

**OFFICIALS**

Joe Stear, Mayor
 Chris Bruce, Council President
 Greg McPherson, Council Member
 Matt Biggs, Council Member
 John Laraway, Council Member

CITY OF KUNA
Kuna City Hall Council Chamber, 751 W 4th Street, Kuna, Idaho 83634

City Council Meeting
AGENDA
Tuesday, July 02, 2024

6:00 P.M. REGULAR CITY COUNCIL

For questions, please call the Kuna City Clerk's Office at (208) 387-7726.

ALL ITEMS ON THE KUNA CITY COUNCIL AGENDA ARE CONSIDERED ACTION ITEMS UNLESS OTHERWISE INSTRUCTED BY THE CITY COUNCIL.

1. Call to Order and Roll Call

2. Pledge of Allegiance: Mayor Stear

3. Consent Agenda: ACTION ITEMS

All items listed under the Consent Agenda are considered to be routine and are acted on with one motion by the City Council. There will be no separate discussion on these items unless the Mayor, Council Member, or City Staff requests an item to be removed from the Consent Agenda for discussion. Items removed from the Consent Agenda will be placed on the Regular Agenda under Business or as instructed by the City Council.

A. Regular City Council Meeting Minutes Dated June 18, 2024

B. Accounts Payable Dated June 27, 2024, in the amount of \$521,495.58

C. Final Plats

1. Case No. 24-09-FP (Final Plat) Valor Golf Village No. 2
2. Case No. 24-08-FP (Final Plat) Falcon Crest No. 7

D. Resolutions

1. Resolution R40-2024

A RESOLUTION OF THE CITY COUNCIL OF KUNA, IDAHO:

- MAKING CERTAIN FINDINGS AND DECLARATION OF AUTHORITY; AND
- ADOPTING THE "CITY OF KUNA DOWNTOWN DESIGN STANDARDS"; AND
- DIRECTING THE CITY CLERK; AND
- PROVIDING AN EFFECTIVE DATE.

2. Resolution R41-2024

NOTICE: Copies of all agenda materials are available for public review in the Office of the City Clerk. Persons who have questions concerning any agenda item may call the City Clerk's Office at (208) 387-7726. In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk at 387-7726 at least forty-eight (48) hours prior to the meeting to allow the City to make reasonable arrangements to ensure accessibility to this meeting.

A RESOLUTION OF THE CITY COUNCIL FOR KUNA, IDAHO APPROVING A PERFORMANCE BOND BY TRESIDIO HOMES, LLC, FOR PATAGONIA EAST SUBDIVISION NO. 1 FOR UNCOMPLETED FOR LANDSCAPING PURSUANT TO THE TERMS OF THIS RESOLUTION.

3. Resolution R42-2024

A RESOLUTION OF THE CITY COUNCIL FOR KUNA, IDAHO APPROVING A PERFORMANCE BOND BY TRESIDIO HOMES, LLC, FOR PATAGONIA EAST SUBDIVISION NO. 1 FOR UNCOMPLETED FOR FENCING PURSUANT TO THE TERMS OF THIS RESOLUTION.

4. Resolution R43-2024

A RESOLUTION OF THE CITY COUNCIL FOR KUNA, IDAHO APPROVING A PERFORMANCE BOND BY TRESIDIO HOMES, LLC, FOR LUGARNO TERRA NORTH SUBDIVISION NO. 1 FOR UNCOMPLETED FOR LANDSCAPING PURSUANT TO THE TERMS OF THIS RESOLUTION.

5. Public Comment

6. External Reports

A. Valley Regional Transit Presentation

7. Public Hearings:

Public Hearing Process: Items begin with the presentation of the project by staff for up to 15 minutes. The applicant is then allowed 10 minutes to present their project. Members of the public are allowed up to 3 minutes each, to address City Council with testimony restricted to the matter at hand. After all public testimony, the applicant is allowed 5 minutes for rebuttal.

City Council members may ask questions throughout the public hearing process.

Once the public hearing is closed, no further testimony or comments are heard.

City Council may move to continue the application to a future meeting or approve or deny the application.

A. Watch Me Grow Daycare – License Revocation. Nathan Stanley, City Clerk ACTION ITEM

Open Public Hearing

Receive evidence

Consideration to close evidence presentation and proceed to deliberation

8. Business Items:

A. Outstanding Citizen Achievement Award, Charlie Long – Presented by Mayor Stear.

B. Consideration to approve Mayor Stear’s recommendation to appoint Adam Wenger as the Public Works Director. Mayor Stear ACTION ITEM

C. Consideration to approve Mayor Stear's recommendation to appoint Nancy Stauffer as the Human Resources Director. Mayor Stear **ACTION ITEM**

D. Consideration to approve Ordinance 2024-16. Nathan Stanley, City Clerk **ACTION ITEM**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF KUNA:

- MAKING CERTAIN FINDINGS; AND
- ADDING CHAPTER 4A TO TITLE 1, KUNA CITY CODE, AND THEREBY ESTABLISHING AN ADMINISTRATIVE CITATION PROGRAM; AND
- PROVIDING A SEVERABILITY CLAUSE; AND
- DIRECTING THE CITY CLERK; AND
- PROVIDING AN EFFECTIVE DATE.

Consideration to waive three readings.

Consideration to approve Ordinance.

Consideration to approve Summary Publication.

E. Consideration to approve Ordinance 2024-17. Nathan Stanley, City Clerk **ACTION ITEM**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF KUNA:

- PROVIDING CERTAIN FINDINGS; AND
- AMENDING SECTION 1 OF CHAPTER 4 OF TITLE 1 KUNA CITY CODE TO MAKE TECHNICAL CORRECTIONS AND ADD AN ADMINISTRATIVE CITATION FINE SCHEDULE AND AMENDING THE INFRACTION PENALTY WHERE NO FINE IS PROVIDED; AND
- PROVIDING A SEVERABILITY CLAUSE; AND
- DIRECTING THE CITY CLERK; AND
- PROVIDING AN EFFECTIVE DATE.

Consideration to waive three readings.

Consideration to approve Ordinance.

Consideration to approve Summary Publication.

F. Consideration to approve Ordinance 2024-18. Nathan Stanley, City Clerk **ACTION ITEM**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF KUNA:

- PROVIDING CERTAIN FINDINGS; AND

- AMENDING SECTION 17 OF CHAPTER 3 OF TITLE 3 KUNA CITY CODE MAKING A VIOLATION OF THE CHAPTER (SOLICITORS AND PEDDLERS) ENFORCEABLE BY ADMINISTRATIVE CITATION; AND
- AMENDING SECTION 9 OF CHAPTER 4 OF TITLE 3 KUNA CITY CODE MAKING A VIOLATION OF THE CHAPTER (GENERAL LICENSE PROVISIONS) ENFORCEABLE BY ADMINISTRATIVE CITATION; AND
- AMENDING SECTIONS 2, 8, 9, 10, 11, 12, 13, AND 14 OF CHAPTER 7 OF TITLE 3 KUNA CITY CODE MAKING A VIOLATION OF CERTAIN PROVISIONS OF THE CHAPTER (TAXICAB REGULATIONS) ENFORCEABLE BY ADMINISTRATIVE CITATION; AND
- AMENDING SECTION 16 OF CHAPTER 8 OF TITLE 3 KUNA CITY CODE MAKING A VIOLATION OF THE CHAPTER (SPECIAL EVENTS) ENFORCEABLE BY ADMINISTRATIVE CITATION; AND
- AMENDING SECTION 15 OF CHAPTER 9 OF TITLE 3 KUNA CITY CODE MAKING A VIOLATION OF THE CHAPTER (TEMPORARY MOBILE VENDOR'S PERMIT) ENFORCEABLE BY ADMINISTRATIVE CITATION; AND
- AMENDING SECTION 22 OF CHAPTER 3 OF TITLE 7 KUNA CITY CODE MAKING A VIOLATION OF THE CHAPTER (PUBLIC WAYS AND PROPERTY) ENFORCEABLE BY ADMINISTRATIVE CITATION; AND
- AMENDING SECTIONS 2 AND 3 OF CHAPTER 1 OF TITLE 8 KUNA CITY CODE MAKING A VIOLATION OF CERTAIN PROVISIONS (WEED CONTROL) ENFORCEABLE BY ADMINISTRATIVE CITATION FIRST AND BY MISDEMEANOR CITATION AFTER; AND
- AMENDING SECTION 15 OF CHAPTER 4 OF TITLE 8 KUNA CITY CODE MAKING A VIOLATION OF THE CHAPTER (PUBLIC NUISANCE) ENFORCEABLE BY ADMINISTRATIVE CITATION; AND
- AMENDING SECTION 4 OF CHAPTER 2 OF TITLE 9 KUNA CITY CODE MAKING A VIOLATION OF THE CHAPTER (OPEN BURNING VIOLATIONS) ENFORCEABLE BY ADMINISTRATIVE CITATION; AND
- AMENDING SECTIONS 8, 9, 11, AND 16 OF CHAPTER 3 OF TITLE 10 KUNA CITY CODE MAKING A VIOLATION OF CERTAIN PROVISIONS WITHIN THE CHAPTER (ANIMAL CONTROL) ENFORCEABLE BY ADMINISTRATIVE CITATION; AND
- AMENDING SECTIONS 4 AND 11 OF CHAPTER 1 OF TITLE 11 KUNA CITY CODE MAKING A VIOLATION OF CERTAIN PROVISIONS (LOADING AND UNLOADING ZONES; PEDESTRIANS) ENFORCEABLE BY ADMINISTRATIVE CITATION; AND
- REPEALING SECTION 10 OF CHAPTER 1 OF TITLE 11 KUNA CITY CODE (RIDING HORSE AT NIGHT, LIGHT REQUIRED); AND

- AMENDING SECTION 12 OF CHAPTER 2 OF TITLE 11 KUNA CITY CODE MAKING A VIOLATION (STOPPING, STANDING, PARKING VIOLATIONS) ENFORCEABLE BY ADMINISTRATIVE CITATION; AND
- AMENDING SECTION 3 OF CHAPTER 3 OF TITLE 11 KUNA CITY CODE MAKING A VIOLATION OF THAT CHAPTER (UNCOVERED LOADS) ENFORCEABLE BY ADMINISTRATIVE CITATION; AND
- PROVIDING A SEVERABILITY CLAUSE; AND
- DIRECTING THE CITY CLERK; AND
- PROVIDING AN EFFECTIVE DATE.

Consideration to waive three readings.

Consideration to approve Ordinance.

Consideration to approve Summary Publication.

9. Ordinances:

A. Consideration to approve Ordinance 2024-14 for Kuna Apartments ACTION ITEM

A MUNICIPAL REZONE ORDINANCE OF THE CITY COUNCIL OF THE CITY OF KUNA:

- MAKING CERTAIN FINDINGS AND DECLARATION OF AUTHORITY; AND
- REZONING CERTAIN REAL PROPERTY, TO WIT: ADA COUNTY ASSESSOR'S PARCEL NOS. S1324110095, AND S1324110170, OWNED BY CJM LIMITED LIABILITY LIMITED PARTNERSHIP, SITUATED WITHIN THE CORPORATE CITY LIMITS OF THE CITY OF KUNA, ADA COUNTY, IDAHO; AND
- AMENDING THE ZONING MAP; AND
- DIRECTING THE CITY ENGINEER AND THE CITY CLERK; AND
- PROVIDING AN EFFECTIVE DATE.

Consideration to waive three readings.

Consideration to approve Ordinance.

B. Consideration to approve Ordinance 2024-15 for Vasiliy Oleynik Rezone ACTION ITEM

A MUNICIPAL REZONE ORDINANCE OF THE CITY COUNCIL OF THE CITY OF KUNA:

- MAKING CERTAIN FINDINGS; AND
- REZONING CERTAIN REAL PROPERTY, TO WIT: ADA COUNTY ASSESSOR'S PARCEL NO. S1322244220, OWNED BY VASILIIY OLEYNIK, SITUATED WITHIN THE CORPORATE CITY LIMITS OF THE CITY OF KUNA, ADA COUNTY, IDAHO; AND
- AMENDING THE ZONING MAP; AND
- DIRECTING THE CITY ENGINEER AND THE CITY CLERK; AND

- PROVIDING AN EFFECTIVE DATE.

*Consideration to waive three readings.
Consideration to approve Ordinance.*

10. Executive Session:

- A. Enter into Executive Session under Idaho Code: 74-206(1)(c) To acquire an interest in real property not owned by a public agency. (1)(e) To consider preliminary negotiations involving matters of trade or commerce in which the governing body is in competition with governing bodies in other states or nations.

11. Mayor/Council Announcements:

12. Adjournment:

**OFFICIALS**

Joe Stear, Mayor
 Chris Bruce, Council President
 Greg McPherson, Council Member
 Matt Biggs, Council Member
 John Laraway, Council Member

CITY OF KUNA
Kuna City Hall Council Chamber, 751 W 4th Street, Kuna, Idaho 83634

City Council Meeting
Minutes
Tuesday, June 18th, 2024

6:00 P.M. REGULAR CITY COUNCIL

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ALL ITEMS ON THE KUNA CITY COUNCIL AGENDA ARE CONSIDERED ACTION ITEMS UNLESS OTHERWISE INSTRUCTED BY THE CITY COUNCIL.

1. Call to Order and Roll Call

(Timestamp 00:00:02)

COUNCIL MEMBERS PRESENT:

Mayor Joe Stear - Present
 Council President Chris Bruce - Present
 Council Member John Laraway - Present
 Council Member Matt Biggs - Present
 Council Member Greg McPherson - Present

CITY STAFF PRESENT:

Marc Bybee, City Attorney
 Jared Empey, City Treasurer
 Mike Fratusco, Kuna Police Chief
 Doug Hanson, P & Z Director
 Bobby Withrow, Parks Director
 Morgan Treasure, Economic Development Director
 Nancy Stauffer, Human Resource Director
 Nathan Stanley, City Clerk

Mayor Stear All right, we'll go ahead and call this meeting to order. Nathan, would you take the roll, please?

City Clerk Nathan Stanley Council Member McPherson.

Council Member McPherson Here.

City Clerk Nathan Stanley Council Member Biggs.

Council Member Biggs Here.

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City Clerk Nathan Stanley Council Member Laraway.

Council Member Laraway Here.

City Clerk Nathan Stanley Council President Bruce.

Council President Bruce Here.

City Clerk Nathan Stanley Mayor Stear.

Mayors Stear Here.

2. Pledge of Allegiance: Mayor Stear

(Timestamp 00:00:17)

Mayor Stear And if you join me for the Pledge of Allegiance.

Multiple Speakers I pledge allegiance to the flag of the United States of America and to the Republic for which it stands, one nation under God, indivisible, with liberty and justice for all.

Mayor Stear Thank you.

3. Consent Agenda: ACTION ITEMS

All items listed under the Consent Agenda are considered to be routine and are acted on with one motion by the City Council. There will be no separate discussion on these items unless the Mayor, Council Member, or City Staff requests an item to be removed from the Consent Agenda for discussion. Items removed from the Consent Agenda will be placed on the Regular Agenda under Business or as instructed by the City Council.

(Timestamp 00:00:37)

- A.** Regular City Council Meeting Minutes Dated June 4th, 2024
- B.** Accounts Payable Dated June 12th, 2024, in the amount of \$1,687,557.45
- C.** Resolutions

- 1. Resolution R37-2024

A RESOLUTION OF THE CITY COUNCIL OF KUNA, IDAHO AUTHORIZING THE MAYOR TO SIGN; AND AUTHORIZING THE MAYOR TO EXECUTE THE STREET LIGHT RESOLUTION AGREEMENT WITH M3 BUILDERS, LLC AND THE CITY CLERK TO ATTEST TO SAID SIGNATURE.

- 2. Resolution R38-2024

A RESOLUTION OF THE CITY COUNCIL FOR KUNA, IDAHO TO APPOINT A NEW MEMBER TO THE AD HOC FUTURE LAND USE MAP ADVISORY COMMITTEE.

D. Final Plats

1. Consideration to approve Case No. 24-07-FP (Preliminary Plat) Robinhood Sub No. 1 Amendment (APN's: R75133004780, and R751330300). – Troy Behunin, Senior Planner

Mayor Stear First item is the consent agenda.

Council President Bruce Mr. Mayor, I'd like to make a motion to amend the agenda and move Business item A...7A and B. If we could swap those.

Mayor Stear Okay.

Council Member McPherson Second.

Mayor Stear Motions made and seconded. Is there any further discussion?

Mayor Stear Okay, all in favor, say 'aye.'

All Council Members Aye.

Mayor Stear Any opposed?

(Timestamp 00:00:40)

Motion To: Amend the Agenda by switching the order of Business items 7.A and 7.B

Motion By: Council Member Bruce

Seconded By: Council Member McPherson

Further Discussion: None

Members Voting Aye: Council Members, Bruce, Biggs, McPherson, Laraway

Members Voting Nay: None

Members Absent: None

Approved Via: Voice Vote

4-0-0

Council President Bruce I'll make a motion that we approve the consent agenda as published.

Council Member McPherson Second.

Mayor Stear Motion's made and seconded for approval of the consent agenda, any discussion on that motion? Nathan, would you poll the Council?

City Clerk Nathan Stanley Council Member McPherson.

Council Member McPherson Yes.

City Clerk Nathan Stanley Council Member Biggs.

Council Member Biggs Yes.

City Clerk Nathan Stanley Council Member Laraway.

Council Member Laraway Yes.

City Clerk Nathan Stanley Council President Bruce.

Council President Bruce Yes.

Mayor Stear And that motion carries.

(Timestamp 00:01:06)

Motion To: Approve the Consent Agenda, As Published

Motion By: Council Member Bruce

Seconded By: Council Member McPherson

Further Discussion: None

Members Voting Aye: Council Members, Bruce, Biggs, McPherson, Laraway

Members Voting Nay: None

Members Absent: None

Approved Via: Roll Call Vote

4-0-0

4. Public Comment

(Timestamp 00:01:30)

Mayor Stear Public comment, is there anybody who wishes to address the Council that didn't get a chance to sign in? Okay, Beverly Wolf, you may have the floor.

Beverly Wolf Beverly Wolf, 3420 W Commemoration Ave. Meridian. Just wanted to ask a couple of questions. This is a forum that at this point in a meeting, I'm allowed to ask questions of the Council, is that correct, or is it only that I'm to make statements? I just wanted to clarify the purpose of this time frame.

Mayor Stear Well generally it's just to make comment.

Beverly Wolf Okay, well then my one comment for tonight...

Mayor Stear It depends a lot on how hard the question are.

Beverly Wolf Okay well, I don't have any other harder questions for you tonight, but I just wanted to clarify for future. So if I sign up for this, I know what I'm allowed to talk about.

Mayor Stear It's preferred that you just make comments and then we can just make comments and then we can figure it out from there.

Beverly Wolf Okay, well, my one comment tonight is about the agenda. Under final plats, it says it's a preliminary plat. So I read stuff and I'm just trying to clarify because I looked at other agendas and when you're reviewing final plat, it says it's a final plat. So, that's all I have to say tonight.

Mayor Stear Oh, okay, thank you. All right, anybody else? All right, thank you.

5. External Reports

6. Public Hearings:

Public Hearing Process: Items begin with the presentation of the project by staff for up to 15 minutes. The applicant is then allowed 10 minutes to present their project. Members of the public are allowed up to 3 minutes each, to address City Council with testimony restricted to the matter at hand. After all public testimony, the applicant is allowed 5 minutes for rebuttal.

City Council members may ask questions throughout the public hearing process.

Once the public hearing is closed, no further testimony or comments are heard.

City Council may move to continue the application to a future meeting or approve or deny the application.

(Timestamp 00:03:00)

- A. Consideration to approve Case Nos. 23-04-AN (Annexation) and 23-04-S (Preliminary Plat): Aermotor Cove; Applicant requests to annex 4.83 acres into Kuna City Limits with an R-6 (Medium Density Residential) zone, and to subdivide the site into 12 lots (9 buildable, 3 common) with the existing home & outbuildings remaining as an outparcel. The subject site is located at 855 W Hubbard Road (APN: S1313212400); Section 13, Township 2 North, Range 1 West. – Troy Behunin, Senior Planner **ACTION ITEM**

Open Public Hearing

Receive evidence

Consideration to close evidence presentation and proceed to deliberation

Mayor Stear That takes us right to public hearing. Consideration to approve case #23-04-AN annexation and 23-04-S preliminary plat, Aermotor Cove, Troy or Doug.

Planning and Zoning Director Doug Hanson I got it. Good Evening, Mayor and Council. For the record, Doug Hanson, on behalf of Troy Behunin, Kuna Planning and Zoning, 751 W 4th St. The applications before you this evening are requesting annexation of approximately 4.83 acres using the R-6 medium density residential zone. The applicant is also requesting preliminary plot approval to subdivide the property into 9 buildable lots and three common lots. Staff would note a correction to exhibit 2.28. The area identified in red is the preliminary plat boundary. The area identified in blue is the area identified for annexation. Those labels are flipped. Per exhibit 2.22 public works can support sewer service ability to the Air Motor Cove subdivision with the conditions listed in the Engineer's memo. Per the Kuna school district comments in exhibit 2.27, the proposed development would be served by Kuna High School, Swan Falls High School and Silver Trail Elementary, all of which are over 100% capacity. Staff has reviewed the proposed annexation and preliminary plat for compliance with Kuna City Code, Idaho Statutes 50-222 and 67-65, and the Kuna Comprehensive Plan. And should the Council approve the applications, staff would recommend that the applicant be subject to the conditions of approval proposed in staff's report. With that I will stand by for any questions.

Mayor Stear Okay, questions for Doug?

Council President Bruce Not at this time.

Mayor Stear Okay, seeing none, if the applicant would like to present.

Andrew Newell, Womer Engineering *Is it on? Okay.* I'm Andrew Newell. I'm with Womer Engineering. Our address is 4355 W Emerald St. Thank you, Doug, for that presentation. I don't think I have anything else to add. I think working with staff really helps solidify this project pretty well. So we've reviewed the staff report and we concur with its findings, so I'll just stand for any questions that you have today.

Mayor Stear Okay, questions for the applicant?

Council President Bruce Not at this time.

Mayor Stear That's it. Thank you very much. All right, and this is a public hearing. Is there anybody who wishes to testify on this matter didn't get a chance to sign in? *Make sure I give you the right one here.*

[Temporary Pause In Proceedings for Public Hearing Sign In's]

Mayor Stear *There we go. How are you? Good. You write fast.*

Council Member Laraway *Paper's smoking.*

Mayor Stear *Awesome. Thank you.* All right, first we have signed up to testify, Beverly Wolf, as defined neutral.

Beverly Wolf Beverly Wolf, 3420 W Commemoration Ave. Meridian. I know this isn't a large division, and I'm an equal opportunity statement maker, so this one adds to the school problem just like the big ones do. So, it's a problem that's not resolved. It also will add more traffic like everything else that's coming in and I don't understand why the bigger picture isn't considered yet. Sure, I mean, I know you're trying to, but do you have the projects number? Do you know what streets ACHD is going to close down? That's starting to cause ripple problems out there. When any development starts and there needs to be road work or anything else done, what's the plan? Does everybody know? Does everybody get informed 'Okay, you can't drive this way to work now. You got to go that way and it's going to be like this for this period of time.' I'm sure some of those things are on a website somewhere, but do they start getting numbered? Are the developments numbered? Does one happen just because it was approved by a date, or does another one start when everything in the infrastructure isn't ready for it? It's just a question because taxpayers are bearing the burden of increased insurance and increased costs of everything. Utilities and everything are going up. So what happens to the people who are already here, who are already paying the taxes? Just want to know.

Mayor Stear Okay, thank you. And Danielle Horras, testifying in opposition.

Danielle Horras, Kuna School District Good evening Mayor, Councilmen. Danielle Horras, Kuna School District, 711 E Porter. So, I want to start by letting you all know this is likely my last public testimony on behalf of students of Kuna School District. So I want to start by

extending my sincere gratitude to all of you, to all of you for your partnership, for the focus that you've all shown to help make sure that every kid in Kuna has a place to learn. So, thank you.

My role is called Director of Partnerships, right? Because that's what I was asked to do. Figure out a way Danielle to go engage to who want to build houses in Kuna and find a path to partner with them. Find a path that makes sense to them. Find a way, find a path that makes sense for our community and find a path that ultimately makes sense and benefits our kids. So, what that partnership looks like usually is me meeting with developers, right? I explained the physical conditions of our schools. I talk about the lack of appropriate heating or cooling in classrooms. I let them know about the overcapacity classrooms. I let them know about our lack of space for sporting fields and events. We talked about it, and then I asked for a voluntary contribution of \$3200 per door, and that is a voluntary contribution, and this is meant to help mitigate, not solve, and that's an important distinction. It's meant to mitigate the impact of the growth of that development. And I want to tell you, and I want everyone to remember this, please. It's working. It is actually working folks. Developers hear this message and they often respond with voluntary donations of land that we can build schools on. They respond with parcels of land that we can save and sell later and use it use the money for what our needs are. They respond with money. We've even had one respond with building us a home through partnership with our Swan Falls High school students that they can participate in it, and then we can ultimately sell that home. I'm really open to what does partnership look like, Right? And I'll tell you that many developers are used to some upfront costs, when they build homes because it's really easy to see how developments impact the communities, they build it, right? They know there's additional need for more traffic lights, just as Beverly said, because there's more traffic. They know there's need for more police and fire stations because there's more citizens to serve. And folks, they do also know that there's more need for teachers, desks, and physical schools because their developments bring kids. And in most States, developers are actually legally required to pay schools for this. But in our state, that's not an option. We live in one of two states where schools are actually excluded from receiving these fees to cover the cost of growth, and so I hope it's clear that for everyone to know that developers don't have to cover the cost of their impact to schools, but many do because they know that it makes sense and they also know that good schools sell houses and that people move to Kuna for their families. So I didn't meet with this developer, but my partner Robbie Reno said and he explained the situation at our district and he asked for that contribution of what, 12 times \$3200. And we did not get an offer of partnership. He doesn't have to. So he's saying no to covering that small portion of the impact his subdivision will have on Kuna School District. And so it's for that reason that I'm asking you to deny this application, thank you.

Mayor Stear Thank you. And Danielle, we're going to miss you. You've come a long way with helping...

Council President Bruce Thank you.

Mayor Stear The school district and the and the city and...

Council President Bruce Being a voice for the kids.

Mayor Stear Appreciate you.

Council Member Biggs You definitely taking a pound of flesh many times over.

Mayor Stear All right, did anybody else wish to testify? I didn't get a chance to sign in. All right, seeing none, rebuttal.

Andrew Newell, Womer Engineering Again, Andrew Newell with Womer Engineering, 4355 W Emerald St. Just to touch on to Beverley's concerns about the traffic. No, it's not required by City Code for a subdivision of this size to provide a traffic study. So therefore we're just following the requirements set out by City Code. And we don't believe that 9 buildable houses will impact the streets that much. But I just want to kind of weigh that out there and then for the schools, I think I'd like to bring up Rick. He's been, he's the owner. He's lived here and on this property for many, many decades. So I think he'll be able to explain where we're at with the school district now and I do think we are we still are communicating and. And working with them on a path forward. So I don't think that door is closed, but I'll let Rick speak to that.

Rick Marino So, I'm Rick Marino, 855 W Hubbard Rd. I've lived here for 27 years, this project has been about five years in the making between ACHD and the City, to actually just create buildable lots for my sons, two of them. So with that, without access to the street, We had to create a public way to get into it and then with that, how to pay for it and those other lots came about needing to be created to get the lots. But I did call Rob. I spoke with him a couple times and He kept asking me if I'd consider paying a mitigation fee, and I did tell him that I was able and willing to, but I wasn't able to do it at the cost that they're talking about and he was talking to me about the development costs and the developers that come into the valley and, especially to Kuna, and I addressed that with that in this application, it's a little different that I'm technically a developer, but I've also been a taxpayer and I've been paying taxes into the School District for the last 27 years. One of my sons is here. He was here for 12 years of that, and I've been paying taxes for 15 years since then. And then the next, as far as I can tell, I'll be staying on the property. I'll probably be paying taxes into the School District for the next 20 years or however, you know, I get a chance to so. I asked if they would change it from applicant offers. No mitigation to applicant offers partial mitigation. I didn't get an agreement on that. I was willing and able to, but I wasn't able to come up with a number for them. So I tried to go to the School Board, which was bad timing on my case because it was last Tuesday during the budget hearing. So if you watched KBY, you saw me on it, but anyway, I was the first to speak and it was mostly just to let them know that I'm not a traditional developer and I have been a taxpayer and I do support the School District and I was actually on the Committee of the last successful School Bond. I've been here for a long time, I've supported every small youth team as a coach other than football. My wife has worked in the school district for 20 years. It's a little different than a developer that comes and maximizes things and leaves, which I get that. And I understand the impact of the schools. I've lived through that I've been part of that. I've been trying to help with that in the past. And this cycle is something that happens with growth. I just don't believe that my situation of creating maybe 4 1/2 students is going to be It isn't the biggest issue of what the school district is facing. I am willing to help though. With that thought, I guess what I wanted to just finish up with is that I'm willing to help with mitigation. I did not come with an amount I was offering something either with my time or \$500 a door, something in that level. Reaching out to the school district, it

was just an informal I didn't get a conversation. It was just me speaking and I didn't get a response from them to that... to their credit, that's all that I really had as far as my rebuttal to how I'm actually trying to work with the school district on this. Do you have any questions for me?

Council Member Laraway No, sir.

Mayor Stear Okay, questions?

Council President Bruce Did you say you're moving your sons in those houses? Is that what you...

Rick Marino Two of them... Well, with the whole plan was to create two buildable lots because they wanted to actually move back into the City of Kuna. So that was what that was. That's what started this whole development idea.

Council President Bruce So it's for your family to move in?

Rick Marino The rest of the lots are for the.. Well, and they're being created to pay for the streets.

Council President Bruce I have nothing further. Mr. Mayor. Thank you.

Mayor Stear Further questions? Okay. Thank you, very much. All right, the question is rightfully before Council.

Council President Bruce Do you have... I make a motion that we close evidence presentation and move to deliberation.

Council Member Biggs Second.

Mayor Stear Motions made and seconded. Is there any further discussion on that motion? All those in favor say 'aye.'

All Council Members Aye.

Mayor Stear Any opposed? Motion carries.

(Timestamp 00:18:42)

Motion To: Close Evidence Presentation and Move to Deliberation

Motion By: Council Member Bruce

Seconded By: Council Member Biggs

Further Discussion: None

Members Voting Aye: Council Members, Bruce, Biggs, McPherson, Laraway

Members Voting Nay: None

Members Absent: None

Approved Via: Voice Vote

4-0-0

Mayor Stear Well, we've been in this situation before when we have long time human residents that own piece of property and you want to do something with it. It is a different situation than when People from out of state want to buy property and speculate with it and do things, So, I think generally we. And pretty supportive of helping longtime residents to move on. We all know how hard it is and the cost and what it takes for young people to get into the home now. So it's become more and more common for people that have the property to want to divide it and make a place for their families.

Council Member Biggs I can appreciate that, Mister Mayor. I just I don't know if I want to take a stand and say on the treat developers differently because of where they live; and in all fairness, each of these schools are 100% or more already. So again, are we're going to set a precedent? Are we going to treat how we treat whether it's 4 students or 4000 students. I'm kind of having a hard time wrestling with that.

Council Member Laraway I...I kind of...

Council Member Bruce John.

Council Member Laraway Kind of *widdle* it down, first of all, if for people's information the ACHD is going to repave, not widen, but repave Hubbard in 2025. That's according to ACHD. Number 2 I kind of understand the mere sentiment That's this is a local person who's lived here, has paid taxes, and has paid the school taxes and has and has run the gamut of his time here and he's trying to move his family here. And I guess I look at the fact that he was willing to negotiate some of the buy in for his development. That that to me means a lot. Where the communication broke down, I do not know. Is the amount of kids, which is unknown, moving into that subdivision going to collapse the school system? I doubt it. I understand Councilman Biggs, it's...at what point do we put our foot on the brake? And wait, I don't know how long we can do that and wait for the School District to catch up. We haven't been very successful. At the levies we haven't been successful at bonds and you can't keep running them all the time because it's just not going to work. So, I don't know if everybody else needs to put their life on hold. I'm kind of 50/50 on this myself.

Council President Bruce Do you have anything?

Council Member McPherson Yeah, I mean, I'm all for the, you know, he wants to get his family back close to him and the way I understood, he's got to do 9 lots to pay for the 2, essentially with infrastructure and. So on I'm, you know, echoing everyone else as much as I hate that statement that Schools are always in traffic or the top two priorities, I mean and yeah, where do you... where do you hit the brakes? But we've, You know, allowed family splits before and I don't know that we've ever done one to allow a few extras, so it pays for it, but again, the guys been here paying taxes in the district, his wife worked for the district. They're good people. I mean, I....

Council President Bruce I look at it as Yeah, we have 9 buildable lots. We have two houses that will be for family, but if we have another developer who owns a ton of land and he comes in with the same sentiment I've owned land for ever. I paid taxes and I want to build 140 houses or is that

going to be looked upon as any type of, you know, you got to treat them both the same with all the schools at capacity and the failed bonds and failed levies. I think at some point we got to say hey, it's time to the brakes, but that's just that's just for me, so. It's going to be a no for me, even though it is 2 for this family and nine total. But I think everybody has to make their own decisions, so. Especially with us moving, you know, closing part of the school and moving students to another area of the school. It may be even more than 100% of some of those, so. But that's just my thought. But I'll entertain a motion from someone.

Council Member Laraway Well, if we want to do it, I'm just myself. I make a motion that we approve case #23-04-AN annexation and 23-04-S preliminary plat.

Council Member McPherson Second.

Mayor Stear Okay, we have a motion and a second, is there any further discussion on that motion? All those in favor say 'aye.'

Council Members Aye.

Mayor Stear Any opposed?

Council Members Nay.

Mayor Stear Nathan, you *wanna* go ahead and poll?

City Clerk Nathan Stanley Council Member McPherson.

Council Member McPherson Aye.

City Clerk Nathan Stanley Council Member Biggs.

Council Member Biggs Nay.

City Clerk Nathan Stanley Council Member Laraway.

Council Member Laraway Yes.

City Clerk Nathan Stanley Council President Bruce.

Council President Bruce I'm going to be in Nay, but this has nothing to do with the paying of mitigation fees or it's strictly just capacity issue for me. So, no.

City Clerk Nathan Stanley Mayor, we have a split vote.

Mayor Stear Okay. I take a lot of into consideration if they've been here a long time, paid a lot of taxes and certainly they have the right to...

City Attorney Marc Bybee Sorry, Mayor, can I?

Mayor Stear Do what they're going to do, so I would...

City Attorney Marc Bybee Could I comment before you vote?

Mayor Stear What's that?

City Attorney Marc Bybee Could I offer some advice before you vote?

Mayor Stear Oh, sure.

City Attorney Marc Bybee Sorry, I was a little slow on the draw, Mark Bybee, City Attorney. the motion was in regards to both the annexation and a preliminary plat. If I heard that correctly, if, now I might not have needed to talk. I'm just realizing, sorry.

Mayor Stear I know where you're going with it...

City Attorney Marc Bybee If it's a denial. We don't make a motion on the plat. I'm sorry I did. Then I just realized wait, that was a motion for approval. So, I'm just talking to hear myself talk right now. But I think you know where I'm going with this.

Mayor Stear Yeah, I would ask for a substitute motion.

City Attorney Marc Bybee Okay, sorry.

Mayor Stear But I'm tending to vote yes on this though.

Council Member Laraway So, should I make the motion?

Council President Bruce No, I think it'll pass with his vote. So, it'll be correct.

Mayor Stear All right, so that motion carries.

(Timestamp 00:24:34)

Motion To: Approve case #23-04-AN annexation and 23-04-S preliminary plat

Motion By: Council Member Bruce

Seconded By: Council Member Biggs

Further Discussion: None

Members Voting Aye: Council Members, McPherson, Laraway, Mayor Stear

Members Voting Nay: Council Members, Bruce, Biggs

Members Absent: None

Approved Via: Roll Call Vote

3-2-0

7. Business Items:

(Timestamp 00:27:01)

- A. Budget Workshop – Jared Empey, City Treasurer
- B. Resolution R38-2024 – Morgan Treasure, Economic Development Director **ACTION ITEM**

A RESOLUTION OF THE CITY COUNCIL FOR KUNA, IDAHO APPROVING THE REQUEST FOR REALLOCATION OF \$80,000 FROM GRANT MATCHING FUNDS

TO FACILITIES FOR IMPROVMENTS TO THE KUNA SENIOR CENTER FACILITY.
 [AMENDED BY VOTE OF THE CITY COUNCIL]

A. Resolution R38-2024 – Morgan Treasure, Economic Development Director ACTION ITEM

A RESOLUTION OF THE CITY COUNCIL FOR KUNA, IDAHO APPROVING THE REQUEST FOR REALLOCATION OF \$80,000 FROM GRANT MATCHING FUNDS TO FACILITIES FOR IMPROVMENTS TO THE KUNA SENIOR CENTER FACILITY.

Mayor Stear Item 7 we're going to switch item 7 B to A which we did by motion. So first business item is resolution R38-2024, Morgan Treasure.

Economic Development Director Morgan Treasure Well, first of all, thank you for allowing us to change up the agenda order. I asked to do that because our friends from the Senior Center are here. So we have Jill, their staff, and members of the board, if you guys want to wave or say 'hi,' just we appreciate you coming out. This resolution before you tonight is regarding the reallocation of some funds. There was a couple of grant projects that did not end up being moved forward with this year for various reasons. We are asking for a reallocation to cover some immediate needs at the Senior Center. If you look in your packet, we included the photographs of the damage. There's some pretty extensive issues with the countertops and holes in the floor. I also included a couple of preliminary quotes on what it would take to get those taken care of, so I am happy to answer any additional questions or if you have any questions for our friends here at the Senior Center, we're here to answer those.

Mayor Stear And then I'll just add to that too, we've been working at this for quite a while. The countertops are rough, they're hard to clean and keep sanitary and they're just aged out and so it's really important to... it's been really important to our team to try and get this done and get this moving along as quickly as we can and all of our other efforts haven't seemed to pan out. So this is kind of where we're at the best, the best route we see to make this happen. And when you look at the that picture right there.

Economic Development Director Morgan Treasure Yeah.

Mayor Stear Even ignoring the duct tape that's covering up where it was ripped off the surface of that *Formica* is rough. It's almost as scratchy as it looks... like it was designed that way. That makes it really hard to clean. That stuff gets down in those cracks and makes it very difficult to keep it sanitary. I don't know why they use that when they did that anyway, but.

Council Member Laraway Why can't we use more duct tape?

[Laughter]

Council Member Laraway I'm kidding.

Mayor Stear Different colors of duct tape, very good. So anyway, that's it. I just wanted to kind of give you an idea. We've been looking at this for quite some time and trying to come up with a solution and... because we think is our best way to get this moving forward and get that problem taken care of.

Council Member Laraway You know, and I'll add this, for years back in the in 2004, -5, -6, we used to hold our City Council meetings there and they always opened the doors to us and always took care of us as the City when it was time.

Council Member Biggs Ditto for the VFW. *[Inaudible]*

Mayor Stear Anyway, so that's the request, unless Morgan wants to talk some more.

Council President Bruce I'm good. I mean, I've been in there. It's time.

Council Member McPherson Okay, Mayor, I would move we approve resolution R38-2024.

Council Member Laraway Second.

Mayor Stear Motion is made and seconded to approve Resolution R38-2024. Any further discussion on that motion? All those in favor say 'aye.'

All Council Members Aye.

Mayor Stear Any opposed? And that motion carries. Thank you very much.

Unknown Speaker Thank you.

Council President Bruce You're welcome.

Council Member Laraway Thank you.

Council Member Biggs Thank you for coming.

Council President Bruce Yeah, don't be getting too wild out there.

[Laughter]

(Timestamp 00:30:54)

Motion To: Approve Resolution R38-2024

Motion By: Council Member McPherson

Seconded By: Council Member Laraway

Further Discussion: None

Members Voting Aye: Council Members, Bruce, Biggs, McPherson, Laraway

Members Voting Nay: None

Members Absent: None

Approved Via: Voice Vote

4-0-0

B. Budget Workshop – Jared Empey, City Treasurer
(Timestamp 00:31:30)

Mayor Stear All right, that takes us to budget workshop, Jared Empey.

Council Member Laraway The Man, The myth.

City Treasurer Jared Empey Thank you, Council. Jared Empey, City Treasurer. So, before you tonight, I have a kind of a rough outline of our budget workshop. So next month we'll have our tentative budget at our second meeting in July and then the Second meeting in August, we'll have the final budget that will come before you. So before we discuss any particulars, it's kind of important to understand some kind of overarching themes. So some kind of key gauges for how we formulate the budget are first kind of looking at what investment overall is looking like in the in the economy. So one of those is the stock market. Lately it's been up, but it's off its annual highs, so it's mostly stayed flat or sideways or however you want to look at it, but there's not a whole lot to see there. However, in real estate, we've seen a lot of mixed results, especially by market. One measure that I always try and look at is the home builder confidence and the latest one that they had out when I prepared this was their April measure and as you can see, kind of by region, you'll see some different results, such as in the West it's the lowest, but in the Northeast it's the highest. Some of that may be reopening after COVID since the northeast was the lowest, the last to reopen. In addition, prices were significantly depressed in the Northeast due to out migration. And just so you have an idea of some kind of comparisons, the national numbers in December 2021 were 84. In December 2020, it was 86 and December 2019 it's it was 76. So as you can see, we're in kind of a slump from where we were a few years ago. And then some of the reasons for the real estate being kind of where it is, I don't think it's any secret that interest rates are much higher than they were four or five years ago. And I mean, it's not uncommon to see in interest rates as high as 7.5% for a 30-year mortgage. And what that translates into for most people, when you increase from 3% to 7.5% with an average home that costs 450,000 and 10% down is \$1100 more per month. So that's a quite a significant amount. That increases just the payment amount, meaning interest and principal.

And another measure that we use to measure the economy is consumer confidence. So one of the most common polling outfits that looks at this is the University of Michigan. As you can see, it's hovering around 78 right now. That's a rebound from where we were a couple of years ago when it hit a low of 62, when inflation was the highest. But if you look at where it was in 2019 and even April of 2020, that's still significantly lower. So people are still a little bit concerned about where their finances are compared to a few years ago. And kind of the driver, as I said for that in consumer confidence, I think the biggest reasons are inflation. As we can see, in 2022 we hit the highest increases at 8.35%. It's still been high in 2023. It's cooled a little bit in 2024, but it's still quite a bit higher than we were even seeing a few years ago when it was around the 1% or maybe 2% mark. And the Federal Reserve wants to get it down to 2% as an annual mark, but they're honestly not taking enough aggressive action to do so. So as I said, some of the causes for the inflation, I think that some of these items are due to supply chain disruptions that were caused by COVID, which is creating some onshoring of manufacturing that we saw... that that we are

seeing due to bringing manufacturing back from East Asia and elsewhere. Which is also creating budget deficits due to tax incentives and other methods and other bills that were passed over the past few years that have incentivized that manufacturing to come back on our shores.

And another item that is a little less talked about is the fact that you have a demographic changes and imbalances. So a healthy economy has a demographic that's supposed to look like a pyramid, where the lowest age groups are the most are the highest. And as you go up the pyramid, it kind of reduces, you know, you think that there would be less 110-year-olds than there would be 3-year-olds for instance. But in our in the United States it looks more like a chimney. However, with that comes some complications where you may have a large generation that is replaced by a smaller one. For instance, you see that with generation X being smaller than the baby boom generation and then millennials and Gen. Z's being larger, but they're not significantly larger meaning it's more difficult for those generations to replace those generations and create significant growth in those markets.

With that said, city budget effects. So how does all this affect the city budget? So building permits, it's most, it's mostly affected by the real estate market. So since we're seeing things kind of stay a little say 'okay,' but not... But everybody isn't necessarily excited We'll expect it to stay about the same where we're at... could improve a little bit depending on where interest rates move. The Federal Reserve has said that they want to cut rates potentially one time this year. We'll see if that's possible with the way inflation has been going. The second item, how will it affect property taxes? So the economy on the overall doesn't necessarily affect property taxes because it's formulated by formulas and legislation as opposed to market forces. However, it's always necessary to get ahead of inflation and other population increases that we use as a... that's basically the force for why we need to adjust our property taxes. And so the legislature has allowed us to increase our property tax up to 8% per year. So on an annual basis, you can increase it 3% for essentially your historical inflation marker and up to 5% due to growth.

Then the second item, the third item rather, that our budget would be affected, is the sales tax revenue share. So other St... so some states, such as Oregon, they don't have a sales tax, but they have a very heavy property tax to support local government. Our state has kind of a balance, has a couple different mechanisms for funding local government and one of those is sales tax or at least a portion of that. And so that's driven by consumer spending. And so since we haven't seen consumer confidence increase that much or at least get back to where it was four or five years ago, I'd say that it's probably going to stay flat or maybe increase slightly just because with inflation those items will increase and so that tax will increase slightly, meaning the tax revenue.

Then how will it affect our proprietary funds? So the way it mostly affects our proprietary funds is the fact that it affects the replacement costs for infrastructure. So that doesn't necessarily affect everything now or today, but it will affect things when we have to dig up a pipe or replace a liner at the lagoons or make improvements at the North Wastewater treatment plan. once different items age out, for instance, what used to cost \$1,000,000 a mile? I think probably realistically cost \$2,500,000, \$3,000,000 a mile, nowadays. So inflation has hit construction costs particularly hard in infrastructure. So even though the official numbers would say that over the past five years, inflations at you know, 20 or 25% really in infrastructure cost it's raised, you know, 100%

or 150%. So it's important to see how much that increase would be putting a pressure on those funds. And so as such, it's important to not wait for a crisis to occur where we have to jump rates significantly, but rather to increase them slightly as we go and so with this, the one fund that.

So as such funds we usually try and keep up with inflation by just increasing it in proportion with the CPI figures that get put out. However, the Water Fund has seen a little bit more pressure. The reason for that is because we've had to build a couple wells lately and revenue has not increased as dramatically as some of the other funds, and so we may need to do an additional increase above inflation, however not to exceed the 5%. and we'd be looking to in September increase the water meter fee that would be paid through the building permit process. This particular fee, I couldn't go back past 2011 when it was with our accounting software. But in that at that point in time, the fee was \$320 and the last then it was increased to \$326 in 2014 and then in 2017 it was increased to \$340 and I did some figuring and I wouldn't be surprised if the components to install a meter and meter pit and maintain that are about \$900 today. So significant increase with that and we'll be coming before you later in the year with our official number, once we kind of dial that in, but I think that with increasing fees on the user rate and increasing that one fee that's paid through the building permit process, the water fund will be completely stable.

That said, expenses are another item that have definitely been hit due to these market forces. One of those is a payroll increasing and proportion to inflation. I think it's no secret that it's hard to find good people and it's important to make sure that they can still afford to live within your community. One example of this is to maintain good staff and our water and sewer just a few years ago, it costs about \$15.00 an hour to hire an entry level operator, and today it may cost \$22.00 to \$25.00 an hour. So it's pretty significant the cost increases we've seen just for just for labor cost. And then, as I've said previously, the capital expenditures of really ballooned over the past few years due to a lot of factors, supply chain and labor costs as well. And we're trying to, you know, keep those costs under control and when they do come about, we engage in a competitive bidding process.

And so everything that you see is included in the details. However, there may be some outstanding items for the tentative budget, such as the final inflation figure that we'll get for the May CPI figures and a few minor payroll items such as a few employees may switch departments or may get a raise of some sort, and so those may be some minor payroll items that may change by the time we bring before you the tentative budget. And then I put together a summary of the funds. If you could turn to page 107, it looks like it got out of order. So, some kind of important figures are the cash carryover. So these are the estimates that we'll have. So I think the cash carryover is still looking good. The reason why this is important is because this helps us offset the user rate increase by investing those funds and interest-bearing accounts such as the LGIP treasury notes and bills that have been doing very well; agency bonds that have also been doing very well and are very low risk investments.

Below before you is the cash flow summary also. So this agrees to the detail summaries. So in general, we try and make sure that all of these funds are a net positive. However, when they're not, we provide an explanation such as the general Fund. The reason for that negative cash activity is we wish to create a larger meeting facility for City Council and for other Community

meetings. The Grant Fund is a net zero fund and so that will always be zero unless we have a carryover from the prior year. The latecomer fund that one will be pretty much a net zero for next year. We plan to pay off significant obligations that we have with the Falcon Crest Development, and so you'll see that come through. The water fund is showing a net negative because we have a...we have some projects at the Cedar and Butler wells in the amount of \$800,000 that will likely need done those tanks at the wells are fairly old and may need to be replaced. The sewer fund, so the reason for that large negative is that we would be using the sewer fund to front the cost for the construction of the Mason Creek line. That would then be replaced. That would then be repaid rather by the latecomer fund, through a repayment note with the latecomer fund and we modified the payment terms through the latecomer fund to make it more favorable towards the city to essentially guarantee those repayments. So that would eliminate a lot of the risk with any self-funded projects. And then the irrigation fund that should look healthy for next year. Solid waste fund, that's always essentially a net zero fund in which we just pay we collect on behalf of J&M and then we receive a portion of those collected revenues. The water east and sewer east those are for the East Industrial Park that we are receiving as part of the META deal. So the important thing to note here is that we're not using the water and sewer fund of the main city core to subsidize those META is constructing those at their sole cost and they are dedicating those to us and we're making sure that the core residents are not fronting any costs for that. And these two funds should be completely self-sufficient and we have ...we had a user rate study done for both of these. And so from the get-go we should be running these positive.

