPROVED FILL MATERIAL. FILL SHALL BE MEASURED FROM FINISHED GRADE TO TOP OF PIPE.
7. COMPACT TRENCH BACKFILL TO 95% OF ASTM D 698 (MINIMUM).
8. PLACE MARKING TAPE ABOVE ALL WATER PIPE BETWEEN SIX (6) INCHES BELOW GROUND SURFACE AND SIXTEEN (16) INCHES ABOVE TOP OF PIPE. TAPE SHALL BE THREE (3) INCHES WIDE, 4 MIL POLYETHYLENE, BLUE IN COLOR, WITH "WATER PIPE" CLEARLY MARKED ALONG THE LENGTH OF THE TAPE IN 1 1/2" BLACK LETTERS.
9. TAPE NO. 12 DIRECT BURIAL TRACER WIRE TO THE CROWN OF WATER MAIN PIPE AND SERVICE LINES. LOOP THE TRACER WIRE FROM THE MAIN LINE TO EACH SERVICE VAULT ALONG THE SERVICE PIPE AND BACK TO THE MAIN LINE. THE TRACER WIRE SHALL BE ACCESSIBLE AT ALL VALVE BOXES AND SHALL BE EXTENDED ALONG THE OUTSIDE OF THE LOWER PORTION AND ALONG THE INSIDE OF THE UPPER PORTION OF THE VALVE BOX. WIRE SHALL BE TAPED TO GATE VALVES SO IT IS ACCESSIBLE FROM ABOVE WITHOUT INTERFERING WITH VALVE OPERATION. CONDUCT AN ELECTRICAL CONTINUITY VERIFICATION TEST BEFORE PAVING.
10. ALL MAIN LINE WATER VALVES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSIAWWA C-509. ACCEPTABLE VALVES ARE MUELLER MODEL A-2360 AND A-2361 OR CLOW MODEL 2639 AND 2640. OTHER WATER VALVES MUST BE APPROVED BY THE CITY ENGINEER.
11. FURNISH ALL WATER VALVES WITH A STANDARD CAST IRON 5-1/4 INCH DIAMETER 3-PIECE ADJUSTABLE VALVE BOX. THE CAST IRON COVER SHALL BE DESIGNED TO SLIP INSIDE THE TOP BELL, MARKED WITH THE WORD "WATER" AS AN INTEGRAL PART OF WATER AS AN INTEGRAL PART OF THE COVER. A CONCRETE COLLAR SHALL BE REQUIRED WHEN LOCATED IN PAVEMENT.
12. ALL TEES, PLUGS, BENDS, AND OTHER LOCATIONS WHERE UNBALANCED FORCES EXIST, SHALL BE SECURED AND ANCHORED BY SUITABLE THRUST BLOCKING AS SHOWN ON ISPPWC SD-403.
13. TEES, BENDS, AND OTHER WATER CONNECTION FITTINGS SHALL BE DUCTILE IRON.
14. AIR RELEASE VALVES SHALL BE AVTEK MODEL 5301 OR ARI D-040.
15. SLEEVE WATER SERVICE LINES IN A FOUR (4) INCH DIAMETER C900 DR 18 OR SCH 80 WATER CLASS PIPE WHEREVER THE SERVICE LINE CROSSES A STREET DRAINAGE SEEPAGE BED. SLEEVE SHALL BE ADEQUATELY SIZED TO PROVIDE SPACE FOR THE OUTSIDE DIAMETER OF BELL JOINTS AND SHALL MEET ACHD REQUIREMENTS.
16. OPEN EACH METER SETTER AND VERIFY THAT THE CORPORATION STOP IS OPEN AND THE SERVICE IS OPERABLE BEFORE PAVING.
17. OPERATE EACH VALVE AND FIRE HYDRANT TO ENSURE PROPER FUNCTION BEFORE PAVING. A CITY OF KUNA REPRESENTATIVE SHALL OBSERVE ALL TESTING.
18. LEAK-TEST, FLUSH AND DISINFECT ALL WATER MAIN LINES AFTER INSTALLATION OF ALL UTILITIES, BEFORE CONNECTING TO THE WATER DISTRIBUTION SYSTEM, AND BEFORE PAVING. PRESSURE TEST THE DISTRIBUTION SYSTEM PER ISPPWC SECTION 401.
19. THE CONTRACTOR MAY PRESSURE TEST ALL WATER LINES AFTER DISINFECTION AND FLUSHING BUT BEFORE INSTALLATION OF OTHER UTILITIES. AFTER ALL UTILITIES ARE INSTALLED AND PRIOR TO PAVING THE CONTRACTOR SHALL PERFORM A FINAL PRESSURE TEST WITH CITY PERSONNEL IN ATTENDANCE. THE CONTRACTOR SHALL FURNISH ALL PERSONNEL AND EQUIPMENT NECESSARY TO CONDUCT THE TEST.
20. THE DISINFECT AND FLUSH WATER MAINLINES ACCORDING TO ISPPWC DIVISION 400. THE DISINFECTION AND FINAL FLUSHING SHALL BE TESTED TO DETERMINE IF THE APPROPRIATE MINIMUM CHLORINE RESIDUALS HAVE BEEN MET.
21. SAMPLE AND TEST ALL WATER LINES FOR BACTERIAL COLIFORMS. ALL WATER LINES SHALL PASS THE REQUIRED BACTERIOLOGICAL TEST BEFORE BEING PUT INTO SERVICE.
22. CONTRACTOR SHALL PROVIDE BACTERIAL TEST REPORTS FROM A CERTIFIED LABORATORY SHOWING THAT THE WATER LINES HAVE PASSED BACTERIA SAFETY REQUIREMENTS. A CITY OF KUNA REPRESENTATIVE SHALL OBSERVE THE SAMPLE EVENT.
23. LOCATE VALVES, FLANGED OR M.J., IN THE STREET UNLESS EXPLICITLY APPROVED BY THE CITY ENGINEER. SET ALL GATE VALVES AS CLOSE (FLANGE CONNECTED) AS POSSIBLE TO WATER MAIN LINE FITTINGS.
24. CONTRACTOR SHALL FIELD VERIFY ALL VALVE BOX LID ELEVATIONS TO ENSURE THAT LID ELEVATIONS MATCH FINAL STREET GRADE, AND ALL METER LID ELEVATIONS MATCH SIDEWALK ELEVATIONS.
25. LOCATE ALL WATER METERS AND FIRE HYDRANTS OUT OF THE ROAD RIGHT-OF-WAY. PROVIDE AT LEAST ONE (1) FOOT SEPARATION BETWEEN BACK OF SIDEWALK (OR CURB IF NO SIDEWALK) AND THE LEADING EDGE OF ANY FIRE HYDRANT.
26. THE CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING SERVICE CONNECTIONS WITH AN 8 FOOT "2" X 4" BOARD OR METAL T POST PAINTED BLUE.
27. PPAIVING CONTRACTOR SHALL SET WATER VALVE RISERS IN CONCRETE COLLARS PER ISPPWC STANDARD DRAWING SD-406.
28. ALL FIRE HYDRANTS SHALL BE DRY BARREL CONFORMING TO AWWA C-502, INSTALLED PER ISPPWC SECTION 403 AND ISPPWC DWG SD-404. FIRE HYDRANTS SHALL HAVE A FIVE (5) FOOT SETTING MINIMUM, 150 PSI WORKING PRESSURE. ONE 4-1/2 INCH DIAMETER NATIONAL STANDARD PUMPER NOZZLE EQUIPPED WITH STORZ FITTING, AND TWO 2-1/2 INCH DIAMETER NATIONAL STANDARD THREAD FIRE HOSE NOZZLES. THE VALVE OPERATOR SHALL OPEN COUNTER CLOCKWISE. THE HYDRANT SHALL BE EQUIPPED WITH A DRAIN THAT OPENS WHEN THE HYDRANT IS CLOSED; AND A SIX (6) INCH FLANGED BY MECHANICAL JOINT RESILIENT WEDGE GATE VALVE ATTACHED DIRECTLY TO THE WATER MAIN LINE. ALPHA RESTRAINT ALLOWED.
29. FIRE HYDRANTS SHALL BE CLOW MEDALLION, WATEROUS PACER 100, OR MUELLER A423. NO OTHERS WILL BE ACCEPTED. MAXIMUM HYDRANT SPACING SHALL BE 500 FEET. HYDRANT LOCATIONS SHALL BE APPROVED IN WRITING BY THE KUNA RURAL FIRE DEPARTMENT AND SUBMITTED WITH THE CONSTRUCTION PLANS FOR FINAL REVIEW AND APPROVAL BY THE CITY ENGINEER.
30. INSTALL INDIVIDUAL ONE (1)-INCH WATER SERVICES FOR EACH CONNECTION FROM A SINGLE OR DUAL METER VAULT. EXTEND THE ONE (1)-INCH WATER SERVICE FOR EACH CONNECTION AT LEAST 10-FEET ON THE HOUSE SIDE OF THE METER, OR AS REQUIRED TO EXTEND PAST OTHER UTILITIES LOCATED WITHIN THE 10-FOOT UTILITY EASEMENT. DETAILS SHALL BE AS NOTED IN ISPPWC DWG SD-401.
31. THE CITY OF KUNA SHALL FURNISH AND INSTALL WATER METERS.
32. CONTRACTOR SHALL PROVIDE EACH WATER SERVICE LEG WITH 18-INCH TALL 3/4-INCH COPPER METER SETTER, CURB STOP, LOCKABLE SHUTOFF VALVE AND CHECK VALVE, 20-INCH DIAMETER BY 36-INCH TALL INSULATED METER BOX AS MANUFACTURED BY "MID STATES PLASTICS, INC." WITH 20" X 1" FOAM INSULATION PADS AND A CAST IRON FRAME AND COVER TAPPED WITH A 1-INCH DIAMETER RECESSED HOLE FOR THE CITY AUTOREAD METER SENSOR AS APPROVED BY THE CITY.
33. METER BOXES SHALL BE LOCATED ON THE NORTH OR EAST SIDE OF THE PROPERTY, OR IN CASE OF DUAL WATER SERVICE, ON THE NORTH OR EAST SIDE OF THE COMMON PROPERTY LOT LINE.
34. THE CENTERLINE OF THE METER SETTER SHALL BE LOCATED 18-INCHES BELOW FINISH GRADE. METERS SHALL BE PLACED 18-INCHES INSIDE THE PROPERTY LINE AND 18-INCHES AWAY FROM THE SIDE LOT LINE.
35. MULTIPLE TAPS IN THE SAME PIPE JOINT SHALL BE STAGGERED AND SHALL BE SEPARATED BY A MINIMUM OF ONE AND A HALF (1 1/2) FEET OR AS LISTED IN THE PIPE MANUFACTURERS RECOMMENDATIONS, WHICHEVER IS GREATER.