The Capital Projects fund. So these are essentially general fund item. So parks or a few other general fund departments that have actual construction or large purchases such as vehicles. The Park Impact fund, so we have quite a few items that will be going through park impact construction next year such as phase two of Zamzow's Park among other construction items. And then the police impact fund. The reason for that being a little bit negative was because we actually did a little bit better projected this year and so this is used exclusively to pay back, at least for the near term, the General Fund for our investment in constructing the police station.

Then the suggested COLA would be 3.64. That may change slightly, it may. It may go up to 3.67. You know, it may dip down to 3.6, but that's a good ballpark number just based on what inflation figures we've seen lately.

Then some new employees that we're looking at would be a parks full time since we're a growing city and we continue to have new parks come online, a potential new planner, a building inspector that would be brought in house rather than paying an outside inspector. Public Works Admin that would be essentially for the East Kuna facility. And then a sewer one and a water one employee. So those would be operators that would be part of the rotation to go out to the East Industrial Park. And so as part of this, there is always a discussion of rate increases. And so what I would suggest is in regards to property tax, taking the 3%, especially since Inflation is at least going to hit 3.64% and taking the Max new construction. Since we are a growing city.

And then for the water fund, I suggest taking a 4.95% increase to offset additional cost that we've seen lately and to make sure that the Water fund is stable in perpetuity, the sewer fund to match inflation. PI that's yet to be decided, kind of where that one will land. But you'll be able to review

that one in detail in I believe September when we do our assessment process and we'll be working on that with Mike Borzek and his expertise there. And then trash I spoke to J&M sanitation and they were in agreement, at least tentatively, with the 3.64% for an increase there to match inflation.

So Then attached you'll see detail of any increases, some notable ones, or the law enforcement increases in which we'll have two additional officers as requested by the Chief, I'd like to note that that still gets us far below the one officer per thousand that most agencies say is a good benchmark, especially as the city starts to mature and get more commercial, more commercial assets. I think that that's very important. Then some other items already touched on the water meter that will the water meter change that we may bring forth in September when we bring forth our resolutions for the year for utility rates, the sewer fund looks good And then as I stated in the irrigation fund, the pressurized irrigation user fee will be forthcoming, but we won't have those figures necessarily dialed in until we to go through the assessment process.

Just going through my final notes. Okay, and I think that's all I had. I'd like to make this a discussion. So if you have any questions in regards to anything you read or any items that we discussed in the agenda I'd like to sit for those questions.

Mayor Stear Okay, questions for Jared?

Council Member Biggs I have a question so with the +2 on the police FTE, how far does that get from the 1 to 1000?

City Treasurer Jared Empey I believe that the chief would probably be best to answer that.

Kuna Chief of Police Mike Fratusco Mayor, Commissioners, for the record, Mike Fratusco, Chief of Police, City of Kuna, 793 W 4th St. I believe right now we're sitting about .79. We don't count the school resource officers, which is a separate contract and they're assigned to the school. So .79 you add 2, Jared's way better at math than I am, so.

Mayor Stear How many officers?

Kuna Chief of Police Mike Fratusco How many officers would that give us? Well, currently county detectives...

Mayor Stear We have about 30,000 people.

Kuna Chief of Police Mike Fratusco We have about 30,000 people. If I don't count the administrative assistant and I don't count the four school resource officers. So that's five. So we have 24 personnel right now, adding two would give us 26.

Council Member Laraway Where does the code enforcement guy fall?

Kuna Chief of Police Mike Fratusco Oh, that's correct. Code enforcement does not count either as law enforcement. I think Jared and I talked, I believe it would take about 7 to 8 personnel to put us at one per 1000, if I'm right.

City Treasurer Jared Empey Let's see, so to increase it to... from 24 to about 30. So that would take us six additional officers.

Kuna Chief of Police Mike Fratusco Just for the record, I don't want to hamstring the city, so I I'm asking for two and the way that our staffing model works is we have currently 6 patrol deputies on each side of the week, plus a motor unit, and a Sergeant at each side of the week And they work overlapping shifts. So normal patrol. If you were to look at unincorporated, would run a day shift of 6, a swing shift of 6, and a graveyard of 6. Give or take one or two. The way we work is we have 6 deputies that overlap by a couple hours each shift and then at nighttime we only have one deputy on a graveyard shift after the late swing goes home and my goal is to get these two added positions so I can have two graveyard positions on at night, so they're not alone, and most of our calls seem to be at least a two man response now. So in order to have that for the safety of the officer and for the safety of the citizen, it'd be the they'd work graveyards to where I would have always at least have two people on at all times for patrol.

Council Member Biggs Thanks, Chief. I did have one other question. You may not be the. I guess all-knowing on this one, but with the DMV that was potentially going to come in here, we had to, we're going to fix the building, but is that going to be projected in, in the next fiscal year and if so, what's going to happen to the Council chambers and will that affect the budget?

City Treasurer Jared Empey Yeah. So, Councilman Bruce, so we do have that is budgeted for, but it's...I think that that's still under discussion. Exactly the logistics of how we'd go about that. So basically the Plan would be to build. Chambers. That's big enough. And then this would become the DMV. So it'll depend on what. To get that billed as to what happened but That would all be in the same budget to make all that happen.

Council Member Biggs So maybe in FY25?

Mayor Stear I think you've got some numbers in there for It don't you? but you.

Council President Bruce I had a question for me in instead of doing, is there a requirement for the amount of fund balance that we're supposed to carry? Could we forego the COLA cost this year and just carry our lower fund balance out of those rollovers.

City Treasurer Jared Empey So Councilman Bruce, so that would be possible. There is no statutory fund balance that's required as part of that. However, I would say that in doing so sometimes that sets a precedent in which you go several years without an increase and we saw that I believe that we set our rates back in like 2014 and then we went at least six or seven years without increasing. And it was a substantial increase to catch up because we had a severely underfunded the sewer fund to the tune of \$5 -\$6 million and it was a pretty substantial hole that we were in. And so I think it's important to look at kind of the big picture that. It's a lot easier to take a small bite at the apple rather than a large one later, so that would be my comment to that.

Mayor Stear And then I think I would add to that though, the passing of House Bill 389 couple three years ago, a lot of cities are already seeing a really hard impact from that. We had enough of a cushion that it wasn't really biting us too hard, but each and every year that's going to have more of an effect. And that's going to create some problems for us getting to the one per

thousand for the Police Department, because that's a large part of the general fund and that's going to be the one that's affected the most, but it will have effects across the board, so. Although it would be nice just to take a bite now that that's going to start slowly inflating each and every year or so. And I think there's a danger in that and not being able to keep up. Morgan, did you have something you wanted to?

Economic Development Director Morgan Treasure Mayor, Council. I also think it's important when we're talking about the fund balance that we keep in mind what is going to happen to the levy rate with the addition of a few major projects coming on industrial projects. When those hit the construction rolls so. We've all understood and that building, that's all that building that's going out there in East Kuna that it's positive for our community. But it's important to realize that we don't get to realize the tax benefit of that until those buildings are issued their final certificates of occupancy. And I think it's important to have a cushion in that fund so we're able to adapt over the next two or three years as with big projects, come on the construction roll and we really see the impact on the levy rate for the budget moving forward because there will be some equalization that we're going to have to look at coming out of that awesome for the taxpayer with the levy rate going down, but internally for us to adjust to numbers, it could take a few fiscal years to settle that back down.

Council President Bruce The reason I was asking is I just look at, you know, with the way the community is being hit with inflation and costs and everything else, you know. Explaining to them that we carry \$64 million over in a budget and that we still need more, you know, that's something that that I get asked questions about. So just food for thought.

City Treasurer Jared Empey Yeah. And one thing I might add, if I may, Councilman Bruce, despite the increases that we've taken it with COLA rates, our shut off list on a monthly basis has not increased. So in the past when I first came on, we were probably hovering around 80 or 90. On an on a monthly basis, we average about 60 now. So I would say that it hasn't affected people's ability to pay. It hasn't necessarily been a hardship as reflected by the shut off so...

Council President Bruce And we don't have the ARPA funds. Those were all spent and going out of this?

City Treasurer Jared Empey Year, right. Correct. Yes. So we paid out all of those last Fall to pay for the Danskin Force main project that opened up quite a bit of capacity for us.

Council President Bruce Thank you, Jared.

Council Member Laraway One question.

Mayor Stear Yeah.

Council Member Laraway Jared, Chief, there's a request for both the when law enforcement produces infraction costs, DUI's, where does that money come back in the general fund?

City Treasurer Jared Empey Yeah. So, Councilman, so we see a line item that we get paid on a monthly basis. So let me find exactly which one it is...So in the general Fund revenue, it's item 01-4130 county fine distribution. So with essentially infraction costs, we receive a portion of

those to offset the officer cost. And so that line item is where we see that. So for the fiscal 25 I budgeted, 57, just in case it decreases slightly. Because the Chiefs officers are doing such a good job and everyone's driving safer.

Council Member Laraway What page is that on?

City Treasurer Jared Empey So it would be Page 10-...I think it's 106.

Council Member Biggs It's the 6th one down.

Council Member Laraway What line item was it?

City Treasurer Jared Empey It it's the county fine distribution.

Council President Bruce Intergovernmental.

Council Member Laraway Thank you.

Kuna Chief of Police Mike Fratusco Councilman Laraway, if I might, also a lot of those citation costs as I think as you know go towards Idaho Post Academy, I believe and the county takes a lot of that. And what I like to explain to people is the more citations we write, The more the prosecutor prosecutorial rates go up also, so it's really we do write cites, we're not citation driven, as you know, I think \$57,000 is probably better than it was the year before, so I know they are working hard at writing. The people that deserve them. So I just want people to understand. We don't want to write citations we just want to change behavior.

City Treasurer Jared Empey All right. Any other questions?

Council President Bruce No. Thank you Jared, for everything you do.

City Treasurer Jared Empey Okay, is there anything that you would like to see for the tentative budget or anything that you would like incorporated in the budget that you have not seen here?

Council Member Laraway Do we have enough to operate next year?

City Treasurer Jared Empey Yes.

Council Member Laraway Okay.

City Treasurer Jared Empey Yeah, so.

Council President Bruce We did mention possibly helping with the park side of or the fields for the School District. Do we... Is there a way to... do we know what that would cost, what they spend to maintain that or?

Mayor Stear I don't know that we'd want to completely take over their facilities. What I've offered, and Bobby has too, is that we would help with maintenance on some of their fields. If they'll give us a plan and what it is they want to do, we can look at it and work together on that, but they've yet to come forward with anything that really is...

Council President Bruce Substantial.

Mayor Stear I don't know what have you done yet, Bobby?

Parks and Recreation Director Bobby Withrow Mayor, Council for the record Bobby Withrow *What's your address?* 753 W 4th St. Sorry, so far we've helped with doing some weeds trimming. I mean and some minor things with some of the school fields. Nothing huge yet. But I Do have a feeling that might be a little more and usually their request comes from KYSBA and not the school. So I try to walk a fine line of not offering everything we have, but still trying to make things as playable and enjoyable to the kids as possible.

Council Member Biggs ...Like The goat head problem with the middle school last year.

Parks and Recreation Director Bobby Withrow Yeah.

Council President Bruce Maybe that's something we could address in the next meeting that we all have together. I think it's been a while since we had one of those. You look excited about it.

Council Member McPherson Yeah, you set that up, I'll be there.

[Laughter]

Council President Bruce We're going to send you.

Mayor Stear And snow, we'd like to tear up curb and gutter at the schools with our snow equipment or maybe that was just me, that did that. I think... anybody else did anything?

Council President Bruce I have nothing further.

Council Member Biggs Thank you, Jared.

Mayor Stear Good. Thank you, Jared.

8. Ordinances:

(Timestamp 00:10:02)

A. Consideration to approve Ordinance 2024-10 ACTION ITEM

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF KUNA:

- MAKING CERTAIN FINDINGS; and
- ENLARGING THE BOUNDARIES OF THE KUNA MUNICIPAL IRRIGATION SYSTEM BY THE INCLUSION OF ADA COUNTY ASSESSOR'S BARTON COREY; AND
- DECLARING WATER RIGHTS APPURTENANT THERETO ARE POOLED FOR DELIVERY PURPOSES; and
- DIRECTING THE CITY CLERK TO RECORD THIS ORDINANCE AS PROVIDED BY LAW; and

- DIRECTING THE CITY ENGINEER TO PROVIDE NOTICE OF THIS ORDINANCE TO THE BOISE ~ KUNA IRRIGATION DISTRICT, THE OWNERS AND UPDATE THE IRRIGATION SYSTEM MAP; and
- PROVIDING AN EFFECTIVE DATE.

Consideration to waive three readings.

Consideration to approve Ordinance.

Mayor Stear All right. Consideration to approve ordinance 2024-10. An ordinance of the City Council of the City of Kuna making certain findings and enlarging the boundaries of the Kuna municipal irrigation system by the inclusion of Ada County Assessors, Barton Corey and declaring water rights appurtenant thereto are pooled for delivery proposes; and directing the city clerk to record this ordinance, as provided by law, and directing the city engineer and provide notice of this ordinance to the Boise - Kuna irrigation district the owners, and update the irrigation system map and providing an effective date.

Council President Bruce I make a motion that we waive 3 readings of Ordinance 2024-10.

Council Member McPherson Second.

Mayor Stear Motion's made and seconded to waive the three readings. Any further discussion? All those in favor say 'aye.'

All Council Member Aye.

Mayor Stear Any opposed?

(Timestamp 01:10:46)

Motion To: Waive 3 Readings of Ordinance 2024-10

Motion By: Council Member Bruce

Seconded By: Council Member McPherson

Further Discussion: None

Members Voting Aye: Council Members, Bruce, Biggs, McPherson, Laraway

Members Voting Nay: None

Members Absent: None

Approved Via: Voice Vote

4-0-0

Council President Bruce And I make a motion that we approve ordinance 2024-10, as published.

Council Member McPherson Second.

Mayor Stear Motions made and seconded for approval of the ordinance. Is there any discussion on that motion? Nathan, would you poll the Council?

City Clerk Nathan Stanley Council Member McPherson.

Council Member McPherson Yes.

City Clerk Nathan Stanley Council Member Biggs.

Council Member Biggs Yes.

City Clerk Nathan Stanley Council Member Laraway.

Council Member Laraway Yes.

City Clerk Nathan Stanley Council President Bruce.

Council President Bruce Yes.

Mayor Stear And that motion carried.

(Timestamp 01:11:01)

Motion To: Approve Ordinance 2024-10 As Published

Motion By: Council Member Bruce

Seconded By: Council Member McPherson

Further Discussion: None

Members Voting Aye: Council Members, Bruce, Biggs, McPherson, Laraway

Members Voting Nay: None

Members Absent: None

Approved Via: Roll Call Vote

4-0-0

B. Consideration to approve Ordinance 2024-11 ACTION ITEM

(Timestamp 01:11:24)

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF KUNA:

- MAKING CERTAIN FINDINGS; and
- ENLARGING THE BOUNDARIES OF THE KUNA MUNICIPAL IRRIGATION SYSTEM BY THE INCLUSION OF ADA COUNTY ASSESSOR’S TH HOLDINGS 2022 LLC.; AND
- DECLARING WATER RIGHTS APPURTENANT THERETO ARE POOLED FOR DELIVERY PURPOSES; and
- DIRECTING THE CITY CLERK TO RECORD THIS ORDINANCE AS PROVIDED BY LAW; and
- DIRECTING THE CITY ENGINEER TO PROVIDE NOTICE OF THIS ORDINANCE TO THE BOISE ~ KUNA IRRIGATION DISTRICT, THE OWNERS AND UPDATE THE IRRIGATION SYSTEM MAP; and
- PROVIDING AN EFFECTIVE DATE.

Consideration to waive three readings.

Consideration to approve Ordinance.

Mayor Stear Consideration to approve Ordinance 2024-11 an Ordinance of the City Council of the City of Kuna, making certain findings and enlarging the boundaries of the Kuna municipal irrigation system by the inclusion of Ada County Assessor TH Holdings 2022 LLC and declaring water rights appurtenant thereto, are pooled for delivery Offices and directing the city clerk to record this ordinance, as provided by law and direct the city engineer provide notice of this ordinance to the Boise Kuna Irrigation District, the owners, and update the irrigation system map and providing an effective date.

Council President Bruce I make a motion that we waive 3 reading of Ordinance 2024-11.

Council Member McPherson Second.

Mayor Stear Motion is made and seconded, any further discussion? All those in favor say ‘aye.’

All Council Members Aye.

Mayor Stear Any opposed?

(Timestamp 01:12:05)

Motion To: Waive 3 Readings of Ordinance 2024-11

Motion By: Council Member Bruce

Seconded By: Council Member McPherson

Further Discussion: None

Members Voting Aye: Council Members, Bruce, Biggs, McPherson, Laraway

Members Voting Nay: None

Members Absent: None

Approved Via: Voice Vote

4-0-0

Council President Bruce I make a motion we approve 2024-11, as published.

Council Member McPherson Second.

Mayor Stear Motion is made and sign up for approval. Any further discussion on that motion? Nathan, would you poll the Council, please?

City Clerk Nathan Stanley Council Member McPherson.

Council Member McPherson Yes.

City Clerk Nathan Stanley Council Member Biggs.

Council Member Biggs Yes.

City Clerk Nathan Stanley Council Member Laraway.

Council Member Laraway Yes.

City Clerk Nathan Stanley Council President Bruce.

Council President Bruce Yes.

Mayor Stear And that motion carries.

(Timestamp 01:12:22)

Motion To: Approve Ordinance 2024-11 As Published

Motion By: Council Member Bruce

Seconded By: Council Member McPherson

Further Discussion: None

Members Voting Aye: Council Members, Bruce, Biggs, McPherson, Laraway

Members Voting Nay: None

Members Absent: None

Approved Via: Roll Call Vote

4-0-0

C. Consideration to approve Ordinance 2024-12 ACTION ITEM

(Timestamp 01:12:45)

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF KUNA:

- MAKING CERTAIN FINDINGS; and
- ENLARGING THE BOUNDARIES OF THE KUNA MUNICIPAL IRRIGATION SYSTEM BY THE INCLUSION OF ADA COUNTY ASSESSOR'S PATAGONIA DEVELOPMENT LLC; AND
- DECLARING WATER RIGHTS APPURTENANT THERETO ARE POOLED FOR DELIVERY PURPOSES; and
- DIRECTING THE CITY CLERK TO RECORD THIS ORDINANCE AS PROVIDED BY LAW; and
- DIRECTING THE CITY ENGINEER TO PROVIDE NOTICE OF THIS ORDINANCE TO THE BOISE ~ KUNA IRRIGATION DISTRICT, THE OWNERS AND UPDATE THE IRRIGATION SYSTEM MAP; and
- PROVIDING AN EFFECTIVE DATE.

Consideration to waive three readings.

Consideration to approve Ordinance.

Mayor Stear Consideration approve Ordinance 2024-12 an ordinance in the City Council of the City of Kuna making certain findings, enlarging the boundaries of the Kuna municipal irrigation system by the inclusion of Ada County Assessors, Patagonia Development LLC and declaring water rights appurtenant thereto are pooled for delivery purposes and directing the city clerk to record this ordinance as provided by law, directing the city engineer to provide notice of this ordinance to the Boise Kuna Irrigation District, The owners, and update the irrigation system map and provide an effective date.

Council President Bruce I make a motion that we waive 3 readings of Ordinance 2024-12.

Council Member McPherson Second.

Mayor Stear Motion to waive the three readings. Any further discussion? All those in favor say 'aye.'

All Council Members Aye.

Mayor Stear Any opposed? That motion carries.

(Timestamp 01:13:23)

Motion To: Waive 3 Readings of Ordinance 2024-12

Motion By: Council Member Bruce

Seconded By: Council Member McPherson

Further Discussion: None

Members Voting Aye: Council Members, Bruce, Biggs, McPherson, Laraway

Members Voting Nay: None

Members Absent: None

Approved Via: Voice Vote

4-0-0

Council President Bruce I make a motion that we approve Ordinance 2024-12, as published.

Council Member McPherson Second.

Mayor Stear Motion is made and seconded for approval. Any further discussion on that motion? Nathan, would you poll the Council?

City Clerk Nathan Stanley Council Member McPherson.

Council Member McPherson Yes.

City Clerk Nathan Stanley Council Member Biggs.

Council Member Biggs Yes.

City Clerk Nathan Stanley Council Member Laraway.

Council Member Laraway Yes.

City Clerk Nathan Stanley Council President Bruce.

Council President Bruce Yes.

Mayor Stear And that motion carried.

(Timestamp 01:13:35)

Motion To: Approve Ordinance 2024-12 As Published

Motion By: Council Member Bruce

Seconded By: Council Member McPherson

Further Discussion: None

Members Voting Aye: Council Members, Bruce, Biggs, McPherson, Laraway

Members Voting Nay: None

Members Absent: None

Approved Via: Roll Call Vote

4-0-0

D. Consideration to approve Ordinance 2024-13 ACTION ITEM

(Timestamp 01:13:59)

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF KUNA:

- MAKING CERTAIN FINDINGS; and
- ENLARGING THE BOUNDARIES OF THE KUNA MUNICIPAL IRRIGATION SYSTEM BY THE INCLUSION OF ADA COUNTY ASSESSOR'S CRMM LLC; AND
- DECLARING WATER RIGHTS APPURTENANT THERETO ARE POOLED FOR DELIVERY PURPOSES; and
- DIRECTING THE CITY CLERK TO RECORD THIS ORDINANCE AS PROVIDED BY LAW; and
- DIRECTING THE CITY ENGINEER TO PROVIDE NOTICE OF THIS ORDINANCE TO THE BOISE ~ KUNA IRRIGATION DISTRICT, THE OWNERS AND UPDATE THE IRRIGATION SYSTEM MAP; and
- PROVIDING AN EFFECTIVE DATE.

Consideration to waive three readings.

Consideration to approve Ordinance.

Mayor Stear Consideration to approve ordinance 2024-13 an ordinance of the City Council of the city of Kuna making certain findings and enlarging the boundaries of the Union municipal irrigation system by the inclusion of Ada County Assessors, CRMM LLC and declaring water rights appurtenant thereto are pooled for delivery purposes. And directing the city clerk to record this ordinance, as provided by law, directing the city engineer to provide notice of this ordinance. The Boise Kuna irrigation district, the owners and update the irrigation system map and providing effective.

Council President Bruce I make a motion that we waive 3 readings of 2024-13.

Council Member McPherson Second.

Mayor Stear Motion's made and seconded, any further discussion? All those in favor say 'aye.'

All Council Members Aye.

Mayor Stear Any opposed? Motion carried.

(Timestamp 01:14:34)

Motion To: Waive 3 Readings of Ordinance 2024-13

Motion By: Council Member Bruce

Seconded By: Council Member McPherson

Further Discussion: None

Members Voting Aye: Council Members, Bruce, Biggs, McPherson, Laraway

Members Voting Nay: None

Members Absent: None

Approved Via: Voice Vote

4-0-0

Council President Bruce I make a motion that we approve, 2024-13, as published.

Council Member McPherson Second.

Mayor Stear Motion made and seconded for approval. Is there any further discussion on that motion? Nathan, would you poll the Council?

City Clerk Nathan Stanley Council Member McPherson.

Council Member McPherson Yes.

City Clerk Nathan Stanley Council Member Biggs.

Council Member Biggs Yes.

City Clerk Nathan Stanley Council Member Laraway.

Council Member Laraway Yes.

City Clerk Nathan Stanley Council President Bruce.

Council President Bruce Yes.

Mayor Stear And that motion carries.

(Timestamp 01:14:48)

Motion To: Approve Ordinance 2024-13 As Published

Motion By: Council Member Bruce

Seconded By: Council Member McPherson

Further Discussion: None

Members Voting Aye: Council Members, Bruce, Biggs, McPherson, Laraway

Members Voting Nay: None

Members Absent: None

Approved Via: Roll Call Vote

4-0-0

9. Executive Session:

(Timestamp 01:15:13)

- A.** Enter into Executive Session under Idaho Code: 74-206 (1)(a) To consider hiring a public officer, employee, staff member or individual agent, wherein the respective qualities of individuals are to be evaluated in order to fill a particular vacancy or need AND 74-206 (1)(c) To acquire an interest in real property not owned by a public agency.

The motion to go into executive session shall identify the specific subsections that authorize the executive session.

Mayor Stear Item 9A is an executive session. If someone would like to make that motion.

Council President Bruce I make a motion that we enter executive session under Idaho Code 74-206(1)(a) and 74-206(1)(C).

Council Member McPherson Second.

Mayor Stear Motions made and seconded Nathan, would you poll the Council?

City Clerk Nathan Stanley Council Member McPherson.

Council Member McPherson Yes.

City Clerk Nathan Stanley Council Member Biggs.

Council Member Biggs Yes.

City Clerk Nathan Stanley Council Member Laraway.

Council Member Laraway Yes.

City Clerk Nathan Stanley Council President Bruce.

Council President Bruce Yes.

Mayor Stear Motion carries, so we will be going into executive session. There won't be any decisions made in an executive session, and that is the end of the business for tonight. So you're welcome to hang around and wait. If you would like to do that otherwise. That's going to be the end of the fun for the evening.

(Timestamp 01:15:25)

Motion To: Enter Executive Session Under Idaho Code 74-206(1)(a) and 74-206(1)(C).

Motion By: Council Member Bruce

Seconded By: Council Member McPherson

Further Discussion: None

Members Voting Aye: Council Members, Bruce, Biggs, McPherson, Laraway

Members Voting Nay: None

Members Absent: None

Approved Via: Roll Call Vote

4-0-0

In Compliance With Idaho Code 74-205(2) The Minutes For The Executive Session May Be Found Below.

- Executive Session Minutes:
 - Entered at 7:19 PM.
 - Immediate bathroom break (Recess).
 - Started at 7:25 PM with item under 74-206(1)(c). To acquire an interest in real property not owned by a public agency.

The following people were present:

- Mayor Stear
- All Council Members
- J. Empey
- M. Treasure
- D. Hanson
- M. Bybee
- M. Borzick
- N. Stauffer
- 8:19 ended discussion on 74-206(1)(c). M. Borzick, D. Hanson, M. Treasure, and J. Empey all departed the Executive Session.

Information received; no action taken.

- 8:20 PM. Started discussion on 74-206(1)(a). To consider hiring a public officer, employee, staff member or individual agent,

wherein the respective qualities of individuals are to be evaluated in order to fill a particular vacancy or need.

The following People were present:

- Mayor Stear
- All Council Members
- N. Stauffer
- M. Bybee

- Council President Bruce moved to adjourn, Council Member McPherson seconded.

Adjourned at 9:03 PM.

Information received; no action taken.

10. Mayor/Council Announcements:

11. Adjournment:

Joe L. Stear, Mayor

ATTEST:

Nathan Stanley, City Clerk

Minutes prepared by Garrett Michaelson, Kuna City Clerk's Office
Date Approved: CCM 07.02.2024



CITY OF KUNA
751 W. 4th Street • Kuna, Idaho • 83634 • Phone (208) 922-5274
Fax: (208) 922-5989 • www.Kunacity.Id.gov

SIGN-UP SHEET

June 18th, 2024 – City Council Public Comment

The City of Kuna welcomes Public Questions and/or Comments during the Public Comment Session, as noted in the agenda.

In accordance with Idaho State Code, Public Comments may NOT include specific land use issues or cases. All comments regarding specific land use issues or cases MUST be heard in their associated Public Hearing(s). Idaho State Code also requires all comments and/or complaints regarding City personnel to be heard in Executive Session.

In all instances The Mayor and City Council may determine if your comments are appropriate for the Open Comment Session, particularly if your comments are covered by Idaho Code § 74-206(1) and may notify you accordingly. If you are recognized to speak you may "have the floor" for up to three (3) minutes unless a separate time duration is determined by The Mayor and/or City Council.

Public Comment Sign Up

REVEREND OF
3720 W. Comm.
Meridian
Print Name
Print Address
City State, Zip

Print Name
Print Address
City State, Zip

Print Name
Print Address
City State, Zip

Topic

Topic

Topic

Print Name

Print Name

Print Name

Print Address

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City State, Zip

City State, Zip

City State, Zip

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Print Name

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City State, Zip

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City State, Zip

Topic

Topic

Topic



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SIGN-UP SHEET
June 18, 2024 – City Council, Public Hearing

Case Name: Aermotor Cove Sub Request:
Case Type: Annexation, Pre-Plat & Design Review Request.

Case Nos.: 23-04-AN (Annexation) and 23-04-S (Pre Plat).

Please print your name below if you would like to present oral testimony or written exhibits about this item to the Council/Commission.

Table with 3 columns: IN FAVOR, NEUTRAL, IN OPPOSITION. Each column contains rows for 'Testify' and 'Not Testify' options, followed by fields for Name, Address, City, State, and Zip. Includes handwritten entries like 'Rick Morino', 'BEVERLY WOLF', and 'HERBERT DANIELLO'.

Report Criteria:

- Detail report.
- Invoices with totals above \$0.00 included.
- Paid and unpaid invoices included.

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
2M COMPANY, INC.												
1461	2M COMPANY, INC.	204033435-00	18399	<u>VALVE BOXES FOR ASHTON ESTATES PARK, B. VILLANUEVA, JUNE '24</u>	06/17/2024	742.10	.00	<u>40-6020 CAPITAL IMPROVEMENTS</u>	1326	6/24		
Total 204033435-00:						742.10	.00					
Total 2M COMPANY, INC.:						742.10	.00					
3CMA												
2305	3CMA	INV-1720	18374	<u>2024 ANNUAL CONFERENCE FOR Z. MONTENEGRO, JUNE '24</u>	06/21/2024	750.00	.00	<u>01-6265 TRAINING & SCHOOLING</u>	0	6/24		
Total INV-1720:						750.00	.00					
Total 3CMA:						750.00	.00					
ABC STAMP, SIGNS & AWARDS												
277	ABC STAMP, SIGNS & AWARDS	0574941	18346	<u>NAME PLATE FOR J. EDINGER, JUNE '24- ADMIN</u>	06/11/2024	5.70	.00	<u>01-6165 OFFICE SUPPLIES</u>	0	6/24		
277	ABC STAMP, SIGNS & AWARDS	0574941	18346	<u>NAME PLATE FOR J. EDINGER, JUNE '24- WATER</u>	06/11/2024	7.52	.00	<u>20-6165 OFFICE SUPPLIES</u>	0	6/24		
277	ABC STAMP, SIGNS & AWARDS	0574941	18346	<u>NAME PLATE FOR J. EDINGER, JUNE '24- SEWER</u>	06/11/2024	7.52	.00	<u>21-6165 OFFICE SUPPLIES</u>	0	6/24		
277	ABC STAMP, SIGNS & AWARDS	0574941	18346	<u>NAME PLATE FOR J. EDINGER, JUNE '24- P.I</u>	06/11/2024	2.05	.00	<u>25-6165 OFFICE SUPPLIES</u>	0	6/24		
Total 0574941:						22.79	.00					
Total ABC STAMP, SIGNS & AWARDS:						22.79	.00					

City of Kuna

Payment Approval Report - City Council Approval
 Report dates: 6/13/2024-6/27/2024

Page: 2
 Jun 27, 2024 09:37AM

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
ADA COUNTY HIGHWAY DISTRICT (RENT)												
1037	ADA COUNTY HIGHWAY DISTRICT (RENT)	18529		<u>SHOP RENT FOR JULY '24 - ADMIN</u>	06/21/2024	148.50	.00	<u>01-6211 RENT-BUILDINGS & LAND</u>	1004	6/24		
1037	ADA COUNTY HIGHWAY DISTRICT (RENT)	18529		<u>SHOP RENT FOR JULY '24 - WATER</u>	06/21/2024	126.00	.00	<u>20-6211 RENT-BUILDINGS & LAND</u>	0	6/24		
1037	ADA COUNTY HIGHWAY DISTRICT (RENT)	18529		<u>SHOP RENT FOR JULY '24 - SEWER</u>	06/21/2024	121.50	.00	<u>21-6211 RENT - BUILDINGS & LAND</u>	0	6/24		
1037	ADA COUNTY HIGHWAY DISTRICT (RENT)	18529		<u>SHOP RENT FOR JULY '24 - P.I.</u>	06/21/2024	54.00	.00	<u>25-6211 RENT - BUILDINGS & LAND</u>	0	6/24		
Total 18529:						450.00	.00					
Total ADA COUNTY HIGHWAY DISTRICT (RENT):						450.00	.00					
ADA COUNTY PROSECUTING ATTORNE												
176	ADA COUNTY PROSECUTING ATTORNE	06242024CPA		<u>PROSECUTORIAL SERVICES FOR JULY 2024</u>	06/24/2024	5,434.38	.00	<u>01-6203 PROSECUTORIAL SERVICES</u>	0	6/24		
Total 06242024CPA:						5,434.38	.00					
Total ADA COUNTY PROSECUTING ATTORNE:						5,434.38	.00					
AKK INVESTMENTS LLC												
2074	AKK INVESTMENTS LLC	I45448485867	18263	<u>ELECTRICAL NOTICES: ROUGH ELECTRICAL PASSES & FINAL INSPECTION LABELS. J. MILLER. MAY '24</u>	06/05/2024	324.25	324.25	<u>01-6165 OFFICE SUPPLIES</u>	1005	6/24	06/21/2024	
Total I45448485867:						324.25	324.25					
Total AKK INVESTMENTS LLC:						324.25	324.25					
ALLIANCE MEDICAL GROUP LLC												
2072	ALLIANCE MEDICAL GROUP LLC	8773-061924		<u>NEW EMPLOYEE DRUG SCREEN FOR NEW PW DIRECTOR. A. WENGER. MAY '24 - WATER</u>	06/24/2024	10.50	.00	<u>20-5950 TEAM BUILDING ONBOARDING</u>	0	6/24		

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2072	ALLIANCE MEDICAL GROUP LLC	8773-061924		<u>NEW EMPLOYEE DRUG SCREEN FOR NEW PW DIRECTOR, A. WENGER, MAY '24 - SEWER</u>	06/24/2024	10.50	.00	<u>21-5950 TEAM BUILDING, ONBOARDING</u>	0	6/24		
2072	ALLIANCE MEDICAL GROUP LLC	8773-061924		<u>NEW EMPLOYEE DRUG SCREEN FOR NEW PW DIRECTOR, A. WENGER, MAY '24 - P.I.</u>	06/24/2024	4.00	.00	<u>25-5950 TEAM BUILDING, ONBOARDING</u>	0	6/24		
2072	ALLIANCE MEDICAL GROUP LLC	8773-061924		<u>EMPLOYEE DRUG SCREEN FOR PARKS EMPLOYEES, D. ABBOTT & J. PEREZ, MAY '24</u>	06/24/2024	50.00	.00	<u>01-5950 TEAM BUILDING, ONBOARDING</u>	0	6/24		
2072	ALLIANCE MEDICAL GROUP LLC	8773-061924		<u>EMPLOYEE DRUG SCREEN FOR SEWER EMPLOYEE, W. HANCOCK, MAY '24</u>	06/24/2024	25.00	.00	<u>21-5950 TEAM BUILDING, ONBOARDING</u>	0	6/24		
Total 8773-061924:						100.00	.00					
Total ALLIANCE MEDICAL GROUP LLC:						100.00	.00					
ALPHA HOME PEST CONTROL, LLC												
1804	ALPHA HOME PEST CONTROL, LLC	97090		<u>QUARTERLY PEST CONTROL, KPD, JUNE '24</u>	06/13/2024	150.00	150.00	<u>01-6140 MAINT. & REPAIR BUILDING</u>	0	6/24	06/21/2024	
Total 97090:						150.00	150.00					
Total ALPHA HOME PEST CONTROL, LLC:						150.00	150.00					
BIG SKY RENTALS LLC												
1846	BIG SKY RENTALS LLC	8115	18101	<u>SOD CUTTER RENTAL FOR ARBOR RIDGE PARK, R. HENZE, APR '24</u>	05/01/2024	58.00	58.00	<u>01-6212 RENT-EQUIPMENT</u>	1004	6/24	06/21/2024	
Total 8115:						58.00	58.00					
1846	BIG SKY RENTALS LLC	8156		<u>8 EA LIGHT TOWERS FOR HOMETOWN FAIR, B. WITHROW, MAY '24</u>	05/06/2024	3,200.00	3,200.00	<u>01-6135 PUBLIC ENTERTAINMENT</u>	1004	6/24	06/21/2024	

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Total 8156:						3,200.00	3,200.00					
1846	BIG SKY RENTALS LLC	8171		<u>COMPACTOR FOR ZAMZOWS PARK, B. WITHROW, MAY '24</u>	05/09/2024	361.80	361.80	<u>01-6212 RENT-EQUIPMENT</u>	1004	6/24	06/21/2024	
Total 8171:						361.80	361.80					
1846	BIG SKY RENTALS LLC	8293	18284	<u>LIFT RENTAL FOR TAKING DOWN OLD SIREN AND FLAG, S. HOWELL, MAY '24</u>	05/31/2024	516.00	516.00	<u>01-6150 MAINTENANCE & REPAIRS - SYSTEM</u>	1004	6/24	06/21/2024	
Total 8293:						516.00	516.00					
Total BIG SKY RENTALS LLC:						4,135.80	4,135.80					
BSN SPORTS, LLC												
1739	BSN SPORTS, LLC	925837976	18315	<u>EXTRA BASE MOUNTS FOR SOFTBALL FIELDS AT ZAMZOWS PARK, M. WEBB, JUNE '24</u>	06/05/2024	199.98	.00	<u>01-6150 MAINTENANCE & REPAIRS - SYSTEM</u>	1004	6/24		
Total 925837976:						199.98	.00					
1739	BSN SPORTS, LLC	925871753	18326	<u>PORTABLE PITCHING MOUND FOR ZAMZOWS PARK, M. WEBB, JUNE '24</u>	06/11/2024	1,426.00	.00	<u>01-6150 MAINTENANCE & REPAIRS - SYSTEM</u>	1004	6/24		
Total 925871753:						1,426.00	.00					
Total BSN SPORTS, LLC:						1,625.98	.00					
CAMPBELL TRACTOR & IMPLEMENT COMPANY												
135	CAMPBELL TRACTOR & IMPLEMENT COMPANY	N75138	18365	<u>UNIVERSAL JOINT, CROSS & BEARING ASSEMBLY FOR THE TRACTOR AT THE FARM, J. DURHAM, JUNE '24</u>	06/18/2024	382.63	.00	<u>21-6142 MAINT. & REPAIRS - EQUIPMENT</u>	0	6/24		

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Total N75138:						382.63	.00					
Total CAMPBELL TRACTOR & IMPLEMENT COMPANY:						382.63	.00					
CENTURYLINK												
62	CENTURYLINK	333971613060		<u>DEDICATED LANDLINE TO SCADA, 06/07-07/06/2024 - WATER</u>	06/07/2024	29.35	29.35	<u>20-6255 TELEPHONE EXPENSE</u>	0	6/24	06/21/2024	
62	CENTURYLINK	333971613060		<u>DEDICATED LANDLINE TO SCADA, 06/07-07/06/2024 - SEWER</u>	06/07/2024	29.35	29.35	<u>21-6255 TELEPHONE EXPENSE</u>	0	6/24	06/21/2024	
62	CENTURYLINK	333971613060		<u>DEDICATED LANDLINE TO SCADA, 06/07-07/06/2024 - P.I.</u>	06/07/2024	11.19	11.19	<u>25-6255 TELEPHONE EXPENSE</u>	0	6/24	06/21/2024	
Total 33397161306072024:						69.89	69.89					
Total CENTURYLINK:						69.89	69.89					
CORE & MAIN LP												
63	CORE & MAIN LP	V118774	18426	<u>HYDRANT PARTS, J.COX, JUNE '24</u>	06/20/2024	259.08	.00	<u>20-6150 M & R - SYSTEM</u>	0	6/24		
Total V118774:						259.08	.00					
Total CORE & MAIN LP:						259.08	.00					
CUSTOM ELECTRIC, INC.												
147	CUSTOM ELECTRIC, INC.	9333	18438	<u>PI REPAIR AT SUTTERS MILL PUMP STATION, D. CROSSLEY, JUNE '24</u>	06/20/2024	210.00	.00	<u>25-6150 MAINT. & REPAIRS - SYSTEM (PI)</u>	0	6/24		
Total 9333:						210.00	.00					
147	CUSTOM ELECTRIC, INC.	9334	18446	<u>TROUBLESHOOTING CIRCUIT BREAKERS AT THE TREATMENT PLANT, T.FLEMING, JUNE '24</u>	06/20/2024	210.00	.00	<u>21-6150 M & R - SYSTEM</u>	0	6/24		

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Total 9334:						210.00	.00					
Total CUSTOM ELECTRIC, INC.:						420.00	.00					
D & B SUPPLY												
75	D & B SUPPLY	1525	18466	<u>NET FOR CLEANING TRASH OUT OF P.I. STATIONS, M. DAVILA, JUNE '24</u>	06/25/2024	24.99	.00	<u>25-6175 SMALL TOOLS</u>	0	6/24		
Total 1525:						24.99	.00					
75	D & B SUPPLY	2935	18391	<u>TOOLS FOR FLEET TRUCK 73, S. HOWELL, JUNE '24 - ADMIN</u>	06/14/2024	514.51	.00	<u>01-6175 SMALL TOOLS</u>	0	6/24		
75	D & B SUPPLY	2935	18391	<u>TOOLS FOR FLEET TRUCK 73, S. HOWELL, JUNE '24 - WATER</u>	06/14/2024	205.80	.00	<u>20-6175 SMALL TOOLS</u>	0	6/24		
75	D & B SUPPLY	2935	18391	<u>TOOLS FOR FLEET TRUCK 73, S. HOWELL, JUNE '24 - SEWER</u>	06/14/2024	205.80	.00	<u>21-6175 SMALL TOOLS</u>	0	6/24		
75	D & B SUPPLY	2935	18391	<u>TOOLS FOR FLEET TRUCK 73, S. HOWELL, JUNE '24 - P.I.</u>	06/14/2024	102.90	.00	<u>25-6175 SMALL TOOLS</u>	0	6/24		
Total 2935:						1,029.01	.00					
75	D & B SUPPLY	2937		<u>RETURN OF OVERCHARGED ITEM ON PO #18391, S. HOWELL, JUNE '24 - ADMIN</u>	06/14/2024	-125.00	.00	<u>01-6175 SMALL TOOLS</u>	0	6/24		
75	D & B SUPPLY	2937		<u>RETURN OF OVERCHARGED ITEM ON PO #18391, S. HOWELL, JUNE '24 - WATER</u>	06/14/2024	-50.00	.00	<u>20-6175 SMALL TOOLS</u>	0	6/24		
75	D & B SUPPLY	2937		<u>RETURN OF OVERCHARGED ITEM ON PO #18391, S. HOWELL, JUNE '24 - SEWER</u>	06/14/2024	-50.00	.00	<u>21-6175 SMALL TOOLS</u>	0	6/24		
75	D & B SUPPLY	2937		<u>RETURN OF OVERCHARGED ITEM ON PO #18391, S. HOWELL, JUNE '24 - P.I.</u>	06/14/2024	-24.99	.00	<u>25-6175 SMALL TOOLS</u>	0	6/24		

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Total 2937:						-249.99	.00					
75	D & B SUPPLY	4930	18470	<u>SPRINKLER FITTINGS FOR ASHTON ESTATES, S. CAHILL, JUNE '24</u>	06/25/2024	26.94	.00	<u>40-6020 CAPITAL IMPROVEMENTS</u>	1326	6/24		
Total 4930:						26.94	.00					
75	D & B SUPPLY	5123		<u>TRACK SAW CLAMPS, M. WEBB, JUNE '24</u>	06/26/2024	139.99	.00	<u>01-6175 SMALL TOOLS</u>	1004	6/24		
Total 5123:						139.99	.00					
75	D & B SUPPLY	6015	18341	<u>SPRINKLER PARTS, J.BOSTON, JUNE '24</u>	06/07/2024	11.15	.00	<u>20-6150 M & R - SYSTEM</u>	0	6/24		
Total 6015:						11.15	.00					
75	D & B SUPPLY	6499	18373	<u>HOSE FOR MAG TANK AT THE PARKS SHOP, S. CAHILL, JUNE '24</u>	06/12/2024	99.96	.00	<u>01-6142 MAINT. & REPAIR - EQUIPMENT</u>	1004	6/24		
Total 6499:						99.96	.00					
75	D & B SUPPLY	6559	18379	<u>TOOLS FOR J. ADAMS TRAILER, J. PEREZ, JUNE 24 - ADMIN</u>	06/12/2024	202.54	.00	<u>01-6175 SMALL TOOLS</u>	0	6/24		
75	D & B SUPPLY	6559	18379	<u>TOOLS FOR J. ADAMS TRAILER, J. PEREZ, JUNE 24 - PARKS</u>	06/12/2024	202.54	.00	<u>01-6175 SMALL TOOLS</u>	1004	6/24		
75	D & B SUPPLY	6559	18379	<u>TOOLS FOR J. ADAMS TRAILER, J. PEREZ, JUNE 24 - WATER</u>	06/12/2024	170.13	.00	<u>20-6175 SMALL TOOLS</u>	0	6/24		
75	D & B SUPPLY	6559	18379	<u>TOOLS FOR J. ADAMS TRAILER, J. PEREZ, JUNE 24 - SEWER</u>	06/12/2024	170.13	.00	<u>21-6175 SMALL TOOLS</u>	0	6/24		

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75	D & B SUPPLY	6559	18379	<u>TOOLS FOR J. ADAMS TRAILER, J. PEREZ, JUNE 24 - P.I.</u>	06/12/2024	64.80	.00	<u>25-6175 SMALL TOOLS</u>	0	6/24		
Total 6559:						810.14	.00					
75	D & B SUPPLY	668	18467	<u>FITTINGS FOR ASHTON ESTATES PARK, C. REGLI, JUNE '24</u>	06/26/2024	88.74	.00	<u>40-6020 CAPITAL IMPROVEMENTS</u>	1326	6/24		
Total 668:						88.74	.00					
75	D & B SUPPLY	676	18468	<u>GEAR AND BOOTS FOR NEW SEWER EMPLOYEE FOR T. GIRAUD, T. FLEMING, JUNE '24</u>	06/26/2024	573.95	.00	<u>21-6230 SAFETY TRAINING & EQUIPMENT</u>	0	6/24		
Total 676:						573.95	.00					
75	D & B SUPPLY	75	18448	<u>HARDWARE FOR ASHTON ESTATES PARK, S. CAHILL, JUNE '24</u>	06/24/2024	5.75	.00	<u>40-6020 CAPITAL IMPROVEMENTS</u>	1326	6/24		
Total 75:						5.75	.00					
75	D & B SUPPLY	7976	18388	<u>2 REPLACEMENT WEED EATER HEADS, B. WITHROW, JUNE '24</u>	06/14/2024	109.98	.00	<u>01-6142 MAINT. & REPAIR - EQUIPMENT</u>	1004	6/24		
Total 7976:						109.98	.00					
75	D & B SUPPLY	8707	18424	<u>BUNGEEES, GRINDING WHEELS, AND OTHER SUPPLIES FOR MOW CREW, J. PEREZ, JUNE 24</u>	06/19/2024	85.32	.00	<u>01-6150 MAINTENANCE & REPAIRS - SYSTEM</u>	1004	6/24		
75	D & B SUPPLY	8707	18424	<u>BACKPACK SPRAYER, J. PEREZ, JUNE 24</u>	06/19/2024	224.99	.00	<u>01-6142 MAINT. & REPAIR - EQUIPMENT</u>	1004	6/24		

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				<u>3122R790356, CITY HALL, JUNE '24 - SEWER</u>	06/18/2024	44.64	.00	<u>21-6142 MAINT. & REPAIRS - EQUIPMENT</u>	0	6/24		
2291	DEX IMAGING LLC	AR11489023		<u>CONTRACT OVERAGE CHARGES, MODEL #IMC4500, SERIAL #3122R790389 & 3122R790356, CITY HALL, JUNE '24 - P.I.</u>	06/18/2024	17.16	.00	<u>25-6142 MAINT. & REPAIRS - EQUIPMENT</u>	0	6/24		
Total AR11489023:						605.62	.00					
2291	DEX IMAGING LLC	AR11489214		<u>CONTRACT LEASE CHARGE, MODEL #MX2651, SERIAL #03012172, TREATMENT PLANT, JUNE '24</u>	06/18/2024	95.55	.00	<u>20-6212 RENT - EQUIPMENT</u>	0	6/24		
2291	DEX IMAGING LLC	AR11489214		<u>CONTRACT OVERAGE CHARGES, MODEL #MX2651, SERIAL #03012172, TREATMENT PLANT, JUNE '24 - WATER</u>	06/18/2024	38.08	.00	<u>20-6142 MAINT. & REPAIRS - EQUIPMENT</u>	0	6/24		
2291	DEX IMAGING LLC	AR11489214		<u>CONTRACT OVERAGE CHARGES, MODEL #MX2651, SERIAL #03012172, TREATMENT PLANT, JUNE '24 - SEWER</u>	06/18/2024	38.08	.00	<u>21-6142 MAINT. & REPAIRS - EQUIPMENT</u>	0	6/24		
2291	DEX IMAGING LLC	AR11489214		<u>CONTRACT OVERAGE CHARGES, MODEL #MX2651, SERIAL #03012172, TREATMENT PLANT, JUNE '24 - P.I.</u>	06/18/2024	14.51	.00	<u>25-6142 MAINT. & REPAIRS - EQUIPMENT</u>	0	6/24		
Total AR11489214:						186.22	.00					
2291	DEX IMAGING LLC	AR11492470		<u>CONTRACT OVERAGE CHARGES, MODEL #M406DN, SERIAL #JPBDC08926, B. JACKSON - ADMIN</u>	06/18/2024	.10	.00	<u>01-6142 MAINT. & REPAIR - EQUIPMENT</u>	0	6/24		
2291	DEX IMAGING LLC	AR11492470		<u>CONTRACT OVERAGE CHARGES, MODEL #M406DN, SERIAL #JPBDC08926, B. JACKSON - WATER</u>	06/18/2024	.14	.00	<u>20-6142 MAINT. & REPAIRS - EQUIPMENT</u>	0	6/24		

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2291	DEX IMAGING LLC	AR11492470		<u>CONTRACT OVERAGE CHARGES, MODEL #M406DN, SERIAL #JPBDC08926, B. JACKSON - SEWER</u>	06/18/2024	.14	.00	<u>21-6142 MAINT. & REPAIRS - EQUIPMENT</u>	0	6/24		
2291	DEX IMAGING LLC	AR11492470		<u>CONTRACT OVERAGE CHARGES, MODEL #M406DN, SERIAL #JPBDC08926, B. JACKSON - P.I.</u>	06/18/2024	.04	.00	<u>25-6142 MAINT. & REPAIRS - EQUIPMENT</u>	0	6/24		
Total AR11492470:						.42	.00					
Total DEX IMAGING LLC:						916.36	.00					
DUBOIS CHEMICALS INC												
512	DUBOIS CHEMICALS INC	IN-30298400	18400	<u>ONE TOTE CHLORINE FOR DANSKIN, D. CROSSLEY, JUNE '24</u>	06/19/2024	1,389.12	.00	<u>20-6151 M & R - PROCESS CHEMICALS</u>	0	6/24		
Total IN-30298400:						1,389.12	.00					
Total DUBOIS CHEMICALS INC:						1,389.12	.00					
DYNA PARTS LLC												
2115	DYNA PARTS LLC	299441	18371	<u>WIRE FOR FLEET SHOP, J. DURHAM, JUNE '24- ADMIN</u>	06/12/2024	58.95	.00	<u>01-6305 VEHICLE MAINTENANCE & REPAIRS</u>	0	6/24		
2115	DYNA PARTS LLC	299441	18371	<u>WIRE FOR FLEET SHOP, J. DURHAM, JUNE '24- WATER</u>	06/12/2024	23.58	.00	<u>20-6305 VEHICLE MAINTENANCE & REPAIRS</u>	0	6/24		
2115	DYNA PARTS LLC	299441	18371	<u>WIRE FOR FLEET SHOP, J. DURHAM, JUNE '24- SEWER</u>	06/12/2024	23.58	.00	<u>21-6305 VEHICLE MAINTENANCE & REPAIRS</u>	0	6/24		
2115	DYNA PARTS LLC	299441	18371	<u>WIRE FOR FLEET SHOP, J. DURHAM, JUNE '24- P.I</u>	06/12/2024	11.79	.00	<u>25-6305 VEHICLE MAINTENANCE & REPAIR</u>	0	6/24		
Total 299441:						117.90	.00					

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2115	DYNA PARTS LLC	299497		<u>HEAT SHRINK TUBING FOR FLEET, J. DURHAM, JUNE 24-ADMIN</u>	06/13/2024	12.00	.00	01-6305 VEHICLE MAINTENANCE & REPAIRS	0	6/24		
2115	DYNA PARTS LLC	299497		<u>HEAT SHRINK TUBING FOR FLEET, J. DURHAM, JUNE 24-WATER</u>	06/13/2024	4.80	.00	20-6305 VEHICLE MAINTENANCE & REPAIRS	0	6/24		
2115	DYNA PARTS LLC	299497		<u>HEAT SHRINK TUBING FOR FLEET, J. DURHAM, JUNE 24-SEWER</u>	06/13/2024	4.80	.00	21-6305 VEHICLE MAINTENANCE & REPAIRS	0	6/24		
2115	DYNA PARTS LLC	299497		<u>HEAT SHRINK TUBING FOR FLEET, J. DURHAM, JUNE 24- P.I</u>	06/13/2024	2.39	.00	25-6305 VEHICLE MAINTENANCE & REPAIR	0	6/24		
2115	DYNA PARTS LLC	299497		<u>ROCKER SWITCH, JUNE 24</u>	06/13/2024	25.98	.00	01-6305 VEHICLE MAINTENANCE & REPAIRS	1004	6/24		
Total 299497:						49.97	.00					
2115	DYNA PARTS LLC	299512	18382	<u>ROCKER SWITCH FOR PARKS, J. DURHAM, JUNE '24</u>	06/13/2024	22.31	.00	01-6142 MAINT. & REPAIR - EQUIPMENT	1004	6/24		
Total 299512:						22.31	.00					
2115	DYNA PARTS LLC	299533	18385	<u>OIL AND FUEL LINE RETAINING CLIP FOR FLEET, J. DURHAM, JUNE 24- ADMIN</u>	06/13/2024	27.18	.00	01-6305 VEHICLE MAINTENANCE & REPAIRS	0	6/24		
2115	DYNA PARTS LLC	299533	18385	<u>OIL AND FUEL LINE RETAINING CLIP FOR FLEET, J. DURHAM, JUNE 24- WATER</u>	06/13/2024	10.87	.00	20-6305 VEHICLE MAINTENANCE & REPAIRS	0	6/24		
2115	DYNA PARTS LLC	299533	18385	<u>OIL AND FUEL LINE RETAINING CLIP FOR FLEET, J. DURHAM, JUNE 24- SEWER</u>	06/13/2024	10.87	.00	21-6305 VEHICLE MAINTENANCE & REPAIRS	0	6/24		
2115	DYNA PARTS LLC	299533	18385	<u>OIL AND FUEL LINE RETAINING CLIP FOR FLEET, J. DURHAM, JUNE 24- P.I</u>	06/13/2024	5.43	.00	25-6305 VEHICLE MAINTENANCE & REPAIR	0	6/24		

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				<u>NADEAU, JUNE 24</u>	06/18/2024	13.89	.00	<u>21-6150 M & R - SYSTEM</u>	0	6/24		
	Total 299760:					13.89	.00					
2115	DYNA PARTS LLC	299774	18412	<u>WIPER BLADES FOR PARKS TAHOE, J. DURHAM, JUNE 24</u>	06/18/2024	39.98	.00	<u>01-6305 VEHICLE MAINTENANCE & REPAIRS</u>	1004	6/24		
	Total 299774:					39.98	.00					
2115	DYNA PARTS LLC	299852	18423	<u>OIL FOR FLEET SHOP, J.DURHAM, JUN.'24- ADMIN</u>	06/19/2024	23.58	.00	<u>01-6305 VEHICLE MAINTENANCE & REPAIRS</u>	0	6/24		
2115	DYNA PARTS LLC	299852	18423	<u>OIL FOR FLEET SHOP, J.DURHAM, JUN.'24- WATER</u>	06/19/2024	9.43	.00	<u>20-6305 VEHICLE MAINTENANCE & REPAIRS</u>	0	6/24		
2115	DYNA PARTS LLC	299852	18423	<u>OIL FOR FLEET SHOP, J.DURHAM, JUN.'24- SEWER</u>	06/19/2024	9.43	.00	<u>21-6305 VEHICLE MAINTENANCE & REPAIRS</u>	0	6/24		
2115	DYNA PARTS LLC	299852	18423	<u>OIL FOR FLEET SHOP, J.DURHAM, JUN.'24- P.I</u>	06/19/2024	4.72	.00	<u>25-6305 VEHICLE MAINTENANCE & REPAIR</u>	0	6/24		
	Total 299852:					47.16	.00					
2115	DYNA PARTS LLC	299916	18432	<u>BELT FOR KITCHEN EXHAUST FAN AT SENIOR CENTER, S. HOWELL, JUNE '24</u>	06/20/2024	7.27	.00	<u>01-6140 MAINT. & REPAIR BUILDING</u>	1001	6/24		
	Total 299916:					7.27	.00					
2115	DYNA PARTS LLC	299936	18437	<u>DEF FOR WATER TRUCKS, J.COX, JUN.'24- WATER</u>	06/20/2024	23.98	.00	<u>20-6305 VEHICLE MAINTENANCE & REPAIRS</u>	0	6/24		
2115	DYNA PARTS LLC	299936	18437	<u>DEF FOR WATER TRUCKS, J.COX, JUN.'24- P.I</u>	06/20/2024	6.00	.00	<u>25-6305 VEHICLE MAINTENANCE & REPAIR</u>	0	6/24		

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Total 299936:						29.98	.00					
2115	DYNA PARTS LLC	300152	18456	<u>DOUBLE SIDED TAPE FOR FLEET SHOP, J. DURHAM, JUNE '24- ADMIN</u>	06/25/2024	5.75	.00	01-6305 VEHICLE MAINTENANCE & REPAIRS	0	6/24		
2115	DYNA PARTS LLC	300152	18456	<u>DOUBLE SIDED TAPE FOR FLEET SHOP, J. DURHAM, JUNE '24- WATER</u>	06/25/2024	2.30	.00	20-6305 VEHICLE MAINTENANCE & REPAIRS	0	6/24		
2115	DYNA PARTS LLC	300152	18456	<u>DOUBLE SIDED TAPE FOR FLEET SHOP, J. DURHAM, JUNE '24- SEWER</u>	06/25/2024	2.30	.00	21-6305 VEHICLE MAINTENANCE & REPAIRS	0	6/24		
2115	DYNA PARTS LLC	300152	18456	<u>DOUBLE SIDED TAPE FOR FLEET SHOP, J. DURHAM, JUNE '24- P.I</u>	06/25/2024	1.14	.00	25-6305 VEHICLE MAINTENANCE & REPAIR	0	6/24		
Total 300152:						11.49	.00					
Total DYNA PARTS LLC:						577.56	.00					
FATBEAM LLC												
1831	FATBEAM LLC	45585		<u>MONTHLY RECURRING CHARGE FOR INTERNET SERVICE, JULY '24 - ADMIN</u>	07/01/2024	95.00	.00	01-6052 CONTRACT SERVICES	0	6/24		
1831	FATBEAM LLC	45585		<u>MONTHLY RECURRING CHARGE FOR INTERNET SERVICE, JULY '24 - WATER</u>	07/01/2024	65.00	.00	20-6052 CONTRACT SERVICES	0	6/24		
1831	FATBEAM LLC	45585		<u>MONTHLY RECURRING CHARGE FOR INTERNET SERVICE, JULY '24 - SEWER</u>	07/01/2024	65.00	.00	21-6052 CONTRACT SERVICES	0	6/24		
1831	FATBEAM LLC	45585		<u>MONTHLY RECURRING CHARGE FOR INTERNET SERVICE, JULY '24 - P.I.</u>	07/01/2024	25.00	.00	25-6052 CONTRACT SERVICES	0	6/24		
Total 45585:						250.00	.00					
Total FATBEAM LLC:						250.00	.00					

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FERGUSON ENTERPRISES INC												
219	FERGUSON ENTERPRISES INC	0889127	18154	<u>FILE BOXES, IRRIGATION LIDS AND GATE VALVE, FOR IRRIGATION PARTS FOR ASHTON ESTATES PARK, D. CROSSLEY, MAY '24</u>	05/21/2024	1,959.27	.00	<u>40-6020 CAPITAL IMPROVEMENTS</u>	1326	6/24		
Total 0889127:						1,959.27	.00					
219	FERGUSON ENTERPRISES INC	0889127-1	18154	<u>MECHANICAL JOINTS & TAPPING SLEEVES FOR ASHTON ESTATES PARK, D. CROSSLEY, MAY '24</u>	06/03/2024	2,595.58	.00	<u>40-6020 CAPITAL IMPROVEMENTS</u>	1326	6/24		
Total 0889127-1:						2,595.58	.00					
219	FERGUSON ENTERPRISES INC	0889616-1	18196	<u>VARIOUS PARTS FOR THE FARM, T.FLEMING, MAY '24</u>	05/28/2024	1,548.91	1,548.91	<u>21-6090 FARM EXPENDITURES</u>	0	6/24	06/21/2024	
Total 0889616-1:						1,548.91	1,548.91					
219	FERGUSON ENTERPRISES INC	0890319	18225	<u>2 PIPE STANDS, J. PEREZ, MAY '24</u>	05/22/2024	318.94	318.94	<u>01-6150 MAINTENANCE & REPAIRS - SYSTEM</u>	1004	6/24	06/21/2024	
Total 0890319:						318.94	318.94					
219	FERGUSON ENTERPRISES INC	0891031	18272	<u>2 INCH 90 DEGREE ELBOW AND 2 INCH CLOSED NIPPLE, M. NADEAU, MAY '24</u>	05/29/2024	46.00	46.00	<u>21-6150 M & R - SYSTEM</u>	0	6/24	06/21/2024	
Total 0891031:						46.00	46.00					
219	FERGUSON ENTERPRISES INC	0893873	18455	<u>MECHANICAL JOINT FIRE HYDRANT, R.JONES, JUNE '24</u>	06/25/2024	3,900.00	.00	<u>20-6150 M & R - SYSTEM</u>	0	6/24		
Total 0893873:						3,900.00	.00					

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219	FERGUSON ENTERPRISES INC	CM072308		<u>CREDIT FOR RETURN OF PARTS FOR FARM, D. CROSSLEY, MAY '24</u>	05/28/2024	-542.60	-542.60	<u>21-6090 FARM EXPENDITURES</u>	0	6/24	06/21/2024	
Total CM072308:						-542.60	-542.60					
Total FERGUSON ENTERPRISES INC:						9,826.10	1,371.25					
H.D. FOWLER COMPANY												
1552	H.D. FOWLER COMPANY	I6730298	18387	<u>5 - 2 INCH BALL VALVES, J. MORFIN, JUNE '24</u>	06/13/2024	309.55	.00	<u>20-6150 M & R - SYSTEM</u>	0	6/24		
Total I6730298:						309.55	.00					
1552	H.D. FOWLER COMPANY	I6734603	18413	<u>BOLTS, GASKETS, & SHOVEL FOR IRRIGATION AT ASHTON ESTATES PARK, S. CAHILL, JUNE '24</u>	06/18/2024	96.38	.00	<u>40-6020 CAPITAL IMPROVEMENTS</u>	1326	6/24		
Total I6734603:						96.38	.00					
Total H.D. FOWLER COMPANY:						405.93	.00					
H3 SOLUTIONS LLC												
2132	H3 SOLUTIONS LLC	4139		<u>TESTING OF 2 BACKFLOW PREVENTERS - WATER</u>	06/12/2024	300.00	.00	<u>20-6150 M & R - SYSTEM</u>	0	6/24		
2132	H3 SOLUTIONS LLC	4139		<u>TESTING OF 12 BACKFLOW PREVENTERS - SEWER</u>	06/12/2024	1,800.00	.00	<u>21-6150 M & R - SYSTEM</u>	0	6/24		
2132	H3 SOLUTIONS LLC	4139		<u>REPAIR AND RETEST ON BACKFLOW PREVENTERS - WATER</u>	06/12/2024	150.00	.00	<u>20-6150 M & R - SYSTEM</u>	0	6/24		
2132	H3 SOLUTIONS LLC	4139		<u>REPAIR AND RETEST ON BACKFLOW PREVENTERS - SEWER</u>	06/12/2024	150.00	.00	<u>21-6150 M & R - SYSTEM</u>	0	6/24		
2132	H3 SOLUTIONS LLC	4139		<u>PATAGONIA BACKFLOW ASSEMBLY REPAIR PARTS & LABOR - SEWER</u>	06/12/2024	710.00	.00	<u>21-6150 M & R - SYSTEM</u>	0	6/24		

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2132	H3 SOLUTIONS LLC	4139		<u>WELL #3 AT BUTLER PARK BACKFLOW ASSEMBLY REPAIR PARTS & LABOR - WATER</u>	06/12/2024	2,202.00	.00	<u>20-6150 M & R - SYSTEM</u>	0	6/24		
Total 4139:						5,312.00	.00					
Total H3 SOLUTIONS LLC:						5,312.00	.00					
HD SUPPLY INC												
265	HD SUPPLY INC	INV00384950	18192	<u>3 CASES CHAIN OF CUSTODY SEALS, M. DAVILA, MAY 24</u>	06/05/2024	162.00	.00	<u>20-6150 M & R - SYSTEM</u>	0	6/24		
Total INV00384950:						162.00	.00					
265	HD SUPPLY INC	INV00391049	18364	<u>5 BOXES OF 1-5ML PIPETTE TIPS FOR LAB, M. NADEAU, JUNE '24</u>	06/11/2024	353.93	.00	<u>21-6150 M & R - SYSTEM</u>	0	6/24		
Total INV00391049:						353.93	.00					
265	HD SUPPLY INC	INV00393690	18381	<u>O-RINGS FOR LAB, D. CROSSLEY, JUNE '24</u>	06/13/2024	40.83	.00	<u>21-6150 M & R - SYSTEM</u>	0	6/24		
265	HD SUPPLY INC	INV00393690		<u>SAFETY GLASSES FOR LAB, D. CROSSLEY, JUNE '24</u>	06/13/2024	189.78	.00	<u>21-6230 SAFETY TRAINING & EQUIPMENT</u>	0	6/24		
Total INV00393690:						230.61	.00					
265	HD SUPPLY INC	INV00393768	18381	<u>O-RINGS FOR LAB, D. CROSSLEY, JUNE '24</u>	06/13/2024	230.11	.00	<u>21-6150 M & R - SYSTEM</u>	0	6/24		
Total INV00393768:						230.11	.00					
Total HD SUPPLY INC:						976.65	.00					
HUBER TECHNOLOGY, INC.												
1611	HUBER TECHNOLOGY, INC.	CD10026911	18290	<u>UNION FLAT SEAL, M.NADEAU, MAY '24</u>	06/17/2024	141.39	.00	<u>21-6150 M & R - SYSTEM</u>	0	6/24		

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Total CD10026911:						141.39	.00					
Total HUBER TECHNOLOGY, INC.:						141.39	.00					
IDAHO HUMANE SOCIETY												
833	IDAHO HUMANE SOCIETY	07012024IHSK		<u>ANIMAL CONTROL CONTRACT SERVICES FOR JULY '24</u>	07/01/2024	12,803.00	.00	<u>01-6005 ANIMAL CONTROL SERVICES</u>	0	6/24		
Total 07012024IHSKUNA:						12,803.00	.00					
Total IDAHO HUMANE SOCIETY:						12,803.00	.00					
IDAHO MATERIALS & CONSTRUCTION												
418	IDAHO MATERIALS & CONSTRUCTION	216501		<u>REPLACEMENT OF IRRIGATION BOX AT DANSKIN IRRIGATION POND, D. CROSSLEY, JUNE '24</u>	06/11/2024	8,600.00	.00	<u>25-6166 PP&E PURCHASES - OPERATIONS</u>	0	6/24		
Total 216501:						8,600.00	.00					
Total IDAHO MATERIALS & CONSTRUCTION:						8,600.00	.00					
IDAHO POWER CO												
38	IDAHO POWER CO	05302024IP		<u>ELECTRIC SERVICE 04/17/24-05/28/24 - STREET LIGHTS</u>	05/30/2024	5,661.12	5,661.12	<u>01-6290 UTILITIES</u>	1002	6/24	06/13/2024	
Total 05302024IP:						5,661.12	5,661.12					
Total IDAHO POWER CO:						5,661.12	5,661.12					
IDAHO STATE POLICE												
1509	IDAHO STATE POLICE	06072024IDSP		<u>BACKGROUND CHECKS, A. WENGER, S24103303, MAY '24 - WATER</u>	06/07/2024	4.20	.00	<u>20-5950 TEAM BUILDING, ONBOARDING</u>	0	6/24		
1509	IDAHO STATE POLICE	06072024IDSP		<u>BACKGROUND CHECKS, A. WENGER, S24103303, MAY '24 - SEWER</u>	06/07/2024	4.20	.00	<u>21-5950 TEAM BUILDING, ONBOARDING</u>	0	6/24		

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1509	IDAHO STATE POLICE	06072024IDSP		<u>BACKGROUND CHECKS, A. WENGER, S24103303, MAY '24 - P.I.</u>	06/07/2024	1.60	.00	<u>25-5950 TEAM BUILDING, ONBOARDING</u>	0	6/24		
1509	IDAHO STATE POLICE	06072024IDSP		<u>BACKGROUND CHECKS, W. HANCOCK, S24107403, MAY '24 - SEWER</u>	06/07/2024	10.00	.00	<u>21-5950 TEAM BUILDING, ONBOARDING</u>	0	6/24		
1509	IDAHO STATE POLICE	06072024IDSP		<u>BACKGROUND CHECKS, P. FLORES, S24108075 - PARKS</u>	06/07/2024	33.25	.00	<u>01-5950 TEAM BUILDING, ONBOARDING</u>	0	6/24		
1509	IDAHO STATE POLICE	06072024IDSP		<u>SOLICITOR/PEDDLER LICENSE BKGD CHECKS (11), C. MCGEE, S24099637, C. BEDNORZ, S24099638, D. SMALLWOOD, S24099639, B. STINSON, S24099640, A. DEAN, S24100183, B. DEAN, S24100184, C. WRIGHT, S24102685, S. JOHNSON, S24102687, C. HYLANDER, S24103267, ADD'L</u>	06/07/2024	365.75	.00	<u>01-2075 UNEARNED REVENUE</u>	0	6/24		
Total 06072024IDSP:						419.00	.00					
Total IDAHO STATE POLICE:						419.00	.00					
INDUSTRIAL BOLT & SUPPLY INCORPORATED												
2196	INDUSTRIAL BOLT & SUPPLY INCORPORATED	848567-1	18306	<u>CERAMIC DISC FOR PARKS/FLEET SHOP, S. HOWELL, JUNE '24 - ADMIN</u>	06/07/2024	58.94	.00	<u>01-6175 SMALL TOOLS</u>	0	6/24		
2196	INDUSTRIAL BOLT & SUPPLY INCORPORATED	848567-1	18306	<u>CERAMIC DISC FOR PARKS/FLEET SHOP, S. HOWELL, JUNE '24 - WATER</u>	06/07/2024	23.57	.00	<u>20-6175 SMALL TOOLS</u>	0	6/24		
2196	INDUSTRIAL BOLT & SUPPLY INCORPORATED	848567-1	18306	<u>CERAMIC DISC FOR PARKS/FLEET SHOP, S. HOWELL, JUNE '24 - SEWER</u>	06/07/2024	23.57	.00	<u>21-6175 SMALL TOOLS</u>	0	6/24		
2196	INDUSTRIAL BOLT & SUPPLY INCORPORATED	848567-1	18306	<u>CERAMIC DISC FOR PARKS/FLEET SHOP, S. HOWELL, JUNE '24 - P.I.</u>	06/07/2024	11.79	.00	<u>25-6175 SMALL TOOLS</u>	0	6/24		

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Total 848567-1:						117.87	.00					
2196	INDUSTRIAL BOLT & SUPPLY INCORPORATED	848567-2	18306	<u>RIPPER CUT OFF WHEEL FOR PARKS/FLEET SHOP. S. HOWELL, JUNE '24 - ADMIN</u>	06/05/2024	36.52	.00	01-6175 <u>SMALL TOOLS</u>	0	6/24		
2196	INDUSTRIAL BOLT & SUPPLY INCORPORATED	848567-2	18306	<u>RIPPER CUT OFF WHEEL FOR PARKS/FLEET SHOP. S. HOWELL, JUNE '24 - WATER</u>	06/05/2024	14.61	.00	20-6175 <u>SMALL TOOLS</u>	0	6/24		
2196	INDUSTRIAL BOLT & SUPPLY INCORPORATED	848567-2	18306	<u>RIPPER CUT OFF WHEEL FOR PARKS/FLEET SHOP. S. HOWELL, JUNE '24 - SEWER</u>	06/05/2024	14.61	.00	21-6175 <u>SMALL TOOLS</u>	0	6/24		
2196	INDUSTRIAL BOLT & SUPPLY INCORPORATED	848567-2	18306	<u>RIPPER CUT OFF WHEEL FOR PARKS/FLEET SHOP. S. HOWELL, JUNE '24 - P.I.</u>	06/05/2024	7.30	.00	25-6175 <u>SMALL TOOLS</u>	0	6/24		
Total 848567-2:						73.04	.00					
Total INDUSTRIAL BOLT & SUPPLY INCORPORATED:						190.91	.00					
INTERMOUNTAIN GAS CO												
37	INTERMOUNTAIN GAS CO	482195000060		<u>NATURAL GAS CONSUMPTION AT NWWTP. 05/04-06/04/24 - WATER</u>	06/05/2024	157.91	157.91	20-6290 <u>UTILITIES EXPENSE</u>	0	6/24	06/21/2024	
37	INTERMOUNTAIN GAS CO	482195000060		<u>NATURAL GAS CONSUMPTION AT NWWTP. 05/04-06/04/24 - SEWER</u>	06/05/2024	157.91	157.91	21-6290 <u>UTILITIES EXPENSE</u>	0	6/24	06/21/2024	
37	INTERMOUNTAIN GAS CO	482195000060		<u>NATURAL GAS CONSUMPTION AT NWWTP. 05/04-06/04/24 - P.I.</u>	06/05/2024	60.16	60.16	25-6290 <u>UTILITIES EXPENSE</u>	0	6/24	06/21/2024	
Total 48219500006052024:						375.98	375.98					
Total INTERMOUNTAIN GAS CO:						375.98	375.98					
IRMINGER CONSTRUCTION												
188	IRMINGER CONSTRUCTION	03272024IC		<u>KUNA WELL #6 CONSTRUCTION. 03/25/24-03/27/24. D. CROSSLEY</u>	03/27/2024	2,146.42	2,146.42	20-6020 <u>CAPITAL IMPROVEMENTS</u>	0	6/24	06/13/2024	

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Total 03272024IC:						2,146.42	2,146.42					
188	IRMINGER CONSTRUCTION	04252024IC		<u>KUNA WELL #6 CONSTRUCTION, 03/27/24-04/25/24. D. CROSSLEY</u>	04/25/2024	70,758.25	70,758.25	<u>20-6020 CAPITAL IMPROVEMENTS</u>	0	6/24	06/13/2024	
Total 04252024IC:						70,758.25	70,758.25					
Total IRMINGER CONSTRUCTION:						72,904.67	72,904.67					
J & M SANITATION, INC.												
230	J & M SANITATION, INC.	06072024-061		<u>SANITATION RECEIPT TRANSFER, 06/07-06/12/2024</u>	06/13/2024	93,459.24	93,459.24	<u>26-7000 SOLID WASTE SERVICE FEES</u>	0	6/24	06/13/2024	
230	J & M SANITATION, INC.	06072024-061		<u>SANITATION RECEIPT TRANSFER LESS FRANCHISE FEES, 06/07-06/12/2024</u>	06/13/2024	-9,233.77	-9,233.77	<u>01-4170 FRANCHISE FEES</u>	0	6/24	06/13/2024	
Total 06072024-06122024:						84,225.47	84,225.47					
230	J & M SANITATION, INC.	06132024-062		<u>SANITATION RECEIPT TRANSFER, 06/13-06/20/2024</u>	06/21/2024	157,316.32	157,316.32	<u>26-7000 SOLID WASTE SERVICE FEES</u>	0	6/24	06/21/2024	
230	J & M SANITATION, INC.	06132024-062		<u>SANITATION RECEIPT TRANSFER LESS FRANCHISE FEES, 06/13-06/20/2024</u>	06/21/2024	-15,542.85	-15,542.85	<u>01-4170 FRANCHISE FEES</u>	0	6/24	06/21/2024	
Total 06132024-06202024:						141,773.47	141,773.47					
Total J & M SANITATION, INC.:						225,998.94	225,998.94					
J-U-B ENGINEERS, INC.												
1236	J-U-B ENGINEERS, INC.	0173531		<u>PROFESSIONAL SERVICES FROM 04/28/24-05/31/24, RAILROAD OVERPASS PLANNING STUDY, FINAL INVOICE</u>	06/25/2024	1,459.80	.00	<u>01-6045 CONTINGENCY</u>	0	6/24		

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Total 0173531:						1,459.80	.00					
Total J-U-B ENGINEERS, INC.:						1,459.80	.00					
KELLER ASSOCIATES, INC.												
429	KELLER ASSOCIATES, INC.	0240866		<u>PROFESSIONAL SERVICES FROM 02/25-03/31/2024 - KUNA - WASTEWATER SYSTEM MASTER PLAN UPDATE</u>	04/15/2024	2,560.00	.00	<u>21-6020 CAPITAL IMPROVEMENTS</u>	0	6/24		
Total 0240866:						2,560.00	.00					
429	KELLER ASSOCIATES, INC.	0241164		<u>PROFESSIONAL SERVICES FROM 04/01-05/04/2024 - KUNA - WASTEWATER SYSTEM MASTER PLAN UPDATE</u>	05/15/2024	805.00	.00	<u>21-6020 CAPITAL IMPROVEMENTS</u>	0	6/24		
Total 0241164:						805.00	.00					
429	KELLER ASSOCIATES, INC.	0241573		<u>PROFESSIONAL SERVICES FROM 05/05/24-06/01/24 - KUNA - AVALON & ORCHARD PEDESTRIAN PATHWAY</u>	06/15/2024	280.00	.00	<u>40-6020 CAPITAL IMPROVEMENTS</u>	0	6/24		
Total 0241573:						280.00	.00					
429	KELLER ASSOCIATES, INC.	0241577		<u>PROFESSIONAL SERVICES FROM 05/05/24-06/01/24 - KUNA - PATAGONIA PARK, PHASE II</u>	06/15/2024	600.00	.00	<u>40-6020 CAPITAL IMPROVEMENTS</u>	1312	6/24		
Total 0241577:						600.00	.00					
429	KELLER ASSOCIATES, INC.	0241578		<u>PROFESSIONAL SERVICES FROM 05/05/24-06/01/24 - KUNA - AVALON & KAY TRAFFIC SIGNAL</u>	06/15/2024	2,000.00	.00	<u>40-6020 CAPITAL IMPROVEMENTS</u>	1010	6/24		
Total 0241578:						2,000.00	.00					

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429	KELLER ASSOCIATES, INC.	0241635		<u>PROFESSIONAL SERVICES FROM 05/05/24-06/01/24 - KUNA - DEVELOPMENT PLAN REVIEW SUPPORT - WATER</u>	06/15/2024	2,396.63	.00	<u>20-6202 PROFESSIONAL SERVICES</u>	0	6/24		
429	KELLER ASSOCIATES, INC.	0241635		<u>PROFESSIONAL SERVICES FROM 05/05/24-06/01/24 - KUNA - DEVELOPMENT PLAN REVIEW SUPPORT - SEWER</u>	06/15/2024	2,396.63	.00	<u>21-6202 PROFESSIONAL SERVICES</u>	0	6/24		
429	KELLER ASSOCIATES, INC.	0241635		<u>PROFESSIONAL SERVICES FROM 05/05/24-06/01/24 - KUNA - DEVELOPMENT PLAN REVIEW SUPPORT - P.I.</u>	06/15/2024	912.99	.00	<u>25-6202 PROFESSIONAL SERVICES</u>	0	6/24		
Total 0241635:						5,706.25	.00					
Total KELLER ASSOCIATES, INC.:						11,951.25	.00					
KM ENGINEERING LLP												
2174	KM ENGINEERING LLP	22-219-10		<u>MASON CREEK SEWER PHASE 1, PROJECT 22-219, INVOICE CUTOFF DATE 06/15/24</u>	06/19/2024	775.00	.00	<u>21-6020 CAPITAL IMPROVEMENTS</u>	0	6/24		
Total 22-219-10:						775.00	.00					
Total KM ENGINEERING LLP:						775.00	.00					
KUNA LUMBER												
499	KUNA LUMBER	A143371	18383	<u>ELECTRICAL CONDUIT FOR ASHTON ESTATES PARK, C. REGLI, JUNE '24</u>	06/13/2024	96.37	.00	<u>40-6020 CAPITAL IMPROVEMENTS</u>	1326	6/24		
Total A143371:						96.37	.00					
499	KUNA LUMBER	A143410	18393	<u>2 MEASURING TAPES FOR PLANT FOR MBR RACK BUILDING, U. RAMIREZ, JUNE '24</u>	06/14/2024	18.88	.00	<u>21-6175 SMALL TOOLS</u>	0	6/24		
Total A143410:						18.88	.00					

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499	KUNA LUMBER	A143448	18402	<u>STRING LINE TO CHALK BALL FIELD AT ZAMZOWS, J. ADAMS, JUNE '24</u>	06/17/2024	9.89	.00	<u>01-6150 MAINTENANCE & REPAIRS - SYSTEM</u>	1004	6/24		
Total A143448:						9.89	.00					
499	KUNA LUMBER	A143453	18406	<u>DUCT TAPE AND T GATE VALVE FOR THE FARM, J.BOSTON, JUNE '24</u>	06/17/2024	59.55	.00	<u>21-6090 FARM EXPENDITURES</u>	0	6/24		
Total A143453:						59.55	.00					
499	KUNA LUMBER	A143480	18415	<u>PAINT ROLLER TO REPAIR BRIDGE AFTER VANDALISM, S. CAHILL, JUNE '24</u>	06/18/2024	17.61	.00	<u>01-6150 MAINTENANCE & REPAIRS - SYSTEM</u>	1004	6/24		
Total A143480:						17.61	.00					
499	KUNA LUMBER	A143549	18443	<u>SPRINKLER PARTS FOR ZAMZOWS PARK, R.WARWICK, JUNE '24</u>	06/21/2024	31.71	.00	<u>01-6150 MAINTENANCE & REPAIRS - SYSTEM</u>	1004	6/24		
Total A143549:						31.71	.00					
499	KUNA LUMBER	A143550	18444	<u>HARDWARE TO REPAIR FLAG POLES, JUNE '24</u>	06/21/2024	25.65	.00	<u>01-6150 MAINTENANCE & REPAIRS - SYSTEM</u>	1004	6/24		
Total A143550:						25.65	.00					
499	KUNA LUMBER	A143619	18453	<u>PAINTING SUPPLIES FOR PICNIC TABLES AT SENIOR CENTER, S. HOWELL, JUNE '24</u>	06/25/2024	16.24	.00	<u>01-6140 MAINT. & REPAIR BUILDING</u>	1001	6/24		
Total A143619:						16.24	.00					
499	KUNA LUMBER	A143625	18457	<u>9 VOLT BATTERIES FOR CLOCK, D. ABBOTT, JUNE '24</u>	06/25/2024	23.84	.00	<u>01-6150 MAINTENANCE & REPAIRS - SYSTEM</u>	1004	6/24		

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Total A143625:						23.84	.00					
499	KUNA LUMBER	B58648	18309	<u>BRASS FITTINGS FOR WELL 2 REPAIR, J. PEREZ, JUNE '24</u>	06/05/2024	20.11	.00	<u>01-6150 MAINTENANCE & REPAIRS - SYSTEM</u>	1004	6/24		
Total B58648:						20.11	.00					
499	KUNA LUMBER	B58812	18354	<u>ELECTRICAL CONNECTORS & DUCT TAPE, M. DAVILA, JUNE '24</u>	06/10/2024	12.05	.00	<u>25-6150 MAINT. & REPAIRS - SYSTEM (PI)</u>	0	6/24		
Total B58812:						12.05	.00					
499	KUNA LUMBER	B59025	18404	<u>PAINT FOR BRIDGE, S. CAHILL, JUNE '24</u>	06/17/2024	40.49	.00	<u>01-6150 MAINTENANCE & REPAIRS - SYSTEM</u>	1004	6/24		
Total B59025:						40.49	.00					
499	KUNA LUMBER	B59034	18408	<u>KEY COPIES FOR PARKS SHED, M. WEBB, JUNE '24</u>	06/17/2024	10.76	.00	<u>01-6150 MAINTENANCE & REPAIRS - SYSTEM</u>	1004	6/24		
Total B59034:						10.76	.00					
499	KUNA LUMBER	B59077	18419	<u>BUSHING FOR IRRIGATION TRANSDUCERS, D. ABBOTT, JUNE '24</u>	06/19/2024	14.36	.00	<u>01-6150 MAINTENANCE & REPAIRS - SYSTEM</u>	1004	6/24		
Total B59077:						14.36	.00					
499	KUNA LUMBER	B59096	18425	<u>SPRINKLER PARTS FOR ASHTON ESTATES PARK, R. WARWICK, JUNE '24</u>	06/19/2024	12.67	.00	<u>40-6020 CAPITAL IMPROVEMENTS</u>	1326	6/24		
Total B59096:						12.67	.00					

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499	KUNA LUMBER	B59111	18429	<u>SPRINKLER PARTS FOR ASHTON ESTATES PARK, R. WARWICK, JUNE '24</u>	06/20/2024	17.99	.00	<u>40-6020 CAPITAL IMPROVEMENTS</u>	1326	6/24		
Total B59111:						17.99	.00					
499	KUNA LUMBER	B59269	18460	<u>HARDWARE FOR SPRINKLERS AT ASHTON ESTATES, S.CAHILL, JUNE '24</u>	06/25/2024	10.85	.00	<u>40-6020 CAPITAL IMPROVEMENTS</u>	1326	6/24		
Total B59269:						10.85	.00					
Total KUNA LUMBER:						439.02	.00					
LAYNE OF IDAHO, INC.												
1322	LAYNE OF IDAHO, INC.	19242	18428	<u>PUMP REPAIRS AND INSTALLATION AT THE PLANT, T. FLEMING, JUNE '24</u>	06/19/2024	29,325.40	.00	<u>21-6166 PP&E PURCHASES - OPERATIONS</u>	0	6/24		
Total 19242:						29,325.40	.00					
Total LAYNE OF IDAHO, INC.:						29,325.40	.00					
MATHESON TRI-GAS INC												
1871	MATHESON TRI-GAS INC	0029888745		<u>HYDRAULIC GAS CYLINDER RENTAL, JUNE '24</u>	06/21/2024	105.07	.00	<u>21-6150 M & R - SYSTEM</u>	0	6/24		
Total 0029888745:						105.07	.00					
Total MATHESON TRI-GAS INC:						105.07	.00					
MISCELLANEOUS #3												
2270	MISCELLANEOUS #3	06112024SC		<u>S. CAHILL, REIMBURSEMENT FOR NEW WORK BOOTS, M. WEBB, JUNE '24</u>	06/11/2024	155.69	155.69	<u>01-6230 SAFETY TRAINING & EQUIPMENT</u>	1004	6/24	06/21/2024	
Total 06112024SC:						155.69	155.69					

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2270	MISCELLANEOUS #3	06122024RS		<u>MD ID RISING SUN. RISING SUN PARK REIMBURSEMENTS. REMAINING BALANCE</u>	06/12/2024	61,712.49	61,712.49	<u>40-2061 CONTINGENT LIABILITY</u>	0	6/24	06/13/2024	
Total 06122024RS:						61,712.49	61,712.49					
2270	MISCELLANEOUS #3	06182024MT		<u>M. TREASURE. REIMBURSEMENT OF IFDC BOYS & GIRLS CLUB PROJECT NOMINATION FEE. JUNE '24</u>	06/18/2024	100.00	100.00	<u>01-6155 MEETINGS/COMMITTEES</u>	4000	6/24	06/21/2024	
Total 06182024MT:						100.00	100.00					
Total MISCELLANEOUS #3:						61,968.18	61,968.18					
O'REILLY AUTO ENTERPRISES LLC												
2121	O'REILLY AUTO ENTERPRISES LLC	5841-354666	18353	<u>PARTS FOR PARKS TAHOE. J.DURHAM. JUN.'24</u>	06/14/2024	15.30	.00	<u>01-6305 VEHICLE MAINTENANCE & REPAIRS</u>	1004	6/24		
Total 5841-354666:						15.30	.00					
2121	O'REILLY AUTO ENTERPRISES LLC	5841-355680	18436	<u>PARTS FOR PARKS TRUCK #45. J. DURHAM. JUNE '24</u>	06/20/2024	23.28	.00	<u>01-6305 VEHICLE MAINTENANCE & REPAIRS</u>	1004	6/24		
Total 5841-355680:						23.28	.00					
Total O'REILLY AUTO ENTERPRISES LLC:						38.58	.00					
PAIGE MECHANICAL GROUP, INC.												
1654	PAIGE MECHANICAL GROUP, INC.	40643		<u>HVAC REPAIR AT TREATMENT PLANT- WATER</u>	06/12/2024	240.00	.00	<u>20-6140 MAINT. & REPAIR BUILDING</u>	0	6/24		
1654	PAIGE MECHANICAL GROUP, INC.	40643		<u>HVAC REPAIR AT TREATMENT PLANT- SEWER</u>	06/12/2024	240.00	.00	<u>21-6140 MAINT & REPAIR BUILDING</u>	0	6/24		
1654	PAIGE MECHANICAL GROUP, INC.	40643		<u>HVAC REPAIR AT TREATMENT PLANT- P.I</u>	06/12/2024	91.42	.00	<u>25-6140 MAINT & REPAIR BUILDING</u>	0	6/24		

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Total 40643:						571.42	.00					
Total PAIGE MECHANICAL GROUP, INC.:						571.42	.00					
PIPECO, INC												
55	PIPECO, INC	S5463004.004	18248	<u>SPRINKLERS FOR ASHTON PARK, M. WEBB, MAY '24</u>	06/17/2024	1,203.44	.00	<u>40-6020 CAPITAL IMPROVEMENTS</u>	1326	6/24		
Total S5463004.004:						1,203.44	.00					
Total PIPECO, INC:						1,203.44	.00					
RADIO RANCHO LLC												
2210	RADIO RANCHO LLC	8348		<u>RADIO ADVERTISEMENT FOR FREEDOM FIESTA, JUNE 24</u>	06/10/2024	2,000.00	2,000.00	<u>01-6135 PUBLIC ENTERTAINMENT</u>	1004	6/24	06/21/2024	
Total 8348:						2,000.00	2,000.00					
Total RADIO RANCHO LLC:						2,000.00	2,000.00					
SOUTHWEST OFFICE SUPPLY INC												
2213	SOUTHWEST OFFICE SUPPLY INC	WO-172323-1	18392	<u>PENS FOR CLERKS OFFICE, J. MILLER- ADMIN</u>	06/17/2024	24.72	.00	<u>01-6165 OFFICE SUPPLIES</u>	0	6/24		
2213	SOUTHWEST OFFICE SUPPLY INC	WO-172323-1	18392	<u>PENS FOR CLERKS OFFICE, J. MILLER- WATER</u>	06/17/2024	1.10	.00	<u>20-6165 OFFICE SUPPLIES</u>	0	6/24		
2213	SOUTHWEST OFFICE SUPPLY INC	WO-172323-1	18392	<u>PENS FOR CLERKS OFFICE, J. MILLER- SEWER</u>	06/17/2024	1.10	.00	<u>21-6165 OFFICE SUPPLIES</u>	0	6/24		
2213	SOUTHWEST OFFICE SUPPLY INC	WO-172323-1	18392	<u>PENS FOR CLERKS OFFICE, J. MILLER- P.I</u>	06/17/2024	.55	.00	<u>25-6165 OFFICE SUPPLIES</u>	0	6/24		
2213	SOUTHWEST OFFICE SUPPLY INC	WO-172323-1	18392	<u>SUCKERS FOR CITY HALL, J. MILLER- ADMIN</u>	06/17/2024	9.22	.00	<u>01-6165 OFFICE SUPPLIES</u>	0	6/24		
2213	SOUTHWEST OFFICE SUPPLY INC	WO-172323-1	18392	<u>SUCKERS FOR CITY HALL, J. MILLER- WATER</u>	06/17/2024	6.31	.00	<u>20-6165 OFFICE SUPPLIES</u>	0	6/24		
2213	SOUTHWEST OFFICE SUPPLY INC	WO-172323-1	18392	<u>SUCKERS FOR CITY HALL, J. MILLER- SEWER</u>	06/17/2024	6.31	.00	<u>21-6165 OFFICE SUPPLIES</u>	0	6/24		

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2213	SOUTHWEST OFFICE SUPPLY INC	WO-172323-1	18392	<u>SUCKERS FOR CITY HALL, J. MILLER- P.I</u>	06/17/2024	2.43	.00	<u>25-6165 OFFICE SUPPLIES</u>	0	6/24		
Total WO-172323-1:						51.74	.00					
2213	SOUTHWEST OFFICE SUPPLY INC	WO-172323-2	18392	<u>MINTS FOR CITY HALL, J. MILLER - ADMIN</u>	06/18/2024	8.43	.00	<u>01-6165 OFFICE SUPPLIES</u>	0	6/24		
2213	SOUTHWEST OFFICE SUPPLY INC	WO-172323-2	18392	<u>MINTS FOR CITY HALL, J. MILLER - WATER</u>	06/18/2024	5.77	.00	<u>20-6165 OFFICE SUPPLIES</u>	0	6/24		
2213	SOUTHWEST OFFICE SUPPLY INC	WO-172323-2	18392	<u>MINTS FOR CITY HALL, J. MILLER - SEWER</u>	06/18/2024	5.77	.00	<u>21-6165 OFFICE SUPPLIES</u>	0	6/24		
2213	SOUTHWEST OFFICE SUPPLY INC	WO-172323-2	18392	<u>MINTS FOR CITY HALL, J. MILLER - P.I.</u>	06/18/2024	2.22	.00	<u>25-6165 OFFICE SUPPLIES</u>	0	6/24		
Total WO-172323-2:						22.19	.00					
2213	SOUTHWEST OFFICE SUPPLY INC	WO-172323-3	18392	<u>LETTER OPENERS FOR U.B., J. MILLER - ADMIN</u>	06/19/2024	.91	.00	<u>01-6165 OFFICE SUPPLIES</u>	0	6/24		
2213	SOUTHWEST OFFICE SUPPLY INC	WO-172323-3	18392	<u>LETTER OPENERS FOR U.B., J. MILLER - WATER</u>	06/19/2024	1.20	.00	<u>20-6165 OFFICE SUPPLIES</u>	0	6/24		
2213	SOUTHWEST OFFICE SUPPLY INC	WO-172323-3	18392	<u>LETTER OPENERS FOR U.B., J. MILLER - SEWER</u>	06/19/2024	1.20	.00	<u>21-6165 OFFICE SUPPLIES</u>	0	6/24		
2213	SOUTHWEST OFFICE SUPPLY INC	WO-172323-3	18392	<u>LETTER OPENERS FOR U.B., J. MILLER - P.I.</u>	06/19/2024	.33	.00	<u>25-6165 OFFICE SUPPLIES</u>	0	6/24		
Total WO-172323-3:						3.64	.00					
2213	SOUTHWEST OFFICE SUPPLY INC	WO-173027-1	18445	<u>PAPER FOR CITY HALL, J. MILLER, JUNE '24 - ADMIN</u>	06/24/2024	20.14	.00	<u>01-6165 OFFICE SUPPLIES</u>	0	6/24		
2213	SOUTHWEST OFFICE SUPPLY INC	WO-173027-1	18445	<u>PAPER FOR CITY HALL, J. MILLER, JUNE '24 - WATER</u>	06/24/2024	13.78	.00	<u>20-6165 OFFICE SUPPLIES</u>	0	6/24		
2213	SOUTHWEST OFFICE SUPPLY INC	WO-173027-1	18445	<u>PAPER FOR CITY HALL, J. MILLER, JUNE '24 - SEWER</u>	06/24/2024	13.78	.00	<u>21-6165 OFFICE SUPPLIES</u>	0	6/24		

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2213	SOUTHWEST OFFICE SUPPLY INC	WO-173027-1	18445	<u>PAPER FOR CITY HALL, J. MILLER, JUNE '24 - P.I.</u>	06/24/2024	5.29	.00	<u>25-6165 OFFICE SUPPLIES</u>	0	6/24		
Total WO-173027-1:						52.99	.00					
Total SOUTHWEST OFFICE SUPPLY INC:						130.56	.00					
SPECIALTY PLASTICS & FABRICATI, INC.												
1477	SPECIALTY PLASTICS & FABRICATI, INC.	93221	18269	<u>5 SET OF O RINGS AND ONE INCH O RINGS FOR HAYWARD BALL VALVE, M. NADEAU, MAY 24</u>	06/17/2024	106.26	.00	<u>21-6150 M & R - SYSTEM</u>	0	6/24		
Total 93221:						106.26	.00					
Total SPECIALTY PLASTICS & FABRICATI, INC.:						106.26	.00					
SUNROC CORPORATION												
1826	SUNROC CORPORATION	41343805		<u>PIT RUN FOR ZAMZOWS PARK, JUNE 24</u>	06/13/2024	5,123.48	.00	<u>50-6045 CONTINGENCY</u>	1335	6/24		
Total 41343805:						5,123.48	.00					
Total SUNROC CORPORATION:						5,123.48	.00					
SWANK MOTION PICTURES INC												
1877	SWANK MOTION PICTURES INC	DB 3663543		<u>MOVIES IN THE PARK, ROBIN HOOD AND THE PRINCE OF THIEVES 06/14-06/14/24- JUNE 24</u>	06/12/2024	465.00	.00	<u>01-6135 PUBLIC ENTERTAINMENT</u>	1004	6/24		
Total DB 3663543:						465.00	.00					
1877	SWANK MOTION PICTURES INC	DB 3668588		<u>MOVIES IN THE PARK, GODZILLA VS KONG THE NEW EMPIRE 06/21/21-06/21/24- JUNE 24</u>	06/18/2024	465.00	.00	<u>01-6135 PUBLIC ENTERTAINMENT</u>	1004	6/24		