CITY OF KUNA PRESSURE IRRIGATION NOTES

- 1. THE DEVELOPER SHALL NOTIFY ALL LOT PURCHASERS THAT THERE MUST BE NO INTERCONNECTION BETWEEN THE PRESSURE IRRIGATION SYSTEM AND HOUSE PLUMBING. OUTSIDE HOUSE FAUCETS MUST ONLY BE CONNECTED TO THE MUNICIPAL POTABLE WATER SYSTEM THROUGH THE HOUSE SERVICE CONNECTION.
2. INSTALL PRESSURIZED IRRIGATION SYSTEMS CONSISTING OF IRRIGATION MAINS AND INDIVIDUAL SERVICE CONNECTIONS TO EACH LOT.
3. MAINTAIN PRESSURIZED IRRIGATION CIRCUITS AS SHOWN ON THE APPROVED CONSTRUCTION PLANS. DO NOT JUMPER ACROSS FROM ONE CIRCUIT TO ANOTHER. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS TO CORRECT CROSS CONNECTIONS WHEN DISCOVERED.
4. CONNECTION TO THE CITY OF KUNA MUNICIPAL WATER (POTABLE) SYSTEM FOR IRRIGATION PURPOSES IS NOT ALLOWED.
5. LOT SERVICE REQUIREMENTS:
LOT SIZE S.F. IRRIGATION RISERS
0-14,000 ONE 1"
14,000 - 26,000 TWO 1" OR ONE 1.5"
26,000+ DETERMINED BY CITY ENGINEER
6. ALL IRRIGATION MAINLINES SHALL BE INSTALLED SUCH THAT AIR AUTOMATICALLY VENTS DURING FILLING AND DRAINING. AUTOMATIC AIR/VACUUM RELIEF VALVES SHALL BE INSTALLED AT ALL HIGH POINTS IN THE SYSTEM AND IN LOCATIONS DETERMINED BY THE CITY ENGINEER. IN LIEU OF AUTOMATIC VENTS, THE CONTRACTOR MAY INSTALL SERVICES WITH THE TAP ON TOP OF THE MAIN AT THE HIGH POINT WITH THE SERVICE LINE LAID LEVEL OR RISING TO THE SERVICE BOX.
7. ALL IRRIGATION MAINS SHALL FREELY DRAIN. "FREELY DRAIN" MEANS TO DRAIN BY GRAVITY INTO A DRAINAGE SWALE, DRAINAGE POND, DRAINAGE DITCH OR ADEQUATELY SIZED DRY WELL. THE DRAIN SYSTEM SHALL INCLUDE MANUALLY OPERATED VALVES AS DETAILED IN CITY OF KUNA STANDARD DETAILS. LOCATE DRAINS IN COMMON AREAS, ALONG PATHWAYS OR STREET FRONTAGES UNLESS SPECIFICALLY APPROVED OTHERWISE BY THE CITY ENGINEER.
8. PIPE DEPTH: ALL IRRIGATION MAIN LINES NOT WITHIN ROAD RIGHT OF WAY (ROW) SHALL HAVE AT LEAST THREE (3) FEET OF APPROVED COVER MATERIAL MEASURED FROM FINISH GRADE TO CROWN OF PIPE IF THE PIPE IS FREE DRAINING. A MINIMUM OF FOUR (4) FEET OF COVER SHALL BE REQUIRED FROM FINISH GRADE TO CROWN OF PIPE UNDER ROADWAYS AND WHERE PIPE IS NOT FREE-DRAINING. NO IRRIGATION MAIN LINE PIPING SHALL BE COVERED WITH MORE THAN SIX (6) FEET OF APPROVED COVER MATERIAL.
9. PRESSURE IRRIGATION MAIN LINE PIPING 4 INCH DIAMETER AND LARGER SHALL BE CONSTRUCTED OF POLYVINYL CHLORIDE (PVC), DR21 (200 PSI), CONFORMING TO ASTM D2241.
10. PRESSURE IRRIGATION MAIN LINE PIPING IN THE R.O.W. AND PARALLEL TO CENTER LINE SHALL BE PVC, C900 DR 18.
11. SLEEVE PRESSURE IRRIGATION SERVICE LINES IN A FOUR (4) INCH DIAMETER C900 DR 18 OR SCH 80 WATER CLASS PIPE WHEREVER THE SERVICE LINE CROSSES A STREET DRAINAGE SEEPAGE BED.
12. ALL PI SLEEVING SHALL INCLUDE CALCIPO SEALS.
13. 4 INCH DIAMETER AND LARGER PIPE SHALL HAVE RUBBER GASKETED JOINTS.
14. PRESSURE IRRIGATION PIPE SHALL BE CLEARLY MARKED WITH TYPE, CLASS OR THICKNESS. LETTERING SHALL BE LEGIBLE AND PERMANENT.
15. PLACE MARKING TAPE ABOVE ALL IRRIGATION PIPE BETWEEN SIX (6) INCHES BELOW GROUND SURFACE AND SIXTEEN (16) INCHES ABOVE TOP OF PIPE. TAPE SHALL BE THREE (3) INCHES WIDE, 4 MIL POLYETHYLENE, PURPLE IN COLOR, WITH PRESSURIZED IRRIGATION MAINLINE CLEARLY MARKED ALONG THE LENGTH OF THE TAPE IN 1 1/2" BLACK LETTERS.
16. USE A #12 DIRECT BURIAL TRACER WIRE ALONG THE CROWN OF THE PRESSURE IRRIGATION MAINLINE. LOOP THE TRACER WIRE FROM THE MAINLINE TO EACH SERVICE BOX AND BACK TO THE MAINLINE. THE TRACER WIRE SHALL BE ACCESSIBLE AT ALL VALVE BOXES AND EXTENDED ALONG THE OUTSIDE OF THE LOWER PORTION AND ALONG THE INSIDE OF THE UPPER PORTION OF THE VALVE BOX. CONDUCT AN ELECTRICAL CONTINUITY TEST BEFORE PAVING TO VERIFY TRACER WIRE INTEGRITY.
17. EQUIP EACH PRESSURE IRRIGATION SERVICE WITH A METAL OR PLASTIC TAG (YUCKY FACE) "NON-POTABLE WATER-DO NOT DRINK".
18. VALVES 4 INCH DIAMETER AND LARGER SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO THE REQUIREMENTS OF ANSIAWWA C509, WITH MECHANICAL OR FLANGED JOINTS AND 2 INCH SQUARE OPERATING NUT. ACCEPTABLE VALVES ARE MUELLER MODEL A-2360 AND A-2361 OR CLOW MODEL 2639 AND 2640. ALL VALVES MUST BE SPECIFICALLY APPROVED BY THE CITY ENGINEER. VALVE BOXES FOR VALVES 4 INCH DIAMETER AND LARGER SHALL BE STANDARD CAST IRON 5 1/4 INCH DIAMETER ADJUSTABLE VALVE BOX.
19. VALVES FOR STREET CROSSINGS SHALL BE PLACED WITHIN 2 FEET OF THE BACK EDGE OF SIDEWALK.
20. FITTINGS SHALL BE CAST IRON, DUCTILE IRON, PVC, BRASS OR STAINLESS STEEL, AND SHALL HAVE A MINIMUM PRESSURE RATING EQUAL TO OR GREATER THAN 200 PSI. ALL FITTINGS FOUR (4) INCHES AND LARGER SHALL BE DUCTILE IRON WITH FLANGED OR MECHANICAL JOINTS. THRUST BLOCKS OR OTHER CITY ENGINEER APPROVED RESTRAINTS SHALL BE PROVIDED AT CHANGES OF DIRECTION.
21. IRRIGATION SYSTEMS SHALL BE PRESSURE TESTED IN ACCORDANCE WITH ISPPWC SPECIFICATIONS FOLLOWING INSTALLATION OF ALL OTHER UTILITIES AND BEFORE PAVING. TESTING SHALL BE OBSERVED BY A CITY REPRESENTATIVE.