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Total DB 3668588:						465.00	.00					
Total SWANK MOTION PICTURES INC:						930.00	.00					
TATES RENTS, INC.												
59	TATES RENTS, INC.	694821-000	18407	<u>ROLLER RENTAL FOR ZAMZOWS, B. VILLANUEVA, JUNE '24</u>	06/17/2024	322.56	.00	<u>01-6212 RENT-EQUIPMENT</u>	1004	6/24		
Total 694821-000:						322.56	.00					
Total TATES RENTS, INC.:						322.56	.00					
TAYLOR CORPORATION												
1435	TAYLOR CORPORATION	242759682	18344	<u>250 BUSINESS CARDS FOR J. EDINGER, JUNE '24- ADMIN</u>	06/11/2024	7.48	.00	<u>01-6165 OFFICE SUPPLIES</u>	0	6/24		
1435	TAYLOR CORPORATION	242759682	18344	<u>250 BUSINESS CARDS FOR J. EDINGER, JUNE '24- WATER</u>	06/11/2024	9.87	.00	<u>20-6165 OFFICE SUPPLIES</u>	0	6/24		
1435	TAYLOR CORPORATION	242759682	18344	<u>250 BUSINESS CARDS FOR J. EDINGER, JUNE '24- SEWER</u>	06/11/2024	9.87	.00	<u>21-6165 OFFICE SUPPLIES</u>	0	6/24		
1435	TAYLOR CORPORATION	242759682	18344	<u>250 BUSINESS CARDS FOR J. EDINGER, JUNE '24- P.I</u>	06/11/2024	2.70	.00	<u>25-6165 OFFICE SUPPLIES</u>	0	6/24		
Total 242759682:						29.92	.00					
1435	TAYLOR CORPORATION	242804047	18355	<u>250 BUSINESS CARDS FOR Z. MONTENEGRO, JUNE '24</u>	06/13/2024	29.92	.00	<u>01-6165 OFFICE SUPPLIES</u>	0	6/24		
Total 242804047:						29.92	.00					
1435	TAYLOR CORPORATION	242956119	18439	<u>250 BUSINESS CARDS FOR MORGAN WEBB, N. STAUFFER, JUNE '24</u>	06/24/2024	29.92	.00	<u>01-6165 OFFICE SUPPLIES</u>	1004	6/24		
Total 242956119:						29.92	.00					

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				<u>RENTAL FOR PARKS SHOP, J. MILLER, JUNE '24</u>	06/14/2024	118.80	.00	<u>01-6165 OFFICE SUPPLIES</u>	1004	6/24		
Total 2160:10508758:						118.80	.00					
992	TREASURE VALLEY COFFEE	2160:10508786	18389	<u>6 EACH 5 GALLON WATER BOTTLES AND 2 COOLER RENTALS FOR CITY HALL, J. MILLER, JUNE '24- ADMIN</u>	06/14/2024	27.44	.00	<u>01-6165 OFFICE SUPPLIES</u>	0	6/24		
992	TREASURE VALLEY COFFEE	2160:10508786	18389	<u>6 EACH 5 GALLON WATER BOTTLES AND 2 COOLER RENTALS FOR CITY HALL, J. MILLER, JUNE '24- WATER</u>	06/14/2024	18.77	.00	<u>20-6165 OFFICE SUPPLIES</u>	0	6/24		
992	TREASURE VALLEY COFFEE	2160:10508786	18389	<u>6 EACH 5 GALLON WATER BOTTLES AND 2 COOLER RENTALS FOR CITY HALL, J. MILLER, JUNE '24- P.I</u>	06/14/2024	18.77	.00	<u>21-6165 OFFICE SUPPLIES</u>	0	6/24		
992	TREASURE VALLEY COFFEE	2160:10508786		<u>6 EACH 5 GALLON WATER BOTTLES AND 2 COOLER RENTALS FOR CITY HALL, J. MILLER, JUNE '24- P.I</u>	06/14/2024	7.22	.00	<u>25-6165 OFFICE SUPPLIES</u>	0	6/24		
Total 2160:10508786:						72.20	.00					
Total TREASURE VALLEY COFFEE:						576.58	.00					
TURF EQUIPMENT & IRRIGATION INC												
1969	TURF EQUIPMENT & IRRIGATION INC	766186-00	18414	<u>PARTS FOR PARKS TORO, J. DURHAM, JUNE '24</u>	06/17/2024	369.28	.00	<u>01-6142 MAINT. & REPAIR - EQUIPMENT</u>	1004	6/24		
Total 766186-00:						369.28	.00					
Total TURF EQUIPMENT & IRRIGATION INC:						369.28	.00					
ULINE INC												
2065	ULINE INC	179624892	18420	<u>CABINET FOR STORING THE ALCOHOL AND OTHER CHEMS. J.COX, JUN.'24</u>	06/19/2024	404.84	.00	<u>20-6150 M & R - SYSTEM</u>	0	6/24		

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2065	ULINE INC	179624892	18420	<u>CABINET FOR STORING THE ALCOHOL AND OTHER CHEMS. J.COX, JUN.'24</u>	06/19/2024	404.84	.00	21-6150 M & R - SYSTEM	0	6/24		
2065	ULINE INC	179624892	18420	<u>CABINET FOR STORING THE ALCOHOL AND OTHER CHEMS. J.COX, JUN.'24</u>	06/19/2024	154.22	.00	25-6150 MAINT. & REPAIRS - SYSTEM (PI)	0	6/24		
Total 179624892:						963.90	.00					
Total ULINE INC:						963.90	.00					
ULTIMATE HEATING & AIR, INC.												
1538	ULTIMATE HEATING & AIR, INC.	24004322		<u>DIAGNOSIS OF CAPACITOR FAILURE AT DANSKIN WELL, APR 24</u>	04/12/2024	89.00	89.00	20-6150 M & R - SYSTEM	0	6/24	06/21/2024	
Total 24004322:						89.00	89.00					
Total ULTIMATE HEATING & AIR, INC.:						89.00	89.00					
UNITED SITE SERVICES OF NEVADA INC												
2124	UNITED SITE SERVICES OF NEVADA INC	114-13871040		<u>ADA WHEEL CHAIR ACCESSIBLE PORTABLE RESTROOM RENTAL, SERVICE FOR THE FARM PARK EVENT, JUNE 24, WEST DEER FLAT AND LINDER 06/07/24</u>	06/10/2024	50.00	50.00	01-6212 RENT-EQUIPMENT	1004	6/24	06/13/2024	
Total 114-13871040:						50.00	50.00					
2124	UNITED SITE SERVICES OF NEVADA INC	INV-4571862		<u>ADA PORTABLE RESTROOM RENTAL, WEEKLY SERVICE 05/20-06/16/24- THE FARM PARK</u>	06/16/2024	111.00	.00	01-6212 RENT-EQUIPMENT	1004	6/24		
Total INV-4571862:						111.00	.00					
2124	UNITED SITE SERVICES OF NEVADA INC	INV-4571993		<u>ADA PORTABLE RESTROOM RENTAL, WEEKLY SERVICE 05/20-06/16/24 - SEGO PRAIRIE</u>	06/16/2024	111.00	.00	01-6212 RENT-EQUIPMENT	1004	6/24		

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Total INV-4571993:						111.00	.00					
2124	UNITED SITE SERVICES OF NEVADA INC	INV-4572099		<u>STANDARD PORTABLE RESTROOM RENTAL, BI-WEEKLY SERVICE, 05/20-06/16/24- CITY FARM</u>	06/16/2024	61.00	.00	21-6090 FARM EXPENDITURES	0	6/24		
Total INV-4572099:						61.00	.00					
2124	UNITED SITE SERVICES OF NEVADA INC	INV-4572218		<u>ADA RESTROOM RENTAL, WEEKLY SERVICE, 05/20-06/16/24- ARBOR RIDGE</u>	05/20/2024	111.00	.00	01-6212 RENT-EQUIPMENT	1004	6/24		
Total INV-4572218:						111.00	.00					
2124	UNITED SITE SERVICES OF NEVADA INC	INV-4586656		<u>ADA PORTABLE RESTROOM RENTAL, WEEKLY SERVICE, 06/21-07/18/24 - BUTLER PARK</u>	06/21/2024	111.00	.00	01-6212 RENT-EQUIPMENT	1004	6/24		
Total INV-4586656:						111.00	.00					
2124	UNITED SITE SERVICES OF NEVADA INC	INV-4586867		<u>ADA PORTABLE RESTROOM RENTAL, WEEKLY SERVICE, 05/26-06/22/24, SADIE CREEK</u>	06/22/2024	111.00	.00	01-6212 RENT-EQUIPMENT	1004	6/24		
Total INV-4586867:						111.00	.00					
Total UNITED SITE SERVICES OF NEVADA INC:						666.00	50.00					
UNIVAR SOLUTIONS USA, INC.												
1410	UNIVAR SOLUTIONS USA, INC.	52167694	18298	<u>45,860 LBS ALUM, M. NADEAU, JUNE '24</u>	06/09/2024	11,776.85	.00	21-6151 M & R - PROCESS CHEMICALS	0	6/24		
Total 52167694:						11,776.85	.00					
Total UNIVAR SOLUTIONS USA, INC.:						11,776.85	.00					

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UTILITY REFUND #17												
2286	UTILITY REFUND #17	110690.06		<u>BRANSON K HANDY, 730 N KATIE WAY UTILITY REFUND - WATER</u>	06/20/2024	97.11	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
Total 110690.06:						97.11	.00					
2286	UTILITY REFUND #17	130760.01		<u>JEFFREY WICK, 1412 W TOPANGA CT UTILITY REFUND - WATER</u>	06/17/2024	10.24	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	130760.01		<u>JEFFREY WICK, 1412 W TOPANGA CT UTILITY REFUND - SEWER</u>	06/17/2024	11.82	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
2286	UTILITY REFUND #17	130760.01		<u>JEFFREY WICK, 1412 W TOPANGA CT UTILITY REFUND - TRASH</u>	06/17/2024	8.98	.00	<u>26-4975 SOLID WASTE USER FEES</u>	0	6/24		
Total 130760.01:						31.04	.00					
2286	UTILITY REFUND #17	140600.02A		<u>1009 E KUNA RD LLC, 1009 E KUNA RD UTILITY REFUND - WATER</u>	06/20/2024	611.47	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
Total 140600.02A:						611.47	.00					
2286	UTILITY REFUND #17	160850.04		<u>TERALYNN PITT, 234 W CASE ST UTILITY REFUND - WATER</u>	06/18/2024	33.81	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	160850.04		<u>TERALYNN PITT, 234 W CASE ST UTILITY REFUND - SEWER</u>	06/18/2024	63.12	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
2286	UTILITY REFUND #17	160850.04		<u>TERALYNN PITT, 234 W CASE ST UTILITY REFUND - TRASH</u>	06/18/2024	37.20	.00	<u>26-4975 SOLID WASTE USER FEES</u>	0	6/24		
Total 160850.04:						134.13	.00					
2286	UTILITY REFUND #17	171139.01		<u>KEVRA HALL, 164 N MEADOWSWEET AVE UTILITY REFUND - WATER</u>	06/17/2024	27.18	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		

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2286	UTILITY REFUND #17	171139.01		<u>KEVRA HALL, 164 N MEADOWSWEET AVE UTILITY REFUND - SEWER</u>	06/17/2024	40.93	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
2286	UTILITY REFUND #17	171139.01		<u>KEVRA HALL, 164 N MEADOWSWEET AVE UTILITY REFUND - TRASH</u>	06/17/2024	28.06	.00	<u>26-4975 SOLID WASTE USER FEES</u>	0	6/24		
Total 171139.01:						96.17	.00					
2286	UTILITY REFUND #17	171183.00		<u>CBH, 2269 W TROUT LILY ST UTILITY REFUND - WATER</u>	05/29/2024	44.11	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	171183.00		<u>CBH, 2269 W TROUT LILY ST UTILITY REFUND - SEWER</u>	05/29/2024	52.20	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
Total 171183.00:						96.31	.00					
2286	UTILITY REFUND #17	242044.00		<u>TH HOLDINGS LLC, 223 S SUNNIVA AVE UTILITY REFUND - WATER</u>	05/29/2024	37.49	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	242044.00		<u>TH HOLDINGS LLC, 223 S SUNNIVA AVE UTILITY REFUND - SEWER</u>	05/29/2024	-4.08	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
Total 242044.00:						33.41	.00					
2286	UTILITY REFUND #17	242539.00		<u>TH CONSTRUCTION LLC, 85 S ZIKLAG AVE UTILITY REFUND - WATER</u>	05/29/2024	52.65	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	242539.00		<u>TH CONSTRUCTION LLC, 85 S ZIKLAG AVE UTILITY REFUND - SEWER</u>	05/29/2024	45.56	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
Total 242539.00:						98.21	.00					
2286	UTILITY REFUND #17	253075.02		<u>JORDAN HARMON, 792 W TEST CT UTILITY REFUND - WATER</u>	06/21/2024	35.25	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		

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2286	UTILITY REFUND #17	253075.02		<u>JORDAN HARMON, 792 W TEST CT UTILITY REFUND - SEWER</u>	06/21/2024	80.47	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
2286	UTILITY REFUND #17	253075.02		<u>JORDAN HARMON, 792 W TEST CT UTILITY REFUND - TRASH</u>	06/21/2024	50.49	.00	<u>26-4975 SOLID WASTE USER FEES</u>	0	6/24		
Total 253075.02:						166.21	.00					
2286	UTILITY REFUND #17	261518.01		<u>JOSHUA CECIL SANCHEZ, 3000 W DARK SKY ST UTILITY REFUND - WATER</u>	06/20/2024	101.31	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
Total 261518.01:						101.31	.00					
2286	UTILITY REFUND #17	277733.00		<u>CBH, 758 W TANZANITE DR UTILITY REFUND - WATER</u>	05/29/2024	42.04	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	277733.00		<u>CBH, 758 W TANZANITE DR UTILITY REFUND - SEWER</u>	05/29/2024	59.11	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
Total 277733.00:						101.15	.00					
2286	UTILITY REFUND #17	278222.02		<u>JASON A SMITH, 2965 W MCINTOSH ST UTILITY REFUND - WATER</u>	06/21/2024	113.96	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	278222.02		<u>JASON A SMITH, 2965 W MCINTOSH ST UTILITY REFUND - SEWER</u>	06/21/2024	125.36	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
2286	UTILITY REFUND #17	278222.02		<u>JASON A SMITH, 2965 W MCINTOSH ST UTILITY REFUND - TRASH</u>	06/21/2024	38.04	.00	<u>26-4975 SOLID WASTE USER FEES</u>	0	6/24		
Total 278222.02:						277.36	.00					
2286	UTILITY REFUND #17	281146.00		<u>HARDING HOMES, 2450 N OPAL FALLS WAY UTILITY REFUND - WATER</u>	05/08/2024	6.55	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		

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2286	UTILITY REFUND #17	281146.00		<u>HARDING HOMES, 2450 N OPAL FALLS WAY UTILITY REFUND - SEWER</u>	05/08/2024	3.25	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
Total 281146.00:						9.80	.00					
2286	UTILITY REFUND #17	282098.00		<u>CBH, 2913 N STAR GARNET WAY UTILITY REFUND - WATER</u>	05/29/2024	47.51	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	282098.00		<u>CBH, 2913 N STAR GARNET WAY UTILITY REFUND - SEWER</u>	05/29/2024	50.88	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
Total 282098.00:						98.39	.00					
2286	UTILITY REFUND #17	290340.02		<u>MICHAEL WICKIZER, 7898 S SADDLE BAG WAY UTILITY REFUND - WATER</u>	06/17/2024	89.11	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
Total 290340.02:						89.11	.00					
2286	UTILITY REFUND #17	292139.01		<u>KENNETH D KELLER, 2187 W RICKON ST UTILITY REFUND - WATER</u>	06/18/2024	28.54	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	292139.01		<u>KENNETH D KELLER, 2187 W RICKON ST UTILITY REFUND - SEWER</u>	06/18/2024	35.77	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
2286	UTILITY REFUND #17	292139.01		<u>KENNETH D KELLER, 2187 W RICKON ST UTILITY REFUND - TRASH</u>	06/18/2024	22.15	.00	<u>26-4975 SOLID WASTE USER FEES</u>	0	6/24		
Total 292139.01:						86.46	.00					
2286	UTILITY REFUND #17	293261.00		<u>CBH, 6789 S DEDICATION WAY UTILITY REFUND - WATER</u>	05/29/2024	60.70	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	293261.00		<u>CBH, 6789 S DEDICATION WAY UTILITY REFUND - SEWER</u>	05/29/2024	29.83	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		

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Total 293261.00:						90.53	.00					
2286	UTILITY REFUND #17	302220.01		<u>RANDALL GRANT KINGSMORE, 9316 S PALENA PL UTILITY REFUND - WATER</u>	06/18/2024	52.46	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	302220.01		<u>RANDALL GRANT KINGSMORE, 9316 S PALENA PL UTILITY REFUND - SEWER</u>	06/18/2024	93.43	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
2286	UTILITY REFUND #17	302220.01		<u>RANDALL GRANT KINGSMORE, 9316 S PALENA PL UTILITY REFUND - TRASH</u>	06/18/2024	64.07	.00	<u>26-4975 SOLID WASTE USER FEES</u>	0	6/24		
Total 302220.01:						209.96	.00					
2286	UTILITY REFUND #17	302641.00		<u>EAGLEWOOD HOMES, 927 E TUCMAN ST UTILITY REFUND - WATER</u>	05/14/2024	5.81	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	302641.00		<u>EAGLEWOOD HOMES, 927 E TUCMAN ST UTILITY REFUND - SEWER</u>	05/14/2024	3.96	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
Total 302641.00:						9.77	.00					
2286	UTILITY REFUND #17	302646.00		<u>STACY CONSTRUCTION, 1037 E TUCMAN ST UTILITY REFUND - WATER</u>	05/06/2024	13.28	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	302646.00		<u>STACY CONSTRUCTION, 1037 E TUCMAN ST UTILITY REFUND - SEWER</u>	05/06/2024	13.71	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
Total 302646.00:						26.99	.00					
2286	UTILITY REFUND #17	304573.00		<u>CBH, 2674 E NIGHT RIDER DR UTILITY REFUND - WATER</u>	05/17/2024	97.53	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	304573.00		<u>CBH, 2674 E NIGHT RIDER DR UTILITY REFUND - SEWER</u>	05/17/2024	21.68	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		

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Total 304573.00:						119.21	.00					
2286	UTILITY REFUND #17	310011.02		<u>ALICIA L WELLS, 9497 S MACADAN WAY UTILITY REFUND - WATER</u>	06/18/2024	9.64	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	310011.02		<u>ALICIA L WELLS, 9497 S MACADAN WAY UTILITY REFUND - SEWER</u>	06/18/2024	16.48	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
2286	UTILITY REFUND #17	310011.02		<u>ALICIA L WELLS, 9497 S MACADAN WAY UTILITY REFUND - TRASH</u>	06/18/2024	39.73	.00	<u>26-4975 SOLID WASTE USER FEES</u>	0	6/24		
Total 310011.02:						65.85	.00					
2286	UTILITY REFUND #17	310519.00		<u>TOLL BROS INC, 8701 S WATERCLOVER WAY UTILITY REFUND - WATER</u>	06/10/2024	145.81	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	310519.00		<u>TOLL BROS INC, 8701 S WATERCLOVER WAY UTILITY REFUND - SEWER</u>	06/10/2024	84.77	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
Total 310519.00:						230.58	.00					
2286	UTILITY REFUND #17	311005.00		<u>TOLL BROS INC, 8381 S UPDALE AVE UTILITY REFUND - WATER</u>	05/29/2024	57.66	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	311005.00		<u>TOLL BROS INC, 8381 S UPDALE AVE UTILITY REFUND - SEWER</u>	05/29/2024	42.47	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
Total 311005.00:						100.13	.00					
2286	UTILITY REFUND #17	311007.00		<u>TOLL BROS INC, 8349 S UPDALE AVE UTILITY REFUND - WATER</u>	05/29/2024	35.60	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	311007.00		<u>TOLL BROS INC, 8349 S UPDALE AVE UTILITY REFUND - SEWER</u>	05/29/2024	40.43	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total 311007.00:						76.03	.00					
2286	UTILITY REFUND #17	311008.00		<u>TOLL BROS INC. 8333 S UPDALE AVE UTILITY REFUND - WATER</u>	05/29/2024	33.92	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	311008.00		<u>TOLL BROS INC. 8333 S UPDALE AVE UTILITY REFUND - SEWER</u>	05/29/2024	36.37	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
Total 311008.00:						70.29	.00					
2286	UTILITY REFUND #17	311031.00		<u>TOLL BROS INC. 8384 S UPDALE AVE UTILITY REFUND - WATER</u>	06/11/2024	110.77	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	311031.00		<u>TOLL BROS INC. 8384 S UPDALE AVE UTILITY REFUND - SEWER</u>	06/11/2024	32.96	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
Total 311031.00:						143.73	.00					
2286	UTILITY REFUND #17	320277.00		<u>HAYDEN HOMES. 932 N BREWSKI WAY UTILITY REFUND - WATER</u>	06/04/2024	118.74	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	320277.00		<u>HAYDEN HOMES. 932 N BREWSKI WAY UTILITY REFUND - SEWER</u>	06/04/2024	34.88	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
Total 320277.00:						153.62	.00					
2286	UTILITY REFUND #17	320278.00		<u>HAYDEN HOMES. 916 N BREWSKI WAY UTILITY REFUND - WATER</u>	05/29/2024	57.04	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	320278.00		<u>HAYDEN HOMES. 916 N BREWSKI WAY UTILITY REFUND - SEWER</u>	05/29/2024	41.17	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total 320278.00:						98.21	.00					
2286	UTILITY REFUND #17	320280.00		<u>HAYDEN HOMES, 2230 E TUGELA FALLS CT UTILITY REFUND - WATER</u>	06/04/2024	68.28	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
Total 320280.00:						68.28	.00					
2286	UTILITY REFUND #17	320293.00		<u>HAYDEN HOMES, 2133 E TUGELA FALLS ST UTILITY REFUND - WATER</u>	06/04/2024	118.08	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	320293.00		<u>HAYDEN HOMES, 2133 E TUGELA FALLS ST UTILITY REFUND - SEWER</u>	06/04/2024	35.54	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
Total 320293.00:						153.62	.00					
2286	UTILITY REFUND #17	320294.00		<u>HAYDEN HOMES, 2119 E TUGELA FALLS ST UTILITY REFUND - WATER</u>	06/04/2024	119.13	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	320294.00		<u>HAYDEN HOMES, 2119 E TUGELA FALLS ST UTILITY REFUND - SEWER</u>	06/04/2024	36.40	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
Total 320294.00:						155.53	.00					
2286	UTILITY REFUND #17	330071.01		<u>RYAN M MILLER, 1709 N SNOWFIELD PL UTILITY REFUND - WATER</u>	06/21/2024	47.09	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	330071.01		<u>RYAN M MILLER, 1709 N SNOWFIELD PL UTILITY REFUND - SEWER</u>	06/21/2024	72.37	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
2286	UTILITY REFUND #17	330071.01		<u>RYAN M MILLER, 1709 N SNOWFIELD PL UTILITY REFUND - TRASH</u>	06/21/2024	48.18	.00	<u>26-4975 SOLID WASTE USER FEES</u>	0	6/24		

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total 330071.01:						167.64	.00					
2286	UTILITY REFUND #17	330531.01		<u>TRANG NGUYEN, 2169 N DESTINY WAY UTILITY REFUND - WATER</u>	06/18/2024	43.56	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	330531.01		<u>TRANG NGUYEN, 2169 N DESTINY WAY UTILITY REFUND - SEWER</u>	06/18/2024	49.85	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
2286	UTILITY REFUND #17	330531.01		<u>TRANG NGUYEN, 2169 N DESTINY WAY UTILITY REFUND - TRASH</u>	06/18/2024	29.30	.00	<u>26-4975 SOLID WASTE USER FEES</u>	0	6/24		
Total 330531.01:						122.71	.00					
2286	UTILITY REFUND #17	341091.00		<u>CBH, 3697 W LA BREA DR UTILITY REFUND - WATER</u>	06/04/2024	113.48	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	341091.00		<u>CBH, 3697 W LA BREA DR UTILITY REFUND - SEWER</u>	06/04/2024	47.78	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
Total 341091.00:						161.26	.00					
2286	UTILITY REFUND #17	341103.00		<u>CBH, 5500 S BITTERCREEK AVE UTILITY REFUND - WATER</u>	06/04/2024	111.81	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	341103.00		<u>CBH, 5500 S BITTERCREEK AVE UTILITY REFUND - SEWER</u>	06/04/2024	45.02	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
Total 341103.00:						156.83	.00					
2286	UTILITY REFUND #17	360032.00		<u>SHALC GC INC, 12111 S INTEGRITY LN UTILITY REFUND - WATER</u>	05/16/2024	24.34	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	360032.00		<u>SHALC GC INC, 12111 S INTEGRITY LN UTILITY REFUND - SEWER</u>	05/16/2024	50.47	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		

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Total 360032.00:						74.81	.00					
2286	UTILITY REFUND #17	360070.00		<u>SHALC GC INC. 11885 S INTEGRITY LN UTILITY REFUND - WATER</u>	06/04/2024	80.85	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	360070.00		<u>SHALC GC INC. 11885 S INTEGRITY LN UTILITY REFUND - SEWER</u>	06/04/2024	43.71	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
Total 360070.00:						124.56	.00					
2286	UTILITY REFUND #17	360079.00		<u>SHALC GC INC. 11950 W CHEER LN UTILITY REFUND - WATER</u>	06/04/2024	81.17	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	360079.00		<u>SHALC GC INC. 11950 W CHEER LN UTILITY REFUND - SEWER</u>	06/04/2024	45.30	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
Total 360079.00:						126.47	.00					
2286	UTILITY REFUND #17	360129.00		<u>SHEA HOMES. 11899 S GLORY LN UTILITY REFUND - WATER</u>	05/14/2024	39.92	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	360129.00		<u>SHEA HOMES. 11899 S GLORY LN UTILITY REFUND - SEWER</u>	05/14/2024	82.76	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
Total 360129.00:						122.68	.00					
2286	UTILITY REFUND #17	360165.00		<u>SHALC GC INC. 11745 S INTEGRITY LN UTILITY REFUND - WATER</u>	06/04/2024	63.17	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	360165.00		<u>SHALC GC INC. 11745 S INTEGRITY LN UTILITY REFUND - SEWER</u>	06/04/2024	7.97	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
Total 360165.00:						71.14	.00					

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2286	UTILITY REFUND #17	360249.00		<u>SHALC GC INC. 12000 W ANTHOS LN UTILITY REFUND - WATER</u>	06/04/2024	75.54	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	360249.00		<u>SHALC GC INC. 12000 W ANTHOS LN UTILITY REFUND - SEWER</u>	06/04/2024	33.63	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
Total 360249.00:						109.17	.00					
2286	UTILITY REFUND #17	360329.00		<u>SHALC GC INC. 11906 S MAYGRASS LN UTILITY REFUND - WATER</u>	05/29/2024	11.87	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	360329.00		<u>SHALC GC INC. 11906 S MAYGRASS LN UTILITY REFUND - SEWER</u>	05/29/2024	24.60	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
Total 360329.00:						36.47	.00					
2286	UTILITY REFUND #17	361537.00		<u>TH CONSTRUCTION LLC. 11124 S YEOMAN PL UTILITY REFUND - WATER</u>	05/29/2024	3.18	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	361537.00		<u>TH CONSTRUCTION LLC. 11124 S YEOMAN PL UTILITY REFUND - SEWER</u>	05/29/2024	6.60	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
Total 361537.00:						9.78	.00					
2286	UTILITY REFUND #17	361550.00		<u>BERKELEY BUILDING CO. 11728 W BALLAD CT UTILITY REFUND - WATER</u>	05/29/2024	23.13	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		
2286	UTILITY REFUND #17	361550.00		<u>BERKELEY BUILDING CO. 11728 W BALLAD CT UTILITY REFUND - SEWER</u>	05/29/2024	47.95	.00	<u>21-4600 SEWER USER FEES</u>	0	6/24		
Total 361550.00:						71.08	.00					
2286	UTILITY REFUND #17	361574.00		<u>TH CONSTRUCTION LLC. 11335 S SAYLIS WAY UTILITY REFUND - WATER</u>	05/20/2024	28.72	.00	<u>20-4500 METERED WATER SALES</u>	0	6/24		

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Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
2286	UTILITY REFUND #17	361574.00		<u>TH CONSTRUCTION LLC, 11335 S SAYLIS WAY UTILITY REFUND - SEWER</u>	05/20/2024	59.56	.00	<u>21-4600_SEWER USER FEES</u>	0	6/24		
Total 361574.00:						88.28	.00					
Total UTILITY REFUND #17:						5,342.85	.00					
WESTERN STATES EQUIPMENT CO.												
98	WESTERN STATES EQUIPMENT CO.	IN002826163		<u>RENTAL OF TRACK MAT TO CONTROL MUD FROM ENTERING ASHTON PARK, JUNE 24</u>	06/17/2024	681.38	.00	<u>01-6212 RENT-EQUIPMENT</u>	1004	6/24		
Total IN002826163:						681.38	.00					
Total WESTERN STATES EQUIPMENT CO.:						681.38	.00					
WHITE, PETERSON, GIGRAY, & NICHOLS P.A.												
1958	WHITE, PETERSON, GIGRAY, & NICHOLS P.A.	163123		<u>LEGAL SERVICES - GENERAL, MAY '24</u>	05/31/2024	2,185.76	2,185.76	<u>01-6202 PROFESSIONAL SERVICES</u>	0	6/24	06/21/2024	
Total 163123:						2,185.76	2,185.76					
1958	WHITE, PETERSON, GIGRAY, & NICHOLS P.A.	163124		<u>LEGAL SERVICES FOR P & Z, MAY '24</u>	05/31/2024	409.00	409.00	<u>01-6202 PROFESSIONAL SERVICES</u>	1003	6/24	06/21/2024	
Total 163124:						409.00	409.00					
1958	WHITE, PETERSON, GIGRAY, & NICHOLS P.A.	163128		<u>LEGAL SERVICES FOR GEMSTONE TECHNOLOGY PARK LLC - DIODE DEVELOPMENT PROJECT, MAY '24</u>	05/31/2024	1,685.00	1,685.00	<u>01-6202 PROFESSIONAL SERVICES</u>	4000	6/24	06/21/2024	
Total 163128:						1,685.00	1,685.00					

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Total WHITE, PETERSON, GIGRAY, & NICHOLS P.A.:						4,279.76	4,279.76					
WOODY'S OUTDOOR POWER												
403	WOODY'S OUTDOOR POWER	148519	18368	<u>WEED EATER. C. STRAKER. JUNE '24</u>	06/18/2024	479.99	.00	<u>01-6175 SMALL TOOLS</u>	1004	6/24		
Total 148519:						479.99	.00					
Total WOODY'S OUTDOOR POWER:						479.99	.00					
ZAYO GROUP LLC												
2188	ZAYO GROUP LLC	20593701		<u>TELEPHONE DATA & NETWORK SERVICE FOR 06/01-06/30/2024- ADMIN</u>	06/01/2024	540.65	540.65	<u>01-6255 TELEPHONE</u>	0	6/24	06/13/2024	
2188	ZAYO GROUP LLC	20593701		<u>TELEPHONE DATA & NETWORK SERVICE FOR 06/01-06/30/2024- P&Z</u>	06/01/2024	193.09	193.09	<u>01-6255 TELEPHONE</u>	1003	6/24	06/13/2024	
2188	ZAYO GROUP LLC	20593701		<u>TELEPHONE DATA & NETWORK SERVICE FOR 06/01-06/30/2024- WATER</u>	06/01/2024	502.04	502.04	<u>20-6255 TELEPHONE EXPENSE</u>	0	6/24	06/13/2024	
2188	ZAYO GROUP LLC	20593701		<u>TELEPHONE DATA & NETWORK SERVICE FOR 06/01-06/30/2024- SEWER</u>	06/01/2024	502.04	502.04	<u>21-6255 TELEPHONE EXPENSE</u>	0	6/24	06/13/2024	
2188	ZAYO GROUP LLC	20593701		<u>TELEPHONE DATA & NETWORK SERVICE FOR 06/01-06/30/2024- P.I</u>	06/01/2024	193.09	193.09	<u>25-6255 TELEPHONE EXPENSE</u>	0	6/24	06/13/2024	
Total 20593701:						1,930.91	1,930.91					
Total ZAYO GROUP LLC:						1,930.91	1,930.91					
Grand Totals:						521,495.58	394,284.34					

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Dated: _____

Mayor: _____

City Council: _____

City Treasurer: _____

Report Criteria:

Detail report.

Invoices with totals above \$0.00 included.

Paid and unpaid invoices included.

CASE NO. 24-09-FP

**VALOR GOLF VILLAGE NO. 2,
FINAL PLAT**

Planner: Troy Behunin, TBehuninn@kunaid.gov, 208-922.5274

ALL APPLICATION MATERIALS: [24-09-FP,](#)
VALOR GOLF VILLAGE NO. 2 SUBDIVISION

If you require assistance accessing the application materials through the link provided above, or would like to review the application materials in person at City Hall please contact the assigned planner.



**CITY OF KUNA:
CITY COUNCIL
STAFF MEMO**

City of Kuna Council Staff Memo

Entitlements Requested:	Final Plat	Rezone	Annexation	Special Use	Planned Unit Development	Design Review	Other
Title:	Valor Golf Village Sub. No. 2		Application Number:		24-09-FP		
Date:	7/2/2024		Staff Contact:		Troy Behunin		
Owner(s)/Applicant:	M3 Companies - Owner		Applicant Contact:		MTate@m3companiesllc.com		
Representative:	Wendy Shrief – JUB Engineers, Inc.		Representative Contact:		wshrief@jub.com		

Purpose
 Applicant requests Final Plat approval for approx. 20.33 acres with an existing R-6 zone; and requests approval in order to subdivide the site into 68 single-family lots and nine (9) common lots and one (1) common driveway lot. The site is located near the northeast corner of Cloverdale and Kuna Roads.

Statement of Fact	
Parcel Number(s):	S1422110300
Future Land Use Map Designation:	Medium Density Residential
Existing Land Use:	Agriculture and Golf Course
Current Zoning:	R-6, Medium Density Residential – Kuna City
Proposed Zoning:	R-6, Medium Density Residential
Development Area:	20.33 Acres
Adjacent Zoning Districts:	North: R-6 (Medium Residential); East: R-6 (Medium Residential); South: R-6 (Medium Residential), CBD (Commercial); West: R-6 (Medium Residential),
Adjacent Street(s) Existing & Proposed:	North: Nothing; East: Nothing; South: Cabot Cliffs St. (Existing); West: Corballis St. (Existing)
Internal Street(s) Existing & Proposed:	Private Streets (Proposed) – S Cabot Cliffs Way, S Lahinch Way, W Cruden Bay Dr., W Barnbougie Ln., S Kingsbarn, & S Muirfield Way
Adjacent Bike/Pedestrian Facilities:	Existing Pedestrian & Bike Paths exist throughout the Planned Unit Development
Adjacent Parks:	Golf Course
Land Dedication Requirements:	N/A

Comprehensive Plan and Future Land Use Map Analysis
 The Comprehensive Plan identifies the subject property as Medium Density Residential, the existing zone is a City of Kuna Zone; R-6 (Medium Density Residential). The proposed zoning and land use for the subject site agrees with the Future Land Use Map (FLUM) of the City of Kuna.

Staff Analysis

The applicant submitted a request for Final Plat approval which proposes to comply with the FLUM and to follow the existing R-6 zone requirements by subdividing the approx. 20.33 acres into 89 single-family lots, nine (9) common lots and one (1) common driveway lot.

This Final Plat request is a part of the overall Falcon Crest Master Planned Community.

Recommended Conditions of Approval

1. Developer/Owner/Applicant shall work with Ada County Highway District and the City of Kuna to complete all required traffic improvements to provide public access to the site as this project will have internal private streets, as detailed in the Ada County Highway District staff report.
2. Developer/Owner/Applicant shall measure all front building setbacks from back of sidewalk on all internal local roads.
3. Applicant shall ensure the proper easement widths on all lots in accordance with KCC 6-3-8.
4. It is the responsibility of the Developer to ensure any anticipated buildings fit any given buildable lot in accordance with KCC 5-3-3.
5. Fencing within and around the site shall comply with KCC 5-5-5 (unless specifically approved otherwise and permitted).
6. All required landscaping shall be permanently maintained in a healthy condition. The property Owner shall remove and replace unhealthy or dead plant material within 3 days or as the planting season permits as required to meet the standards of these requirements. Maintenance and planting in public Rights-of-Way shall be with approval from ACHD.
7. Landscaping shall not be placed within ten (10) feet of any meter pits, pressurized irrigation valves and/or ACHD underground facilities and must honor all vision triangles.
8. All signage within/for the project shall comply with Kuna City Code and shall be approved through the applicable sign approval process listed in KCC 5-10.
9. If any revisions are made, the Applicant shall provide the Planning and Zoning Staff with a revised copy of the Preliminary Plat. Any revisions of the Plat are subject to Administrative Determination to rule if the revision is substantial.
10. Develop/Owner/Applicant is hereby notified this project is subject to Design Review inspections and fees. Required inspections (post construction), are to verify building and landscaping compliance prior to requesting signature on the final plat.
11. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground, see KCC 6-4-2.
12. Connection to City Services (Sewer and Water) is required. The Applicant shall conform to all corresponding City of Kuna Master Plans.
13. Developer/Owner/Applicant shall work with staff in order to provide final locations of streetlights as required by Kuna City Code. Streetlights for the site shall be LED lighting and must comply with Kuna City Code and established Dark Sky practices.
14. The Developer/Owner/Applicant, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the City Council, or seek amending them through Public Hearing processes.

- 15. Developer/Owner/Applicant/Contractors are hereby notified of Kuna’s working hours. Construction of any kind shall only be conducted within hours specified in KCC 10-6-3. Noises and other public nuisances/distractions outside of this time frame are subject to lawful penalties
- 16. Developer/Owner/Applicant is hereby notified of Kuna’s weed control policies and requirements KCC 8-1-3. Weeds, grasses, vines or other growth which endanger property or are over twelve (12) inches in height shall be continuously cut down, weeded out, sprayed, burned, removed or destroyed throughout all seasons.
- 17. Upon City Council’s approval, no revisions shall be made to the Amended Final Plat. If revisions are desired, the Applicant shall bring a copy of the changes to Planning and Zoning staff to determine if a new approval is required via the Public Hearing process.
- 18. Correct and verified as-built (record drawings) drawings shall be required before occupancy or Final Plat approval by City Engineer is granted.
- 19. Applicant is conditioned to work with the City Engineer for proper easement widths for the project as a whole.
- 20. Developer/Owner/Applicant and all successors shall comply with all Local, State and Federal Laws.

DATED this 2nd day of July 2024.

CASE NO. 24-08-FP

**FALCON CREST NO. 7,
FINAL PLAT**

Planner: Troy Behunin, TBehuninn@kunaid.gov, 208-922.5274

ALL APPLICATION MATERIALS: 24-08-FP,
FALCON CREST NO. 7 SUBDIVISION

If you require assistance accessing the application materials through the link provided above, or would like to review the application materials in person at City Hall please contact the assigned planner.



**CITY OF KUNA:
CITY COUNCIL
STAFF MEMO**

City of Kuna Council Staff Memo

Entitlements Requested:	Final Plat	Rezone	Annexation	Special Use	Planned Unit Development	Design Review	Other
Title:	Falcon Crest Sub. No. 7	Application Number:		24-08-FP			
Date:	7/2/2024	Staff Contact:		Troy Behunin			
Owner(s)/Applicant:	M3 ID Falcon Crest, LLC - Owner	Applicant Contact:		MTate@m3companiesllc.com			
Representative:	Wendy Shrief – JUB Engineers, Inc.	Representative Contact:		wshrief@jub.com			

Purpose

Applicant requests Final Plat approval for approx. 15.23 acres within an existing R-6 zone; and requests approval in order to subdivide the site into 73 single-family lots, eight (8) common lots and two (2) common driveways lot. The site is located near the northeast corner of Cloverdale and Kuna Roads (APN's; S1422336125 and S1422346600).

Statement of Fact

Parcel Number(s):	S1422336125 and S1422346600
Future Land Use Map Designation:	Medium Density Residential
Existing Land Use:	Agriculture and Golf Course
Current Zoning:	R-6, Medium Density Residential – Kuna City
Proposed Zoning:	R-6, Medium Density Residential
Development Area:	15.23 Acres
Adjacent Zoning Districts:	North: R-6 (Medium Residential); East: R-6 (Medium Residential); South: R-6 (Medium Residential), CBD (Commercial); West: R-6 (Medium Residential),
Adjacent Street(s) Existing & Proposed:	North: Anthos lane; East: Nothing; South: Kuna Rd. (Existing); West: Cloverdale Rd. (Existing)
Internal Street(s) Existing & Proposed:	Private Streets (Proposed) W Determination Ln., S Sugar Apple Ln., S Cholla Ln., S Courage Ln., W Defiance Ln., and W Firmness Ln.
Adjacent Bike/Pedestrian Facilities:	Existing Pedestrian & Bike Paths exist throughout the Planned Unit Development
Adjacent Parks:	Golf Course
Land Dedication Requirements:	N/A

Comprehensive Plan and Future Land Use Map Analysis

The Comprehensive Plan identifies the subject property as Medium Density Residential, the existing zone is a City of Kuna Zone; R-6 (Medium Density Residential). The proposed zoning and land use for the subject site agrees with the Future Land Use Map (FLUM) of the City of Kuna.

Staff Analysis

The applicant submitted a request for Final Plat approval which proposes to comply with the FLUM and to follow the existing R-6 zone requirements by subdividing the approx. 15.23 acres into 73 single-family lots, eight (8) common lots and two (2) common driveway lots.

This Final Plat request is a part of the overall Falcon Crest Master Planned Community.

Recommended Conditions of Approval

1. Developer/Owner/Applicant shall work with Ada County Highway District and the City of Kuna to complete all required traffic improvements to provide public access to the site as this project will have internal private streets, as detailed in the Ada County Highway District staff report.
2. Developer/Owner/Applicant shall measure all front building setbacks from back of sidewalk on all internal local roads.
3. Applicant shall ensure the proper easement widths on all lots in accordance with KCC 6-3-8.
4. It is the responsibility of the Developer to ensure any anticipated buildings fit any given buildable lot in accordance with KCC 5-3-3.
5. Fencing within and around the site shall comply with KCC 5-5-5 (unless specifically approved otherwise and permitted).
6. All required landscaping shall be permanently maintained in a healthy condition. The property Owner shall remove and replace unhealthy or dead plant material within 3 days or as the planting season permits as required to meet the standards of these requirements. Maintenance and planting in public Rights-of-Way shall be with approval from ACHD.
7. Landscaping shall not be placed within ten (10) feet of any meter pits, pressurized irrigation valves and/or ACHD underground facilities and must honor all vision triangles.
8. All signage within/for the project shall comply with Kuna City Code and shall be approved through the applicable sign approval process listed in KCC 5-10.
9. If any revisions are made, the Applicant shall provide the Planning and Zoning Staff with a revised copy of the Preliminary Plat. Any revisions of the Plat are subject to Administrative Determination to rule if the revision is substantial.
10. Develop/Owner/Applicant is hereby notified this project is subject to Design Review inspections and fees. Required inspections (post construction), are to verify building and landscaping compliance prior to requesting signature on the final plat.
11. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground, see KCC 6-4-2.
12. Connection to City Services (Sewer and Water) is required. The Applicant shall conform to all corresponding City of Kuna Master Plans.
13. Developer/Owner/Applicant shall work with staff in order to provide final locations of streetlights as required by Kuna City Code. Streetlights for the site shall be LED lighting and must comply with Kuna City Code and established Dark Sky practices.
14. The Developer/Owner/Applicant, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the City Council, or seek amending them through Public Hearing processes.

15. Developer/Owner/Applicant/Contractors are hereby notified of Kuna's working hours. Construction of any kind shall only be conducted within hours specified in KCC 10-6-3. Noises and other public nuisances/distractions outside of this time frame are subject to lawful penalties
16. Developer/Owner/Applicant is hereby notified of Kuna's weed control policies and requirements KCC 8-1-3. Weeds, grasses, vines or other growth which endanger property or are over twelve (12) inches in height shall be continuously cut down, weeded out, sprayed, burned, removed or destroyed throughout all seasons.
17. Upon City Council's approval, no revisions shall be made to the Amended Final Plat. If revisions are desired, the Applicant shall bring a copy of the changes to Planning and Zoning staff to determine if a new approval is required via the Public Hearing process.
18. Correct and verified as-built (record drawings) drawings shall be required before occupancy or Final Plat approval by City Engineer is granted.
19. Applicant is conditioned to work with the City Engineer for proper easement widths for the project as a whole.
20. Developer/Owner/Applicant and all successors shall comply with all Local, State and Federal Laws.

DATED this 2nd day of July 2024.

**RESOLUTION NO. R40-2024
CITY OF KUNA, IDAHO**

A RESOLUTION OF THE CITY COUNCIL OF KUNA, IDAHO:

- **MAKING CERTAIN FINDINGS AND DECLARATION OF AUTHORITY; AND**
- **ADOPTING THE “CITY OF KUNA DOWNTOWN DESIGN STANDARDS”; AND**
- **DIRECTING THE CITY CLERK; AND**
- **PROVIDING AN EFFECTIVE DATE.**

NOW, THEREFORE BE IT RESOLVED by the Mayor and City Council of the City of Kuna, Ada County, state of Idaho (the “City”):

Section No. 1. Findings:

- 1.1 The City is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code; and
- 1.2 On November 19, 2019, the City entered into a Professional Services Agreement with JUB Engineering, Inc. for developing downtown design standards as attached hereto as EXHIBIT B.
- 1.3 JUB Engineering, Inc. completed the downtown design standards in July 2021.
- 1.4 The downtown design standards accompanied Case No. 23-01-OA (Ordinance Amendment) Kuna City Code Title 5 & 6 Rewrite through the public hearing process.
- 1.5 It being the City Council’s intent and purpose in approving this Resolution to adopt the “City of Kuna Downtown Design Standards” upon the effective date of this Resolution.

Section 2: Action:

- 2.1 The City Council hereby adopts, approves, and enacts the “City of Kuna Downtown Design Standards” as attached hereto as EXHIBIT A.

Section 3: Directing the City Clerk

- 3.1 The City Clerk is directed to file this Resolution forthwith in the official records of the City.

Section 4. Effective Date

- 4.1 This Resolution shall take effect and be in force from and after its passage and approval.

PASSED by the Council for the City of Kuna, Idaho this 2nd day of July, 2024.

APPROVED by the Council for the City of Kuna, Idaho this 2nd day of July, 2024.

CITY OF KUNA

Joe L. Stear, Mayor

ATTEST:

Nathan Stanley, City Clerk



CITY OF KUNA

DOWNTOWN DESIGN STANDARDS

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Appendices

Appendix A	Streetscape Specifications
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Definitions

The words and terms below have been used throughout this document and are defined here as follows:

Alcove | a small building recessed space that may open into a larger space

Awning | a canvas or other temporary material used to create a covering over a window or door

Balcony | a platform projection from the wall or window, enclosed by a railing

Balustrade | a series of balusters (short pillars with a top and bottom rail) used on staircases, balconies, and porches

Band | any horizontal member that projects slightly from the surface, often used to mark a division on a wall (also known as band course or band molding)

Bay | a structural wall projection of three sides from the ground up often including windows

Bracket | a projection from a vertical surface, often providing support (balcony, roof, etc.) or as a fastener

Canopy | a projection over a niche or doorway

Cornice | a horizontal molded projection typically provided as a decorative element

Court | an open area totally or partially surrounded by walls or buildings

Deck | a flat surface capable of supporting weight

Façade | the principal face or front elevation of a building

Forecourt | a court situated at the building front or entryway

Form | the overall shape or outline of a building

Gable | a pitched roof in the shape of a triangle

Hipped | a roof with slopes on all sides

Hue | a shade or tint of a color

Infill building | a new structure built in a block of existing buildings

Masonry | work constructed by a mason using stone, brick, tile, or other similar materials

Mass | the overall size or bulk of a building

Pane | a single piece of window glass

Panel | a sunken or raised portion of a wall, ceiling, or door with a frame-like border

Parapet | a low wall that rises above a roofline or porch

Pedestrian-friendly | provides design and amenities that encourage residents and visitors to walk and enjoy their surroundings

Pitch | the degree of slope of a roof

Porch | a covered entrance or semi-enclosed space projecting from the building façade

Scale | the relationship of a building to its surroundings (site, neighboring properties, etc.)