CITY OF KUNA PRESSURE SEWER NOTES

- 1. ABANDON ALL EXISTING SEPTIC SYSTEMS IN ACCORDANCE WITH IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY REQUIREMENTS. PROVIDE DOCUMENTATION TO THE CITY OF KUNA UPON REQUEST.
2. THE HORIZONTAL SEPARATION OF POTABLE WATER AND SEWER MAINS SHALL BE A MINIMUM OF TEN (10) FEET FROM PIPE EDGE TO PIPE EDGE AS SHOWN IN ISPPWC SD 407.
3. GROUNDWATER LEVELS SHALL BE MAINTAINED BELOW THE BOTTOM OF THE TRENCH DURING PIPE LAYING AND JOINING OPERATIONS.
4. TRENCH BACKFILL ABOVE THE PIPE ZONE SHALL BE INSPECTED BY ACHD OR BY THE OWNER'S ENGINEER IN ACCORDANCE WITH THE LATEST EDITION OF THE "CONSTRUCTION QUALITY ASSURANCE MANUAL". COMPACTION TESTS ARE REQUIRED IN THE BACKFILL ABOVE THE PIPE ZONE, WITHIN PUBLIC RIGHT-OF-WAY, ACCORDING TO ACHD REQUIREMENTS. SUBMIT DENSITY TEST RESULTS TO THE CITY OF KUNA AND ACHD BEFORE FINAL ACCEPTANCE.
5. CONTRACTOR SHALL LEAVE THE EXCAVATION FOR THE UPSTREAM END OF ALL SERVICE LINES OPEN TO ALLOW ON SITE VERIFICATION OF THE INVERT ELEVATIONS AND SLOPES BY THE CITY'S INSPECTOR. CONTRACTOR SHALL NOT BACKFILL THE ENDS OF SERVICE LINES UNTIL APPROVED BY THE CITY OF KUNA INSPECTOR OR OTHER ARRANGEMENTS HAVE BEEN MADE FOR THE VERIFICATION OF SERVICE LINE INVERT ELEVATIONS AND SLOPES.
6. CONTRACTOR SHALL INSTALL A REMOVABLE PLUG IN THE DOWN STREAM SIDE OF THE EXISTING MANHOLE WHERE THE NEW CONNECTION WILL BE MADE. THE PLUG SHALL REMAIN IN PLACE UNTIL FINAL ACCEPTANCE OF THE SEWER PROJECT.
7. ALL SEWER PIPE AND FITTINGS 4 INCH THROUGH 15 INCH DIAMETER SHALL BE POLYVINYL CHLORIDE (PVC) CONFORMING TO ASTM D-3034, SDR-35 SEWER PIPE AND FITTINGS SIZES 18 INCH THROUGH 36 INCH DIAMETER SHALL BE PVC CONFORMING TO ASTM F 679. PRESSURE SEWER PIPE SHALL CONFORM TO AWWA C900 PVC, DR 18 (235 PSI).
8. SEWER SERVICE LINES SHALL BE INSTALLED BEFORE STREET IMPROVEMENTS & SEWER SERVICE MARKERS SHALL BE IN PLACE BEFORE FINAL INSPECTION. CONTRACTOR SHALL NOTIFY THE CITY WHEN SEWER SERVICE STUB IS INSTALLED, MARKED & READY FOR INSPECTION.
9. PLACE MARKING TAPE ABOVE ALL FORCE MAIN SEWER PIPE BETWEEN SIX (6) INCHES BELOW GROUND SURFACE AND SIXTEEN (16) INCHES ABOVE TOP OF PIPE. TAPE SHALL BE THREE (3) INCHES WIDE, 4 MIL POLYETHYLENE, GREEN IN COLOR, WITH "SEWER PIPE" CLEARLY MARKED ALONG THE LENGTH OF THE TAPE IN 1 1/2" BLACK LETTERS.
10. SLEEVE SEWER SERVICE LINES IN A MINIMUM OF SIX (6) INCH DIAMETER C900 DR 18 OR SCH 80 PIPE WHEREVER THE SERVICE LINE CROSSES A STREET DRAINAGE SEEPAGE BED. SLEEVE SHALL BE ADEQUATELY SIZED TO PROVIDE SPACE FOR THE OUTSIDE DIAMETER OF BELL JOINTS AND SHALL MEET ACHD REQUIREMENTS.
11. CONSTRUCT ALL MANHOLES WATER TIGHT. THE TOP OF MANHOLE CONE SHALL BE WITHIN TWELVE (12) INCHES OF FINISHED GRADE. CONTRACTOR SHALL SUPPLY ALL LID ASSEMBLIES AND GRADE RINGS.
12. SEWER CONSTRUCTION SHALL MEET THE SPECIFIC DETAILS AND REQUIREMENTS OF THE FOLLOWING STANDARD DRAWINGS AND ACCOMPANYING SPECIFICATIONS FOUND IN IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION AND ACHD STANDARD DRAWINGS:
1. STANDARD MANHOLE - TYPE A - DRAWING NO. SD-501 AND SD-501A.
2. STANDARD SHALLOW MANHOLE - DRAWING NO. SD-505.
3. MANHOLE COLLAR DETAIL - DRAWING NO. SD-508.
4. MANHOLE COVER AND FRAME - DRAWING NO. SD-507.
5. STANDARD SEWER SERVICE LINE - DRAWING NO. SD-511 & SD-511A.
6. SEWER SERVICE MARKER - DRAWING NO. SD-512.
13. CONTRACTOR SHALL FIELD VERIFY THE TOP ELEVATION OF MANHOLE CONES TO ENSURE THAT ALL RING ELEVATIONS MATCH FINAL STREET GRADES.
14. MANHOLE: APPLY NON-SHRINK GROUT BETWEEN THE METAL FRAME AND GRADE RINGS. GRADE RINGS SHALL NOT BE STACKED WITHOUT NON-SHRINK GROUT OR MORTAR.
15. SET EACH GRADE RING IN A BED OF NON-SHRINK GROUT OR MORTAR. TROWEL SMOOTH WITH THE INSIDE OF THE MANHOLE.
16. PAVING CONTRACTOR SHALL SET THE GRADE RINGS AND POUR THE CONCRETE COLLARS PER ISPPWC DRAWING NO. SD-508. THE PAVING CONTRACTOR SHALL CONTACT ACHD 24 HOURS PRIOR TO POURING CONCRETE COLLARS.
17. PRIOR TO CONNECTING TO THE EXISTING SEWER SYSTEM, WHERE THE CONNECTION IS MADE BETWEEN MANHOLES AND EXISTING SERVICES, ALL SEWER MAINS AND SERVICES MUST BE AIR TESTED.
18. COMPLETE INTEGRITY TESTING, AFTER ALL UTILITIES ARE INSTALLED AND BEFORE PAVING.
19. CONTRACTOR SHALL CONTACT OWNER'S ENGINEER AND THE CITY OF KUNA AT LEAST 24 HOURS BEFORE TESTING. SEWER LINES SHALL BE TESTED IN ACCORDANCE WITH DIVISION 500 OF THE ISPPWC SPECIFICATIONS. A CITY REPRESENTATIVE MUST OBSERVE THE TESTING. TESTING SHALL INCLUDE AIR PRESSURE TESTING, DEFLECTION TESTING, INVERT ELEVATION SURVEY AND VISUAL INSPECTION USING A CLOSED-CIRCUIT TELEVISION (CCTV) CAMERA. ALL SEWER LINES SHALL BE CLEANED AND CHECKED FOR DEFLECTION BEFORE BEGINNING THE CCTV CAMERA INSPECTION. PROVIDE A COPY (DVD OR THUMB) OF THE VISUAL INSPECTION TO THE CITY OF KUNA FOR QUALITY VERIFICATION. NO SEWER MAINLINE SHALL BE CONSIDERED APPROVED AND ACCEPTED UNTIL THE VISUAL REVIEW IS COMPLETE.
20. SEWER CONSTRUCTION INSPECTIONS WILL BE PERFORMED BY THE OWNER'S ENGINEER OR DESIGNATED REPRESENTATIVE. SUCH APPROVAL SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PERFORMING THE WORK IN AN ACCEPTABLE MANNER, IN CONFORMANCE WITH THE APPROVED MASTER PLAN, CONTRACT DRAWINGS, AND ASSOCIATED SPECIFICATIONS.
21. CITY OF KUNA SHALL PROVIDE FINAL APPROVAL AND ACCEPTANCE OF ALL SEWER CONSTRUCTION.



Table with columns: NO., ITEM, REVISIONS, DATE.

JIMMY JOHN'S
1025 N. JACKSONMILL AVE, KUNA, IDAHO
CITY OF KUNA NOTES



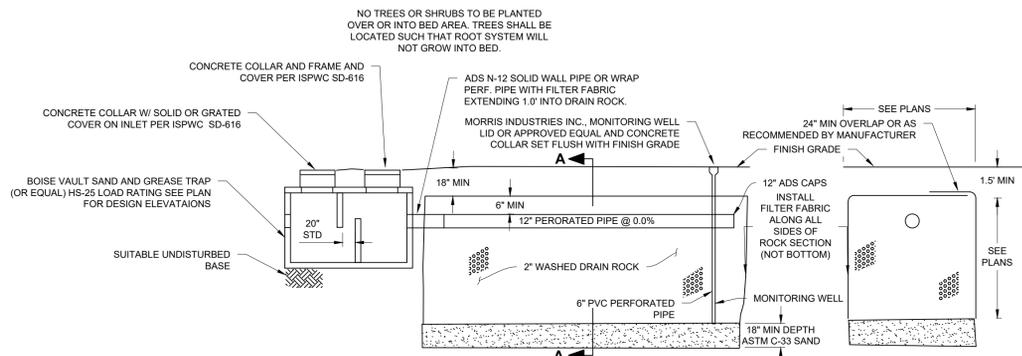
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TREVOR@TIMBERLANDASSOCIATES.ORG

Table with columns: DESIGN BY, DRAWN BY, CHECKED BY, DATE, PROJECT.

SHEET NO.

C0.1

DETAILS JIMMY JOHN'S KUNA, IDAHO



NOTES:

- CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF GROUNDWATER OR EVIDENCE OF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION.
- CONTRACTOR SHALL INSTALL ONE MONITORING WELL(S) PER SEEPAGE BED. AN ADDITIONAL MONITORING WELL MAY BE REFERENCED FOR CONSTRUCTION OUTSIDE AND ADJACENT TO THE SEEPAGE BED.
- NOTIFY ENGINEER IMMEDIATELY IF INFILTRATION RATES ARE LESS THAN 1 INCH PER HOUR.

INSPECTION NOTE:
PROJECT ENGINEER TO INSPECT SEEPAGE BED ONCE EXCAVATED.
PROVIDE ENGINEER A MINIMUM 48 HOUR NOTICE FOR ALL INSPECTIONS.

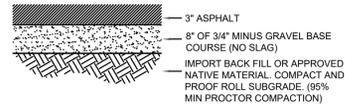
SEEPAGE BED
NOT TO SCALE

BED NAME	BED BY KEYNOTE	TRIBUTARY AREA (sf)	STORMWATER DEVELOPED (cf)	SEEPAGE BED DIMENSIONS	SEEPAGE BED VOLUME (cf)	VOID RATIO	CAPACITY (cf)	INFILTRATION TIME (HR)
SB-1	1	17,131	1,017	40' x 12' x 6'	2,880	0.4000	1,152	12.71

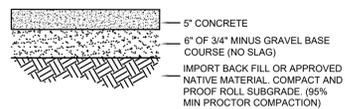
NOTES:

- DESIGN STORM EVENT IS 1.0" FOR 1 HOUR OVER THE PROJECT IMPERVIOUS AREA.
- ASSUMED INFILTRATION RATE OF 1" HR
- STORM DRAIN FACILITY IS DESIGNED TO RETAIN THE CITY OF KUNA 100 YEAR STORM

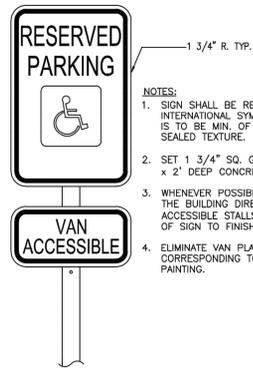
SEEPAGE BED CALCULATIONS
NOT TO SCALE



ASPHALT PAVEMENT SECTION
NOT TO SCALE

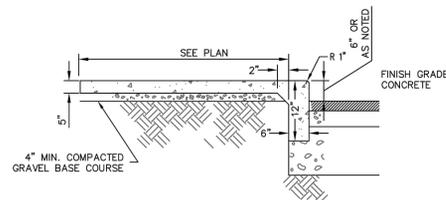


CONCRETE SECTION
NOT TO SCALE



METAL ACCESSIBLE PARKING SIGN
NOT TO SCALE

- NOTES:**
- SIGN SHALL BE REFLECTORIZED SIGN WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGN IS TO BE MIN. OF 70 SQ. INCHES WITH SEALED TEXTURE.
 - SET 1 3/4" SQ. GALV. STL. POST INTO 1' SQ. x 2' DEEP CONCRETE FOOTING.
 - WHENEVER POSSIBLE SIGN TO BE LOCATED ON THE BUILDING DIRECTLY IN FRONT OF ACCESSIBLE STALLS AT 5'-0" FROM BOTTOM OF SIGN TO FINISH GRADE.
 - ELIMINATE VAN PLACARD WHERE NOT CORRESPONDING TO VAN INDICATED STALL PAINTING.

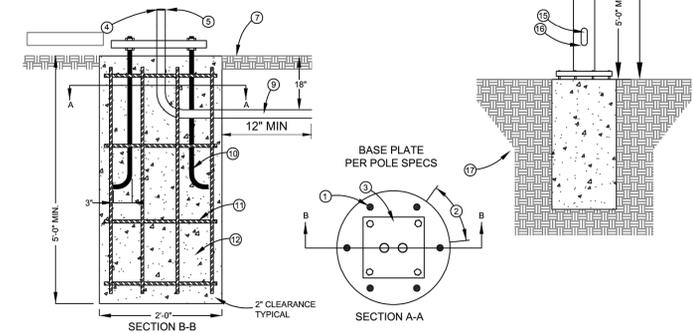


- NOTES:**
- CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS AT 5' MAX SPACING.
 - MATERIALS AND CONSTRUCTION PER ISPCW DIVISION 700.

THICKENED EDGED SIDEWALK
NOT TO SCALE

LEGEND:

- ① 6-#4 VERTICAL REBAR
- ② 6" LAP
- ③ ANCHOR BOLT SIZES AND LOCATIONS PER MANUFACTURER'S SPECIFICATIONS
- ④ 2" TO 8" STUBS
- ⑤ INSULATED BUSHING REQUIRED WHEN CONDUIT IS USED PER MANUFACTURER'S SPECIFICATIONS
- ⑥ PER MANUFACTURER'S SPECIFICATIONS
- ⑦ SIDE WALK LINE OR GRADE LINE
- ⑧ NOT USED
- ⑨ 1" MINIMUM DIAMETER
- ⑩ (4) ANCHOR BOLTS WITH DOUBLE NUTS FOR PLUMBING POLE GALVANIZED WITH AT LEAST (2) GALVANIZED NUTS AND (2) GALVANIZED WASHERS PER BOLT
- ⑪ 4-#4 REBAR HOOPS
- ⑫ C-3000 CONCRETE AS PER SECTION 700 ISPCW
- ⑬ FONCROCHE (T54-CK16B-4K-T4)
- ⑭ POWDER COATED BLACK ROUND POLE
- ⑮ NOT USED
- ⑯ NOT USED
- ⑰ BACKFILL TO BE COMPACTED TO 95% OF ASTM D698
- ⑱ BLACK BACKGROUND WHITE NUMBER VINYL STICKERS 1-1/2" X 2-1/2"



LUMINAIRE
NOT TO SCALE

NOTES:

- NO GALVANIZED PIPE OR YELLOW BRASS FITTINGS TO BE USED
- SADDLE COUPLINGS: USED FOR CONNECTION OF ALL SERVICE LINES TO PVC MAIN. SERVICE SADDLES: EPOXY COATED STEEL WITH STAINLESS STEEL BAND AND MUELLER THREADS (P THREADS)
- NO SERVICE CONNECTIONS WITHIN ONE (1) FOOT OF THE PIPE ENDS. STAGGER MULTIPLE CONNECTIONS MADE ON THE SAME JOINT OF PIPE ALONG THE CIRCUMFERENCE AND SEPARATED BY A MINIMUM OF 18 INCHES.
- CENTER METER BOXES LOCATED IN CONCRETE DRIVEWAYS IN A 4' X 4' SQUARE OF CONCRETE, SEPARATED FROM THE REST OF THE DRIVEWAY CONCRETE BY EXPANSION JOINT MATERIAL. USE A TRAFFIC RATED LID SET FLUSH WITH DRIVEWAY AND LID SHALL BE MARKED "WATER".
- SET OF METER LID TWO (2) INCHES ABOVE FINISHED GRADE EXCEPT AS NOTED IN NOTE "E"
- COPPER SETTERS MUST BE 11" (SHORT LAY) METER SETS
- INSTALL OR PROVIDE ONE (1) 20" X 1" DIC FOAM PAD 1.2# FOR EVERY METER PIT INSTALLED
- PROVIDE ONE (1) FORD TEST PORT WRETRO-SS-2CHC FOR EACH PHASE OF A SUBDIVISION OR PROJECT FOR THE CITY TO INSTALL. PREFERRED IN A SINGLE METER PIT IF APPLICABLE.
- MARK SERVICE WITH 6" (MIN.) T-POST OR 6" (MIN.) 2 X 4 BURIED TO SERVICE DEPTH, PAINTED WITH BLUE MARKING PAINT
- FUTURE 11" METER INSTALLED BY THE CITY OF KUNA
- FIRM UNDISTURBED EARTH OR COMPACTED SAND/GRAVEL
- DOUBLE PURPOSE COUPLING
- FORD VBHC94-18W-81-44-NL WITH MALE CONNECTION OR APPROVED EQUAL
- VALVE PER ITEM #14
- CAST IRON LID WITH TWO (2) RECESSED HOLES FOR DUAL SERVICE PITS AND ONE (1) RECESSED HOLE FOR SINGLE SERVICE METER PITS. 13 1/2" OPENING - 1 1/2" PENTAGONAL NUT (O&L 1242 OR VESTAL MFG BRMRC)
- CARTRIDGE CHECK VALVE FOR BACK-FLOW PREVENTION PER ITEM #14