Style | design characteristics and elements that form a type or group associated with a design philosophy or time-period

Tile | a piece of fired clay that is thinner than a brick

Transparency | the amount of visibility within a building plane provided by windows and other openings

Trim | edge or finish around a door or window

Visual continuity (or Unity) | an appearance of belonging together presented in structures that share common style elements or other physical similarities

Derived largely from Old-House Dictionary (Steven J. Phillips, American Source Books, Lakewood CO, 1989)

1 | Introduction

In 2015, the City of Kuna adopted a Downtown Revitalization Plan, followed by an updated Comprehensive Plan in 2019, *Envision Kuna*, that recommended several downtown revitalization strategies, including the development of Downtown Design Standards (DDS). The DDS offer intentional guidelines beyond the City Code and policies to implement the community's vision, encourage design identity, and provide visual cohesion.

DOWNTOWN DISTRICTS

The Downtown Design Standards apply to three subarea districts, along with Entrance Corridors, as described below and shown in **Figure 1**.

ENTRANCE CORRIDORS

Streetscape elements along four corridors to welcome residents and visitors as they approach the downtown core. More information is provided in the General Standards section.

REVIEW PROCESS

At a minimum, Administrative Design Review will be required for any exterior modification, rehabilitation, reconstruction, new structures, etc. within all Downtown Districts and Entrance Corridors.



Old Town District (OTD)

Kuna's historic townsite, including Main Street, commercial and civic uses in older structures, some dating from Kuna's early days as a railroad settlement.



Neighborhood Business District (NBD)

Adjacent to the OTD, predominantly residential and some commercial uses, including properties along 4th Street, Owyhee and Park Avenues, and Avalon Addition.



Railroad District (RRD)

South of the OTD along the rail line, including the Indian Creek Greenbelt and the proposed Helen Zamzow Park.

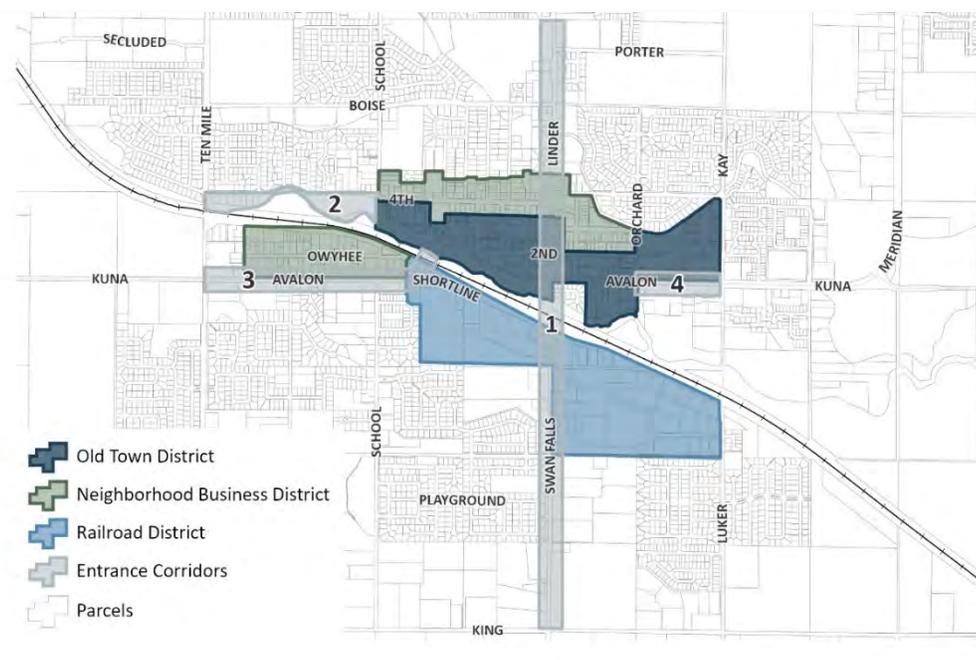


Figure 1:
Kuna Downtown Subarea Districts

2 | General Standards

The following General Standards are applicable to all three subarea Districts and Entrance Corridors.

SITE LAYOUT & ORIENTATION

Parking

Off-street parking, including surface parking lots, shall be located to the rear or sides of buildings. When surface parking lots abut a public street, they must be screened with a treatment, at least 2 feet in height and no more than 3 feet in height, consisting of landscape plantings of evergreen shrubs and groundcover materials or low walls made of concrete, masonry, or other similar material, or raised planters planted with evergreen shrubs. If walls or raised planters must exceed 3 feet in height, it must be demonstrated that the screening treatment does not create a safety hazard, and the portion of treatment that is above 3 feet in height is a minimum 75% transparent (i.e. railing, trellis, or other similar treatment) and provides added visual interest and detail enhancing the District character.

If there is insufficient space to allow the use of the above screening treatments, a decorative railing or fencing may be considered. Chain link fencing is prohibited.

Lighting

On premise, outdoor lighting must meet Kuna City Code requirements, including dark sky applications. Businesses are encouraged to rely on ambient street lighting for the safe illumination of the sidewalk area. Low wattage lighting of entryways, window spaces and indoor spaces should occur in such a manner that no glare is cast on to the sidewalk area. Flashing and strobe lighting is prohibited. See appendices for public right-of-way and other public property lighting specifications.

BUILDING DESIGN

Building Entrances

Building entrances should be easily identifiable and accessible. Features such as flanking windows or canopies may be used, as well as recessed entries,

balconies, and forecourts. The street level should offer interest through the placement of arches, bays, and canopies. Further decoration and articulation with projecting sills, bands, or other features, using acceptable building materials, is also encouraged.

STOREFRONT EXPERIENCE

Storefront/Outdoor Seating or Shopping

Areas for customers to enjoy shopping, eating, or drinking outdoors should be integrated into setback areas, side yards and surface parking areas. In some districts, where sufficient front setbacks do not occur, outdoor seating may occur within the right-of-way. Sidewalk seating, shopping areas or storefront amenities may be permitted provided that a minimum of 5-foot-wide continuous pedestrian access along the sidewalk is provided, without obstructions or hazards to pedestrian activity.

Further provisions regarding service of alcohol, fencing, and lighting may also be enforced. Materials and color of semi-permanent fixtures shall complement the area and blend with the building in compliance with these standards.

Any proposed seating, shopping or alternative activities within alleyways, roadways, or public right-of-way must be approved by the City and Ada County Highway District (ACHD).



Figure 2: Rendering of a downtown Nampa alleyway

Signs

Business signage shall be architecturally compatible and in scale with the building, fitting within the features of the building façade, such as above windows, within entry ways, above or beside windows. Colors and materials should complement the overall appearance of the building. Business signage design criteria:

- ❑ Shallow wall-mounted, either against the façade or perpendicular (blade signs) and may be framed or painted directly on the wall. Blade signs supported by ornamental bracket and oriented to the pedestrian are encouraged.
- ❑ Painted wood or enameled metal signs are preferred.
- ❑ Low, free-standing signs may be considered for sites with adjacent open areas, such as surface parking areas or outdoor seating areas.
- ❑ Refrain from concealing significant architectural features or details and/or projecting above the roof, parapet, or exterior wall.
- ❑ Plastic and internally lit signs are strongly discouraged.
- ❑ Electronic message centers are not permitted.

ENTRANCE CORRIDORS

The purpose of the Entrance Corridors is to welcome residents and visitors as they approach the downtown core from all directions. Public streetscape improvements within Entrance Corridors and all Downtown Subarea Districts should mirror Main Street to the furthest extent possible. Streetscape improvements may include wider sidewalks, decorative lighting, banners, colored and stamped concrete, intersection bulb-outs, pedestrian crossings, street trees and grates, bike racks, art, and trash receptacles. Any new or modified streetscape improvements must be approved by the City of Kuna and ACHD. Streetscape specifications (concrete color, stamp patterns, street lighting, etc.) are provided in **Appendix A**.



Outdoor seating along the sidewalk in front of the Sun Ray Cafe in Boise's Hyde Park



Various complementary signs at a Hyde Park bike shop



Big Picture

Retain historic character with redevelopment of older buildings, provide thoughtful use of in-fill that respects adjacent structures and optimizes use, and maintain character defining elements during redevelopment and rehabilitation of older buildings, to keep Kuna unique.

3 | Old Town District

SITE LAYOUT & ORIENTATION

Building Orientation

Buildings should be oriented to/facing the street, with special attention to the rhythm and proportion of building entrances and windows to provide visual interest for the pedestrian.

Buildings should be at the street property line, with parking provided to the rear or off site, with appropriate use of landscaping to complement the structure and provide screening as needed, thus creating a pedestrian-friendly edge.

Setbacks

Whenever possible, buildings should be located adjacent to the sidewalk, in keeping with the placement of older buildings on Main Street. If usable public space, such as outdoor dining, or court amenities are provided, a setback of no more than 20 feet may be considered. In areas outside of Main Street within the OTD, zero setbacks are highly encouraged to extend the character of the historic townsite and promote pedestrian activity.

Height

The maximum building height is determined by the underlying zone. In keeping with the historic character, buildings should not exceed 4 stories. Buildings more than 2 stories must be stepped back from upper stories to reduce bulk and provide architectural interest.

BUILDING DESIGN

Roofs

Flat roofs with projecting or decorative cornices are encouraged to preserve the existing character of the OTD. Permanent roof top decks and seating areas are



The unique historic character of Main Street is still reflected in downtown Kuna today

permitted provided they are integrated into the overall building design.

Windows

Windows, alcoves, and bays on the street façade should be used to provide additional interest at the building entrance.

Each street facing ground level façade should contain between 30 and 70 percent transparent window materials and occur between an average of 2 to 8 feet above grade. Original window styles, grids (arrangement of panes) and materials is required to the furthest extent possible. Mirrored or darkly tinted glass is not allowable.

Building Entrances

Building entrances should be easily identifiable and accessible. Features such as flanking windows or canopies may be used, as well as recessed entries, balconies, and forecourts. The street level should offer interest through the placement of arches, bays, and canopies. Further decoration and articulation with projecting sills, bands, or other features, using acceptable building materials, is also encouraged.

Building Materials

Building exteriors should use traditional materials and colors, with muted historic hues, in keeping with the character of the OTD. The primary building façade should be composed of a combination of stone and brick, or overlapping wood plank siding, with allowable accents of stucco, tile, metal, and/or wood detailing.

Figure 3 shows a typical pair of Kuna Main Street existing buildings and the potential for façade improvements to meet these guidelines.

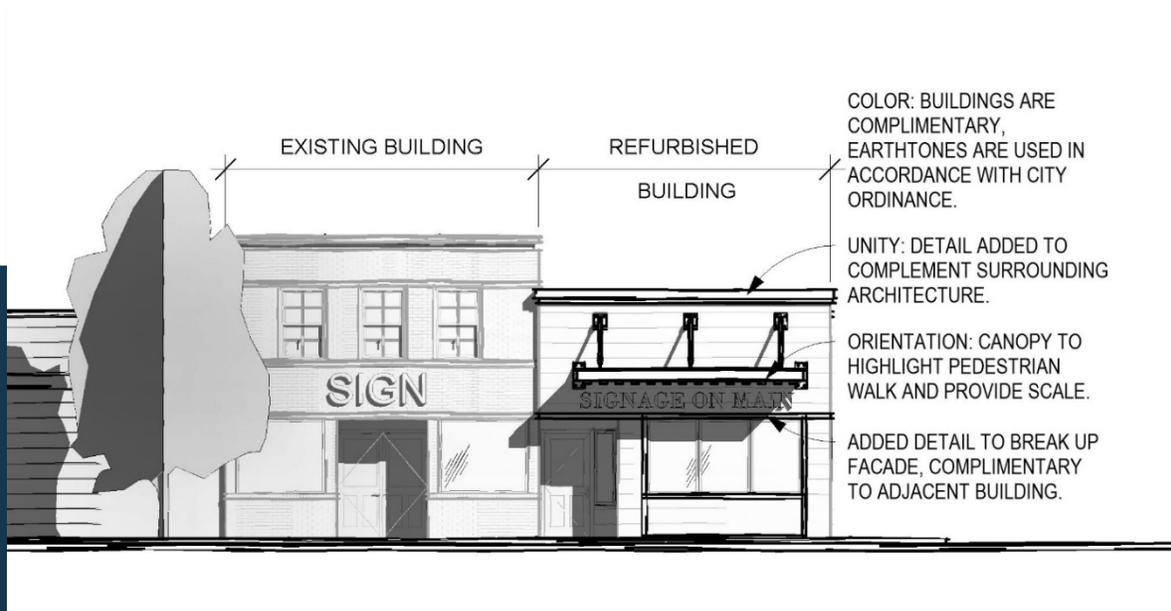
Color

A color palette for the OTD (and NBD) is presented in Figure 4. Flat or low gloss finishes are acceptable, while shiny or high gloss finishes are prohibited.

- ❑ Tier 1 colors are intended for the main body of the building, comprising 75 percent or more of the surface area.
- ❑ Tier 2 colors are advised for trim on 15 percent or more.
- ❑ Tier 3 colors are suggested accents on 10 percent or less of the surface area.



Figure 4: City of Kuna OTD (and NBD) building color palettes



Rendering by Braintree Properties

Figure 3: Example of minor facade treatments to meet design guidelines

Figure 5 depicts typical Main Street buildings with the recommended materials and color palette applied.

STOREFRONT EXPERIENCE

Signs

In addition to the guidelines in the General Standards section, business signage should be shallow wall-mounted, either against the façade or perpendicular (blade signs) and may be framed or painted directly on the wall.

Streetscape

The typical Section for Main Street is shown below in Figure 6. Streetscape improvements should mirror Main Street to the furthest extent possible, incorporating the specifications provided in Appendix A. For any deviation from this Typical Section within the OTD, appropriate planning processes and approvals by ACHD and the City of Kuna shall occur.



Rendering by Braintree Properties

Figure 5: Rendered example of facade upgrades complementary and unifying to existing buildings

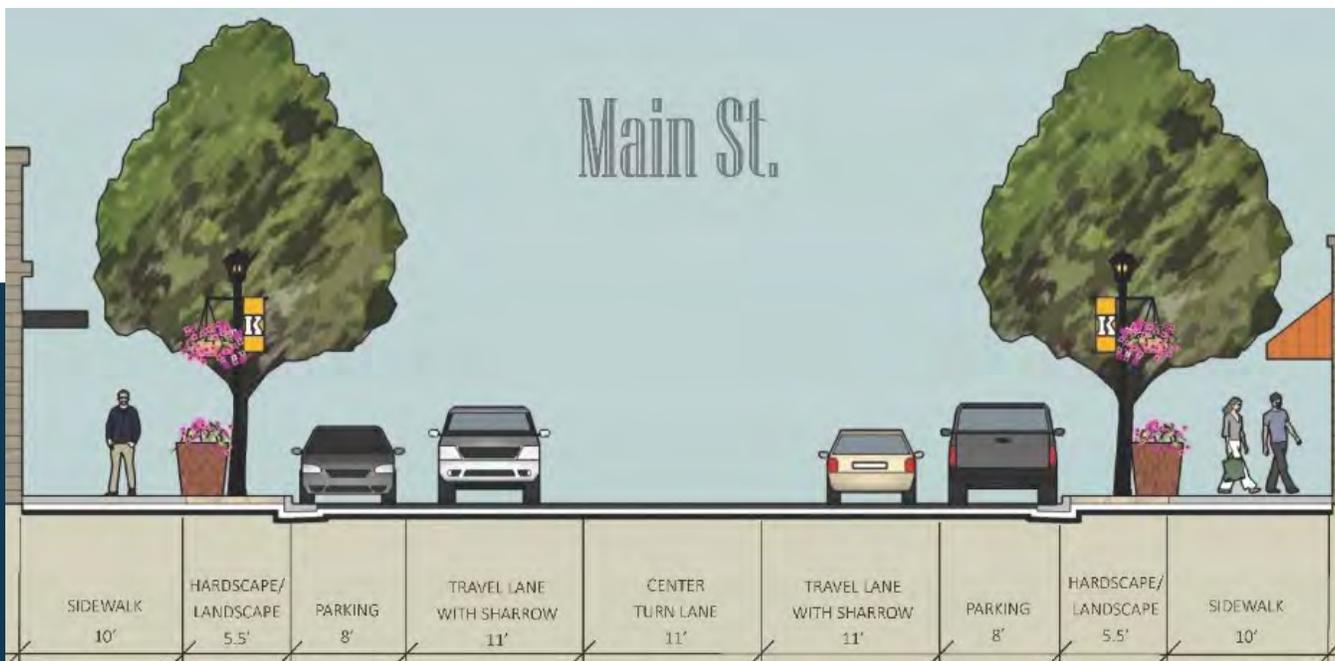


Figure 6: Kuna Main Street Typical Section – larger version can be found in Appendix A



Big Picture

Provide a unique environment that retains a mix of residential and commercial uses, maintaining the existing historic setting by repurposing with improved facilities, and enhance the downtown experience with outdoor activity.

4 | Neighborhood Business District

SITE LAYOUT & ORIENTATION

Building Orientation

Buildings should be oriented to/facing the street or toward side yards, with special attention to the areas between buildings to provide pedestrian amenities and points of visual interest.

Buildings should be situated behind a front yard, with parking provided to the rear or off site, and with appropriate use of landscaping or outdoor seating to complement the structure and provide screening as needed.

Setbacks

Whenever possible, buildings should be located no less than 20 feet from the street in front and 15 feet from any street along the side. Setback areas should be landscaped, particularly along the right of way, and should be used to accommodate outdoor dining, merchandise display or to provide other court amenities. **Figure 7** shows how the setback area can be purposed for outdoor seating.

Height

The maximum building height is determined by the underlying zone. In keeping with the NBD's residential character, a maximum of 2 stories is recommended.



A bungalow in the Neighborhood Business District reflects unique character



Goody's ice cream shop in Boise's Hyde Park provides a landscaped edge to their front and side yard outdoor seating area

Figure 7: Example of residential use adapted for commercial use, including outdoor seating in the front yard area



Rendering by Braintree Properties

BUILDING DESIGN

Roofs

Pitched roofs with a minimum slope of 4:12 and maximum slope of 12:12 are encouraged to preserve the existing character of the NBD. It is also encouraged to preserve historical elements distinct to the district, including gabled and hipped roof shapes and detailing such as large eaves, exposed beam, and brackets.

Windows

Each street facing ground level façade should contain between 15 and 60 percent transparent window materials between an average of 2 to 8 feet above grade. Original window styles, grids (arrangement of panes) and materials is required to the furthest extent possible. Mirrored or darkly tinted glass is not allowable.

Windows, bays, and porches on the street façade should be used to provide additional interest at the building entrance.

Building Entrances

Refer to General Standards.

Building Materials

Building exteriors should use the same suitable building materials as the OTD. Refer to **Page 5**.

Color

Building exteriors should use the same color palette as the OTD. Refer to **Figure 4**.

STOREFRONT EXPERIENCE

Signs

In addition to the guidelines outlined in the General



A business in Ketchum, Idaho with decorative fencing and a complementary sign that enhances the overall street facade

Standards section, business signage should be shallow wall-mounted, either against the façade or perpendicular (blade signs). Hanging signs may be permitted on structures. Low, free-standing signs may be integrated with fences and walls surrounding yard areas, accessory buildings, and surface parking areas.

Streetscape

Most of the NBD has minimal streetscape improvements beyond roadway pavement and standard sidewalks. Possible Typical Sections for 4th Street are shown in **Figure 8 and Figure 9**. Streetscape improvements should mirror Main Street to the greatest extent possible, incorporating the specifications provided in **Appendix A**. For any deviations from these Typical Sections in the NBD, appropriate planning processes and approvals by ACHD and the City of Kuna shall occur.

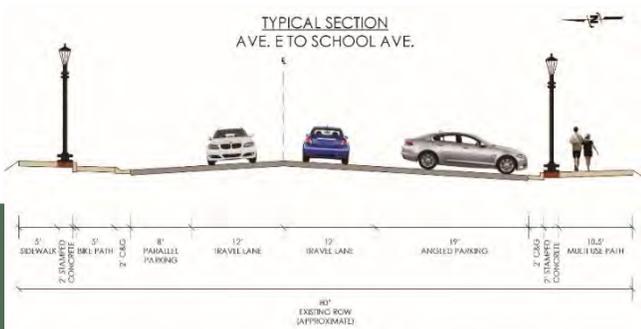


Figure 8: Possible Typical Section for 4th Street from Avenue E to School Avenue – larger version can be found in **Appendix A**

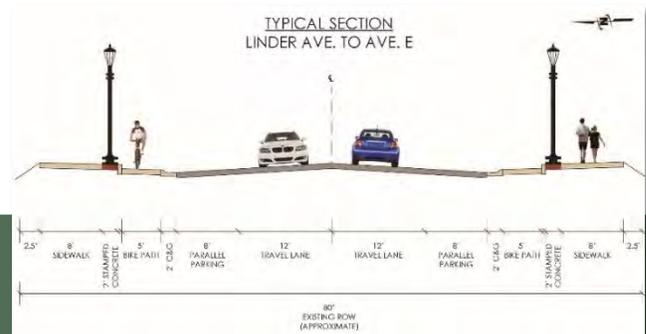


Figure 9: Possible Typical Section for 4th Street from Linder Avenue to Avenue E – larger version can be found in **Appendix A**



Big Picture

Reference Kuna's railroad history with design of new buildings and amenities, increase recreation and downtown connectivity through Indian Creek Greenbelt connections and improvements, and expand dining and entertainment opportunities.

5 | Railroad District

SITE LAYOUT & ORIENTATION

Building Orientation

Buildings should be oriented to/facing the street or toward side yards, with special attention to the areas between buildings to provide courts and other areas of interest.

Buildings should be situated behind the sidewalk whenever possible, with parking provided to the rear, and with appropriate use of landscaping or architectural treatments to complement the structure and provide screening as needed.

Where applicable, buildings may be oriented toward Indian Creek to create visual interest and expand pedestrian activity and recreation access. See **Figure 10** and **Figure 11**.

Setbacks

Whenever possible, buildings should be located adjacent to the sidewalk. If usable public space, such as outdoor dining, or court amenities are provided, a setback of no more than 20 feet may be considered.



Figure 10: Rendered waterfront building (Kuna Comprehensive Plan, 2015)



While Kuna's historic depot was demolished, the impact of the Oregon Short Line Railroad to Kuna's development has not been forgotten

Height

The maximum building height is determined by the underlying zone. Buildings more than 3 stories in height must be stepped back from upper stories to reduce bulk and provide architectural interest.

Parking

In addition to the guidelines outlined in the General Standards section, parking structures may be permitted to the rear or sides of buildings or above levels with other uses. Ground level views into a parking structure must be screened with a treatment, consisting of evergreen shrubs or vines, or decorative metal panels or opaque glass.



Figure 11: Rendered recreation/entertainment corridor (Kuna Comprehensive Plan, 2015)

BUILDING DESIGN

Roofs

Flat roofs with projecting or decorative cornices and pitched roofs are encouraged to enhance the industrial character of the RRD. Pitched roofs shall have a minimum slope of 4:12 and maximum slope of 12:12. Permanent roof top decks and seating areas are permitted provided they are integrated into the overall building design.

Windows

Each street facing ground level façade should contain between 30 and 70 percent transparent window materials between an average of 2 to 8 feet above grade. Original window styles, grids (arrangement of panes) and materials is required to the furthest extent possible. Mirrored or darkly tinted glass shall not be permitted.

Windows, canopies, and bays on the street façade should be used to provide additional interest at the building entrance.

Building Entrances

Refer to General Standards.

Building Materials

Building exteriors should use materials and colors in keeping with the design and architectural elements found in Southern Idaho railroad building architecture. The primary building façade should be composed of a combination of stone and brick with allowable accents of stucco, tile, metal, and wood detailing.

Color

A color palette for the RRD is presented in **Figure 12**.



Building accents add to the industrial design of Boise Brewing and complementary storefront amenities provide an inviting space for patrons

Flat or low gloss finishes are acceptable, while shiny or high gloss finishes are prohibited.

- Tier 1 colors are intended for the main body of the building, comprising 75 percent or more of the surface area.
- Tier 2 colors are advised for trim on 15 percent or more.
- Tier 3 colors are suggested accents on 10 percent or less of the surface area.



Figure 12: City of Kuna RRD building color palettes

STOREFRONT EXPERIENCE

Signs

Refer to General Standards.

Streetscape

Refer to General Standards.



Big Picture

Ensure that new construction meets the design standards described for the appropriate downtown district to retain and enhance Kuna's unique character.

6 | New Construction

The guidance provided for each subarea should address most issues related to new construction, particularly infill development. Some additional guidance regarding site planning and placement is provided in this chapter. The most impactful change anticipated from these standards are building placement within the site, which will be more oriented to the sidewalk and street, with parking located internal to the site, as opposed to parking being located along the sidewalk and street.

Figure 13 is an example site plan for new development within the Railroad District or Entrance Corridor no. 4 (Kuna/Meridian Road). Illustrated are key elements of the site and an approach to utilizing a large lot with multi-story buildings and integrated surface parking lots.

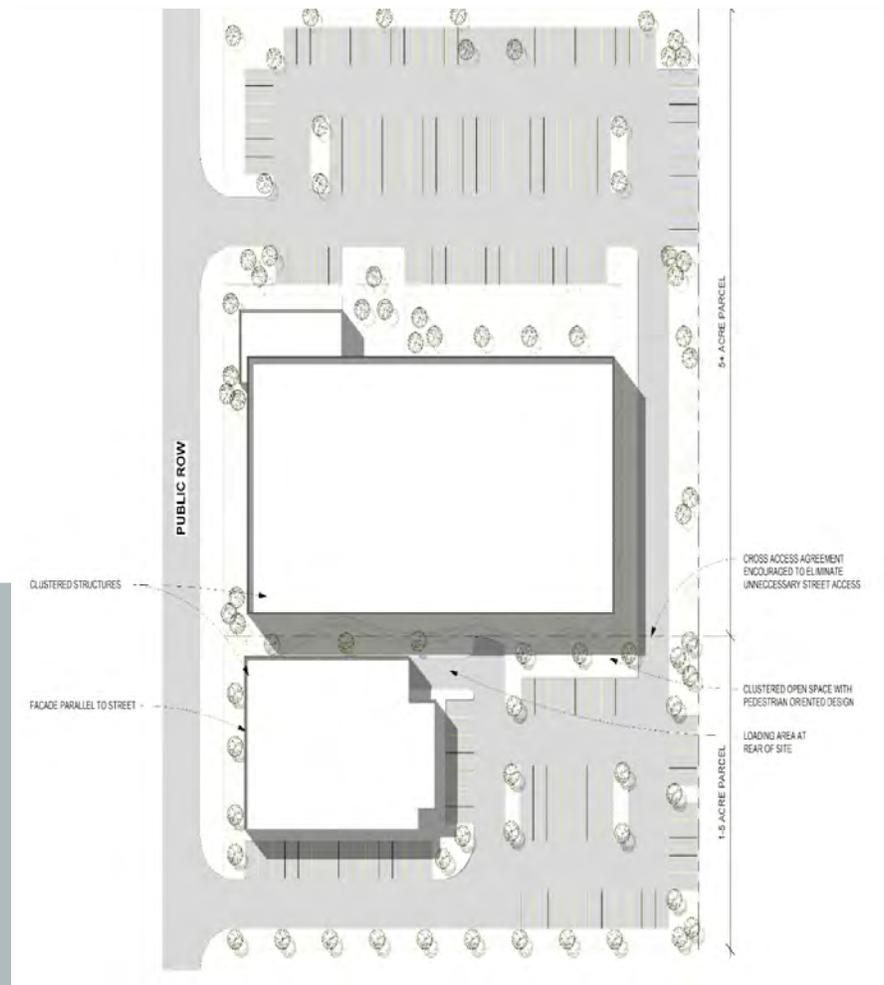


Figure 13: Site plan depicting potential new development within the RRD or Entrance Corridor no. 4

Rendering by Braintree Properties

Site planning and placement of new structures should consider the existing context of the relevant downtown subarea, the location of surrounding land uses and transportation modes, and a site's unique characteristics. Development applications for new construction should heed the provisions for their relevant subarea regarding mass and form, orientation and openings, and materials and colors. Kuna City Code provides specifications regarding parking, lighting, outdoor storage, and landscaping.

Other fundamentals of new construction include:

- ❑ Structures should be designed and sited in a manner that complements any adjacent structures. Sites should be developed in a coordinated manner, that allows diversity of use yet functions cohesively.
- ❑ If possible, new structures should be clustered to create plazas or pedestrian malls and prevent long rows of structures. When clustering is impractical, a visual link between separate structures should be established using visual cues such as similar design elements or landscape treatments.
- ❑ Locate structures and on-site circulation systems to minimize pedestrian vehicle

conflicts. Link structures to the public sidewalk with textured paving and other landscape treatments.

- ❑ Ensure spaces between structures have adequate area and clear edges that reflect careful planning; these spaces should provide pedestrian amenities such as shade and benches, unique lighting, or plantings.
- ❑ Freestanding commercial structures should be oriented with their major entry toward the street, where access is provided, and have their major façade parallel to that street.
- ❑ Loading facilities should not be located at the front of structures, rather they should be located at the rear of the site.

Open spaces should be clustered into larger landscaped areas, rather than in shallow strips, so they may provide more impact as buffers or usable space for pedestrians.



Figure 14: Rendered example of plaza-style development with parking and a mix of commercial uses (Kuna Comprehensive Plan, 2015)

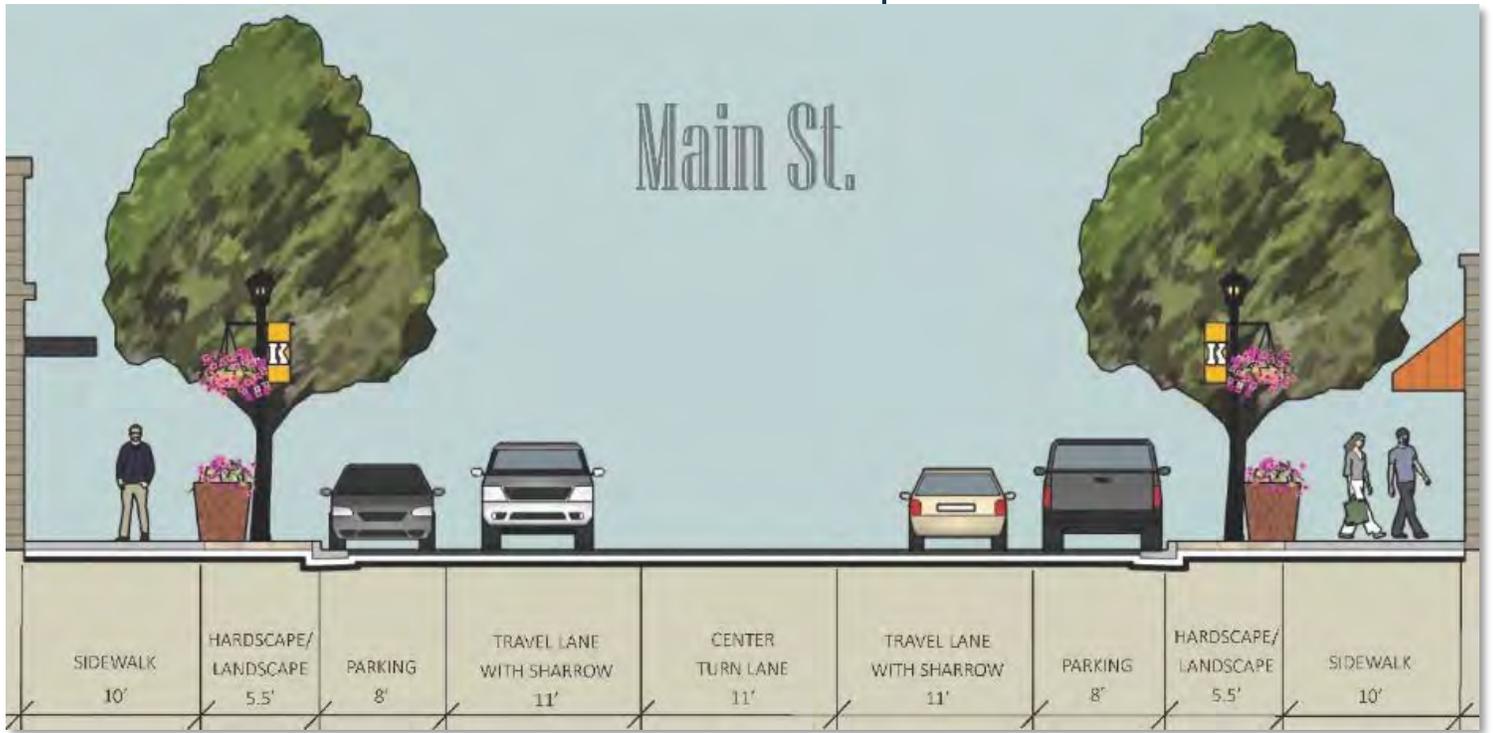


Appendix A

Streetscape Specifications

TYPICAL SECTION

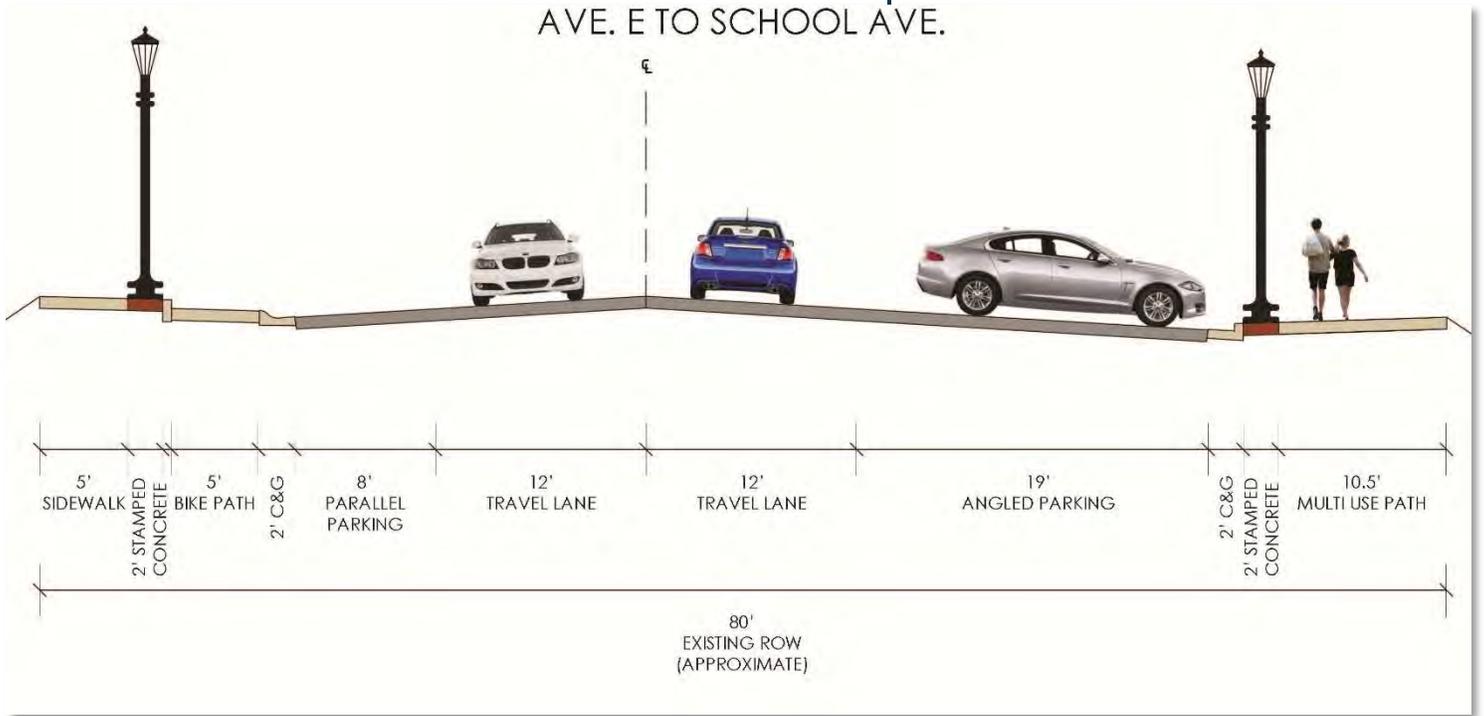
Main Street



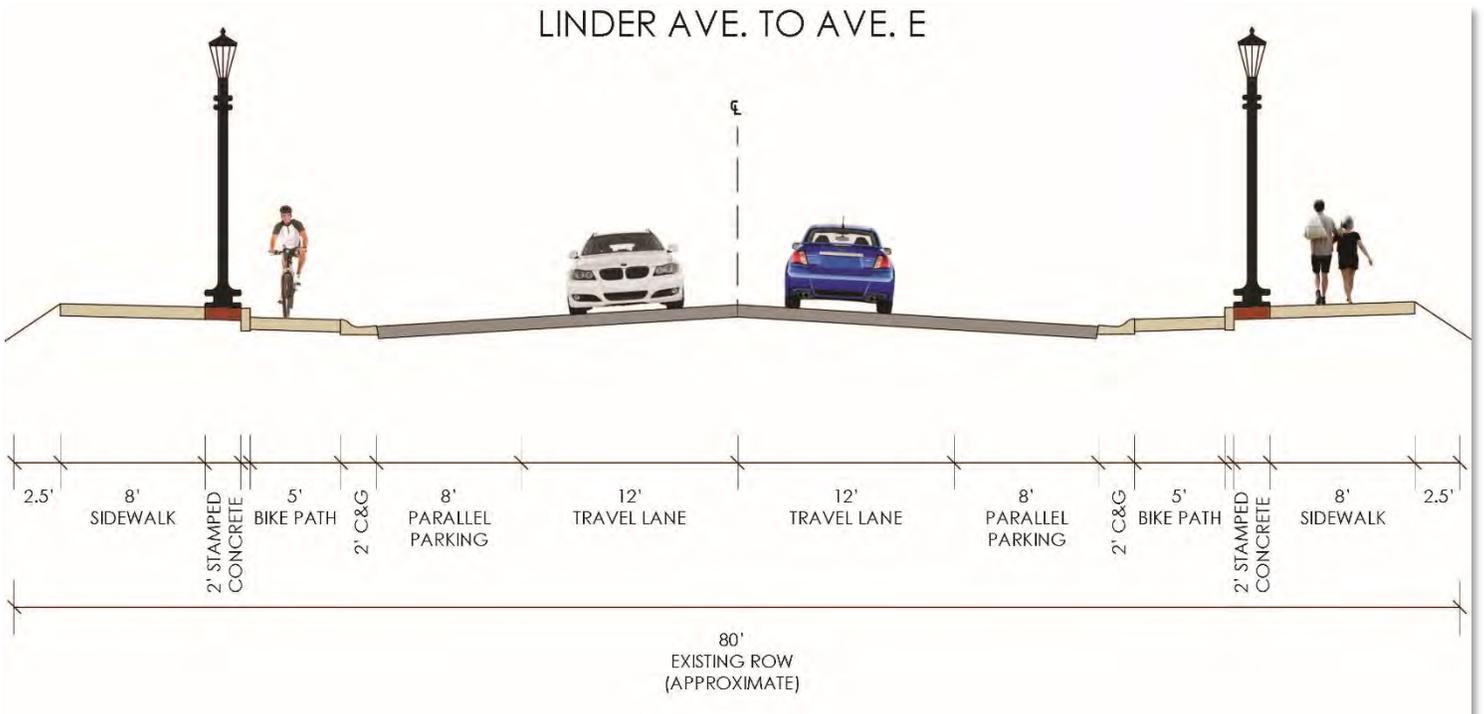
TYPICAL SECTIONS

4th Street

AVE. E TO SCHOOL AVE.



LINDER AVE. TO AVE. E





STREET LIGHTING

Downtown Kuna light fixtures are highly decorative and pedestrian friendly.

Brand

Beacon

Color

Black

Pole

14', RSA-B-F Series, Round Straight Aluminum Fluted

Base

Centennial AB

Banner Arms

5" Mounting Collar

Luminaire Fixture

Win 40 (LED), 40" Windsor

Specs attached

Hanging Flower Pots/Baskets

To be approved by the City of Kuna

Banners

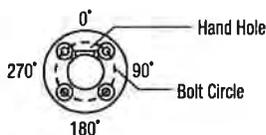
Festive

Holiday

Welcoming

Artistic

RSA-B-F SERIES POLES ROUND STRAIGHT ALUMINUM	Cat.# RSA-B-F-14-50-B-TN4-BBT-GFI	
	Job Kuna Street Lighting	



APPLICATIONS

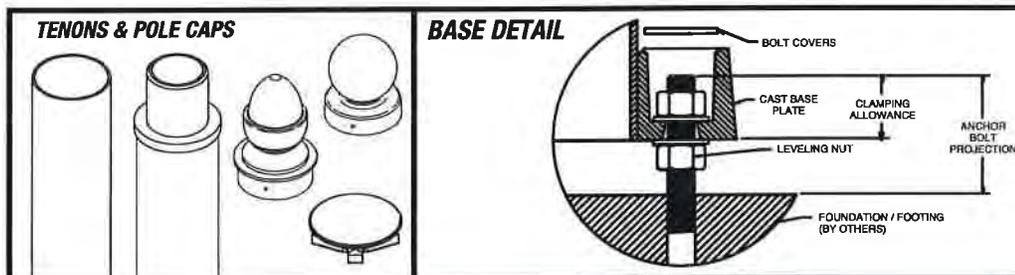
- Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location

CONSTRUCTION

- **SHAFT:** One-piece straight aluminum with fluted cross section; Extruded shafts of 6061-T6 aluminum in 3/16" or 1/4" thickness. Base plate of 356 cast aluminum.
- **BOLT COVERS:** Four (4) individual bolt covers provided, painted to match pole and base finish.
- **POLE CAP OR FINALS:** Cap or decorative finials available for side mounted luminaires. Open top or tenons provided for post top mounted luminaires.
- **HAND HOLE:** Aluminum hand hole frame; Mounting provisions for grounding lug located behind cover
- **ANCHOR BOLTS:** Four galvanized anchor bolts provided per pole with minimum yield of 55,000 psi (ASTM F1554). Galvanized hardware with two washers and two nuts per bolt for leveling

FINISH

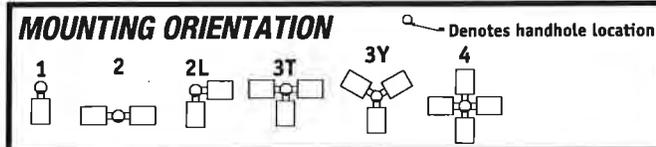
- Durable thermoset polyester powder coat paint finish with nominal 3.0 mil thickness
- Powder paint finish coat available in twelve standard colors; Custom colors available; RAL number preferable.



ORDERING EXAMPLE:

RSA-B-S - **16** - **40** - **A/B/C** - **2L** - **B3** - **DBT** - **VM2**

SERIES	HEIGHT	SHAFT	THICKNESS	MOUNTING	DRILL PATTERN	FINISH	OPTIONS
RSA-B-F Round Straight Aluminum Pole Beacon Fluted	Reference page 2 Ordering matrix	Reference page 2 Ordering matrix	Reference page 2 Ordering matrix	1 Single arm mount 2 Two fixtures at 180° 2L Two fixtures at 90° 3T Three fixtures at 90° 3Y Three at 120° 4 Four fixtures at 90° OT Open top (includes pole cap) TN3 Tenon 3 x 3 TN4 Tenon 3 x 4 TN5 Tenon 4 x 5 TN8 Tenon 4 x 8 ARC Acorn Finial BAL Ball Finial	B1 Cruiser B3 VP-L B4 VP-S	BBT Basic Black Textured BMT Black Matte Textured BZT Bronze Textured DBT Dark Bronze Textured DPS Dark Platinum Smooth GNT Green Textured GYS Gray Smooth MBT Metallic Bronze Textured MST Metallic Silver Textured MTT Metallic Titanium Textured OWI Old World Iron WHT White Textured CC Custom Color- RAL Color#	GFI 20 Amp GFCI Receptacle and Cover EHH Extra Handhole C05 .5" Coupling C07 .75" Coupling C20 2" Coupling VM2 2nd mode vibration damper LAB Less Anchor Bolts



ACCESSORIES- Order Separately

Catalog Number	Description
VM2SXX	2nd mode vibration damper

1 Specify option location using logic found on page 2 (Option Orientation)



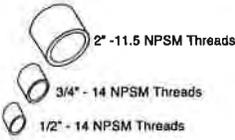
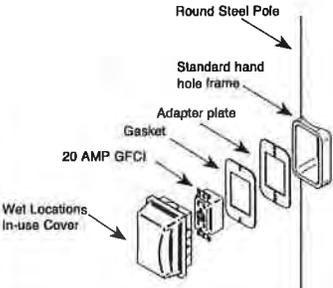
Beacon Products • 2041 58th Avenue Circle East Bradenton, FL 34203 • Phone: 800-345-4928
 Due to our continued efforts to improve our products, product specifications are subject to change without notice.



ORDERING INFORMATION Cont.

Catalog Number	Height		Nominal Shaft Dimensions	Wall Thickness	Bolt Circle (suggested)	Bolt Square	Base Plate Size	Anchor Bolt Size	Bolt Projection	Pole weight (lbs)
	Feet	Meters								
RSA-B-F-08-40-B	8	2.4	4" Fluted	.188	6.75"	4.77	9.62" Dia x 1.88" Thk	3/4 x 30 x 3	3-3/4"	28
RSA-B-F-10-40-B	10	3.0	4" Fluted	.188	6.75"	4.77	9.62" Dia x 1.88" Thk	3/4 x 30 x 3	3-3/4"	34
RSA-B-F-12-40-B	12	3.7	4" Fluted	.188	6.75"	4.77	9.62" Dia x 1.88" Thk	3/4 x 30 x 3	3-3/4"	39
RSA-B-F-14-40-B	14	4.3	4" Fluted	.188	6.75"	4.77	9.62" Dia x 1.88" Thk	3/4 x 30 x 3	3-3/4"	45
RSA-B-F-16-40-B	16	4.9	4" Fluted	.188	6.75"	4.77	9.62" Dia x 1.88" Thk	3/4 x 30 x 3	3-3/4"	51
RSA-B-F-18-40-B	18	5.5	4" Fluted	.188	6.75"	4.77	9.62" Dia x 1.88" Thk	3/4 x 30 x 3	3-3/4"	57
RSA-B-F-20-40-B	20	6.1	4" Fluted	.188	6.75"	4.77	9.62" Dia x 1.88" Thk	3/4 x 30 x 3	3-3/4"	63
RSA-B-F-22-40-B	22	6.7	4" Fluted	.188	6.75"	4.77	9.62" Dia x 1.88" Thk	3/4 x 30 x 3	3-3/4"	69
RSA-B-F-24-40-B	24	7.3	4" Fluted	.188	6.75"	4.77	9.62" Dia x 1.88" Thk	3/4 x 30 x 3	3-3/4"	74
RSA-B-F-08-50-B	8	2.4	5" Fluted	.188	7.75"	5.48"	10.62" Dia x 1.88" Thk	3/4 x 30 x 3	3-3/4"	34
RSA-B-F-10-50-B	10	3.0	5" Fluted	.188	7.75"	5.48"	10.62" Dia x 1.88" Thk	3/4 x 30 x 3	3-3/4"	41
RSA-B-F-12-50-B	12	3.7	5" Fluted	.188	7.75"	5.48"	10.62" Dia x 1.88" Thk	3/4 x 30 x 3	3-3/4"	48
RSA-B-F-14-50-B	14	4.3	5" Fluted	.188	7.75"	5.48"	10.62" Dia x 1.88" Thk	3/4 x 30 x 3	3-3/4"	55
RSA-B-F-16-50-B	16	4.9	5" Fluted	.188	7.75"	5.48"	10.62" Dia x 1.88" Thk	3/4 x 30 x 3	3-3/4"	62
RSA-B-F-18-50-B	18	5.5	5" Fluted	.188	7.75"	5.48"	10.62" Dia x 1.88" Thk	3/4 x 30 x 3	3-3/4"	69
RSA-B-F-20-50-B	20	6.1	5" Fluted	.188	7.75"	5.48"	10.62" Dia x 1.88" Thk	3/4 x 30 x 3	3-3/4"	76
RSA-B-F-22-50-B	22	6.7	5" Fluted	.188	7.75"	5.48"	10.62" Dia x 1.88" Thk	3/4 x 30 x 3	3-3/4"	83
RSA-B-F-24-50-B	24	7.3	5" Fluted	.188	7.75"	5.48"	10.62" Dia x 1.88" Thk	3/4 x 30 x 3	3-3/4"	90
RSA-B-F-12-60-C	12	3.7	6" Fluted	.25	8.75"	6.19"	11.62" Dia x 1.88" Thk	3/4 x 30 x 3	3-3/4"	72
RSA-B-F-14-60-C	14	4.3	6" Fluted	.25	8.75"	6.19"	11.62" Dia x 1.88" Thk	3/4 x 30 x 3	3-3/4"	83
RSA-B-F-16-60-C	16	4.9	6" Fluted	.25	8.75"	6.19"	11.62" Dia x 1.88" Thk	3/4 x 30 x 3	3-3/4"	94
RSA-B-F-18-60-C	18	5.5	6" Fluted	.25	8.75"	6.19"	11.62" Dia x 1.88" Thk	3/4 x 30 x 3	3-3/4"	105
RSA-B-F-20-60-C	20	6.1	6" Fluted	.25	8.75"	6.19"	11.62" Dia x 1.88" Thk	3/4 x 30 x 3	3-3/4"	116
RSA-B-F-22-60-C	22	6.7	6" Fluted	.25	8.75"	6.19"	11.62" Dia x 1.88" Thk	3/4 x 30 x 3	3-3/4"	127
RSA-B-F-24-60-C	24	7.3	6" Fluted	.25	8.75"	6.19"	11.62" Dia x 1.88" Thk	3/4 x 30 x 3	3-3/4"	138

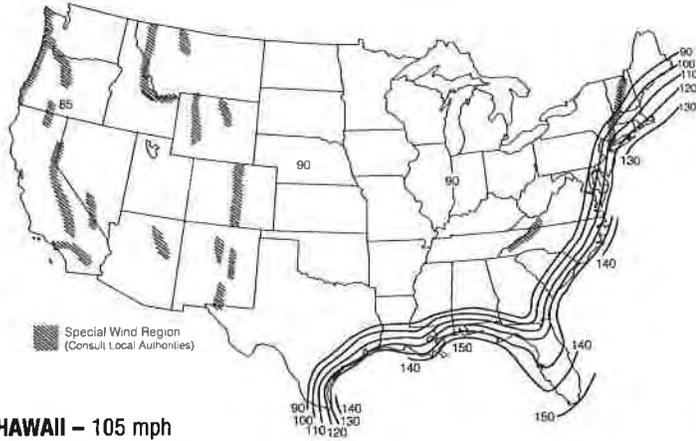
NOTE Factory supplied template must be used when setting anchor bolts. Hubbell Lighting will deny any claim for incorrect anchorage placement resulting from failure to use factory supplied template and anchor bolts.