ALL PRODUCTS AS LISTED OR APPROVED SUBSTITUTIONS

v.04/18/2022



CITY OF KUNA
(208) 287-1722 EXT. 8
www.KunaID.gov

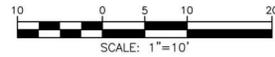
WATER SERVICE CONNECTION
STANDARD 1" WATER SERVICE
KUNA STANDARD DRAWING K-401

NO.	REVISIONS	DATE

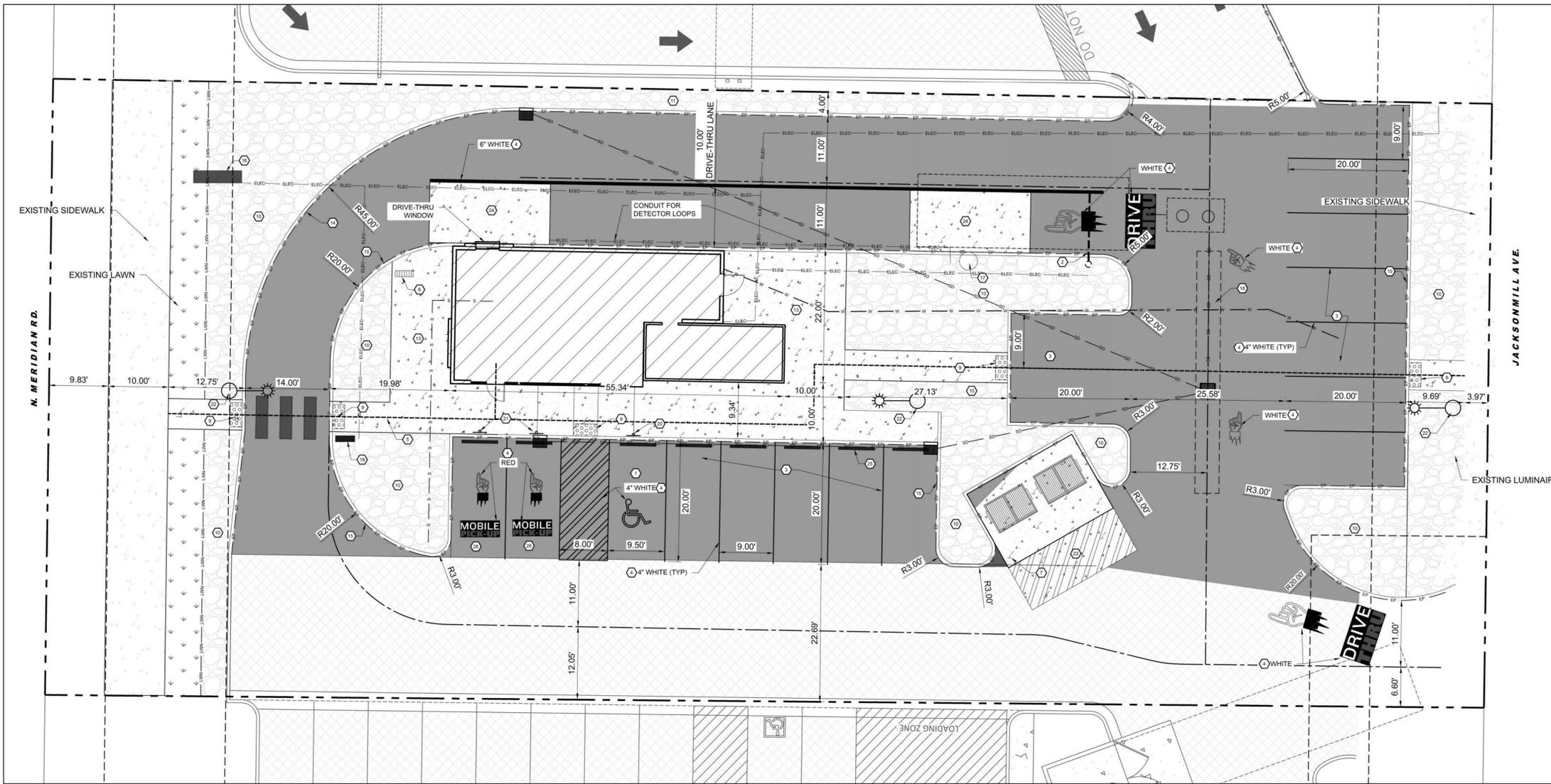
JIMMY JOHN'S
 1025 N. JACKSONMILL AVE, KUNA, IDAHO
 DETAILS

TIMBERLAND ASSOCIATE, LLC.
60 DIFFICULT DR.
IDAHO CITY, ID 83631
PHONE: (208) 559-2663
TREVOR@TIMBERLANDASSOCIATES.ORG

DESIGN BY: TLH
DRAWN BY: EPS
CHECKED BY: TLH
DATE: 3/21/2025
PROJECT: 24-13
SHEET NO.



SITE PLAN JIMMY JOHN'S KUNA, IDAHO



GENERAL NOTES

- SEE SHEET C.00 FOR PROJECT NOTES AND GENERAL NOTES

SHEET LEGEND

- PROPERTY BOUNDARY
- EASEMENT
- CENTERLINE
- EDGE OF PAVEMENT
- EDGE OF LAWN
- CURB
- PAVEMENT STRIPING
- BUILDING
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- EXISTING CONCRETE
- EXISTING ASPHALT
- LANDSCAPING (SODDED)

SITE PLAN KEYNOTES:

1. ACCESSIBLE VAN PARKING STALL W/ ACCESSIBLE PARKING PAINT TO BE 4" WIDE PER ISPC 1104
2. CLEARANCE BAR, SEE DETAIL C.03
3. PARKING STALL, TYPICAL (20' x 9')
4. PAVEMENT MARKING PAINT PER ISPC SECTION 1104
5. ACCESSIBLE ROUTE FROM PUBLIC ROW
6. BIKE RACK, ULINE H-2543BL
7. TRASH ENCLOSURE SEE SHEET C.03
8. NOT USED
9. ADA COMPLIANT PEDESTRIAN RAMP PER ISPC SD-712 & 712A THROUGH 712G
10. LANDSCAPE ROCK WITH FABRIC, SEE SHEET L1.0
11. SHRUB. SEE SHEET L1.0
12. LANDSCAPE (SODDED), SEE SHEET L1.0
13. THICKENED EDGE SIDEWALK WITH 6" REVEAL, SEE SHEET C0.2
14. 6" VERTICAL CURB AND GUTTER PER ISPC SD-701
15. 6" VERTICAL CURB (NO GUTTER) PER ISPC SD-701A
16. MONUMENT SIGN, BY OTHERS, FACING MAIN STREET, SEE SHEET C.03
17. FREESTANDING ORDER CANOPY W/ DIGITAL MENU BOARDS ON TYPE C STANDARD SIGNAL POLE FOUNDATION PER ISPC SD-1109, SEE DETAIL SHEET C.03
18. VALLEY GUTTER PER ISPC SD-708
19. INTERNALLY ILLUMINATED FREESTANDING DIRECTIONAL SIGN, SEE DETAIL SHEET C0.3
20. METAL ACCESSIBLE PARKING SIGN ON PERMANENT SIGN BASE, SEE DETAIL SHEET C0.3
21. NON-ILLUMINATED CURBSIDE PICK-UP SIGN ON PERMANENT SIGN BASE, SEE DETAIL SHEET C.03
22. LUMINAIRE, BLACK FONROCHE ESSENTIAL ON BASE, SEE DETAIL SHEET C0.2
23. CONCRETE APRON AT TRASH ENCLOSURE, SEE DETAIL SHEET C0.3
24. 10' BY 20' CONCRETE SECTION WITH LOOP DETECTORS, SEE DETAIL SHEET C0.2
25. CONCRETE PARKING BUMPER, SEE MANUFACTURERS RECOMMENDATIONS (TYP)
26. MOBILE ORDER PICKUP PARKING



NO.	DATE	REVISIONS

JIMMY JOHN'S
1025 N. JACKSONMILL AVE, KUNA, IDAHO
SITE PLAN



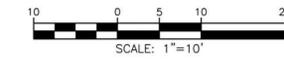
TIMBERLAND ASSOCIATE, LLC.
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DESIGN BY:	TLH
DRAWN BY:	EPS
CHECKED BY:	TLH
DATE:	4/1/2025
PROJECT:	24-13

SHEET NO. C1.0

G:\SHARED\TIMBERLAND ASSOCIATES\PROJECTS\2024\04-13 1025 N JACKSONMILL AVE JIMMY JOHN'S DRIVE THRU SITE PLAN DWG, TREVORHOWARD, 04/01/25, BLUEBERRY PDS

DRAINAGE AND UTILITY PLAN JIMMY JOHN'S KUNA, IDAHO



SHEET LEGEND

- SAND AND GREASE TRAP
- CATCH BASIN (SQUARE)
- CATCH BASIN (CURB)
- SEEPAGE BED OUTLINE
- SANITARY SEWER LINE
- WATER LINE
- STORM DRAIN LINE
- PRESSURE IRRIGATION
- ELECTRIC LINE

DRAINAGE KEYNOTES (#D)

1. INSTALL SEEPAGE BED (SB-1) PER SEEPAGE BED DETAIL ON SHEET C0.2
TOP OF ROCK ELEV: 2695.69
12" INV ELEV: 2694.19
BOTTOM OF ROCK ELEV: 2688.19
2. INSTALL 1000 GALLON SAND AND GREASE TRAP (SG-1) WITH SOLID RIM PER DETAIL ON SHEET C.02
RIM (E) ELEV: 2698.60
RIM (W) ELEV: 2698.69
INV IN ELEV: 2694.22
BAFFLE ELEV: 2694.49
INV OUT ELEV: 2694.22
3. INSTALL CATCH BASIN INLET TYPE IV CATCH BASIN
4. INSTALL MAN-HOLE TYPE B PER SD-613 WITH GRATE TYPE II PER SD-610 (ITD TYPE D)
5. INSTALL 12" HDPE STORM DRAIN

SEWER KEYNOTES (#S)

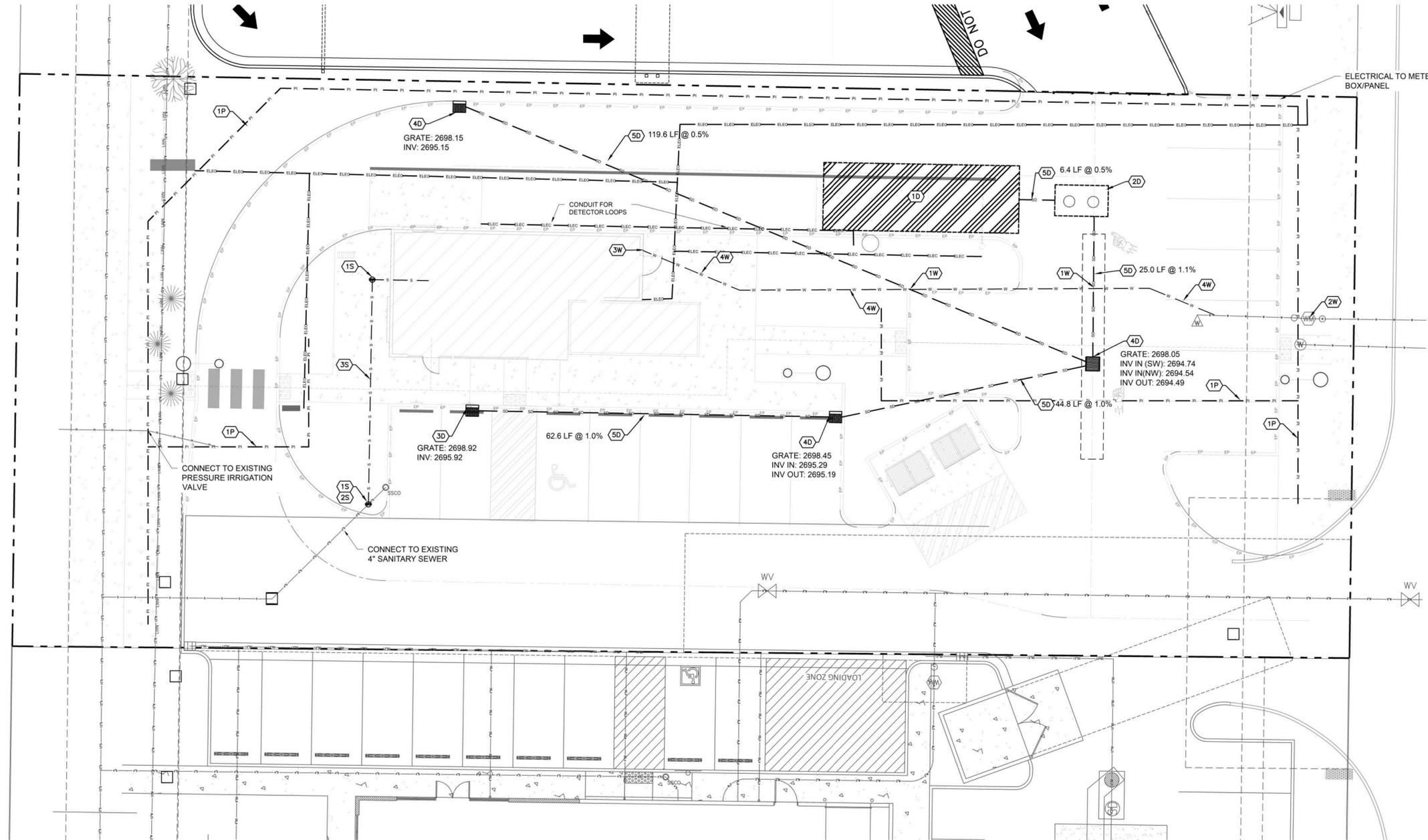
1. INSTALL 4" TRAFFIC RATED CLEAN-OUT PER ISPPWC SD-506A
2. CONNECT 4" SEWER SERVICE TO EXISTING 4" SEWER. CONTRACTOR TO VERIFY LOCATION, SIZE AND ELEVATION PRIOR TO CONSTRUCTION. NOTIFY DESIGN ENGINEER IF INVERT ELEVATION IS GRATER THAN 2696.5.
3. 4" PVC @ 2% MINIMUM SLOPE

WATER KEYNOTES (#W)

1. MAINTAIN 18" VERTICAL SEPARATION BETWEEN POTABLE AND NON-POTABLE SERVICES/MAINS. CONTRACTOR TO INSTALL VERTICAL BENDS IN WATER LINES IF NECESSARY.
2. INSTALL 1" WATER SERVICE WITH 1" WATER METER PER KUNA STANDARD DRAWING K-401.
3. SEE PLUMBING FOR CONTINUATION OF WATER SERVICES WITHIN BUILDING
4. 1" PE SERVICE LINE

PRESSURE IRRIGATION KEYNOTES (#PI)

1. INSTALL PRESSURE IRRIGATION DISTRIBUTION TO LANDSCAPING, SEE SHEET L1.0



NO.	DATE	REVISIONS	ITEM

JIMMY JOHN'S
1025 N. JACKSONMILL AVE, KUNA, IDAHO
DRAINAGE AND UTILITY PLAN

TIMBERLAND ASSOCIATE, LLC
60 DIFFICULT DR.
IDAHO CITY, ID 83631
PHONE: (208) 559-2663
TREVOR@TIMBERLANDASSOCIATES.ORG

DESIGN BY:	TLH
DRAWN BY:	EPS
CHECKED BY:	TLH
DATE:	4/11/2025
PROJECT:	24-13
SHEET NO.:	C2.0

G:\SHARED\DRIVE\TIMBERLAND ASSOCIATES\PROJECTS\2024\11-1025 N JACKSONMILL AVE JIMMY JOHN'S\DRAINAGE AND UTILITY PLAN\DWG_TREVO\DWG_040325_RLH.DWG

GRADING PLAN JIMMY JOHN'S KUNA, IDAHO



LEGEND

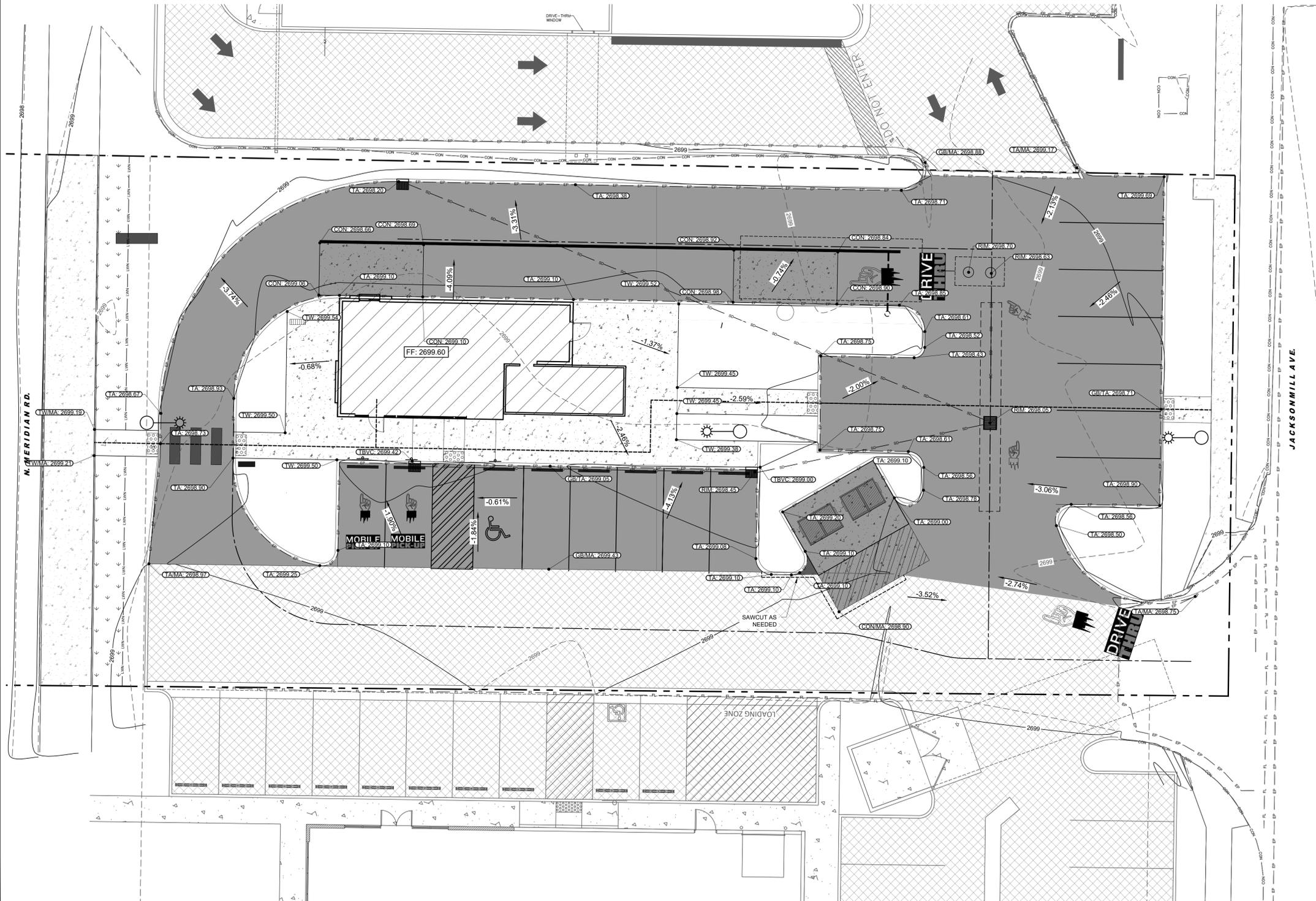
- FINISHED GRADE ELEVATION
- FINISHED GRADE SLOPE
- EXISTING GRADE CONTOUR
- FINISHED GRADE CONTOUR
- PROPOSED ASPHALT
- EXISTING ASPHALT

SHEET NOTES

1. ALL SPOT ELEVATIONS ARE TO THE TOP OF ASPHALT UNLESS NOTED AS FOLLOWS:
RIM = RIM OF STRUCTURE
TA = TOP OF ASPHALT
CON = TOP OF CONCRETE
MA = MATCH EXISTING
FL = FLOW LINE
GB = GRADE BREAK
FG = FINISHED FLOOR
FF = FINISHED FLOOR
TW = TOP OF SIDEWALK
TBVC = TOP BACK OF VERTICAL CURVE

GENERAL NOTES

1. SEE SHEET C.00 FOR PROJECT NOTES
2. CONTRACTOR TO VERIFY ALL MATCH ELEVATIONS



NO.	REVISIONS	DATE

JIMMY JOHN'S
1025 N. JACKSONMILL AVE, KUNA, IDAHO
GRADING PLAN



TIMBERLAND ASSOCIATE, LLC
60 DIFFICULT DR.
IDAHO CITY, ID 83631
PHONE: (208) 559-2663
TREVOR@TIMBERLANDASSOCIATES.ORG

DESIGN BY: TLH
DRAWN BY: EPS
CHECKED BY: TLH
DATE: 3/21/2025
PROJECT: 24-13

SHEET NO.
C3.0

UTS-BAVAVAV1458 - JIMMY JOHN'S DRIVE THRU WINDOW SHEET SET/CLO GRADING PLAN DWG. ELIOT STAUFFER, 4/27/2025, AUTOCAD PDF (HIGH QUALITY PRINT) PCL...



Miranda Gold, President
Alexis Pickering, Vice-President
Kent Goldthorpe, Commissioner
Dave McKinney, Commissioner
Patricia Nilsson, Commissioner

May 6th, 2025

To: Trevor Howard, via email
Timberland Associates, LLC
60 Difficult Dr
Idaho City, ID 83631

Subject: KUNA25-0009/25-07-DR
1025 N Jacksonmill Ave
Jimmy John's

The Ada County Highway District (ACHD) has reviewed the submitted application for the application referenced above and has determined that there are no improvements required to the adjacent street(s).