<p>EHH - EXTRA HANDHOLE</p>  <p>Provision for Grounding</p>	<p>C05 - C07 - C20 - COUPLING</p>  <p>2" - 11.5 NPSM Threads 3/4" - 14 NPSM Threads 1/2" - 14 NPSM Threads</p>	<p>VM2 - VIBRATION DAMPER 2ND MODE</p>  <p>Factory installed, internal damper designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.</p>	<p>GFI - 20 AMP GFCI RECEPTACLE & COVER</p>  <p>Round Steel Pole Standard hand hole frame Adapter plate Gasket 20 AMP GFCI Wet Locations In-use Cover</p>
<p>OPTION ORIENTATION</p> <p>Follow the logic below when ordering location specific options. For each option, include its orientation (in degrees) and its height (in feet). Example: Option C07 should be ordered as: RSA-B-F-16-40-B-TN3-DBT (5" coupling on the handhole/arm side of pole, 15 feet up from the pole base) 1' spacing required between option. Consult factory for other configurations.</p>		<p>VM2SXX - VIBRATION DAMPER 2ND MODE</p> <p>Field installed, Internal damper designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.</p> <p>VM2S08 - 8' VM2S12 - 12' VM2S16 - 16' VM2S20 - 20' VM2S24 - 24'</p>	

For more information about pole vibration and vibration dampers, please consult http://cdn.spauldinglighting.com/content/products/literature/literature_files/Pole_Wind_Induced_Flyer_HL010022.pdf
 Due to our continued efforts to improve our products, product specifications are subject to change without notice.



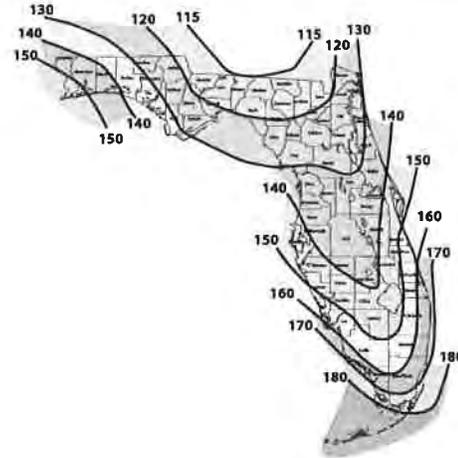
ASCE7-05 WIND MAP



HAWAII – 105 mph
PUERTO RICO – 145 mph

ASCE 7-05 wind map EPA Load Rating - 3 second gust wind speeds										
Catalog Number	85	90	100	105	110	120	130	140	145	150
RSA-B-F-08-40-B	18.0	16.0	12.8	11.5	10.4	8.6	7.1	5.9	5.4	5.0
RSA-B-F-10-40-B	13.6	12.0	9.5	8.5	7.6	6.1	4.9	4.0	3.6	3.2
RSA-B-F-12-40-B	10.5	9.2	7.1	6.3	5.6	4.3	3.4	2.6	2.3	2.0
RSA-B-F-14-40-B	8.2	7.1	5.4	4.6	4.0	3.0	2.2	1.5	1.2	1.0
RSA-B-F-16-40-B	6.4	5.5	3.9	3.3	2.8	1.9	1.1	0.6	NR	NR
RSA-B-F-18-40-B	4.9	4.0	2.7	2.2	1.7	0.9	NR	NR	NR	NR
RSA-B-F-20-40-B	3.6	2.8	1.7	1.2	0.8	NR	NR	NR	NR	NR
RSA-B-F-22-40-B	2.5	1.8	0.8	NR	NR	NR	NR	NR	NR	NR
RSA-B-F-24-40-B	1.5	0.9	NR	NR	NR	NR	NR	NR	NR	NR
RSA-B-F-08-50-B	25.0	25.0	21.2	19.2	17.3	14.3	12.0	10.1	9.3	8.6
RSA-B-F-10-50-B	22.7	20.2	16.1	14.4	13.0	10.6	8.7	7.2	6.5	6.0
RSA-B-F-12-50-B	17.9	15.8	12.4	11.1	9.9	7.9	6.3	5.1	4.5	4.0
RSA-B-F-14-50-B	14.4	12.6	9.7	8.5	7.5	5.8	4.5	3.4	3.0	2.5
RSA-B-F-16-50-B	11.6	10.0	7.5	6.5	5.6	4.2	3.0	2.1	1.7	1.3
RSA-B-F-18-50-B	9.2	7.9	5.7	4.8	4.0	2.7	1.7	0.9	0.5	NR
RSA-B-F-20-50-B	7.2	6.0	4.1	3.3	2.6	1.5	0.6	NR	NR	NR
RSA-B-F-22-50-B	5.5	4.4	2.7	2.0	1.4	NR	NR	NR	NR	NR
RSA-B-F-24-50-B	4.0	3.1	1.6	0.9	NR	NR	NR	NR	NR	NR
RSA-B-F-12-60-C	25.0	25.0	24.2	21.6	19.4	15.7	12.9	10.6	9.6	8.7
RSA-B-F-14-60-C	25.0	25.0	19.7	17.4	15.5	12.4	9.9	7.9	7.1	6.4
RSA-B-F-16-60-C	24.1	20.9	16.1	14.1	12.4	9.7	7.5	5.8	5.1	4.4
RSA-B-F-18-60-C	20.0	17.2	13.0	11.3	9.8	7.4	5.5	4.0	3.3	2.8
RSA-B-F-20-60-C	16.5	14.1	10.3	8.8	7.5	5.3	3.7	2.4	1.8	1.3
RSA-B-F-22-60-C	13.5	11.4	8.0	6.7	5.5	3.6	2.1	1.0	0.5	NR
RSA-B-F-24-60-C	11.0	9.1	6.1	4.9	3.8	2.1	0.8	NR	NR	NR

FLORIDA REGION WIND MAP



• Florida region wind map above is based upon 3-second gust winds and the 2014 Florida Building Code

Florida Building Code 2014 EPA Load Rating - 3 second gust wind speeds								
Catalog Number	115	120	130	140	150	160	170	180
RSA-B-F-08-40-B	13.5	12.3	10.4	8.8	7.5	6.4	5.5	4.8
RSA-B-F-10-40-B	10.1	9.1	7.6	6.3	5.3	4.4	3.7	3.1
RSA-B-F-12-40-B	7.6	6.9	5.6	4.5	3.7	2.9	2.4	1.9
RSA-B-F-14-40-B	5.8	5.1	4.0	3.1	2.4	1.8	1.3	0.9
RSA-B-F-16-40-B	4.3	3.7	2.7	2.0	1.3	0.8	NR	NR
RSA-B-F-18-40-B	3.0	2.5	1.7	1.0	NR	NR	NR	NR
RSA-B-F-20-40-B	1.9	1.5	0.7	NR	NR	NR	NR	NR
RSA-B-F-22-40-B	1.0	0.6	NR	NR	NR	NR	NR	NR
RSA-B-F-08-50-B	22.3	20.4	17.3	14.7	12.6	10.9	9.5	8.3
RSA-B-F-10-50-B	17.0	15.5	12.9	10.9	9.2	7.8	6.7	5.7
RSA-B-F-12-50-B	13.2	12.0	9.9	8.2	6.8	5.6	4.7	3.9
RSA-B-F-14-50-B	10.4	9.3	7.5	6.1	4.9	3.9	3.1	2.4
RSA-B-F-16-50-B	8.0	7.1	5.6	4.3	3.3	2.5	1.7	1.1
RSA-B-F-18-50-B	6.1	5.3	3.9	2.8	2.0	1.2	0.6	NR
RSA-B-F-20-50-B	4.4	3.7	2.5	1.6	0.8	NR	NR	NR
RSA-B-F-22-50-B	3.0	2.4	1.4	NR	NR	NR	NR	NR
RSA-B-F-24-50-B	1.8	1.3	NR	NR	NR	NR	NR	NR
RSA-B-F-12-60-C	25.0	24.7	20.7	17.5	14.9	12.7	10.9	9.4
RSA-B-F-14-60-C	22.1	20.1	16.6	13.9	11.7	9.8	8.2	6.9
RSA-B-F-16-60-C	18.0	16.2	13.3	10.9	9.0	7.4	6.0	4.9
RSA-B-F-18-60-C	14.5	12.9	10.4	8.3	6.7	5.3	4.1	3.1
RSA-B-F-20-60-C	11.6	10.3	8.0	6.2	4.8	3.5	2.5	1.6
RSA-B-F-22-60-C	9.2	8.0	6.1	4.4	3.1	2.0	1.1	NR
RSA-B-F-24-60-C	7.2	6.1	4.3	2.9	1.7	0.7	NR	NR



NOTES

Wind-speed Website disclaimer:

Hubbell Lighting has no connection to the linked website and makes no representations as to its accuracy. While the information presented on this third-party website provides a useful starting point for analyzing wind conditions, Hubbell Lighting has not verified any of the information on this third party website and assumes no responsibility or liability for its accuracy. The material presented in the windspeed website should not be used or relied upon for any specific application without competent examination and verification of its accuracy, suitability and applicability by engineers or other licensed professionals. Hubbell Lighting Inc. does not intend that the use of this information replace the sound judgment of such competent professionals, having experience and knowledge in the field of practice, nor to substitute for the standard of care required of such professionals in interpreting and applying the results of the windspeed report provided by this website. Users of the information from this third party website assume all liability arising from such use. Use of the output of these referenced websites do not imply approval by the governing building code bodies responsible for building code approval and interpretation for the building site described by latitude/longitude location in the windspeed report. <http://windspeed.atcouncil.org>

- Allowable EPA, to determine max pole loading weight, multiply allowable EPA by 30 lbs.
- The tables for allowable pole EPA are based on the ASCE 7-05 Wind Map or the Florida Region Wind Map for the 2010 Florida Building Code. The Wind Maps are intended only as a general guide and cannot be used in conjunction with other maps. Always consult local authorities to determine maximum wind velocities, gusting and unique wind conditions for each specific application
- Allowable pole EPA for jobsite wind conditions must be equal to or greater than the total EPA for fixtures, arms, and accessories to be assembled to the pole. Responsibility lies with the specifier for correct pole selection. Installation of poles without luminaires or attachment of any unauthorized accessories to poles is discouraged and shall void the manufacturer's warranty
- Wind speeds and listed EPAs are for ground mounted installations. Poles mounted on structures (such as bridges and buildings) must consider vibration and coefficient of height factors beyond this general guide; Consult local and federal standards
- Wind Induced Vibration brought on by steady, unidirectional winds and other unpredictable aerodynamic forces are not included in wind velocity ratings. Consult Hubbell Lighting's Pole Vibration Application Guide for environmental risk factors and design considerations. http://cdn.spauldinglighting.com/content/products/literature/literature_files/Pole_Wind_Induced_Flyer_HL010022.pdf
- Extreme Wind Events like, Hurricanes, Typhoons, Cyclones, or Tornadoes may expose poles to flying debris, wind shear or other detrimental effects not included in wind velocity ratings

Due to our continued efforts to improve our products, product specifications are subject to change without notice.

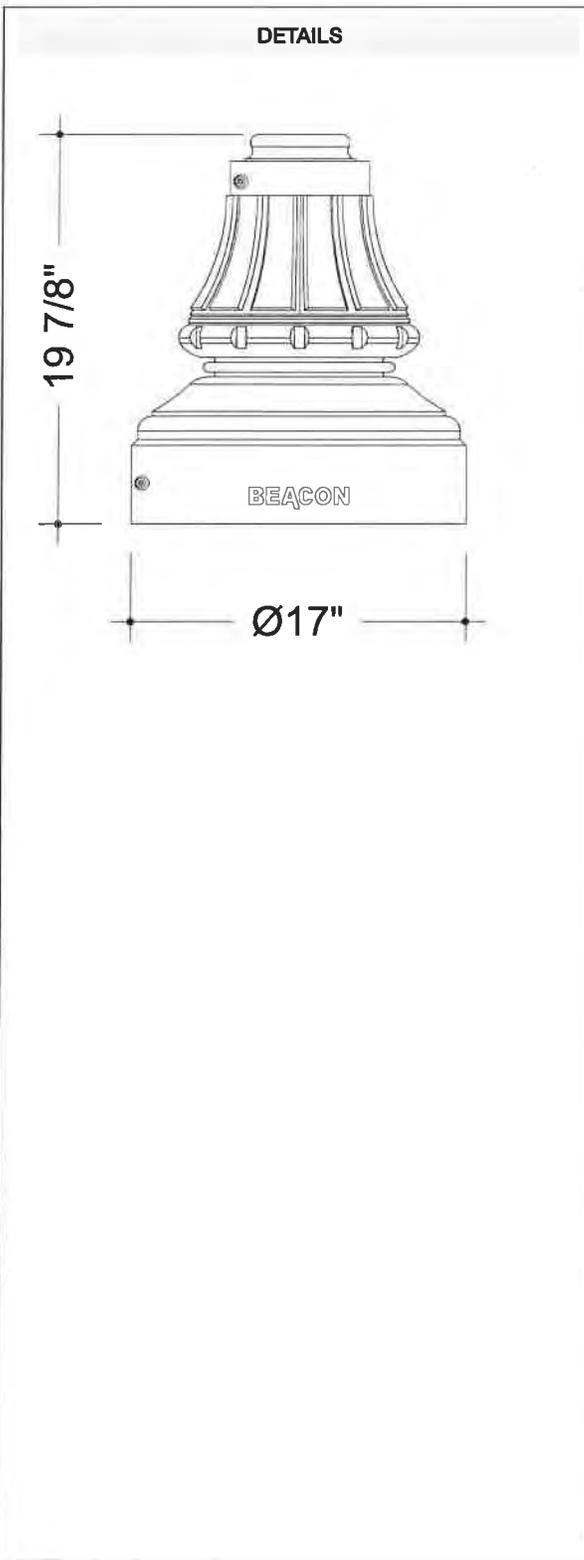




Type: _____
 Project Name: **Kuna Decorative Street Lighting**
 Notes: _____

rev. 02.20.2014
CENTENNIAL AB
 Poles & Bases

Sample **CEAB** **5** **BBT**
 Ordering **CEAB** / **5** / **BBT**
 A **B** **C**



A. MODEL

CEAB Centennial AB ✓

B. POST SHAFT DIAMETER

3 3"
4 4"
5 5" ✓

C. COLOR

BBT basic black textured ✓
BMT black matte textured
WHT white textured
MBT metallic bronze textured
BZT bronze textured
DBT dark
GYS gray smooth
DPS dark platinum smooth
GNT green textured
MST metallic silver textured
MTT metallic titanium textured
OWI old world iron
RAL _____

Construction: All cast aluminum parts shall be low copper alloy A356. All extruded aluminum parts shall be alloy 6061-T6, 6063-T5 or equal. Standard fluted shaft profile shall be 16-flat flutes for 3"OD and 12-flat flutes for 4", 5", & 6"OD.

Base Covers: require specification of smooth or fluted shafts of the size required to meet wind load requirements

Vibration Dampeners: Vibration dampener pads shall be provided when required by customer or deemed necessary by Beacon Products. Please consult factory for bridge mounted applications.

EPA (effective projected area): EPA is defined as (projected surface area X drag factor) and measured in ft². Allowable post, luminaire arm, luminaire and accessory EPAs are derived from the most current published AASHTO (American Association of State Highway and Transportation Officials) standard, currently AASHTO 2001 (50yr design life). Customer assumes all responsibility for selecting the appropriate post for installation (consult factory for assistance). Luminaire arm, luminaire and accessory EPA must be equal to or less than allowable EPA of post. Consult a professional engineer for compliance with local codes and standards.

Anchor Bolt: Anchor bolts, sized as required, double hex nuts and flat washers shall be hot dipped galvanized steel. A bolt circle template shall be provided for installation.

Fasteners: All fasteners shall be Corrosion Resistant. When tamper resistant fasteners are required, spanner HD (snake eye) style shall be provided (special tool required, available at additional cost).

Finish: Finish shall be a Beacote V polyester powder-coat electrostatically applied and thermocured. Beacote V finish shall consist of a five stage iron phosphate chemical pretreatment regimen with a polymer primer sealer, oven dry off, and top coated with a thermoset super TGIC polyester powder coat finish. The finish shall meet the AAMA 605.2 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance and resists cracking or loss of adhesion per ASTM D522 and resists surface impacts of up to 160 inch-pound.

Limited Warranty: Beacon Products warrants its products, to the original purchaser, against defects in materials and workmanship for proper usage for a period of 5 years after date of production, when properly installed, maintained and appropriately specified. See Warranty Information on www.beaconproducts.com for complete details and exclusions.

Due to our continued efforts to improve our products, product specifications are subject to change without notice.



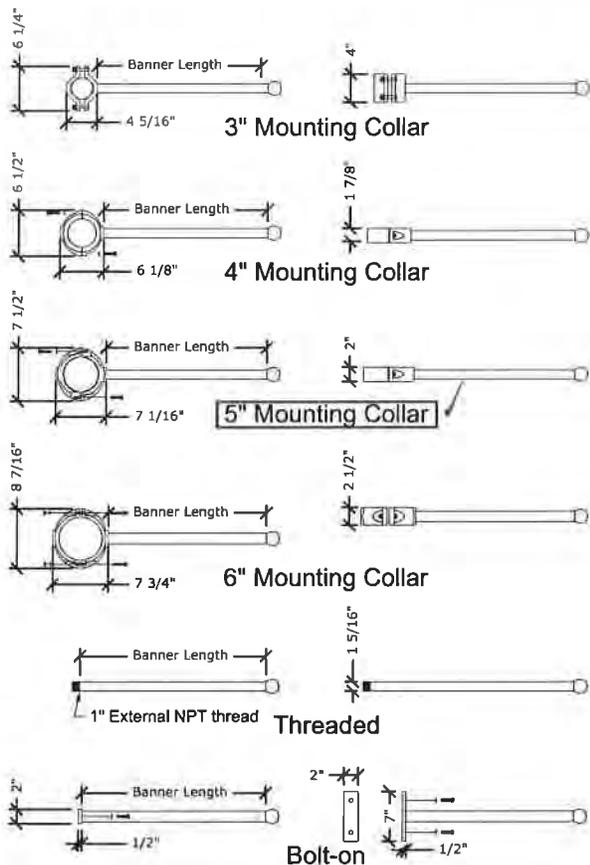
Banner Arms

Project Information

Name / Location: Kuna Street Lighting /
 Type / Quantity: /
 Sold to: _____
 PO#: _____

Approvals

Banner Arm Mounting Styles



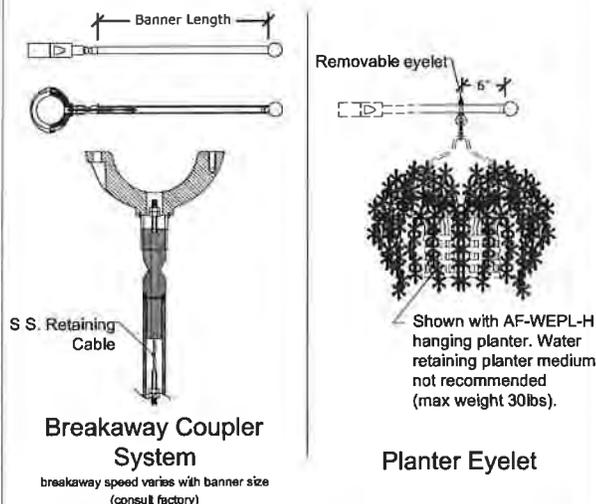
Specifications

Construction:
 All cast aluminum parts shall low copper alloy A356. All extruded aluminum parts shall be alloy 6061-T6, 6063-T5 or equal.

Fasteners:
 All fasteners shall be stainless steel. When tamper resistant fasteners are required, spanner HD (snake eye) style shall be provided (special tool required, available at additional cost), consult factory for availability.

Finish:
 Finish shall be Beacote III polyester powdercoat electrostatically applied and thermocured. Poles shall be subjected to chemical pre-treatment prior to painting by immersion process.

Options



Ordering Example:

AA-0024 / 4"MTC / BA / BKT

AA-00 26" / 5"MTC / BA / BB

Length	Mounting	Options	Finish
<input type="checkbox"/> 18 18"	<input type="checkbox"/> 3"MTC mounting collar for 3" shaft	<input type="checkbox"/> BA breakaway coupler system	<input type="checkbox"/> BB black
<input type="checkbox"/> 20 20"	<input type="checkbox"/> 4"MTC mounting collar for 4" shaft	<input type="checkbox"/> PA removable planter eyelet*	<input type="checkbox"/> BZ bronze
<input type="checkbox"/> 22 22"	<input type="checkbox"/> 5"MTC mounting collar for 5" shaft	<input type="checkbox"/> 2X two banner arms at 180°	<input type="checkbox"/> BG green
<input type="checkbox"/> 24 24"	<input type="checkbox"/> 6"MTC mounting collar for 6" shaft		<input type="checkbox"/> BW white
<input type="checkbox"/> 30 30"	<input type="checkbox"/> BO bolted connection		<input type="checkbox"/> BY gray
	<input type="checkbox"/> TO threaded connection		<input type="checkbox"/> RAL RAL-
			<input type="checkbox"/> OTHER

Consult factory for premium and verte finishes. Custom colors available.

Notes:

* Consult factory

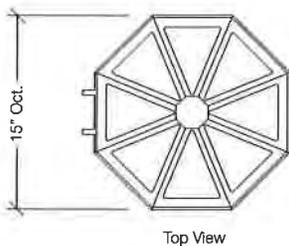
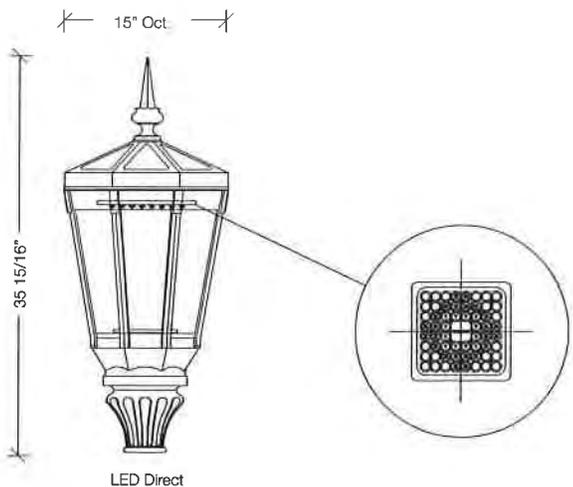


Type: _____
 Project Name: **Kuna Decorative Street Lighting**
 Notes: _____

rev. 11.30.2016
WIN40 (LED)
 40" Windsor Luminaire
Max Weight: 50.0 lbs
Max EPA: 2.65 sq ft

Sample	WIN40 ✓	AC	24NB-55	5K	UNV	DIR5	PEC	PT	GENXX	SPK	BBT
Ordering	WIN40 /	PF /	36NB-80	5K /	UNV /	DIR5 /	/	PT /	/	SPK /	BBT
	A	B	C	D	E	F	G	H	I	J	K

DETAILS



MOUNTING OPTIONS

STYLE OPTIONS



Post Top

Pendant Mount

Spikes

A. MODEL

WIN40 Windsor 40"

G. ELECTRICAL OPTIONS

PEC photocell, button

B. LENS OPTIONS

- AC** acrylic, clear
- AF** acrylic, frosted
- AS** acrylic, seeded
- AW** acrylic, white
- PC** polycarbonate, clear
- PF** polycarbonate, frosted ✓

H. CONTROL OPTIONS

- GENI-XX** energeni ¹
- SWP** sitesync wireless pre-commission^{2,4}

C. ENGINE - WATTS

- 24NB-55** 55 Watts - LED array
- 36NB-80** 80 Watts - LED array ✓
- 48NB-110** 110 Watts - LED array
- 60NB-136** 136 Watts - LED array

H. MOUNTING OPTIONS

- PT** post top ✓
- PM** pendant mount ²

J. STYLE OPTIONS

- SPK** spikes ✓

D. CCT - COLOR TEMP

- 3K** 3000K
- 4K** 4000K
- 5K** 5000K (std.) ✓

K. COLOR

- BBT** basic black textured ✓
- BMT** black matte textured
- WHT** white textured
- MBT** metallic bronze textured
- BZT** bronze textured
- DBT** dark bronze textured
- GYS** gray smooth
- DPS** dark platinum smooth
- GNT** green textured
- MST** metallic silver textured
- MTT** metallic titanium textured
- OWI** old world iron
- RAL** _____

E. VOLTAGE

- UNV** 120-277V ✓
- 347** 347V
- 480** 480V

F. OPTICS

- DIR2** type II
- DIR3** type III
- DIR4** type IV
- DIR5** type V ✓

¹ When ordering Energeni, specify the routine setting code (example GENI-04). See Energeni brochure and instructions for setting table and options. Not available with sensor options.

² consult factory

³ Must specify group and zone information at time of order. See www.hubbelling.com/controls/sitesync for further details

⁴ Not available with other control or sensor options.



rev. 11.30.2016

WIN40 (LED)

40" Windsor Luminaire

Max Weight: 50.0 lbs**Max EPA:** 2.65 sq ft**SPECIFICATIONS****Intended Use:**

- The Beacon Windsor luminaire is available with a choice of different LED Wattage configurations and optical distributions designed to replace HID lighting up to 250W MH or HPS.

Construction:

- The electrical chamber/fitter shall be cast aluminum.
- Decorative fitter shall be designed to accommodate the driver assembly and shall be mounted to 3" OD x 3" H tenon and be secured by three or more stainless steel set screws.

Electrical:

- 100V through 277V, 50 Hz to 60 Hz (UNV)
- Power factor is ≥ 0.90 at full load
- All electrical components are rated at 50,000 hours at full load and 25°C ambient conditions per MIL- 217F Notice 2.
- One piece optical cartridge system consisting of an LED engine, LED lamps, optics, gasket and stainless steel bezel.
- Cartridge is held together with internal brass standoffs soldered to the board so that it can be field replaced as a one piece optical system.
- Silicone gasket ensures a weather-proof seal around each individual LED.
- Fixture electrical compartment shall contain all LED driver components.
- Rated ambient operating temperature -40°C to 40°C.
- Surge protection - 20KA
- Lifeshield™ Circuit - protects luminaire from excessive temperature. The device shall activate at a specific, factory-preset temperature, and progressively reduce power over a finite temperature range. Operation shall be smooth and undetectable to the eye. Thermal circuit is designed to "fail on", allowing the luminaire to revert to full power in the event of an interruption of its power supply, or faulty wiring connection to the drivers. The device shall be able to co-exist with other 0-10V control devices (occupancy sensors, external dimmers, etc.).

Controls/Options:

- Available with Energeni for optional set dimming, timed dimming with simple delay, or timed dimming based on time of night (see www.beaconproducts.com/products/energeni).
- London can be specified with SiteSync™ wireless control system for reduction in energy and maintenance cost while optimizing light quality 24/7. See ordering information or visit www.hubbellighting.com/sitesync

Finish:

- IFS polyester powder-coat electrostatically applied and thermocured.
- IFS finish consists of a five stage pretreatment regimen with a polymer primer sealer and top coated with a thermoset super TGIC polyester powder coat finish.
- The finish meets the AAMA 605.2 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance and resists cracking or loss of adhesion per ASTM D522 and resists surface impacts of up to 160 inch-pounds.

Listings:

- Listed to UL8750 , UL1598 and CSA22.2#250.13-14 for wet locations

Warranty:

- Five year limited warranty (for more information visit: www.hubbellighting.com/resources/warranty)

Accessories and Services (Ordered Separately)

Catalog Number	Description
SWUSB*	SiteSync loaded on USB flash drive (Windows based only)
SWTAB*	SiteSync Windows Tablet
SWBRG*	SiteSync Wireless Bridge Node

*When ordering with SiteSync, one of the following interface options must be chosen and ordered separately. Each option contains the SiteSync License, GUI and Bridge Node.

+ If needed, an additional Bridge Node can be ordered.

PRECOMMISSIONED SITESYNC ORDERING INFORMATION: When ordering a fixture with the SiteSync lighting control option, additional information will be required to complete the order. The SiteSync Commissioning Form or alternate schedule information must be completed. This form includes Project location, Group Information, and Operating schedules. For more detailed information please visit www.hubbellighting.com/sitesync/ or contact Hubbell Lighting tech support at (800) 345-4928.

SiteSync fixtures with occupancy sensor (SWPM) require the mounting height of the fixture for selection of the lens.

Due to our continued efforts to improve our products, product specifications are subject to change without notice.



GREENBELT/ PATHWAY LIGHTING

Brand

Sun Valley

Color

Green

Pole

14', Smooth, Round

Base

700

Banner Arms

Field Rotatable, 18"

Luminaire fixture

LAA Series - LED

Specs attached



Bollard Lights

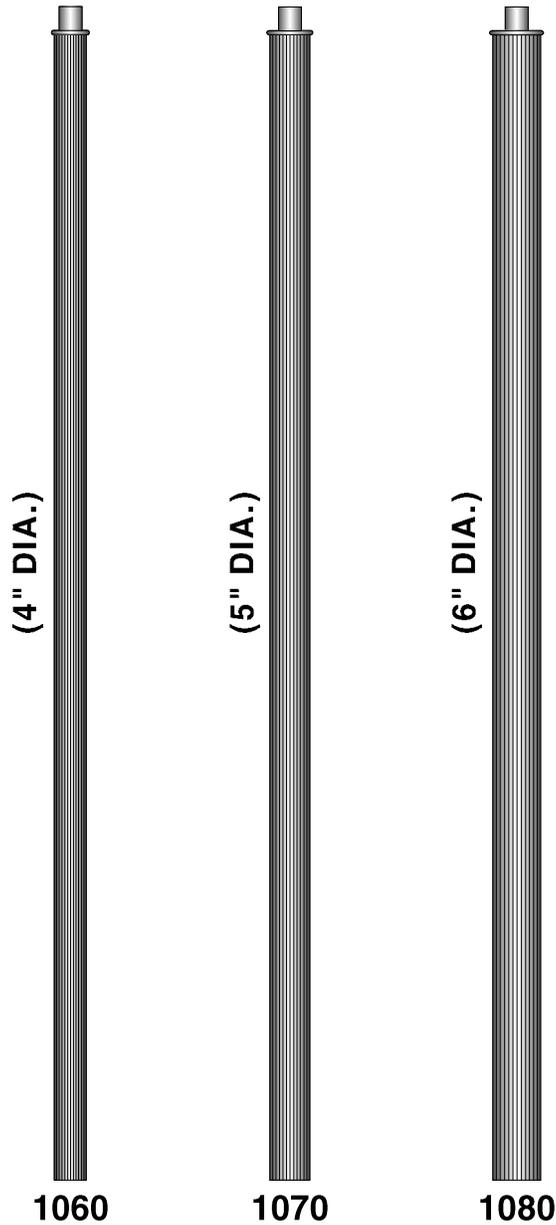
Black, 8" Round, 40" H

Specs attached

FLUTED

FLUTED

ROUND EXTRUDED FROM 6063 ALLOY ALUMINUM. HEAT TREATED TO PRODUCE A T6 TEMPER. SHAFTS HAVE EVENLY SPACED HIGHLY DETAILED RAISED VERTICAL FLUTES.



(FLUTED ALUMINUM SHAFTS)
SHAFT WALL THICKNESS .188

POLES PROVIDED WITH TENON TOP
POST TOP (PT): 2 7/8" O.D. X 3"
MULTIPLE LUMINAIRES: 2 7/8" O.D. X 6"



sun valley

LIGHTING

660 WEST AVENUE O, PALMDALE, CA 93551
(661) 233-2000
FAX (661) 233-2001
www.sunvalleylighting.com



BASE

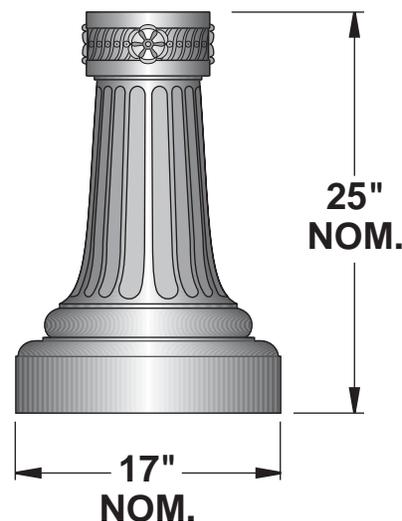
ONE PIECE CORROSION RESISTANT, DURABLE CAST ALUMINUM CONSTRUCTION. MINIMUM .210 WALL THICKNESS. BASE CONSISTS OF A SMOOTH, TAPERED BOTTOM SECTION, AND A HIGHLY DETAILED, DECORATIVE FLUTED SECTION, A DECORATIVE CAST ALUMINUM COLLAR AND A FLUTED HAND HOLE COVER CONTOURED TO BASE DESIGN. HAND HOLE COVER SUPPLIED WITH TAMPER RESISTANT HARDWARE. GROUNDING LUG PROVIDED INSIDE BASE OPPOSITE HAND HOLE.

ANCHORAGE

A 3/4" CAST ALUMINUM ANCHOR RING IS WELDED 1" ABOVE BOTTOM OF BASE TO ACCEPT (4) FULLY GALVANIZED ANCHOR BOLTS. EACH BOLT SUPPLIED WITH TWO NUTS AND TWO WASHERS. ANCHORAGE IS FASTENED THROUGH HAND HOLE.

FINISH

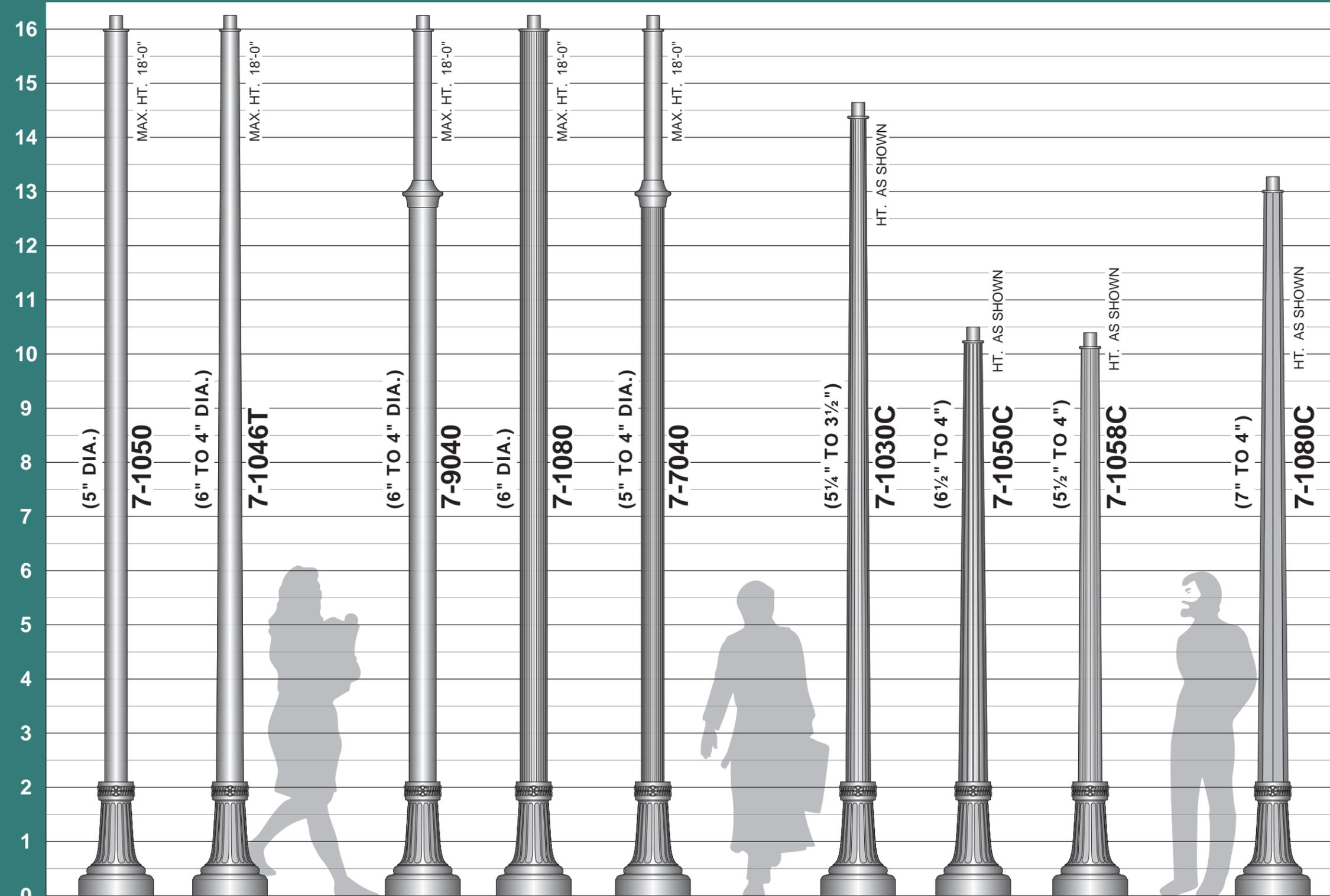
ELECTROSTATICALLY APPLIED BAKED ON TEXTURED ACRYLIC ENAMEL. (SEE PAGE 5 FOR OPTIONAL FINISH AND COLOR SELECTION)





POLE ACCESSORIES

(SPECIFY AS SUFFIX TO CAT. NO.)



SHAFT IS CIRCUMFERENTIALLY WELDED TO BASE FOR ONE PIECE CONSTRUCTION
 SEE SHAFT SECTION FOR SPECIFICATIONS AND ADDITIONAL STYLES

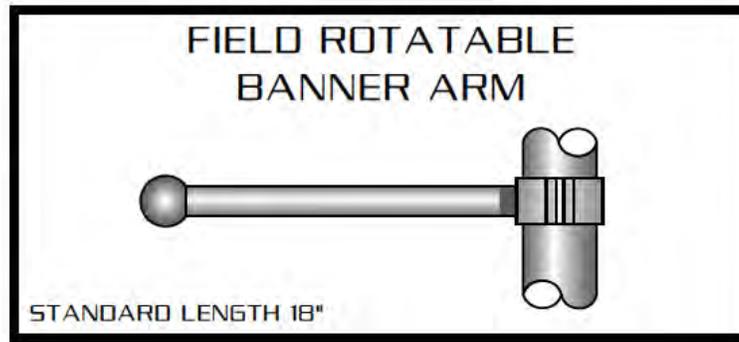
- ### TENONS
- STANDARD:** 2 7/8" O.D. **PT23**
 - OPTIONS:** 2 3/8" O.D. **PT31**
 3 1/2" O.D.
 - DUPLEX OR G.F.I. RECEPTACLE WITH COVER** **DUP GFI**
 - FIELD ROTATABLE OR FIXED BANNER ARM** **RBA**
FBA
 - BANNER EYE BOLT** **BEB**
 - BREAK AWAY BANNER ARM** **BBA**
 - FIELD ROTATABLE OR FIXED BASKET HOLDER** **RBH**
FBH
 - FIELD ROTATABLE STREET SIGN** **RSS**
 - FIELD ROTATABLE LADDER REST** **RLR**
 20"
 - FIELD ROTATABLE OR FIXED FLAG HOLDER** **RFH**
FFH



sun valley
 LIGHTING

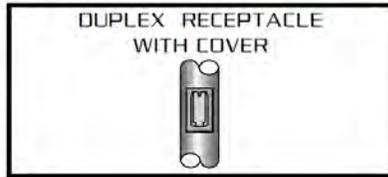
660 WEST AVENUE O, PALMDALE, CA 93551
 (661) 233-2000
 FAX (661) 233-2001
 www.sunvalleylighting.com

RBA



ACCESSORIES

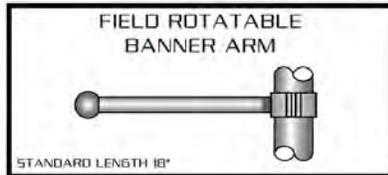
DUP



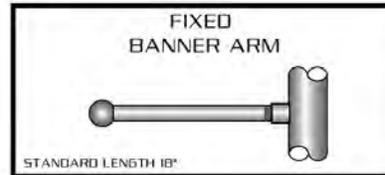
GFI



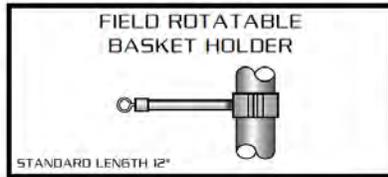
RBA



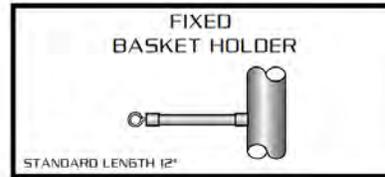
FBA



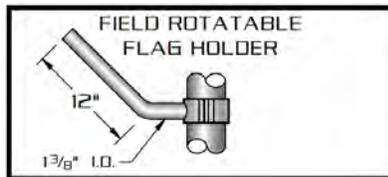
RBH



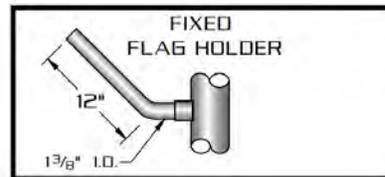
FBH



RFH



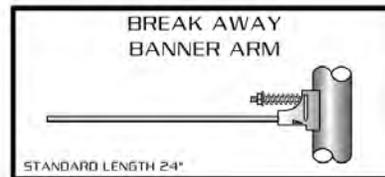
FFH



BEB



BBA



RBC



HNB



PROJECT NAME: _____

PROJECT TYPE: _____

SOLID STATE AREA LIGHTING

LAA SERIES-LED

SPECIFICATIONS

LUMINAIRE

One piece high impact polycarbonate patterned diffusing globe provided with durable corrosion resistant cast aluminum fitter. Standard fitter has 3" I.D. opening for tenon. All hardware is Stainless Steel.

LED POWER ARRAY™

Three-dimensional array of individual LED Tubes fastened to a retaining plate. Each LED Tube consists of circuit board populated with a multiple of LED's and is mechanically fastened to a radial aluminum heat sink. An acrylic Lens and end cap protects the LED Tube's internal components.

ANGLED POWER ARRAY™: Micro-Reflectors mounted around each LED control the raw light output. LED Tubes are uniquely aimed horizontally and vertically and combined to produce highly efficient IES Distribution Types II, III, IV and V. Used in conjunction with a clear patterned diffusing globe.

VERTICAL POWER ARRAY™ WITH GLASS REFRACTOR: LED Tubes are aligned vertically and arranged radially to produce an even raw light distribution that simulates standard light sources. Array is secured within a 6" Prismatic Glass Refractor which provides the optical control. Used in conjunction with a clear patterned diffusing globe.

VERTICAL POWER ARRAY™: LED Tubes are aligned vertically and arranged radially to produce an even raw light distribution that simulates standard light sources. Produces a minimal glare, symmetric diffuse light distribution. Used in conjunction with an opal patterned diffusing globe.

LED EMITTERS

High Output LED's are driven at 350mA for nominal 1 Watt output each. LED's are available in standard Neutral White (4000K), or optional Cool White (5000K) or Warm White (3000K). Consult Factory for other LED options.

LED DRIVER

UL and CUL recognized High Power Factor, Constant Current LED drivers operate on input voltages from 120-277VAC, 50/60hz. Consult Factory for 347-480VAC. Driver is mechanically fastened to a retaining bracket. Main power quick disconnect provided. Driver has a minimum 4KV of internal surge protection, 10KV & 20KV Surge Protector optional. Dimming and High-Low Driver options available.

FINISH

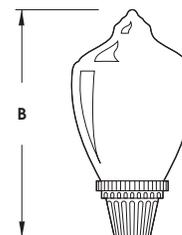
Polyester powder coat incorporates four step iron phosphate process to pretreat metal surface for maximum adhesion. Top coat is baked at 400°F for maximum hardness and exterior durability.



LAA

* SHOWN WITH STANDARD -YA FITTER

PATENT PENDING



FIXTURE	A	B
LAA1*	15.5" 394mm	28.5" 724mm
LAA2*	13.5" 343mm	26" 660mm



2013140

LAA SERIES - LED

S P E C I F I C A T I O N S

OPTIONAL FITTERS



-YB



LAA1-YN*



-YC



LAA1-YO*



-YD**



LAA1-YP*



-YE**

* AVAILABLE WITH LAA1 ONLY

** AVAILABLE WITH MINI BUTTON PHOTOCELLS
SEE OPTIONS

LED POWER ARRAY™ MODULES



LAA1-LED E.P.A.=1.35

ANGLED ARRAY
Available in:
8 Array 48 LED Max.

**GLASS REFRACTOR w/
VERTICAL ARRAY**
Available in:
6 Array 36 LED Max.

VERTICAL ARRAY
Available in:
6 Array 48 LED Max.
8 Array 64 LED Max.

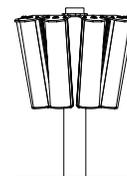


LAA2-LED E.P.A.=1.13

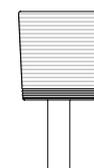
ANGLED ARRAY
Available in:
8 Array 48 LED Max.

**GLASS REFRACTOR w/
VERTICAL ARRAY**
Available in:
6 Array 36 LED Max.

VERTICAL ARRAY
Available in:
6 Array 48 LED Max.
8 Array 64 LED Max.



APA - Angled Array



**GRV - Glass Refractor
w/ Vertical Array**



VPA - Vertical Array

(Specifications subject to
change without prior notice.)