The applicant shall be required to:

1. Pay a traffic impact fee, if applicable. For any questions regarding the traffic impact fee please contact ACHD's Impact Fee Administrator at impactfees@achdidaho.org.
2. If applicable, a traffic impact fee shall be assessed by ACHD and will be due prior to the issuance of a building permit by the lead agency. This is a separate review process and it is the applicant's responsibility to submit plans directly to ACHD.
3. Payment can be accepted over the phone by calling (208) 387-6170 or can be sent/ delivered to the following address:

Ada County Highway District
Attn: Development Services
5800 N. Meeker Avenue
Boise, ID 83713

- Reference the file number above when making the payment.
 - Please note:
 - Fees are subject to change if not paid prior to October 1st
 - All card payments are subject to a 3% processing fee
 - All e-check payments are subject to a \$1.50 processing fee
4. Submit a driveway approach request for any proposed driveways. Driveway approach permits can be found at:
<https://www.achdidaho.org/home/showpublisheddocument/988/638245965711600000>
 5. Comply with all ACHD Policies and ACHD Standard Conditions of Approval for any improvements or work in the right-of-way.
 6. Obtain a permit for any work in the right-of-way prior to the construction, repair, or installation of any roadway improvements (curb, gutter, sidewalk, pavement widening, driveways, culverts, etc.).

connecting you to more

If you have any questions, please feel free to contact me at (208) 387-6171.

Sincerely,

A handwritten signature in black ink, appearing to read "Matt Pak", enclosed within a thin, hand-drawn oval.

Matt Pak
Planner
Development Services

cc: City of Kuna (Marina Lundy), via email
Kyla Real Estate, LLC (Kaveh Hoss), via email

connecting you to more

Standard Conditions of Approval

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).
2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
3. In accordance with District policy, 7203.3, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Public Right-of-Way Accessibility Guidelines (PROWAG) requirements. The applicant's engineer should provide documentation of compliance to District Development Review staff for review.
4. Replace any existing damaged curb, gutter and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 208-387-6280 (with file number) for details.
5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 208-387-6258 (with file numbers) for details.
9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.
10. Construction, use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.
11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.
12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.

RE: City of Kuna Request for Comment Case No. 25-07-DR Jimmy John's

From Kendra Conder <Kendra.Conder@itd.idaho.gov>

Date Fri 4/25/2025 8:53 AM

To Marina Lundy <MLundy@kunaid.gov>

Good Morning Marina,

ITD has reviewed the application transmittal for 25-07-DR and does not have any comments.

Thanks!

Kendra Conder

District 3 | Development Services Coordinator

Idaho Transportation Department

Office: 208-334-8377

Cell: 208-972-3190



From: Marina Lundy <MLundy@kunaid.gov>

Sent: Thursday, April 24, 2025 11:04 AM

To: Ada County Highway District <planningreview@achdidaho.org>; Central District Health Department <lbadigian@cdhd.idaho.gov>; D3 Development Services <D3Development.Services@itd.idaho.gov>; Kendra Conder <Kendra.Conder@itd.idaho.gov>; J&M Sanitation <chad.gordon@jmsanitation.com>; Jessica Reid <jhall@kunaid.gov>; Morgan Treasure <mtreasure@kunaid.gov>; Kuna Police Department <mfratusco@adacounty.id.gov>; TLawrence Kuna Fire <tlawrence@kunafire.com>; Kuna Rural Fire District Plan Review <scott@fccnw.com>; PWoffice <PWoffice@kunaid.gov>

Subject: City of Kuna Request for Comment Case No. 25-07-DR Jimmy John's

CAUTION: This email originated outside the State of Idaho network. Verify links and attachments BEFORE you click or open, even if you recognize and/or trust the sender. Contact your agency service desk with any concerns.

Good afternoon,

Notice is hereby given by the City of Kuna the following actions are under consideration:

<p>CASE NUMBER:</p>	<p><u>25-07-DR JIMMY JOHNS</u></p>
----------------------------	--

PROJECT DESCRIPTION	Applicant requests Design Review approval for design of a new Jimmy John's Restaurant. The site is .56 acres and is located near the intersection of Meridian Rd and Profile Rd and is identified as parcel No. R0539830060 (SEC 19, T2N, R1E).
APPLICANT	Trevor Howard Trevor@timberlandassociates.org
REPRESENTATIVE	Same as above
SCHEDULED HEARING DATE	Tuesday, May 27, 2025 , at 6:00 P.M.
STAFF CONTACT	Marina Lundy 208.922.5546 mlundy@kunaid.gov
<ul style="list-style-type: none"> · We have enclosed information to assist you with your consideration and response; we would appreciate any information as to how this action would affect the service(s) your agency provides. <i>If your agency requires additional information, or if contact information for your agency needs updated, please notify our office.</i> · <i>No response within 15 business days will indicate you have no objection or comments regarding this project.</i> · The hearing is scheduled to begin at 6:00 p.m. or as soon as it may be heard. Kuna City Hall is located at 751 W. 4th Street, Kuna, ID 83634. Please contact staff with questions. 	



751 W. 4th Street

P.O. Box 13

Kuna, ID 83634

Marina Lundy

Planner

City of Kuna | Development Services

Phone: 986.269.8341

Email: mlundy@kunaid.gov

www.kunacity.id.gov

RE: City of Kuna Request for Comment Case No. 25-07-DR Jimmy John's

From Mike Borzick <mborzick@kunaaid.gov>
Date Thu 4/24/2025 2:56 PM
To Marina Lundy <MLundy@kunaaid.gov>

No comments. In a commercial sub. All good.

Mike Borzick

GIS Manager
City of Kuna, Idaho
208.287.1726
208.994.1529

From: Marina Lundy <MLundy@kunaaid.gov>
Sent: Thursday, April 24, 2025 11:04 AM
To: Ada County Highway District <planningreview@achdidaho.org>; Central District Health Department <lbadigian@cdhd.idaho.gov>; Idaho Transportation Department <D3Development.Services@itd.idaho.gov>; Idaho Transportation Department - Kendra Conder <Kendra.Conder@itd.idaho.gov>; J&M Sanitation <chad.gordon@jmsanitation.com>; Jessica Reid <jhall@kunaaid.gov>; Morgan Treasure <mtreasure@kunaaid.gov>; Kuna Police Department <mfratusco@adacounty.id.gov>; TLawrence Kuna Fire <tlawrence@kunafire.com>; Kuna Rural Fire District Plan Review <scott@fccnw.com>; PWorkoffice <PWorkoffice@kunaaid.gov>
Subject: City of Kuna Request for Comment Case No. 25-07-DR Jimmy John's

Good afternoon,

Notice is hereby given by the City of Kuna the following actions are under consideration:

CASE NUMBER:	 25-07-DR JIMMY JOHNS
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APPLICANT	Trevor Howard Trevor@timberlandassociates.org
REPRESENTATIVE	Same as above
SCHEDULED HEARING DATE	Tuesday, May 27, 2025, at 6:00 P.M.
STAFF CONTACT	Marina Lundy 208.922.5546 mlundy@kunaaid.gov

· We have enclosed information to assist you with your consideration and response; we would appreciate any information as to how this action would affect the service(s) your agency provides. *If*

your agency requires additional information, or if contact information for your agency needs updated, please notify our office.

- *No response within **15 business days** will indicate you have no objection or comments regarding this project.*
- The hearing is scheduled to begin at 6:00 p.m. or as soon as it may be heard. Kuna City Hall is located at 751 W. 4th Street, Kuna, ID 83634. Please contact staff with questions.



751 W. 4th Street

P.O. Box 13

Kuna, ID 83634

Marina Lundy

Planner

City of Kuna | Development Services

Phone: 986.269.8341

Email: mlundy@kunaid.gov

www.kunacity.id.gov

CASE NO. 25-16-DR

BURGER KING, 25-16-DR

Planner: Marina Lundy, MLundy@kunaid.gov, (986)269-8341

ALL APPLICATION MATERIALS: 25-16-DR
BURGER KING

If you require assistance accessing the application materials through the link provided above or would like to review the application materials in person at City Hall please contact the assigned planner.



**CITY OF KUNA:
P&Z COMMISSION
STAFF MEMO**

City of Kuna Council Staff Memo

Entitlements Requested:	Final Plat	Rezone	Annexation	Special Use	Planned Unit Development	Design Review	Time Extension
Title:	Burger King	Application Number:		25-16-DR			
Date:	5/27/2025	Staff Contact:		Marina Lundy			
Owner(s)/Applicant:	NFLP IV LLC	Applicant Contact:		ted@fastsnakefood.com			
Representative:	AG Land & Development	Representative Contact:		Connor@aglidaho.com			

Purpose
 Applicant requests Design Review approval for design of a new Burger King Restaurant. The site is .802 acres and is located near the intersection of E Deer Flat Rd and N Meridian Rd and is identified as parcel No. R6949010600.

Statement of Fact	
Parcel Number(s):	R6949010600
Future Land Use Map Designation:	Commercial/Mixed-Use
Existing Land Use:	Vacant lot
Current Zoning:	C-2
Proposed Zoning:	C-2
Development Area:	.802 Acres
Adjacent Zoning Districts:	North: C-2 East: C-1 South: C-2 West: C-2
Adjacent Street(s) Existing & Proposed:	North: None East: N Meridian road South: E Deer Flat Road West: None
Internal Street(s) Existing & Proposed:	N/A
Adjacent Bike/Pedestrian Facilities:	None
Adjacent Parks:	None
Land Dedication Requirements:	N/A

Comprehensive Plan and Future Land Use Map Analysis
 The Comprehensive Plan identifies the subject property as Commercial, the existing zone is a C-2 (area commercial district) City of Kuna Zone. The proposed zoning and land use for the subject site agrees with the Future Land Use Map (FLUM) of the City of Kuna.

Staff Analysis

The applicant is submitting a request to construct a 3,250 square foot Burger King restaurant with a drive through in the Paul Bunyan Plaza Subdivision. The site will have 27 parking spaces, including 2 ADA-accessible spaces.

Site plan deficiencies:

ADA parking spaces must be a minimum of 9' 6" in width per KCC [5-8-1403](#)

Upon staff review, the proposed application meets the requirements and intent of Kuna City Code with adherence to proposed conditions and Comprehensive Plan. Staff recommend the Commission approve the application with the conditions outlined in staff's report.