BRASS
FINIAL

ORNAMENTAL
FINIAL

PATENT PENDING

O R D E R I N G I N F O R M A T I O N

LUMINAIRE-FITTER	OPTICS	# of LED's	COLOR	VOLTAGE	MOUNTING	FINISH	OPTIONS	
LUMINAIRE	OPTICS	LED		MOUNTING			FINISH	OPTIONS
LUMINAIRE-FITTER	ANGLED POWER ARRAY (CLEAR PATTERNED GLOBE)	# of LEDs	COLOR	ARM MOUNT			STANDARD TEXTURED FINISH	LENS OPTIONS:
<input type="checkbox"/> LAA1-LED-YA	<input type="checkbox"/> APA - II	LAA1	<input type="checkbox"/> NW (4000K)* *STANDARD	<input type="checkbox"/> 1	<input type="checkbox"/> BLACK RAL-9005-T	<input type="checkbox"/> CLEAR PATTERNED POLYCARBONATE ... CP (STANDARD GLOBE)	<input type="checkbox"/> BRASS FINIAL ... BF <input type="checkbox"/> ORNAMENTAL FINIAL ... OF <input type="checkbox"/> HOUSE SIDE SHIELD ... HS <input type="checkbox"/> DIMMABLE DRIVER(S) (0-10V) ... DIM <input type="checkbox"/> HIGH-LOW DIMMING FOR HARDWIRED SWITCHING OR NON-INTEGRATED MOTION SENSOR ... HLSW <input type="checkbox"/> PHOTO CELL + VOLTAGE (EXAMPLE: PC120V) ... PC+V <input type="checkbox"/> 10KV SURGE PROTECTOR ... 10SP <input type="checkbox"/> 20KV SURGE PROTECTOR (277V & 480V Only) ... 20SP	
<input type="checkbox"/> LAA1-LED-YB	<input type="checkbox"/> APA - III	<input type="checkbox"/> 48LED (53 Watts)	<input type="checkbox"/> CW (5000K)	<input type="checkbox"/> 2-180	<input type="checkbox"/> WHITE RAL-9003-T	<input type="checkbox"/> OPAL PATTERNED POLYCARBONATE ... WP		
<input type="checkbox"/> LAA1-LED-YC	<input type="checkbox"/> APA - IV	<input type="checkbox"/> 32LED (36 Watts)	<input type="checkbox"/> WW (3000K)	<input type="checkbox"/> 2-90	<input type="checkbox"/> GREY RAL-7004-T	<input type="checkbox"/> CLEAR PATTERNED ACRYLIC (LAA1) ... CA		
<input type="checkbox"/> LAA1-LED-YD	<input type="checkbox"/> APA - V	Wattages are Max Input Watts		<input type="checkbox"/> 3-90	<input type="checkbox"/> DARK BRONZE RAL-8019-T			
<input type="checkbox"/> LAA1-LED-YE		LAA2	OTHER LED COLORS AVAILABLE CONSULT FACTORY	<input type="checkbox"/> 3-120	<input type="checkbox"/> GREEN RAL-6005-T			
<input type="checkbox"/> LAA1-LED-YN	GLASS REFRACTOR (CLEAR PATTERNED GLOBE)	<input type="checkbox"/> 48LED (53 Watts)	VOLTAGE	<input type="checkbox"/> 4-90				
<input type="checkbox"/> LAA1-LED-YO	<input type="checkbox"/> GRV - III	<input type="checkbox"/> 36LED (40 Watts)	<input type="checkbox"/> 120	WALL MOUNT				
<input type="checkbox"/> LAA1-LED-YP	<input type="checkbox"/> GRV - V	<input type="checkbox"/> 32LED (36 Watts)	<input type="checkbox"/> 208	<input type="checkbox"/> WM	FOR SMOOTH FINISH REMOVE SUFFIX "T" (EXAMPLE: RAL-9500)			
<input type="checkbox"/> LAA2-LED-YA	VERTICAL POWER ARRAY (OPAL GLOBE)	<input type="checkbox"/> 48LED (53 Watts)	<input type="checkbox"/> 240	POST TOP				
<input type="checkbox"/> LAA2-LED-YB	<input type="checkbox"/> VPA - SYM	<input type="checkbox"/> 36LED (40 Watts)	<input type="checkbox"/> 277	<input type="checkbox"/> PT	SEE USALTG.COM FOR ADDITIONAL COLORS			
<input type="checkbox"/> LAA2-LED-YC		<input type="checkbox"/> 36LED (40 Watts)	<input type="checkbox"/> 347					
<input type="checkbox"/> LAA2-LED-YD		<input type="checkbox"/> 48LED (53 Watts)	<input type="checkbox"/> 480					
<input type="checkbox"/> LAA2-LED-YE		<input type="checkbox"/> 36LED (40 Watts)						



KBR8 LED

LED Specification Bollard



Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The KBR8 Bollard is a stylish, fully integrated LED solution for walkways. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

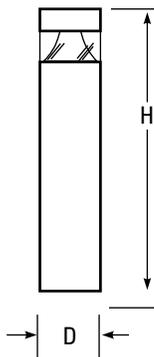
With an expected service life of over 20 years of nighttime use and up to 70% in energy savings over comparable 100W metal halide luminaires, the KBR8 Bollard is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Specifications

8" Round
(20.3 cm)

Height: 40"
(101.6 cm)

Weight (max): 27 lbs
(12.25 kg)



Ordering Information

EXAMPLE: KBR8 LED 16C 700 40K SYM MVOLT DDBXD

KBR8 LED												
Series	LEDs	Drive current		Color temperature		Distribution		Voltage	Control options	Other options	Finish <i>(required)</i>	
KBR8 LED	Asymmetric 12C 12 LEDs ¹	350	350 mA	30K	3000 K	ASY	Asymmetric ¹	MVOLT ⁵	Shipped installed PE Photoelectric cell, button type DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) ELCW Emergency battery backup, CA Title 20 Noncompliant ⁶	Shipped installed SF Single fuse (120, 277, 347V) ^{4,7} DF Double fuse (208, 240V) ^{4,7} H24 24" overall height H30 30" overall height H36 36" overall height FG Ground-fault festoon outlet L/AB Without anchor bolts (3 bolt base) L/AB4 4 bolt retrofit base without anchor bolts ⁸	DWHXD	White
		450	450 mA ^{3,4}	40K	4000 K	SYM	Symmetric ²	120 ⁵			DNAXD	Natural aluminum
		530	530 mA	50K	5000 K			208 ⁵			DDBXD	Dark bronze
	Symmetric 16C 16 LEDs ²	700	700 mA	AMBPC	Amber phosphor converted			240 ⁵			DBLXD	Black
				AMBLW	Amber limited wavelength ^{3,4}			277 ⁵			DDBTXD	Textured dark bronze
								347 ⁴			DBLBXD	Textured black
								L/AB4	DNATXD	Textured natural aluminum	DWHGXD	Textured white

Accessories

Ordered and shipped separately.

MRAB U Anchor bolts for KBR8 LED⁸

NOTES

- 1 Only available in the 12C, ASY version.
- 2 Only available in the 16C, SYM version.
- 3 Only available with 450 AMBLW version.
- 4 Not available with ELCW.
- 5 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options), or photocontrol (PE option).
- 6 Not available with 347V. Not available with fusing. Not available with 450 AMBLW.
- 7 Single fuse (SF) requires 120, 277, or 347 voltage option. Double fuse (DF) requires 208 or 240 voltage option.
- 8 MRAB U not available with L/AB4 option.



Performance Data

Actual values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Lumen performance may differ as a result of end-user environment and application. Actual wattage may differ by +/- 8% when operating between 120-480V +/- 10%.

Light Engines	Drive Current	System Watts	3000 K					4000 K					5000 K					Limited Wavelength Amber					
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	
Asymmetric 3 Engines (12 LEDs)	350	16	641	40	1	1	1	809	51	1	1	1	870	54	1	1	1						
	530	22	947	43	1	1	1	1,191	54	1	1	1	1,282	58	1	1	1						
	700	31	1,214	40	1	1	1	1,527	51	1	1	1	1,646	55	1	1	1						
	Amber 450	16																324	20	0	1	0	
Symmetric 4 Engines (16 LEDs)	350	20	888	44	1	0	0	1,116	56	1	0	0	1,203	60	1	0	0						
	530	28	1,254	45	1	0	0	1,598	57	1	0	1	1,719	61	1	0	1						
	700	39	1,608	41	1	0	1	2,022	52	1	0	1	2,180	56	2	0	1						
	Amber 450	20																374	19	0	0	0	

Note: Available with phosphor-converted amber LED's (nomenclature AMBPC). These LED's produce light with 97+% >530 nm. Output can be calculated by applying a 0.7 factor to 4000 K lumen values and photometric files.

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.00	0.98	0.97	0.95

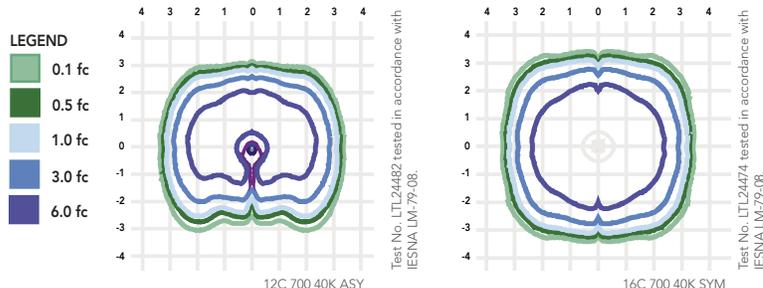
Electrical Load

Light Engines	Drive Current (mA)	System Watts	Current (A)				
			120	208	240	277	347
12C	350	16W	0.158	0.118	0.114	0.109	0.105
	530	22W	0.217	0.146	0.136	0.128	0.118
	700	31W	0.296	0.185	0.168	0.153	0.139
	Amber 450	16W	0.161	0.120	0.115	0.110	0.106
16C	350	20W	0.197	0.137	0.128	0.121	0.114
	530	28W	0.282	0.178	0.162	0.148	0.135
	700	39W	0.385	0.231	0.207	0.185	0.163
	Amber 450	20W	0.199	0.139	0.130	0.123	0.116

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [KBR8 Bollard homepage](#).

Isofootcandle plots for the KB LED Bollards. Distances are in units of mounting height (3').



FEATURES & SPECIFICATIONS

INTENDED USE

The rugged construction and clean lines of the KBA bollard is ideal for illuminating building entryways, walking paths, and pedestrian plazas, as well as any other location requiring a low mounting height light source with fully cutoff illumination.

CONSTRUCTION

One-piece 8-inch round extruded aluminum shaft with thick side walls for extreme durability, a high-impact clear acrylic lens and welded top cap. Die-cast aluminum mounting ring allows for easy leveling even in sloped locations and a full 360-degree rotation for precise alignment during installation. Three 1/2" x 11" anchor bolts with double nuts and washers and 3/4" bolt circle template ensure stability. Overall height is 42" standard.

FINISH

Exterior parts are protected by a zinc-infused super durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering for maximum retention of gloss and luster. A tightly controlled multi-stage process ensures a minimum 3-mil thickness for a finish that can withstand the elements without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Two fully cutoff optical distributions are available: symmetrical and asymmetrical. IP66 sealed LED light engine provides smoothly graduated illumination without any uplight. Light engines are available in standard 4000 K (>70 CRI) or optional 3000 K (>80 CRI) or 5000 K (67 CRI). Limited-wavelength amber LEDs are also available.

ELECTRICAL

Light engines consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (L95/100,000 hours at 700mA at 25°C). Class 2 electronic drivers are designed for an expected life of 100,000 hours with < 1% failure rate. Electrical components are mounted on a removable power tray.

LISTINGS

CSA certified to U.S. and Canadian standards. Light engines are IP66 rated. Rated for -40°C minimum ambient. Cold-weather emergency battery backup rated for -20°C minimum ambient.

BUY AMERICAN

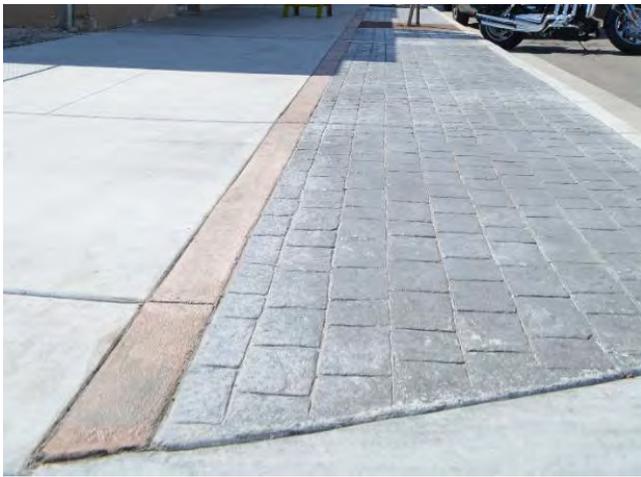
This product is assembled in the USA and meets the Buy America(n) government procurement requirements under FARS, DFARS and DOT. Please refer to www.acuitybrands.com/resources/buy-american for additional information.

WARRANTY

Five-year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.





SIDEWALKS

Tree grates

Urban Accessories Kiva 2-Piece/5-ft square

Tree placement

20' to 40' apart

Avoid obstructing signage

Concrete Colors

Red: Weathered Oak BASF RHEOCOLOR RC2505

Gray: Stone Harbor BASF RHEOCOLOR RC2501 15 lbs/CY of concrete

Stamped Concrete Pattern

Asher Cut Slate

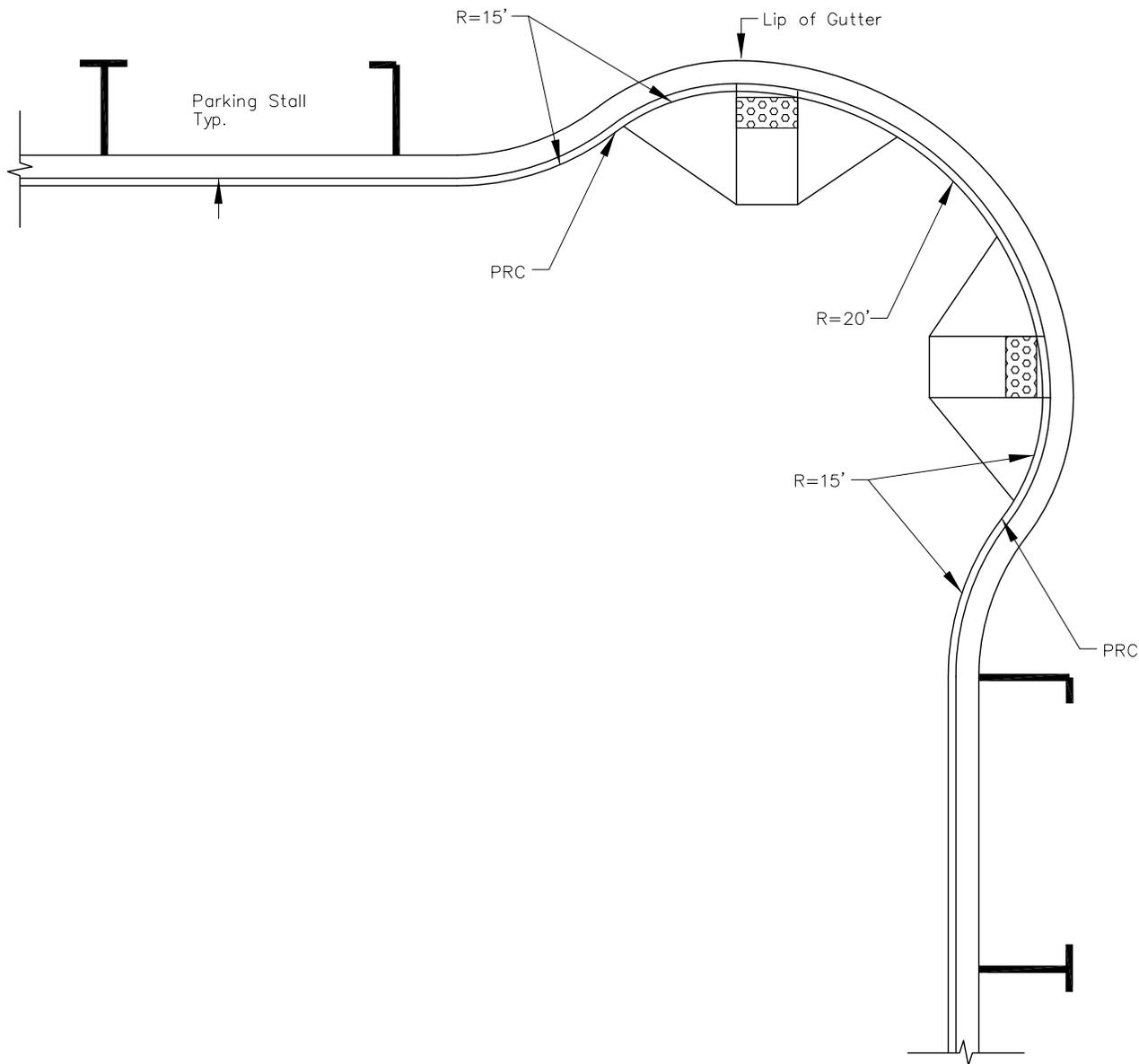
Bulbouts

ACHD SD-710F

City of Kuna Colored Concrete pattern

Specs attached

ACHD Bulbout Standard



NOTES:

- ① NO TANGENT SECTION BETWEEN REVERSE CURVES IS REQUIRED, BUT ALLOWED IF NEEDED
- ② THIS DETAIL IS THE MINIMUM RADII ALLOWED FOR REVERSED CURVES AT CURB BULBOUTS, RADII GREATER THAN THE 15' MINIMUM IS ALLOWED IF REQUESTED AND APPROVED BY ACHD.

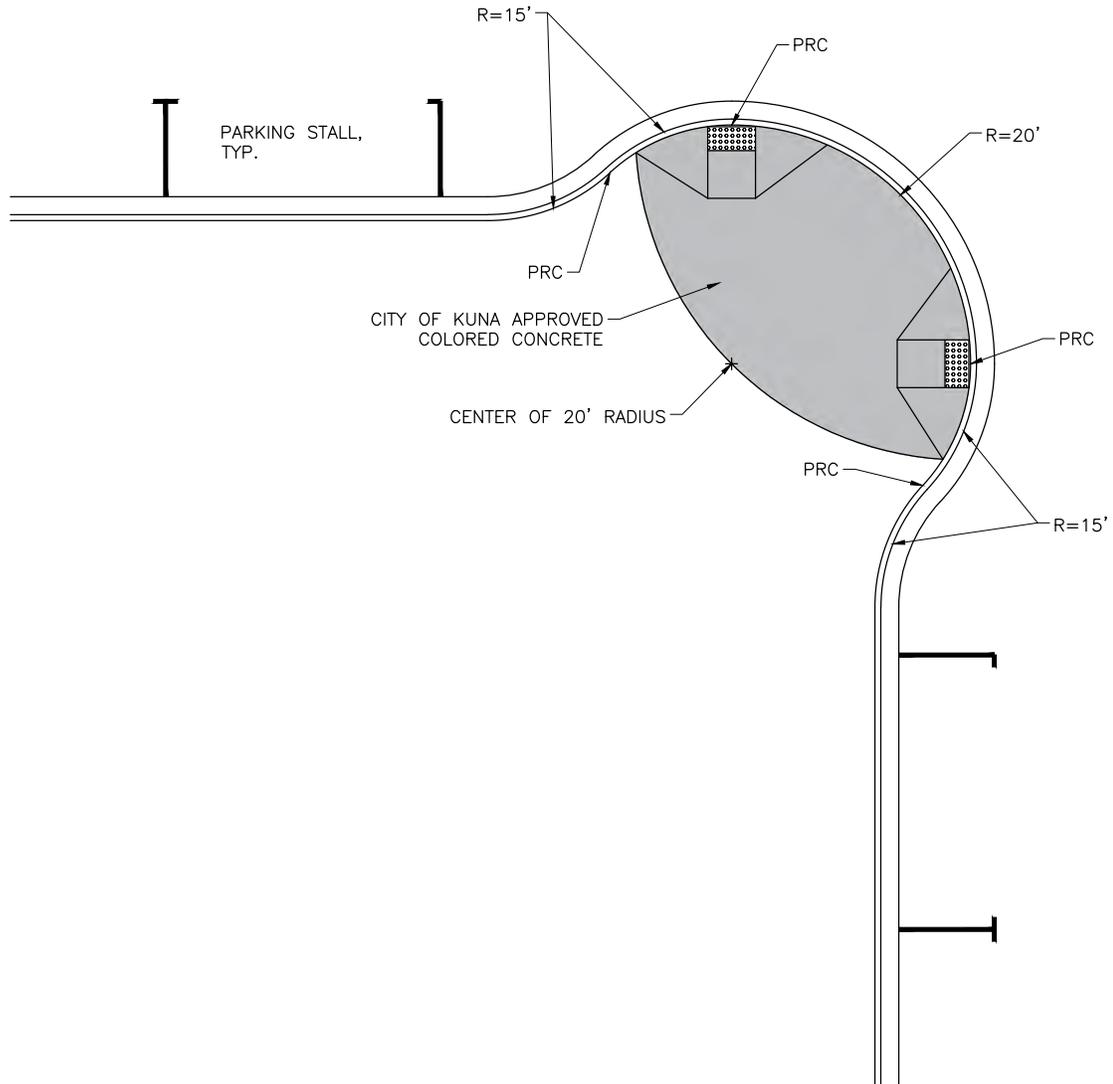
2017 ACHD REVISION

IDAHO STANDARDS
FOR PUBLIC WORKS
CONSTRUCTION
(ACHD SUPPLEMENT)

MINIMUM CURB RADII FOR
CURB BULBOUTS

STANDARD DRAWING
NO. SD-710F

Kuna Main Street Bulbout Standard



NOTES:

1. NO TANGENT SECTION BETWEEN REVERSE CURVES IS REQUIRE, BUT ALLOWED IF NEEDED.
2. THIS DETAIL IS THE MINIMUM RADII ALLOWED FOR REVERSE CURVES AT CURB BULBOUTS. RADII GREATER THAN THE 15' MINIMUM IS ALLOWED IF REQUESTED AND APPROVED BY THE CITY OF KUNA AND ACHD.



STREET FURNITURE

Downtown Kuna Street Furniture is decorative, artistic, functional, and accessible to increase visual interest and improve storefront experience.

Items provided by the city of Kuna

Benches

Trash Receptacles

Bike Racks

Bike Stations

Water Fountains

Items provided by merchant or property owner

Black, neutral or in accordance with color palettes:

Railing/fencing

Seating

Planters

Art

To be approved by the Kuna Arts Commission



**RESOLUTION NO. R88-2019
CITY OF KUNA, IDAHO**

A RESOLUTION OF THE CITY COUNCIL FOR KUNA, IDAHO APPROVING THE “PROFESSIONAL SERVICES AGREEMENT” WITH JUB ENGINEERING, INC. FOR DEVELOPING DOWNTOWN DESIGN STANDARDS; AND AUTHORIZING THE MAYOR TO EXECUTE THE AGREEMENT AND THE CITY CLERK TO ATTEST TO SAID SIGNATURE.

BE IT HEREBY RESOLVED by the Mayor and Council of the City of Kuna, Idaho as follows:

Section 1. The “*Professional Services Agreement*” with JUB Engineering, Inc. for Developing Downtown Design Standards, in substantially the format as attached hereto as “**EXHIBIT A**”, is hereby approved.

Section 2. The Mayor of the City of Kuna, Idaho is hereby authorized to execute said Agreement and the City Clerk is hereby authorized to attest to said execution as so authorized and approved for on behalf of the City of Kuna, Idaho.

PASSED BY THE COUNCIL of Kuna, Idaho this 19th day of November, 2019.

APPROVED BY THE MAYOR of Kuna, Idaho this 19th day of November, 2019.



Joe L. Stear, Mayor

ATTEST:



Chris Engels, City Clerk



CITY OF KUNA, IDAHO PROFESSIONAL SERVICES AGREEMENT

This AGREEMENT is made between the City of Kuna, Idaho, a political subdivision of the state of Idaho, herein "*KUNA*" and J-U-B ENGINEERS, Inc., herein "*CONTRACTOR*").

THE PARTIES AGREE AS FOLLOWS:

1. **SCOPE OF WORK:**

KUNA engages *CONTRACTOR* to assist the City of Kuna with developing Downtown Design Standards as detailed in "**Exhibit A**" attached hereto.

2. **KUNA'S RESPONSIBILITIES:**

1. *KUNA* agrees to provide *CONTRACTOR* with information as to *KUNA*'s requirements for the *Project*, including design objectives, capacity and performance requirements, and other documents in its possession, or reasonably obtainable.
2. *KUNA* agrees to obtain, arrange and pay for all advertisements for bids, permits and licenses, and similar fees and charges required, and provide all land, easements, rights-of-ways and access necessary for *CONTRACTOR*'s services and the *Project*.
3. *KUNA* agrees to provide right of access to all properties as required during the execution of the work.

3. **CONTRACTOR'S RESPONSIBILITIES:**

1. *CONTRACTOR* agrees to provide the services of all professional and technical personnel required by this Agreement and detailed in **Exhibit A**.

4. **RISK ALLOCATION:**

KUNA agrees that *CONTRACTOR* is not responsible for damages arising directly or indirectly from any delays for causes beyond *CONTRACTOR*'s control. For purposes of this Agreement, such causes include, but are not limited to, strikes or labor disputes; severe weather disruptions or other natural disasters; fire, riots, war or other emergencies or acts of God; failure of any government agency or other third party to act in a timely manner; failure of performance by *KUNA* or *KUNA*'s contractors or consultants; or discovery of any hazardous substance or differing site conditions. In addition, if said delays directly result in the increase in cost or time required by *CONTRACTOR* to perform its services in an orderly and efficient manner, *CONTRACTOR* shall be entitled to request an equitable adjustment in the schedule and payment.

5. **PAYMENT:**

KUNA agrees to pay *CONTRACTOR* for its services rendered under this Agreement an amount not to exceed the total sum of **\$24,950** for said services rendered from for the Project. The

parties agree that *CONTRACTOR* will invoice *KUNA* for payment under this Agreement for services rendered herein in accordance with Part 3 Compensation of Exhibit A table at page 4 therein.

6. RIGHT OF CONTROL:

KUNA agrees that it will have no right to control or direct the details, manner, or means by which *CONTRACTOR* accomplishes the results of the services performed hereunder. *CONTRACTOR* has no obligation to work any particular hours or days or any particular number of hours or days. *CONTRACTOR* agrees, however, that his other contracts or services shall not interfere with the performance of his services under this Agreement.

7. INDEPENDENT CONTRACTOR RELATIONSHIP:

CONTRACTOR is an independent contractor and is not an employee, servant, agent, partner, or joint venturer of *KUNA*. *KUNA* shall determine the work to be done by *CONTRACTOR*, but *CONTRACTOR* shall determine the legal means by which it accomplishes the work specified by *KUNA*.

8. FEDERAL, STATE, AND LOCAL PAYROLL TAXES:

Neither federal, state or local income taxes, nor payroll taxes of any kind shall be withheld and paid by *KUNA* on behalf of *CONTRACTOR* or the employees of *CONTRACTOR*. *CONTRACTOR* shall not be treated as an employee with respect to the services performed hereunder for federal or state tax purposes. *CONTRACTOR* understands that *CONTRACTOR* is responsible to pay, according to law, *CONTRACTOR's* income tax. *CONTRACTOR* further understands that *CONTRACTOR* may be liable for self-employment (Social Security) tax to be paid by *CONTRACTOR* according to law.

9. LICENSES AND LAW:

CONTRACTOR represents that it possess the skill and experience necessary and all licenses required to perform the services under this agreement. *CONTRACTOR* further agrees to comply with all applicable laws in the performance of the services hereunder.

10. FRINGE BENEFITS:

Because *CONTRACTOR* is engaged in its own independently established business, *CONTRACTOR* is not eligible for, and shall not participate in, any employee pension, health, or other fringe benefit plans of *KUNA*.

11. WORKER'S COMPENSATION:

CONTRACTOR shall maintain in full force and effect worker's compensation for *CONTRACTOR* and any agents, employees, and staff that the *CONTRACTOR* may employ, and provide proof to *KUNA* of such coverage or that such worker's compensation insurance is not required under the circumstances.

12. EQUIPMENT, TOOLS, MATERIALS OR SUPPLIES:

CONTRACTOR shall supply, at *CONTRACTOR's* sole expense, all equipment, tools, materials and/or supplies to accomplish the services to be provided herein.

13. DATE OF COMPLETION:

This contract shall be completed on or before December 30, 2020.

14. WARRANTY:

CONTRACTOR warrants that work performed in this agreement shall be in accordance with and limited to the applicable standard of care for like professional services. *CONTRACTOR* acknowledges that it will be liable for any breach of this warranty.

15. INDEMNIFICATION AND INSURANCE PROVISIONS:

CONTRACTOR agrees to the following:

1. As respects acts, errors or omissions in the performance of professional services, *CONTRACTOR* agrees to indemnify and hold harmless KUNA, its officers, employees, and KUNA-designated volunteers from and against any and all claims, demands, defense costs, or liability of any kind or nature to the extent arising directly out of *CONTRACTOR*'s negligent acts, errors or omissions in the performance of its professional services under the terms of this contract.
2. As respects all acts or omissions which do not arise directly out of the performance of professional services, but limited to those acts or omissions ~~ally~~ covered by *CONTRACTOR*'s general and automobile liability insurance, *CONTRACTOR* agrees to indemnify, defend (at *KUNA*'s option), and hold harmless *KUNA*, its officers, agents, employees, representatives, and volunteers from and against any and all claims, demands, defense costs, liability, or consequential damages of any kind or nature arising out of or in connection with *CONTRACTOR*'s (or *CONTRACTOR*'s subcontractors, if any) performance or failure to perform, under the terms of this contract; excepting those which *CONTRACTOR* is not legally liable.

Without limiting *KUNA*'s right to indemnification, it is agreed that *CONTRACTOR* shall secure prior to commencing any activities under this Agreement, and maintain during the term of this Agreement, insurance coverage as follows:

1. Worker's compensation insurance as required by Idaho statutes.
2. Comprehensive general liability insurance or commercial general liability insurance, including coverage for premises and operations, contractual liability, personal injury liability, products/completed operations liability, broad-form property damage (if applicable) and independent contractor's liability (if applicable), in an amount of not less than One Million Dollars (\$1,000,000.00) per occurrence, combined single limit, written on an occurrence form.
3. Comprehensive automobile liability coverage including, as applicable, owned, non-owned and hired autos, in an amount of not less than One Million Dollars (\$1,000,000.00) per occurrence, combined single limit, written on an occurrence form.
4. Professional liability insurance coverage, in an amount not less than One Million Dollars (\$1,000,000.00), and *CONTRACTOR* shall maintain such coverage for at least four (4) years from the termination of this Agreement; and during this four-

year period, *CONTRACTOR* shall use *CONTRACTOR*'s best efforts to ensure that there is no change of the retroactive date on this insurance coverage.

The policy or policies shall provide *CONTRACTOR* thirty (30) days prior notice in case of cancellation, non-renewal, or significant coverage changes. *CONTRACTOR* shall immediately provide notice to *KUNA* in such an event.

KUNA is hereby authorized to reduce the requirements set forth above in the event he/she determines that such reduction is in *KUNA*'s best interest.

It is agreed that any insurance maintained by *KUNA* shall apply in excess of and not contribute with insurance provided by this policy.

Each insurance policy required by this Agreement, excepting policies for worker's compensation and professional liability shall provide that:

KUNA, its officers, agents, employees, representatives and volunteers are added as additional insureds as respects operations and activities of, or on behalf of, the named insured, performed under contract with *KUNA*. Prior to commencing any work under this Agreement, *CONTRACTOR* shall deliver to *KUNA* insurance certificates confirming the existence of the insurance required by this Agreement, and including the applicable clauses referenced above. Also, within thirty (30) days of the execution date of this Agreement, *CONTRACTOR* shall provide to *KUNA* endorsements to the above-required policies, which add to these policies the applicable clauses referenced above. Said endorsements shall be signed by an authorized representative of the insurance company and shall include the signature's company affiliation and title. Should it be deemed necessary by *KUNA*, it shall be *CONTRACTOR*'s responsibility to see that *KUNA* receives documentation acceptable to *KUNA* which sustains that the individual signing said endorsements is indeed authorized to do so by the insurance company. Also, *KUNA* has the right to demand, and to receive within a reasonable time period, copies of any insurance policies required under this Agreement.

In addition to any other remedies *KUNA* may have if *CONTRACTOR* fails to provide or maintain any insurance policies or policy endorsements to the extent and within the time herein required, *KUNA* may, at its sole option:

1. Obtain such insurance and deduct and retain the amount of the premiums for such insurance from any sums due under the Agreement;
 - A. Order *CONTRACTOR* to stop work under this Agreement and/or withhold any payment(s) which become due to *CONTRACTOR* hereunder until *CONTRACTOR* demonstrates compliance with the requirements hereof.
 - B. Terminate this Agreement.

Exercise of any of the above remedies, however, is an alternative to other remedies *KUNA* may have and is not the exclusive remedy for *CONTRACTOR*'s failure to maintain insurance or secure appropriate endorsements.

Nothing herein contained shall be construed as limiting in any way the extent to which CONTRACTOR may be held responsible for payments of damages to persons or property resulting from CONTRACTOR's, or its subcontractor's, negligent performance of the work covered under this Agreement.

16. NON-WAIVER:

Failure of either party to exercise any of the rights under this Agreement, or breach thereof, shall not be deemed to be a waiver of such right or a waiver of any subsequent breach.

17. CHOICE OF LAW:

Any dispute under this Agreement, or related to this Agreement, shall be decided in accordance with the laws of the state of Idaho.

18. ENTIRE AGREEMENT:

This is the entire Agreement of the parties and can only be modified or amended in writing by the parties.

19. SEVERABILITY:

If any part of this Agreement is held unenforceable, the remaining portions of the Agreement will nevertheless remain in full force and effect.

20. ATTORNEY FEES:

Determination of how reasonable attorney fees shall be awarded in any action to enforce this Agreement or to declare or termination of this Agreement shall be in accordance with Idaho Code Section 12-117 (1) or recodification or amendment of said statute.

DATED this 19th day of November, 2019.

KUNA:

[Signature]
KUNA

Joe Stear
Mayor

CONTRACTOR:

[Signature]
By
Brian D. Smith, P.E.
J-U-B ENGINEERS, Inc.

250 S. Beechwood Ave., Suite No. 201
Boise, Idaho 83709
Its Area Manager

ATTEST:

[Signature]
Chris Engels
City Clerk



WITNESS:

[Signature]
(Signature of Witness or Notary Public)

Form and content approved by Bill Cigray, as attorney KUNA.
Via Email



**J-U-B ENGINEERS, Inc.
AGREEMENT FOR PROFESSIONAL SERVICES**

**For City of Kuna
Downtown Design Standards
Exhibit A – Scope of Services, Schedule, and Basis of Fee**

This Agreement for Professional Services, dated November 5, 2019 between J-U-B ENGINEERS, INC. and the City of Kuna (CLIENT or City) shall include the Scope of Services for developing downtown design standards.

This scope of work includes services to develop downtown standards for the City of Kuna, as identified as a top priority by the community in the Kuna Downtown Revitalization Plan to “Evaluate current standards and develop appropriate guidelines for streetscapes, facades and other applicable standards to bring the desired character to downtown”.

PART 1 - SCOPE OF SERVICES

A. PROJECT UNDERSTANDING

The Kuna Downtown Design Standards are needed to assist staff with providing guidelines to property owners, developers and business owners for streetscape improvements, façade upgrades and public/private gathering spaces.

Assumptions

This scope of work is based on the following project assumptions:

- City to provide on-going review of J-U-B’s work within a time frame acceptable to the City and J-U-B, if applicable.
- The Advisory Committee will consist of 12 members representing stakeholders, property owners, funding agencies, City Council members, etc.
- City to provide the list of the committee members and contact information and assist J-U-B with the necessary scheduling, notifications and correspondence of meeting participants.
- City to provide a meeting room and refreshments for Advisory Committee and Agency Coordination meetings.
- City to provide all mailings, if necessary.
- City staff to be the liaison with the City Council.
- Two (2) Advisory Committee meetings will be limited to 1.5-2 hours each.
- City staff to provide utility data to J-U-B including water, sewer, irrigation, right-of-way, drainage information, etc.
- No design work is included in this scope of work.
- A licensed architect will support the project as a sub-consultant to produce guidance and graphics/renderings for façade and building guidelines.

B. SCOPE OF SERVICES TO BE PROVIDED BY J-U-B

J-U-B's scope of services under this Agreement is limited to the following tasks.

TASK 1 – PROJECT MANAGEMENT AND MEETINGS

- a. **Kick-off Meeting:** J-U-B will prepare for and conduct a kick-off meeting with City staff for the purpose of discussing the project approach and obtaining information that may be available, reviewing project schedule, etc. The kick-off meeting is an initial step for this project to give all parties an understanding of the project goals, issues, and concerns prior to beginning design standard efforts.
- b. **Monthly Updates to Staff:** Prepare monthly project updates including; job to date invoicing summary and percent complete.
- c. **Project Management, Administration and Tracking:** Prepare updated project schedule with milestones, project management, and coordination with the project team, City Clerk's office and other applicable City staff. Monitor team progress, action item lists, task deadlines, items needed from City; provide documentation, permitting milestones, and critical path items as needed.

Task 1 Deliverables:

- Kick-off meeting notes
- Detailed project schedule

TASK 2 – PUBLIC INVOLVEMENT

This purpose of this task is to address community outreach that is early, continuous, and meaningful during this project. Activities listed below will provide public awareness and involvement to reflect the community's vision in the project. Efforts for the downtown design standards will be coordinated with other outreach activities such as the Urban Renewal District Eligibility Study and 4th Street Concept planning.

- a. **Online Public Survey:** J-U-B will prepare an online public survey to gather input from the public on the draft design standards. J-U-B will also prepare an Online Public Survey Summary that includes all public comments.
- b. **Advisory Committee Meetings:** J-U-B will convene and facilitate up to two (2) Advisory Committee meetings to develop design standards.

Task 2 Assumptions:

- City will produce a list of Advisory Committee members, key stakeholders and mailing list.
- City will be responsible for distribution of project mailings, social media updates, etc.

Task 2 Deliverables:

- Advisory Committee Meeting Notes
- Online Public Survey Summary

Task 3 – STREETScape DESIGN STANDARDS

- a. **Location/Applicability:** J-U-B will develop a map showing the location of the applicable streetscape design standards. Specific areas for streetscape design standards may include the

“Downtown Welcoming Theme” corridors identified in the Comprehensive Plan, transitional/adjacent neighborhoods and/or Main Street.

- b. **Streetscape Design Standards:** J-U-B will prepare up to three (3) streetscape design standards. Streetscape design standards will include a graphical typical section and specifications for lighting, landscaping, street furniture, banners, sidewalks, bike/pedestrian facilities, roadway striping and crosswalks.
- c. **Streetscape Design Standards Coordination:** Streetscape design standards will be coordinated with existing plans and Ada County Highway District (ACHD) standards. It is anticipated that ACHD, the Kuna School District and other applicable agencies will participate on the Advisory Committee to provide input and help coordinate existing plans and standards.

Task 3 Deliverables:

- Location/applicability map
- Version 1: Draft Advisory Committee Review; Version 2: Final Draft Advisory Committee + Public Review; Version 3: Final for Adoption:
 - Up to three (3) Typical Sections
 - Specifications for streetscape facilities

Task 4 – FAÇADE AND BUILDING DESIGN STANDARDS

- a. **Location/Applicability:** J-U-B will develop a map showing the location of the applicable façade and building design standards.
- b. **Façade Design Standards:** J-U-B and a licensed architect will prepare façade design standards. Façade design standards with graphics will include standards for color, line, shape, texture, form and unity/harmony.
- c. **New Building Design Standards:** J-U-B and a licensed architect will prepare new building design standards and graphics for color, orientation, line, shape, texture, form and unity/harmony.

Task 4 Deliverables:

- Location/applicability map
- Version 1: Draft Advisory Committee Review; Version 2: Final Draft Advisory Committee + Public Review; Version 3: Final for Adoption:
 - Façade Design Standards and Graphics
 - New Building Design Standards and Graphics
 - Specifications for Façade Improvements and New Buildings

PART 2 - SCHEDULE OF SERVICES

The following table summarizes the anticipated schedule for the identified Basic Services predicated upon timely receipt of CITY-provided information, typical review periods, and active direction during work. CITY acknowledges that the J-U-B will not be responsible for impacts to the schedule by events or actions of others over which J-U-B has no control.

Task Number	Task	Anticipated Schedule/Duration
Task 1	Project Management and Meetings	November 2019 – August 2020
Task 2	Public Involvement	December 2019 – August 2020

Task 3	Streetscape Design Standards	December 2019 – August 2020
Task 4	Façade and Building Design Standards	December 2019 – August 2020

PART 3 - BASIS OF FEE

The CITY shall pay J-U-B for the identified Basic Services as follows:

1. For Lump Sum fees:
 - a. The portion of the Lump Sum amount billed for J-U-B's services will be based upon J-U-B's estimate of the percentage of the total services actually completed during the billing period.

COMPENSATION

The CITY will pay J-U-B for its services and reimbursable expenses on a not to exceed basis of the total listed below.

Task Number	Task Name	Fee Type	Amount
Task 1	Project Management and Meetings	Lump Sum	\$2,500
Task 2	Public Involvement	Lump Sum	\$5,150
Task 3	Streetscape Design Standards	Lump Sum	\$8,700
Task 4	Façade and Building Design Standards (J-U-B)	Lump Sum	\$2,300
	Façade and Building Design Standards (Licensed Architect)	Lump Sum	\$6,000
	Reimbursable expenses (mileage, copies, equipment use)	Lump Sum	\$300
TOTAL			\$24,950

**RESOLUTION NO. R41-2024
CITY OF KUNA, IDAHO**

A RESOLUTION OF THE CITY COUNCIL FOR KUNA, IDAHO APPROVING A PERFORMANCE BOND BY TRESIDIO HOMES, LLC, FOR PATAGONIA EAST SUBDIVISION NO. 1 FOR UNCOMPLETED FOR LANDSCAPING PURSUANT TO THE TERMS OF THIS RESOLUTION.

WHEREAS Patagonia East Subdivision No. 1 exists as part of an approved preliminary plat; and

WHEREAS construction plans for Patagonia East Subdivision No.1 were approved by the Kuna City Engineer on 29 September 2023; and

WHEREAS construction was commenced but not completed for certain items, per the approved plans; and

WHEREAS the landscaping completion has been estimated at five hundred five thousand two hundred fifty dollars and zero cents (\$505,250.00) adding 25% for a total of six hundred thirty-one thousand five hundred sixty-two dollars and fifty cents (\$631,562.50); and

WHEREAS developer desires to record the final plat for Ashton Estates Subdivision No. 5 prior to completion of construction; and

WHEREAS Kuna City Code 6-2-4 and 6-4-3 allows for and sets the conditions for recording a final plat prior to the completion of construction:

BE IT HEREBY RESOLVED by the Mayor and Council of the City of Kuna, Idaho, that the Kuna City Engineer is hereby authorized to accept a cash bond and/or an irrevocable standby Letter of Credit in lieu of construction for **Patagonia East Subdivision No. 1** under the following terms and conditions:

1. All bid amounts submitted for unfinished construction are valid for the life of the Letter of Credit;
2. The Letter of Credit is irrevocable, is drawn upon an FDIC or FSLIC insured institution, is an institution with an office where presentment can be made within 50 miles of Kuna City Hall, the Letter of Credit is claimable up to 30 days prior to expiry and expiry is not more than one year from the date of issuance;
3. The amount of the check and face amount of the Letter of Credit is at least six hundred thirty-one thousand five hundred sixty-two dollars and fifty cents (\$631,562.50);
4. No more than fifty percent of available permits can be claimed during the life of the Letter of Credit and if improvements are not completed within 120 days of issuance of the Letter of Credit, no further building permits can be issued;

PASSED BY THE COUNCIL of Kuna, Idaho this ____ day of _____, 2024.

APPROVED BY THE MAYOR of Kuna, Idaho this ____ day of _____ 2024.

Joe L. Stear, Mayor

ATTEST:

Nathan Stanley, City Clerk

**CITY OF KUNA IMPROVEMENT AGREEMENT
LETTER OF CREDIT**

THIS AGREEMENT is made by and between the PATAGONIA DEVELOPMENT, LLC AND WESTPARK COMPANY, INC, (hereinafter “Developer”); whose address is 1861 S. WELLS AVE., STE 210 MERIDIAN, ID, 83642 and CITY OF KUNA, a municipal corporation of the State of Idaho, (hereinafter “City”); whose address is Post Office Box 13, Kuna, Idaho 83634.

WHEREAS, Developer desires to record its final plat for phase one of the development known as Patagonia East No. 1 Subdivision, (“Development”) located in the City of Kuna; and

WHEREAS, City will not sign the final plat unless Developer promises to install and warrant certain Improvements as herein provided and security is provided for that promise as set forth herein.

NOW, THEREFORE, THE PARTIES HEREBY AGREE AS FOLLOWS:

1. Installation of Improvements. Developer agrees to complete and pay the total costs of all Improvements required by City and those specified in the following:
 - a. Approved Landscape Plan for PATAGONIA EAST NO.1 SUBDIVISION and the associated Bid for landscaping by LAWN CO., and;

The bids for said Improvements are attached hereto as **Exhibit A**. The required Improvements are shown on the plans, drawings and specifications previously reviewed and approved by City in connection with the above described Development, and in accordance with the standards and specifications established by the City and adopted by the City Council.

2. Letter of Credit. Developer has executed and delivered to City an irrevocable standby Letter of Credit issued to the City, in the aggregate amount of six hundred thirty-one thousand five hundred sixty-two dollars and fifty cents (\$631,562.50), for the City to retain, which includes:
 - a. The initial City Engineer or Public Works Director’s estimated cost of the remaining work shall as determined, in part, from the detailed bids provided by the sub-divider's contractors in an amount, plus twenty-five (25) percent, for an amount of one hundred twenty-five (125) percent;
 - b. To that total, the following additional sums may be added upon the following considerations:
 - i. Three (3) to ten (10) percent for inflation; ten (10) to fifteen (15) percent for the City's bidding disadvantage; and twelve (12) percent to twenty (20) percent for city project management as determined by the City Engineer or Public Works Director.

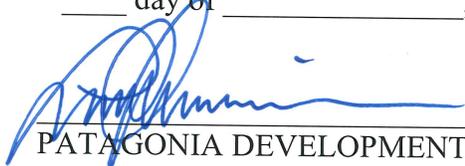
3. The Developer and City stipulate the amount to be a reasonable estimate, pursuant to Kuna City Code.
4. If construction of all financially pledged improvements are not completed within one hundred twenty (120) days following the date of recordation of the final plat, no further building permits shall be issued by the City until final completion of all improvements has occurred and the City has inspected and approved them. However, if the remaining improvements are not completed within the one hundred twenty-day period, through no fault of the Developer, the City Engineer or Public Works Director may grant a one-time, one hundred twenty-day (120) time extension. The determination of what may be considered a "no fault circumstance" shall be determined by the City Engineer or Public Works Director.
5. Refund or Withdrawal. City may withdraw funds from Cash Deposit if (1) Improvements are not completed as required by this Agreement within the time period specified in Paragraph 6, or if (2) Improvements are not installed strictly in accordance with Paragraph 1 and written notice of the deficiency has been given to Developer, who has failed to remedy the deficiency within ten (10) days after the notice is sent. In said event, City may withdraw funds from Cash Deposit both (1) those amounts necessary to either complete Improvements as required herein or alter or repair Improvements to conform to the requirements hereof, and (2) City's cost of administration incurred in obtaining Cash Deposit, including attorney's fees and court costs, which shall be deducted from any Cash Deposit. If the amount of Cash Deposit is inadequate to pay the cost of the completion of Improvements according to City's standards or specifications for whatever reason, including previous reductions, Developer shall be responsible for the deficiency and no further building permits shall be issued in the subdivision or development until Improvements are completed or, with City Council approval, a new, satisfactory security has been executed and delivered to City or other satisfactory arrangements have been made to insure completion of the remaining improvements.
6. Preliminary Release. At the time herein provided, but no later than at the time of final inspection and acceptance of all Improvements by City, City will authorize release and return the Letter of Credit. The release provided for in this paragraph shall occur when City certifies that Improvements are complete, which shall be when Improvements have been installed as required and fully inspected and approved by City, and after as-built drawings have been supplied as required.
7. Non-Release of Developer's Obligations. It is understood and agreed between the parties that the establishment and availability to City of Letter of Credit as herein provided, and any withdrawals there from by City shall not constitute a waiver or estoppel against City and shall not release or relieve Developer from its obligation to install and fully pay for Improvements as required in Paragraph 1 above, and the right of City to withdraw from **Cash Deposit shall** not affect any rights and remedies of City against Developer for breach of any covenant herein, including the covenants of Paragraph 1 of this Agreement. Further, Developer agrees that if City withdraws from Cash Deposit and performs or causes to be performed the installation or warranty work required of Developer hereunder, then any and all costs incurred by City in so doing which are not collected by City by withdrawing from

Cash Deposit shall be paid by Developer, including administrative, engineering, legal, labor and materials and other procurement fees and costs.

8. Upon satisfaction of this Agreement, Developer shall provide the City with its financial institution information including account wire transfer information.
9. Binding Effect and Assignment. This Agreement shall be binding upon, and inure to the benefit of, the heirs, officers, agents, legal representatives, successors and assigns of the parties hereto. No party shall assign or transfer any rights under this Agreement without the prior written consent of the other first obtained, which consent shall not be unreasonably withheld.
10. Notices. Any notice required or desired to be given hereunder as shall be deemed sufficient if sent by certified mail, postage prepaid, addressed to the respective parties at the addresses shown in the preamble.
11. Severability. Should any portion of this Agreement for any reason be declared invalid or unenforceable, the invalidity of such portion shall not affect the validity of any of the remaining portions and the same shall be deemed in full force and effect as if this Agreement had been executed with the invalid portions eliminated.
12. Governing Law. This Agreement and the performances hereunder shall be governed by the laws of the State of Idaho.
13. Counterparts. The fact that the parties hereto execute multiple but identical counterparts of this Agreement shall not affect the validity or efficacy of their execution, and such counterparts, taken together, shall constitute one and the same instrument, and each counterpart shall be deemed an original.
14. Waiver. No waiver of any of the provisions of this Agreement shall operate as a waiver of any other provision, regardless of any similarity that may exist between such provisions, nor shall a waiver in one instance operate as a waiver in any future event. No waiver shall be binding unless executed in writing by the waiving party.
15. Captions. The captions preceding the paragraphs of this Agreement are for convenience only and shall not affect the interpretation of any provision herein.
16. Entire Agreement. This Agreement, together with its exhibits and the approved plans and specifications referred to, contains the entire and integrated agreement of the parties with respect to the subject matter hereof, and no prior or contemporaneous promises, representations, warranties, inducements, or understandings between the parties pertaining to the subject matter hereof which are not contained herein shall be of any force or effect.
17. Default. In the event either party hereto defaults in any of the covenants or agreements contained herein, the defaulting party shall pay all costs and expenses, including a reasonable attorney's fee, incurred by the other party in enforcing its rights hereunder whether incurred through litigation or otherwise.

- 18. Time of Essence. The parties agree that time is of the essence in the performance of all duties herein.
- 19. Exhibits. Any exhibit(s) to this Agreement are incorporated herein by this reference, and failure to attach any such exhibit shall not affect the validity of this Agreement or of such exhibit. An unattached exhibit is available from the records of the parties.
- 20. Amendment. Any amendment or modifications of this Agreement shall be made in writing, signed by the parties, and attached hereto.
- 21. Extension. The Bond Agreement and security for completion of Improvements described in Paragraph 1 may be extended by written modification of this Agreement only.
- 22. Change of Address. It is the obligation of Developer to provide an updated address should it change during the pendency of this agreement.

IN WITNESS WHEREOF, the parties have caused this Agreement to be duly executed this _____ day of _____, 2024.



PATAGONIA DEVELOPMENT, LLC AND THE WESTPARK COMPANY, INC.