Recommended Conditions of Approval

1. Developer/Owner/Applicant shall work with Ada County Highway District and the City of Kuna to complete all required traffic improvements to provide public access to the site as this project will have internal private streets, as detailed in the Ada County Highway District staff report.
2. Developer/Owner/Applicant shall measure all front building setbacks from back of sidewalk on all internal local roads.
3. Applicant shall ensure the proper easement widths on all lots in accordance with KCC 5-9-308.
4. It is the responsibility of the Developer to ensure any anticipated buildings fit any given buildable lot.
5. Fencing within and around the site shall comply with KCC 5-8-1005 (unless specifically approved otherwise and permitted).
6. All required landscaping shall be permanently maintained in a healthy condition. The property Owner shall remove and replace unhealthy or dead plant material within 3 days or as the planting season permits as required to meet the standards of these requirements. Maintenance and planting in public Rights-of-Way shall be with approval from ACHD.
7. Landscaping shall not be placed within ten (10) feet of any meter pits, pressurized irrigation valves and/or ACHD underground facilities and must honor all vision triangles.
8. All signage within/for the project shall comply with Kuna City Code and shall be approved through the applicable sign approval process listed in KCC 5-8-1704 through 1706.
9. Develop/Owner/Applicant is hereby notified this project is subject to Design Review inspections and fees. Required inspections (post construction), are to verify building and landscaping compliance prior to requesting signature on the final plat.
10. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground, see KCC 5-9-402-B-22.

11. Connection to City Services (Sewer and Water) is required. The Applicant shall conform to all corresponding City of Kuna Master Plans.
12. Developer/Owner/Applicant shall work with staff in order to provide final locations of streetlights as required by Kuna City Code. Streetlights for the site shall be LED lighting and must comply with Kuna City Code and established Dark Sky practices.
13. The Developer/Owner/Applicant, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the City Council, or seek amending them through Public Hearing processes.
14. Developer/Owner/Applicant/Contractors are hereby notified of Kuna's working hours. Construction of any kind shall only be conducted within hours specified in KCC 10-6-3. Noises and other public nuisances/distractions outside of this time frame are subject to lawful penalties
15. Developer/Owner/Applicant is hereby notified of Kuna's weed control policies and requirements KCC 8-1-3. Weeds, grasses, vines or other growth which endanger property or are over 12 inches in height shall be continuously cut down, weeded out, sprayed, burned, removed or destroyed throughout all seasons.
16. Developer/Owner/Applicant is conditioned to submit an updated site plan with ADA parking spaces that comply with Kuna City Code.

May 6, 2025

Dawn Stephens
Building Department Director
City of Kuna Design Review
751 W 4th St, Kuna, ID 83634

Re: Burger King Design Review at Paul Bunyan Plaza

Dear Kuna Design Review Board,

On behalf of NFLP IV LLC, AG Land & Development is pleased to submit this Design Review application for a new Burger King restaurant located within Paul Bunyan Plaza. Attached are the preliminary design documents for the proposed restaurant at 1482 E Deer Flat Road, Kuna, ID 83634 (Parcel Number: R6949010600).

The proposed development features a modern, technology-forward layout designed to enhance customer convenience and improve operational efficiency. The building will include a modern exterior aesthetic consistent with current Burger King branding standards, with high-quality materials and a site layout that prioritizes traffic flow, pedestrian accessibility, and landscape integration.

Thank you for your consideration. We look forward to working with the City of Kuna on this project.

Sincerely,

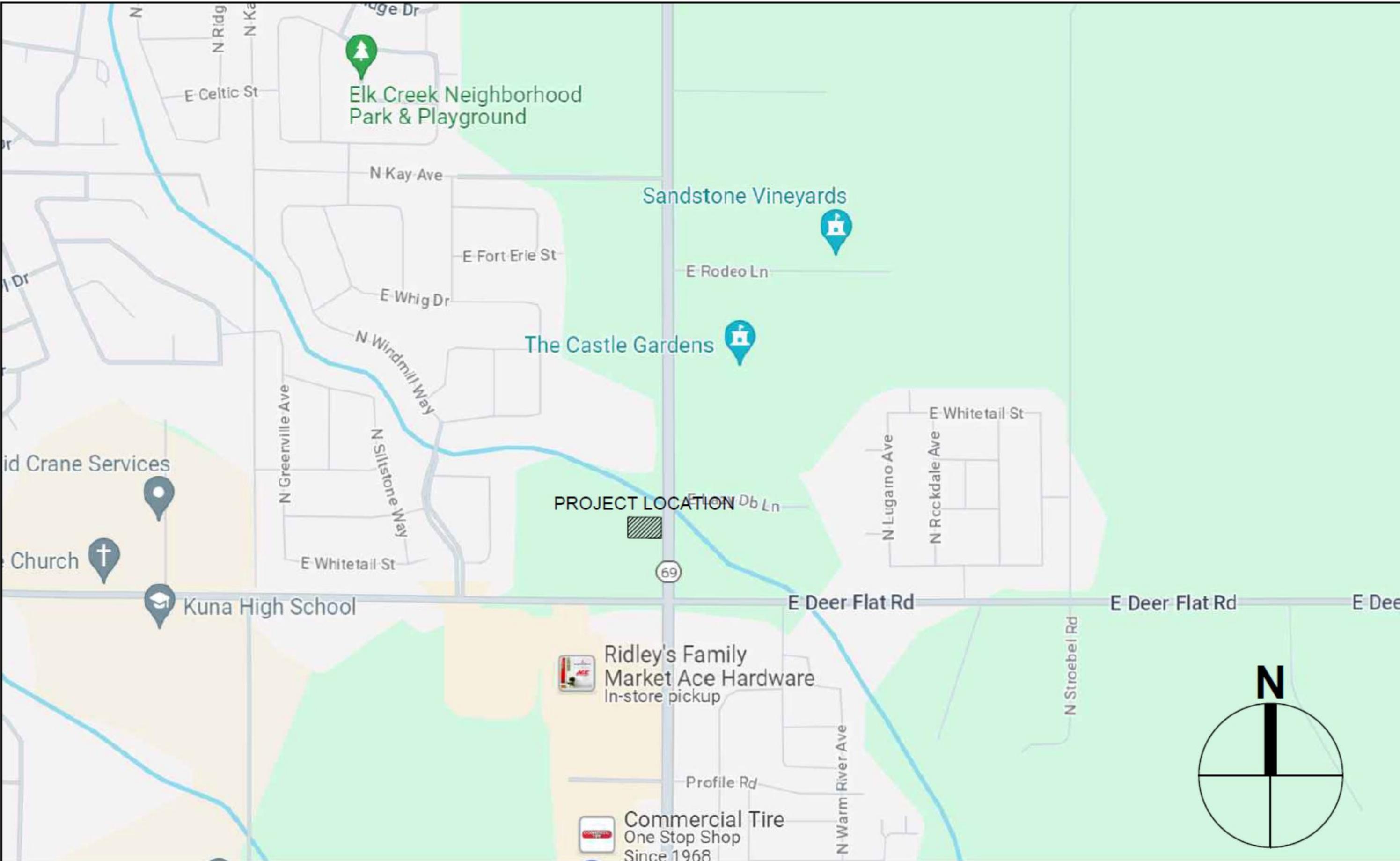


Connor Gray

AG Land & Development, LLC

Principal

PROJECT LOCATION MAP



Re: City of Kuna Request for Comment Case No. 25-16-DR Burger King

From Chad Gordon <chad.gordon@jmsanitation.com>

Date Thu 5/8/2025 2:43 PM

To Marina Lundy <MLundy@kunaid.gov>

The only thing that needs to be changed is the front to back dimension. It is currently 10'8 and it needs to be 12'. Other than that everything is good.

Thanks,

On Thu, May 8, 2025 at 1:59 PM Marina Lundy <MLundy@kunaid.gov> wrote:

Hi Chad,
Attached is the trash enclosure plan.

Best,



Marina Lundy

Planner

City of Kuna | Development Services

751 W. 4th Street

P.O. Box 13

Kuna, ID 83634

Phone: 986.269.8341

Email: mlundy@kunaid.gov

www.kunacity.id.gov

From: Chad Gordon <chad.gordon@jmsanitation.com>

Sent: Thursday, May 8, 2025 12:06 PM

To: Marina Lundy <MLundy@kunaid.gov>

Subject: Re: City of Kuna Request for Comment Case No. 25-16-DR Burger King

Hi Marina,

Can I get a detailed drawing of the trash enclosure?

Thanks,

On Thu, May 8, 2025 at 11:50 AM Marina Lundy <MLundy@kunaid.gov> wrote:

Good afternoon,

Notice is hereby given by the City of Kuna the following actions are under consideration:

CASE NUMBER:	<input type="checkbox"/> 25-16-DR BURGER KING
PROJECT DESCRIPTION	Applicant requests Design Review approval for design of a new Burger King Restuarant. The site is .802 acres and is located near the intersection of E Deer Flat Rd and N Meridian Rd in the Paul Bunyan Plaza Subdivision and is identified as parcel No. R6949010600.
APPLICANT	NFLP IV LLC ted@fastsnakefoods.com
REPRESENTATIVE	AG Land & Development Connor@aglidaho.com
SCHEDULED HEARING DATE	Tuesday, May 27, 2025 , at 6:00 P.M.
STAFF CONTACT	Marina Lundy 208.922.5546 mlundy@kunaid.gov
<ul style="list-style-type: none">· We have enclosed information to assist you with your consideration and response; we would appreciate any information as to how this action would affect the service(s) your agency provides. <i>If your agency requires additional information, or if contact information for your agency needs updated, please notify our office.</i>· <i>No response within 15 business days will indicate you have no objection or comments regarding this project.</i>· The hearing is scheduled to begin at 6:00 p.m. or as soon as it may be heard. Kuna City Hall is located at 751 W. 4th Street, Kuna, ID 83634. Please contact staff with questions.	



Marina Lundy

Planner

City of Kuna | Development Services

751 W. 4th Street

P.O. Box 13

Kuna, ID 83634

Phone: 986.269.8341

Email: mlundy@kunaid.gov

www.kunacity.id.gov

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Chad J. Gordon
J&M Sanitation Inc.
Office # (208) 922-3313
Fax # (208) 922-4033
Cell # (208) 941-6371
E-mail : chad.gordon@jmsanitation.com

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E-mail : chad.gordon@jmsanitation.com