By LAWRENCE C. SQUIRES
SECRETARY/TREASURER

On this 20th day of June, 2024, before me Lawrence Squires, personally appeared LAWRENCE C. SQUIRES known or identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that he/she executed the same as the Secretary/Treasurer and on behalf of the PATAGONIA DEVELOPMENT, LLC AND THE WESTPARK COMPANY, INC.

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Notary Public for Idaho
My commission expires on 11/30/2029





06/18/2024

City of Kuna
A Municipal corporation of the State of Idaho
PO Box 13
Kuna, ID 83634

Re: "Letter of Credit"- Patagonia Development – Patagonia Subdivision No 01

Please accept our "Letter of Credit 51-7002295-7" in the amount of \$631,562.50 for Patagonia Development. Please sign and return the acknowledgement below. Please contact me at 208-985-2555 if you have any questions.

Thank you,
Kyle Jones

Acknowledged receipt by:

IRREVOCABLE STANDBY
LETTER OF CREDIT NO. 51-7002295-7
DATE: 6/18/2024
AMOUNT: \$631,562.50

City of Kuna
A Municipal Corporation of the State of Idaho
PO Box 13
Kuna, ID 83634

Ladies and Gentlemen:

We hereby establish our Irrevocable Standby Letter of Credit No. 51-7002295-7 in your favor for the account of Patagonia Development, 1861 S Wells Ave, Ste 210, Meridian, ID 83642 up to the aggregate amount of six hundred thirty-one thousand five hundred sixty-two and 50/100 Dollars (\$631,562.50) U.S. Currency, available by your draft(s) drawn at sight on us and presented to First Federal Savings Bank of Twin Falls on or before 06/18/2025 covering subdivision improvements in Patagonia Subdivision No 01 and accompanied by the following:

1. A signed statement from the City of Kuna Planning and Development Office reading exactly as follows:

“I the undersigned duly authorized representative of the City of Kuna Planning and Development Office, hereby certify that the draft drawn under this Letter of Credit represents the amount of money required to complete the subdivision improvements and/or other work as is incidental and related thereto in accordance with the final plat, drawings and specifications as approved by the City of Kuna.”

2. Original of this Letter of Credit.

All drafts presented under the credit must contain the clause: “Drawn under First Federal Savings Bank of Twin Falls Letter of Credit No. 51-7002295-7.”

Any and all banking charges, other than those of the issuing bank, are for the account of the beneficiary.

We hereby engage with the drawers and bona fide holders of drafts drawn under and in compliance with the terms of this Letter of Credit that the drafts will be dully honored upon presentation and delivery of documents, as specified, to First Federal Savings Bank of Twin Falls, 1880 S Eagle Rd, Meridian, ID 83642 on or before 06/18/2025.

All drawings under this credit will be governed by the Uniform Customs & Practice for Documentary Credits (2007 Revisions) International Chamber of Commerce Publication No. 600.

**RESOLUTION NO. R42-2024
CITY OF KUNA, IDAHO**

A RESOLUTION OF THE CITY COUNCIL FOR KUNA, IDAHO APPROVING A PERFORMANCE BOND BY TRESIDIO HOMES, LLC, FOR PATAGONIA EAST SUBDIVISION NO. 1 FOR UNCOMPLETED FOR FENCING PURSUANT TO THE TERMS OF THIS RESOLUTION.

WHEREAS Patagonia East Subdivision No. 1 exists as part of an approved preliminary plat; and

WHEREAS construction plans for Patagonia East Subdivision No.1 were approved by the Kuna City Engineer on 29 September 2023; and

WHEREAS construction was commenced but not completed for certain items, per the approved plans; and

WHEREAS the fencing completion has been estimated at one hundred forty-five thousand one hundred eighty-two dollars and ninety-five cents (\$145,182.95) adding 25% for a total of one hundred eighty-one thousand four hundred seventy-eight dollars and sixty-nine cents (\$181,478.69); and

WHEREAS developer desires to record the final plat for Ashton Estates Subdivision No. 5 prior to completion of construction; and

WHEREAS Kuna City Code 6-2-4 and 6-4-3 allows for and sets the conditions for recording a final plat prior to the completion of construction:

BE IT HEREBY RESOLVED by the Mayor and Council of the City of Kuna, Idaho, that the Kuna City Engineer is hereby authorized to accept a cash bond and/or an irrevocable standby Letter of Credit in lieu of construction for **Patagonia East Subdivision No. 1** under the following terms and conditions:

1. All bid amounts submitted for unfinished construction are valid for the life of the Letter of Credit;
2. The Letter of Credit is irrevocable, is drawn upon an FDIC or FSLIC insured institution, is an institution with an office where presentment can be made within 50 miles of Kuna City Hall, the Letter of Credit is claimable up to 30 days prior to expiry and expiry is not more than one year from the date of issuance;
3. The amount of the check and face amount of the Letter of Credit is at least one hundred eighty-one thousand four hundred seventy-eight dollars and sixty-nine cents (\$181,478.69);
4. No more than fifty percent of available permits can be claimed during the life of the Letter of Credit and if improvements are not completed within 120 days of issuance of the Letter of Credit, no further building permits can be issued;

PASSED BY THE COUNCIL of Kuna, Idaho this ____ day of _____, 2024.

APPROVED BY THE MAYOR of Kuna, Idaho this _____ day of _____ 2024.

Joe L. Stear, Mayor

ATTEST:

Nathan Stanley, City Clerk

**CITY OF KUNA IMPROVEMENT AGREEMENT
LETTER OF CREDIT**

THIS AGREEMENT is made by and between the PATAGONIA DEVELOPMENT, LLC AND WESTPARK COMPANY, INC, (hereinafter "Developer"); whose address is 1861 S. WELLS AVE., STE 210 MERIDIAN, ID, 83642 and CITY OF KUNA, a municipal corporation of the State of Idaho, (hereinafter "City"); whose address is Post Office Box 13, Kuna, Idaho 83634.

WHEREAS, Developer desires to record its final plat for phase one of the development known as Patagonia East No. 1 Subdivision, ("Development") located in the City of Kuna; and

WHEREAS, City will not sign the final plat unless Developer promises to install and warrant certain Improvements as herein provided and security is provided for that promise as set forth herein.

NOW, THEREFORE, THE PARTIES HEREBY AGREE AS FOLLOWS:

1. Installation of Improvements. Developer agrees to complete and pay the total costs of all Improvements required by City and those specified in the following:
 - a. Approved Fence Plan for PATAGONIA EAST NO.1 SUBDIVISION and the associated Bid for fencing by BUTTE FENCE, INC and;

The bids for said Improvements are attached hereto as **Exhibit A**. The required Improvements are shown on the plans, drawings and specifications previously reviewed and approved by City in connection with the above described Development, and in accordance with the standards and specifications established by the City and adopted by the City Council.

2. Letter of Credit. Developer has executed and delivered to City an irrevocable standby Letter of Credit issued to the City, in the aggregate amount of one hundred eighty-one thousand four hundred seventy-eight dollars and sixty-nine cents (\$181,478.69), for the City to retain, which includes:
 - a. The initial City Engineer or Public Works Director's estimated cost of the remaining work shall as determined, in part, from the detailed bids provided by the sub-divider's contractors in an amount, plus twenty-five (25) percent, for an amount of one hundred twenty-five (125) percent;
 - b. To that total, the following additional sums may be added upon the following considerations:
 - i. Three (3) to ten (10) percent for inflation; ten (10) to fifteen (15) percent for the City's bidding disadvantage; and twelve (12) percent to twenty (20) percent for city project management as determined by the City Engineer or Public Works Director.

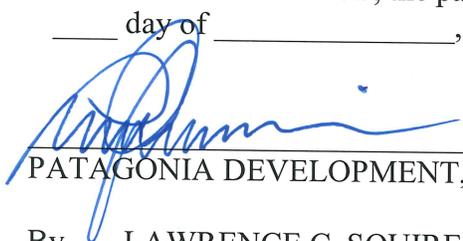
3. The Developer and City stipulate the amount to be a reasonable estimate, pursuant to Kuna City Code.
4. If construction of all financially pledged improvements are not completed within one hundred twenty (120) days following the date of recordation of the final plat, no further building permits shall be issued by the City until final completion of all improvements has occurred and the City has inspected and approved them. However, if the remaining improvements are not completed within the one hundred twenty-day period, through no fault of the Developer, the City Engineer or Public Works Director may grant a one-time, one hundred twenty-day (120) time extension. The determination of what may be considered a "no fault circumstance" shall be determined by the City Engineer or Public Works Director.
5. Refund or Withdrawal. City may withdraw funds from Cash Deposit if (1) Improvements are not completed as required by this Agreement within the time period specified in Paragraph 6, or if (2) Improvements are not installed strictly in accordance with Paragraph 1 and written notice of the deficiency has been given to Developer, who has failed to remedy the deficiency within ten (10) days after the notice is sent. In said event, City may withdraw funds from Cash Deposit both (1) those amounts necessary to either complete Improvements as required herein or alter or repair Improvements to conform to the requirements hereof, and (2) City's cost of administration incurred in obtaining Cash Deposit, including attorney's fees and court costs, which shall be deducted from any Cash Deposit. If the amount of Cash Deposit is inadequate to pay the cost of the completion of Improvements according to City's standards or specifications for whatever reason, including previous reductions, Developer shall be responsible for the deficiency and no further building permits shall be issued in the subdivision or development until Improvements are completed or, with City Council approval, a new, satisfactory security has been executed and delivered to City or other satisfactory arrangements have been made to insure completion of the remaining improvements.
6. Preliminary Release. At the time herein provided, but no later than at the time of final inspection and acceptance of all Improvements by City, City will authorize release and return the Letter of Credit. The release provided for in this paragraph shall occur when City certifies that Improvements are complete, which shall be when Improvements have been installed as required and fully inspected and approved by City, and after as-built drawings have been supplied as required.
7. Non-Release of Developer's Obligations. It is understood and agreed between the parties that the establishment and availability to City of Letter of Credit as herein provided, and any withdrawals there from by City shall not constitute a waiver or estoppel against City and shall not release or relieve Developer from its obligation to install and fully pay for Improvements as required in Paragraph 1 above, and the right of City to withdraw from **Cash Deposit shall** not affect any rights and remedies of City against Developer for breach of any covenant herein, including the covenants of Paragraph 1 of this Agreement. Further, Developer agrees that if City withdraws from Cash Deposit and performs or causes to be performed the installation or warranty work required of Developer hereunder, then any and all costs incurred by City in so doing which are not collected by City by withdrawing from

Cash Deposit shall be paid by Developer, including administrative, engineering, legal, labor and materials and other procurement fees and costs.

8. Upon satisfaction of this Agreement, Developer shall provide the City with its financial institution information including account wire transfer information.
9. Binding Effect and Assignment. This Agreement shall be binding upon, and inure to the benefit of, the heirs, officers, agents, legal representatives, successors and assigns of the parties hereto. No party shall assign or transfer any rights under this Agreement without the prior written consent of the other first obtained, which consent shall not be unreasonably withheld.
10. Notices. Any notice required or desired to be given hereunder as shall be deemed sufficient if sent by certified mail, postage prepaid, addressed to the respective parties at the addresses shown in the preamble.
11. Severability. Should any portion of this Agreement for any reason be declared invalid or unenforceable, the invalidity of such portion shall not affect the validity of any of the remaining portions and the same shall be deemed in full force and effect as if this Agreement had been executed with the invalid portions eliminated.
12. Governing Law. This Agreement and the performances hereunder shall be governed by the laws of the State of Idaho.
13. Counterparts. The fact that the parties hereto execute multiple but identical counterparts of this Agreement shall not affect the validity or efficacy of their execution, and such counterparts, taken together, shall constitute one and the same instrument, and each counterpart shall be deemed an original.
14. Waiver. No waiver of any of the provisions of this Agreement shall operate as a waiver of any other provision, regardless of any similarity that may exist between such provisions, nor shall a waiver in one instance operate as a waiver in any future event. No waiver shall be binding unless executed in writing by the waiving party.
15. Captions. The captions preceding the paragraphs of this Agreement are for convenience only and shall not affect the interpretation of any provision herein.
16. Entire Agreement. This Agreement, together with its exhibits and the approved plans and specifications referred to, contains the entire and integrated agreement of the parties with respect to the subject matter hereof, and no prior or contemporaneous promises, representations, warranties, inducements, or understandings between the parties pertaining to the subject matter hereof which are not contained herein shall be of any force or effect.
17. Default. In the event either party hereto defaults in any of the covenants or agreements contained herein, the defaulting party shall pay all costs and expenses, including a reasonable attorney's fee, incurred by the other party in enforcing its rights hereunder whether incurred through litigation or otherwise.

- 18. Time of Essence. The parties agree that time is of the essence in the performance of all duties herein.
- 19. Exhibits. Any exhibit(s) to this Agreement are incorporated herein by this reference, and failure to attach any such exhibit shall not affect the validity of this Agreement or of such exhibit. An unattached exhibit is available from the records of the parties.
- 20. Amendment. Any amendment or modifications of this Agreement shall be made in writing, signed by the parties, and attached hereto.
- 21. Extension. The Bond Agreement and security for completion of Improvements described in Paragraph 1 may be extended by written modification of this Agreement only.
- 22. Change of Address. It is the obligation of Developer to provide an updated address should it change during the pendency of this agreement.

IN WITNESS WHEREOF, the parties have caused this Agreement to be duly executed this _____ day of _____, 2024.



PATAGONIA DEVELOPMENT, LLC AND THE WESTPARK COMPANY, INC.

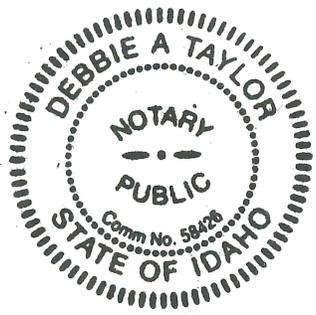
By LAWRENCE C. SQUIRES
SECRETARY/TREASURER

On this 20th day of June, 2024, before me Lawrence Squires, personally appeared LAWRENCE C. SQUIRES known or identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that he/she executed the same as the Secretary/Treasurer and on behalf of the PATAGONIA DEVELOPMENT, LLC AND THE WESTPARK COMPANY, INC.

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Notary Public for Idaho
My commission expires on 11/30/2029





06/18/2024

City of Kuna
A Municipal Corporation of the State of Idaho
PO Box 13
Kuna, ID 83634

Re: "Letter of Credit 51-700226-5"- Patagonia Development – Patagonia Subdivision No 09

Please accept our "Letter of Credit" in the amount of \$181,478.69 for Patagonia Development. Please sign and return the acknowledgement below. Please contact me at 208-985-2555 if you have any questions.

Thank you,
Kyle Jones

Acknowledged receipt by:

IRREVOCABLE STANDBY
LETTER OF CREDIT NO. 51-700226-5
DATE: 6/18/2024
AMOUNT: \$181,478.69

City of Kuna
A Municipal Corporation of the State of Idaho
PO Box 13
Kuna, ID 83634

Ladies and Gentlemen:

We hereby establish our Irrevocable Standby Letter of Credit No. 51-700226-5 in your favor for the account of Patagonia Development, 1861 S Wells Ave, Ste 210, Meridian, ID 83642 up to the aggregate amount of one hundred eighty-one thousand four hundred seventy-eight and 69/100 Dollars (\$181,478.69) U.S. Currency, available by your draft(s) drawn at sight on us and presented to First Federal Savings Bank of Twin Falls on or before 06/18/2025 covering subdivision improvements in Patagonia Subdivision No 09 and accompanied by the following:

1. A signed statement from the City of Kuna Planning and Development Office reading exactly as follows:
“I the undersigned duly authorized representative of the City of Kuna Planning and Development Office, hereby certify that the draft drawn under this Letter of Credit represents the amount of money required to complete the subdivision improvements and/or other work as is incidental and related thereto in accordance with the final plat, drawings and specifications as approved by the City of Kuna.”
2. Original of this Letter of Credit.

All drafts presented under the credit must contain the clause: “Drawn under First Federal Savings Bank of Twin Falls Letter of Credit No. 51-700226-5.”

Any and all banking charges, other than those of the issuing bank, are for the account of the beneficiary.

We hereby engage with the drawers and bona fide holders of drafts drawn under and in compliance with the terms of this Letter of Credit that the drafts will be dully honored upon presentation and delivery of documents, as specified, to First Federal Savings Bank of Twin Falls, 1880 S Eagle Rd, Meridian, ID 83642 on or before 06/18/2025.

All drawings under this credit will be governed by the Uniform Customs & Practice for Documentary Credits (2007 Revisions) International Chamber of Commerce Publication No. 600.

**RESOLUTION NO. R43-2024
CITY OF KUNA, IDAHO**

A RESOLUTION OF THE CITY COUNCIL FOR KUNA, IDAHO APPROVING A PERFORMANCE BOND BY TRESIDIO HOMES, LLC, FOR LUGARNO TERRA NORTH SUBDIVISION NO. 1 FOR UNCOMPLETED FOR LANDSCAPING PURSUANT TO THE TERMS OF THIS RESOLUTION.

WHEREAS Lugarno Terra North Subdivision No. 1 exists as part of an approved preliminary plat; and

WHEREAS construction plans for Lugarno Terra North Subdivision No.1 were approved by the Kuna City Engineer on 26 September 2023; and

WHEREAS construction was commenced but not completed for certain items, per the approved plans; and

WHEREAS the landscaping completion has been estimated at three hundred fifty-eight thousand two hundred sixty-seven dollars and twenty-five cents (\$358,267.25) adding 25% for a total of four hundred forty-seven thousand eight hundred thirty-four dollars and six cents (\$447,834.06); and

WHEREAS developer desires to record the final plat for Ashton Estates Subdivision No. 5 prior to completion of construction; and

WHEREAS Kuna City Code 6-2-4 and 6-4-3 allows for and sets the conditions for recording a final plat prior to the completion of construction:

BE IT HEREBY RESOLVED by the Mayor and Council of the City of Kuna, Idaho, that the Kuna City Engineer is hereby authorized to accept a cash bond and/or an irrevocable standby Letter of Credit in lieu of construction for **Lugarno Terra North Subdivision No. 1** under the following terms and conditions:

1. All bid amounts submitted for unfinished construction are valid for the life of the Letter of Credit;
2. The Letter of Credit is irrevocable, is drawn upon an FDIC or FSLIC insured institution, is an institution with an office where presentment can be made within 50 miles of Kuna City Hall, the Letter of Credit is claimable up to 30 days prior to expiry and expiry is not more than one year from the date of issuance;
3. The amount of the check and face amount of the Letter of Credit is at least four hundred forty-seven thousand eight hundred thirty-four dollars and six cents (\$447,834.06);
4. No more than fifty percent of available permits can be claimed during the life of the Letter of Credit and if improvements are not completed within 120 days of issuance of the Letter of Credit, no further building permits can be issued;

PASSED BY THE COUNCIL of Kuna, Idaho this ____ day of _____, 2024.

APPROVED BY THE MAYOR of Kuna, Idaho this _____ day of _____ 2024.

Joe L. Stear, Mayor

ATTEST:

Nathan Stanley, City Clerk

**CITY OF KUNA IMPROVEMENT AGREEMENT
LETTER OF CREDIT**

THIS AGREEMENT is made by and between TRESIDIO HOMES, LLC (hereinafter “Developer”); whose address is 2973 N. EAGLE RD., SUITE 110, MERIDAN, ID 83646, and CITY OF KUNA, a municipal corporation of the State of Idaho, (hereinafter “City”); whose address is Post Office Box 13, Kuna, Idaho 83634.

WHEREAS, Developer desires to record its final plat for phase one of the development known as Lugarno Terra North No. 1, (“Development”) located in the City of Kuna; and

WHEREAS, City will not sign the final plat unless Developer promises to install and warrant certain Improvements as herein provided and security is provided for that promise as set forth herein.

NOW, THEREFORE, THE PARTIES HEREBY AGREE AS FOLLOWS:

1. Installation of Improvements. Developer agrees to complete and pay the total costs of all Improvements required by City and those specified in the following:
 - a. Approved Landscape Plan for Lugarno Terra North 1 and the associated Bid for landscaping by Evolution Landscape & Nursery, and;

The bids for said Improvements are attached hereto as **Exhibit A**. The required Improvements are shown on the plans, drawings and specifications previously reviewed and approved by City in connection with the above described Development, and in accordance with the standards and specifications established by the City and adopted by the City Council.

2. Letter of Credit. Developer has executed and delivered to City an irrevocable standby Letter of Credit issued to the City, in the aggregate amount of four hundred forty-seven thousand eight hundred thirty-four dollars and six cents (\$447,834.06), for the City to retain, which includes:
 - a. The initial City Engineer or Public Works Director’s estimated cost of the remaining work shall as determined, in part, from the detailed bids provided by the sub-divider's contractors in an amount, plus twenty-five (25) percent, for an amount of one hundred twenty-five (125) percent;
 - b. To that total, the following additional sums may be added upon the following considerations:
 - i. Three (3) to ten (10) percent for inflation; ten (10) to fifteen (15) percent for the City's bidding disadvantage; and twelve (12) percent to twenty (20) percent for city project management as determined by the City Engineer or Public Works Director.

3. The Developer and City stipulate the amount to be a reasonable estimate, pursuant to Kuna City Code.
4. If construction of all financially pledged improvements are not completed within one hundred twenty (120) days following the date of recordation of the final plat, no further building permits shall be issued by the City until final completion of all improvements has occurred and the City has inspected and approved them. However, if the remaining improvements are not completed within the one hundred twenty-day period, through no fault of the Developer, the City Engineer or Public Works Director may grant a one-time, one hundred twenty-day (120) time extension. The determination of what may be considered a "no fault circumstance" shall be determined by the City Engineer or Public Works Director.
5. Refund or Withdrawal. City may withdraw funds from Cash Deposit if (1) Improvements are not completed as required by this Agreement within the time period specified in Paragraph 6, or if (2) Improvements are not installed strictly in accordance with Paragraph 1 and written notice of the deficiency has been given to Developer, who has failed to remedy the deficiency within ten (10) days after the notice is sent. In said event, City may withdraw funds from Cash Deposit both (1) those amounts necessary to either complete Improvements as required herein or alter or repair Improvements to conform to the requirements hereof, and (2) City's cost of administration incurred in obtaining Cash Deposit, including attorney's fees and court costs, which shall be deducted from any Cash Deposit. If the amount of Cash Deposit is inadequate to pay the cost of the completion of Improvements according to City's standards or specifications for whatever reason, including previous reductions, Developer shall be responsible for the deficiency and no further building permits shall be issued in the subdivision or development until Improvements are completed or, with City Council approval, a new, satisfactory security has been executed and delivered to City or other satisfactory arrangements have been made to insure completion of the remaining improvements.
6. Preliminary Release. At the time herein provided, but no later than at the time of final inspection and acceptance of all Improvements by City, City will authorize release and return the Letter of Credit. The release provided for in this paragraph shall occur when City certifies that Improvements are complete, which shall be when Improvements have been installed as required and fully inspected and approved by City, and after as-built drawings have been supplied as required.
7. Non-Release of Developer's Obligations. It is understood and agreed between the parties that the establishment and availability to City of Letter of Credit as herein provided, and any withdrawals there from by City shall not constitute a waiver or estoppel against City and shall not release or relieve Developer from its obligation to install and fully pay for Improvements as required in Paragraph 1 above, and the right of City to withdraw from Cash Deposit shall not affect any rights and remedies of City against Developer for breach of any covenant herein, including the covenants of Paragraph 1 of this Agreement. Further, Developer agrees that if City withdraws from Cash Deposit and performs or causes to be performed the installation or warranty work required of Developer hereunder, then any and all costs incurred by City in so doing which are not collected by City by withdrawing from

Cash Deposit shall be paid by Developer, including administrative, engineering, legal, labor and materials and other procurement fees and costs.

8. Upon satisfaction of this Agreement, Developer shall provide the City with its financial institution information including account wire transfer information.
9. Binding Effect and Assignment. This Agreement shall be binding upon, and inure to the benefit of, the heirs, officers, agents, legal representatives, successors and assigns of the parties hereto. No party shall assign or transfer any rights under this Agreement without the prior written consent of the other first obtained, which consent shall not be unreasonably withheld.
10. Notices. Any notice required or desired to be given hereunder as shall be deemed sufficient if sent by certified mail, postage prepaid, addressed to the respective parties at the addresses shown in the preamble.
11. Severability. Should any portion of this Agreement for any reason be declared invalid or unenforceable, the invalidity of such portion shall not affect the validity of any of the remaining portions and the same shall be deemed in full force and effect as if this Agreement had been executed with the invalid portions eliminated.
12. Governing Law. This Agreement and the performances hereunder shall be governed by the laws of the State of Idaho.
13. Counterparts. The fact that the parties hereto execute multiple but identical counterparts of this Agreement shall not affect the validity or efficacy of their execution, and such counterparts, taken together, shall constitute one and the same instrument, and each counterpart shall be deemed an original.
14. Waiver. No waiver of any of the provisions of this Agreement shall operate as a waiver of any other provision, regardless of any similarity that may exist between such provisions, nor shall a waiver in one instance operate as a waiver in any future event. No waiver shall be binding unless executed in writing by the waiving party.
15. Captions. The captions preceding the paragraphs of this Agreement are for convenience only and shall not affect the interpretation of any provision herein.
16. Entire Agreement. This Agreement, together with its exhibits and the approved plans and specifications referred to, contains the entire and integrated agreement of the parties with respect to the subject matter hereof, and no prior or contemporaneous promises, representations, warranties, inducements, or understandings between the parties pertaining to the subject matter hereof which are not contained herein shall be of any force or effect.
17. Default. In the event either party hereto defaults in any of the covenants or agreements contained herein, the defaulting party shall pay all costs and expenses, including a reasonable attorney's fee, incurred by the other party in enforcing its rights hereunder whether incurred through litigation or otherwise.

- 18. Time of Essence. The parties agree that time is of the essence in the performance of all duties herein.
- 19. Exhibits. Any exhibit(s) to this Agreement are incorporated herein by this reference, and failure to attach any such exhibit shall not affect the validity of this Agreement or of such exhibit. An unattached exhibit is available from the records of the parties.
- 20. Amendment. Any amendment or modifications of this Agreement shall be made in writing, signed by the parties, and attached hereto.
- 21. Extension. The Bond Agreement and security for completion of Improvements described in Paragraph 1 may be extended by written modification of this Agreement only.
- 22. Change of Address. It is the obligation of Developer to provide an updated address should it change during the pendency of this agreement.

IN WITNESS WHEREOF, the parties have caused this Agreement to be duly executed this 27 day of June, 2024.

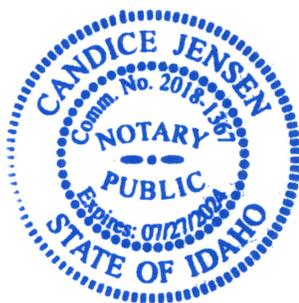


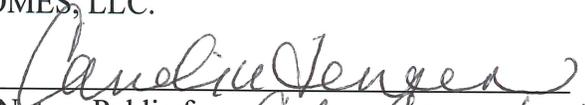
TRESIDIO HOMES, LLC

By Jonathan Hastings
Manager

On this 27 day of June, 2024, before me Jon Hastings, personally appeared JONATHAN HASTINGS known or identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that he/she executed the same as the Manager and on behalf of the TRESIDIO HOMES, LLC.

S
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Notary Public for Ada County
My commission expires on July 27, 2024

City of Kuna, Idaho

(seal)

By Joe Stear

Mayor

Attest:

Chris Engels, *City Clerk*

STATE OF IDAHO)
 : SS
County of Ada)

Evolution Landscape & Nursery

P.O. Box 2177

Eagle, ID 83616

208-463-8733

invoices@welovetoplant.com



Estimate

ADDRESSCarl Baker
Tresidio Homes**ESTIMATE # 1186****DATE 12/20/2023****PROJECT NAME**

Lugarno Terra North Subdivision

JOB NUMBER

Phase 1-Value Engineer #2

DESCRIPTION	QTY	RATE	AMOUNT
Cleanup site and Rough grade existing (sq.ft.).	0	0.16	0.00
Screened Topsoil Delivered and Installed for lawn and planter bed areas (cu. yd.)	0	35.00	0.00
Landscape boulders available upon request	0	240.00	0.00
POC	1	2,314.93	2,314.93
Baseline 3200 clock station decoder controller with wall mount	1	5,366.22	5,366.22
Installation of 1.5" mainline for sprinkler system (lin. ft.)	2,020	5.13	10,362.60
Baseline Controlled Rainbird automated 1" valve installed	29	2,115.00	61,335.00
Baseline Controlled Rainbird automated drip valve valve installed	14	1,915.00	26,810.00
Hose bib installation (per hose bib)	10	115.00	1,150.00
2" sleeving installation (lin. ft.)	440	6.35	2,794.00
4" sleeving installation (lin. ft.)	120	11.29	1,354.80
Acer platanoides 'Columnar Broad'/ Parkway Maple 2" bb	19	329.00	6,251.00
Carpinus betulus 'Franz Fontaine'/ Franz Fontaine Hornbeam 2" bb	7	329.00	2,303.00
Fraxinus pennsylvanica 'Patmore'/ 'Patmore' Green Ash 2" bb	16	329.00	5,264.00
Gleditsia triacanthos inermis 'Shademaster' TM/ Shademaster Locust 2" bb	3	329.00	987.00
Liquidambar styraciflua 'Worplesdon'/ Worplesdon Sweet Gum 2" bb	13	329.00	4,277.00
Picea abies 'Cupressina'/ Cupressina Columnar Norway Spruce 6-7' bb	27	309.00	8,343.00
Pinus nigra 'Oregon Green'/ Oregon Green Pine 6-7' bb	31	359.00	11,129.00
Prunus virginiana 'Canada Red'/ Canada Red Cherry 2" bb	41	329.00	13,489.00
Pyrus calleryana 'Cleveland Select'/ Cleveland Select Pear 2" bb	9	329.00	2,961.00
Quercus robur x alba 'Crimson Spire'/ Crimson Spire Oak 2" bb	18	329.00	5,922.00
Tilia americana 'Redmond'/ Redmond American Linden 2" bb	23	329.00	7,567.00
Berberis thunbergii 'Orange Rocket' / Orange Rocket Barberry 5 gal. con.	16	49.50	792.00
Bouteloua gracilis 'Blonde Ambition' / Blue Grama 2 gal. con.	33	26.50	874.50

DESCRIPTION	QTY	RATE	AMOUNT
Calamagrostis x acutiflora `Karl Foerster` / Feather Reed Grass 2 gal. con.	80	24.50	1,960.00
Cotinus coggygria `Lilla` / Lilla Dwarf Smoke Tree 5 gal. con.	8	59.00	472.00
Forsythia x intermedia `Mindor` TM / Show Off Forsythia 5 gal. con.	31	55.00	1,705.00
Helictotrichon sempervirens `Blue Oats` / Blue Oat Grass 2 gal. con	54	24.50	1,323.00
Juniperus squamata `Blue Star` / Blue Star Juniper 2 gal. con.	43	36.25	1,558.75
Lavandula angustifolia `Hidcote Blue` / Hidcote Blue Lavender 2 gal. con.	6	22.50	135.00
Perovskia atriplicifolia `Blue Spires` / Russian Sage 2 gal. con.	41	24.50	1,004.50
Phlox subulata `Emerald Blue` / Emerald Blue Moss Phlox 1 gal. con.	4	12.50	50.00
Phlox subulata `Red Wings` / Red Wings Creeping Phlox 1 gal. con.	22	12.50	275.00
Prunus laurocerasus `Otto Luyken` / Otto Luykens English Laurel 2 gal. con.	8	34.50	276.00
Rhus aromatica `Gro-Low` / Gro-Low Fragrant Sumac 5 gal. con.	39	45.00	1,755.00
Installation and warranty of trees and shrubs	1	64,539.00	64,539.00
Fine grade for prep for sod or mulch (sq. ft.). Grade to be set +/- .5" prior to Evolution beginning fine grading.	124,020.16	0.08	9,921.61
3/8" Black & Tan Crushed Shale installed (cu. yd.)	241	159.00	38,319.00
Black Powder Coated Steel Edging installed (lin. ft.)	0	11.75	0.00
Blue Grass/Rye Blend installed (sq. ft.)	98,752.48	0.54	53,326.34

Estimate does not include grayed area on landscape plans.

TOTAL

\$358,267.25

Top soil can be provided if needed at \$35/yd.

Accepted By

Accepted Date



City of Kuna
 P.O. Box 13
 Kuna, ID 83634

Attention: Nathan Stanley, City Clerk

SUBJECT: Valley Regional Transit FY2025 Funding Request

Dear Mr. Stanley,

The following table outlines the preliminary funding requests for **City of Kuna** for **FY2025**. As you can see VRTs' only request of you is a general assessment for regional overhead that supports the administration of the services that citizens in your community access as outlined in the introductory letter Elaine sent earlier this Spring.

Type	Amount
General Assessment (<i>calculated by regional share of the population</i>)	\$ 18,672
Service Assessment (<i>calculated by share of miles serving your jurisdiction</i>)	\$ 0
Capital Assessment (<i>calculated by share of miles serving your jurisdiction</i>)	\$ 0
Special Assessment (<i>Negotiated</i>)	\$ 0
Financial Reserve Contribution	\$ 0
Total Request	\$ 18,672

General Assessments support regional overhead expenses (administration, finance, communications, etc.)

Service Assessments support service operations and associated paratransit, preventive maintenance, planning and administration. Service Assessments for each jurisdiction are based on the direct service provided in that community.

Capital Assessments support capital procurement, design or construction projects for asset maintenance and replacement of rolling stock that has reached the end of its useful life. It also includes enhancements approved in the adopted Transit Development Plan.

Special Assessments are requested to support activities, programs or projects outside of the maintenance rolling stock and improved enhancements assessments. Special assessments are negotiated with the jurisdiction/organization and typically include new services or projects that are funded by discretionary grants.

Financial Reserve Contribution is under review and will be continued if the board takes action on a new policy.

Financial Assumptions

The Valley Regional Transit (VRT) Board is committed to making sure existing and future resources are used in alignment with the strategic direction and priorities adopted by the VRT Board of Directors. Our assessment requests reflect the board priorities using current services and planned or member requested improvements and are based on a cost allocation metric that accounts for population in your service area and services provided,

We work to provide our funding partners with the best information possible as they work through their own budget development process and to work with them to respond to their needs and plans. VRT's budget is dependent on local partner contributions and the amount of federal funding available. As such our budget must sometimes be adjusted during the budget process in response to those points. We will communicate with you as early as possible on any needed adjustments. We will continue to refine our budget over the summer and complete our federal programming which may impact the local share requirements.

VRT brings substantial resources to the Treasure Valley through federal funds, but all federal funds require local match. We sometimes have federal funds that cannot be spent due to lack of local funds to match them. All local funds contributed by your organization will be matched where possible. Typical federal match rates are 80% federal 20% local on capital projects and as much as 50% federal and 50% local for operations.

Should you have any questions or require additional information please feel free to contact me at (208) 258-2701 or shunt@ridevrt.org.

Thank you for your continued support of Valley Regional Transit.

Sincerely,



Stephen Hunt
Chief Development Officer
Valley Regional Transit

Cc:

Jared Empey – Treasurer - jempey@kunaid.gov
Nathan Stanley - City Clerk - nstanley@kunaid.gov
Kyle Street – VRT Programming Planner – kstreet@ridevrt.org
Cameron Wells – VRT Chief Financial Officer – cwells@ridevrt.org



valleyregionaltransit

Valley Regional Transit FY2025 Request

City of Kuna

July 2, 2024

FY2025 Budget Request

- Budget Overview Process
- VRT Overview
- Overview of Transportation Services
- Budget Request



Budget Process Overview

Budget Timeline

- **Apr** – CEO Intro letter
- **Apr/May** – Preliminary funding request
- **May/Jun** – Service and funding request discussions
- **Jul/Aug** – Budget finalization
- **Aug/Sept** – Cooperative agreements

2024 & 2025 Requests

Funding Category	FY2024	FY2025
General Assessment	\$17,967	\$19,043
Service Assessment	\$0	\$0
Capital Assessment	\$0	\$0
Special Assessment	\$0	\$0
Total Request	\$17,967	\$19,043

VRT Overview

STAFF 43 VRT STAFF 149 O&M CONTRACTED

583 ACTIVE BUS STOPS (2023)
700 ACTIVE BUS STOPS (2024)

4 TRANSIT CENTERS/
MAINTENANCE FACILITY

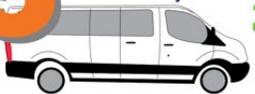
FACILITIES

FLEET

45 BUSES 10 Electric 35 CNG



25 VANS/MINIVANS
22 Vans (11 ♂)
3 Minivans (1 ♂)



39 CUTAWAYS 27 CNG 12 Gasoline



16 OTHER 7 Support Service 6 Admin 3

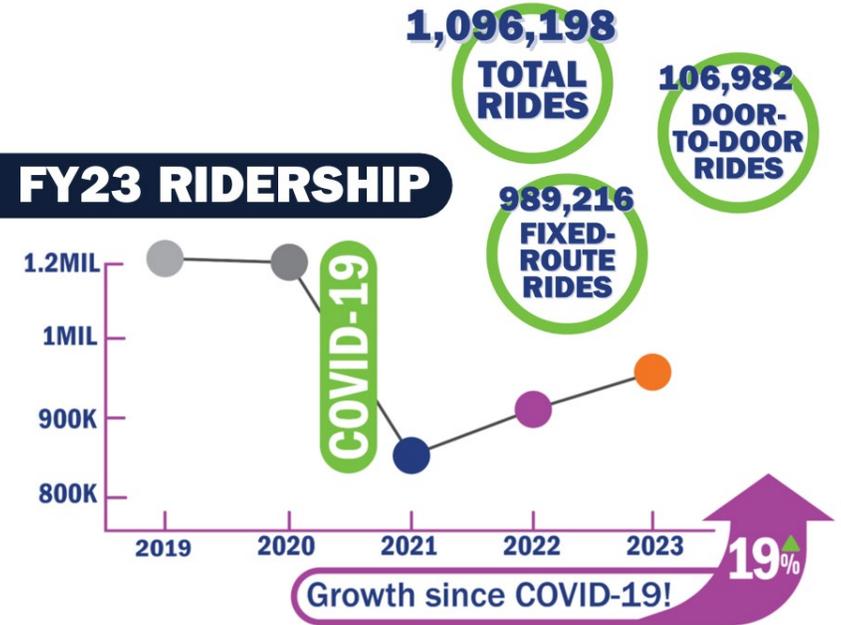


VRT SERVICES

- BUS**: Fixed-Route, VRT On-Demand
- PARATRANSIT**: VRT Access, VRT Beyond Access
- SPECIALIZED SERVICES**: Village Van, Volunteer Driver, Rides2Wellness, lyA Transit Connections, lyA VRT Late Night
- PROGRAMS**: SAFE ROUTES TO SCHOOL, CityGO

VRT IS MORE THAN THE BUS

FY23 RIDERSHIP



FY2024 Service Change

June 3, 2024



- Significant network restructure
- Targeting 20% increase in ridership
- Increased frequency on major routes
- Eagle OnDemand hours extend from 8am-5pm to 7am-7pm
- New sign blades and information holders currently being installed

Enhanced Passenger Information

- Easy to understand
- Highlights level of service
- Instructions on how to use
- Shows fares with QR code
- Contact information

V.2402.7 AB501
Questions? Call 208-345-7433 Page 189 of 238

FARES	STANDARD ESTÁNDAR	REDUCED REDUCIDA
SINGLE RIDE PASE DE UN SOLO VIAJE	\$1.50	\$0.75
ALL-DAY PASS PASE DE TODO EL DÍA	\$2.50	\$1.25

ROUTE COLOR LEGEND
The route color means a bus comes every...
El color de la ruta significa que un autobús pasa cada...

	Morning	Midday	Evening
15 min	30 min	15 min	
30-60 min	30-60 min	30-60 min	
60 min	NO BUS	60 min	

4 Franklin **5 Emerald**

MON-FRI LUN-VIE	BUS EVERY	MON-FRI LUN-VIE	BUS EVERY
6:30 am - 7:00 pm	60 min	6:15 am - 10:45 am	30 min
		10:45am - 3:15 pm	60 min
		3:15 pm - 6:16 pm	30 min
		SAT SÁB	BUS EVERY
		7:55 am - 3:55 pm	60 min

Towne Square Mall

- Barrister & Bethel
- Barrister & Allumbaugh
- Allumbaugh & Whisperwood
- Cassia & Troxel
- Curtis & Anna
- Curtis & Franklin
- Franklin & Phillippi
- Franklin & Orchard
- Rose Hill & Roosevelt
- Latah & Rose Hill
- Latah & Alpine
- Americana & Latah
- Americana & Ann Morrison Park
- Americana & Shoreline
- River & 15th
- River & 13th
- River & Pioneer
- Capitol & River
- Main Street Station

Towne Square Mall

- Cole & Emerald
- Emerald & Raymond
- Emerald & Hartman
- Emerald & Curtis
- Emerald & Stanley
- Emerald & Garden
- Emerald & Roosevelt
- Americana & Latah
- Americana & Ann Morrison Park
- Americana & Shoreline
- River & 15th
- River & 13th
- River & Pioneer
- Capitol & River
- Main Street Station

YOU ARE HERE

ETA Spot App
Track your bus in real time
Seguimiento del autobús

VRT Booking App
Schedule VRT On-Demand rides
Programar viajes VRT On-Demand

UMO Mobility App
Plan your trip, pay your fare
Planificar el viaje, pagar el billete

Want to learn more? Scan me!
¿Quieres saber más? ¡Escaneame!

Stay connected while you ride with free onboard WiFi.
Manténgase conectado mientras viaje con la conexión Wi-Fi gratuita a bordo.

HOW TO RIDE

Overview of Transportation Services

Kuna Senior Center

- Bus operates 5 days a week
- Shopping, Medical, Field Trips, Other
- Make reservation in advance
- 2929 rides in FY2023
- FY2023 \$11,066
- \$8853 Federal Grant
\$2213 Local match (AAA grant)



Kuna Transit Study

- Study Narrative Complete
- Fixed Route and OnDemand Scenarios
- Need Public Feedback on Scenarios
- Rider Emphasis on children and older adults getting around Town



FY2025 Budget Request

FY2025 Budget Request

Local Cost Allocation Model

Assessment Breakdown

Type	Amount
General Assessment (calculated by regional share of the population)	\$19,043
Service Assessment (calculated by share of miles serving your jurisdiction)	\$0
Capital Assessment (calculated by share of miles serving your jurisdiction)	\$0
Special Assessment (Negotiated)	\$0
Financial Reserve Contribution	
Total Request	\$19,043

FY2025 Funding Request

Request Kuna consider supporting a \$19,043 contribution to public transportation.

- Provides specialized services
- Leverages federal funding and fare revenue
- Growth Potential

Thank you. Questions?
Elaine Clegg
eclegg@rideVRT.org



P.O. BOX 13
KUNA ID 83634
(208)922-5546
www.KunaCity.id.gov

Mayor
Joe Stear

City Council
Members
Matt Biggs
Chris Bruce
John Laraway
Greg McPherson

City of Kuna

June 19, 2024

Stephanie Gerla
Watch Me Grow
346 West 4th Street
Kuna, Idaho 83634

Ms. Gerla,

This letter provides you with Notice of Revocation of your City of Kuna daycare license for Watch Me Grow, 346 West 4th Street, Kuna, Idaho 83634, effective June 19, 2024. The City of Kuna received a copy of the Letter of Revocation that Watch Me Grow received on June 14, 2024 from the Idaho Department of Health and Welfare (“H&W”).

Per Kuna City Code Title 3 Chapter 10 Subsection 5, applicants for a City of Kuna daycare license must hold “a valid currently enforced basic daycare license issued by the state of Idaho” to obtain a Kuna City daycare license. With the revocation of your daycare license by H&W, and pursuant to Kuna City Code 3-10-10(2), you are no longer qualified to hold a City of Kuna a daycare license.

Pursuant to Kuna City Code 3-10-11(4), you are hereby notified that the Kuna City Council will hold a hearing regarding the revocation of you City of Kuna daycare license. The time and place for the hearing is:

Next regularly scheduled city council meeting:

July 2, 2024 at 6:00 P.M.
Kuna City Hall
751 W 4th Street
Kuna, Idaho 83634

At this hearing, you may present argument and evidence to show cause why your City of Kuna daycare license should not be revoked. At this hearing, City Staff will also present evidence to the Council showing the grounds for revocation.

Sincerely,

Nathan Stanley,
Kuna City Clerk

**ORDINANCE NO. 2024-16
CITY OF KUNA**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF KUNA:

- **MAKING CERTAIN FINDINGS; AND**
- **ADDING CHAPTER 4A TO TITLE 1, KUNA CITY CODE, AND THEREBY ESTABLISHING AN ADMINISTRATIVE CITATION PROGRAM; AND**
- **PROVIDING A SEVERABILITY CLAUSE; AND**
- **DIRECTING THE CITY CLERK; AND**
- **PROVIDING AN EFFECTIVE DATE.**

NOW, THEREFORE, BE IT ORDAINED by the Mayor and City Council of the City of Kuna, Ada County, Idaho:

Section 1: Findings.

- 1.1** The City Council of the City of Kuna ("City") finds that there is a need to effectively and efficiently enforce city ordinances to protect public health, safety, and welfare.
- 1.2** The current enforcement mechanisms available to the City for addressing violations of city ordinances include criminal prosecution and civil injunctions, which can be time-consuming and costly. Such enforcement mechanisms can also prove unnecessarily severe under certain circumstances.
- 1.3** The City desires to establish an alternative enforcement tool that is less adversarial, less severe, and more efficient to aid in achieving compliance with city ordinances.

Section 2: That a new Chapter be added Title 1 Kuna City Code, to read in its entirety as follows:

CHAPTER 4A - ADMINISTRATIVE CITATION PROGRAM AND PROCESSES

1-4A-1 - FINDINGS AND SCOPE OF SECTION

- A. The City Council of the City of Kuna has a significant interest in ensuring compliance with its laws and finds that there is a need for an alternative method for enforcement of violations of the Kuna City Code and for violations of orders or requirements imposed on any permit issued or approved by the City.
- B. The City Council finds that adoption of an Administrative Citation program is an effective method for enforcement.
- C. The primary purpose and intent of the City Council through adoption of this program is to:
1. Foster timely compliance with the law in order to protect public health, safety, and welfare;

2. Provide for a process that is open and fair and that allows for a imposition, review, and appeal of Administrative Citations and fines imposed;
 3. Reduce the delay and expense of enforcing the Kuna City Code through the current options of criminal prosecution or civil litigation while still providing due process to Responsible Parties;
 4. Avoid overloading criminal and civil courts with minor offenses related to the violation of City Code; and
 5. Deter frivolous challenges to Administrative Citations and facilitate prompt collection of fines.
- D. The procedures herein are adopted pursuant to Idaho Code § 50-302 which gives authority to the Council to enforce ordinances by fines as the Council may deem proper.
- E. The determination by the City to impose, enforce, collect and provide administrative review of Administrative Fines pursuant to this Section is solely at the City's discretion and is only one option available to the City. Issuance of an Administrative Citation shall not be deemed a waiver of any other enforcement remedies available to the City. By adopting this Administrative Citation program the Council does not intend to limit the ability of the City to use any other remedy, civil or criminal, which may be available in a particular case.

1-4A-2 - DEFINITIONS:

Administrative Citation means a notice of violation of Kuna City Code issued by an Enforcement Officer.

Administrative Costs means all direct and indirect costs the City incurs as a result of issuing an Administrative Citation, performing an informal review, or conducting an administrative citation hearing. Such costs include but are not limited to investigating violations, issuing an Administrative Citation, reviewing and processing documentation during an informal review, preparing and sending notice and decisions, scheduling hearings, and conducting an administrative citation hearing.

Administrative Fine means the fine or penalty imposed on the Responsible Person for a violation of this Code enforceable by an Administrative Citation. The amount of this fine may be set forth in the specific Chapter or Section of this code that a Responsible Party has violated, or where no specific penalty is set forth in the Chapter or Section violated, in an amount defined for Administrative Citations in Kuna City Code § 1-4-1.

Administrative Hearing Officer means a decision-maker selected and appointed by the Mayor. A City employee may serve in this capacity so long as (1) such employee was not personally involved in the process of investigating or issuing the Administrative Citation under review, (2) the employee does not report to the Enforcement Officer who issued the Administrative

Citation, (3) the employee does not make financial budgeting decisions for the City, and (4) does not have a financial interest in the outcome of Administrative Citations.

Enforcement Officer means any police officer, inspector, Code Enforcement Officer, or other employee or agent of the City having the power to issue an Administrative Citation.

Responsible Party means any person who can be categorized as follows:

- A. A person who violates a provision of City Code;
- B. A person who causes or materially contributes to the causation of violation of City Code;
- C. A person who maintains or allows an ongoing or continuing violation of City Code by his or her action or inaction;
- D. A person whose agent, employee, or independent contractor causes or materially contributes to the causation of violation of City Code;
- E. An on-site manager of a business who is responsible for the activities occurring at the premises, and the business activities violate a provision of City Code;
- F. A trustee or other person who is given the legal authority to manage property on behalf of another, and conduct or circumstances related to the management of the property result in a violation of a provision of City Code;
- G. A person who is a parent or guardian having custody and control of a minor who contributes to the violation of City Code; or
- H. A person who is the owner of, or who exercises control over, or any lessee or sub-lessee with the current right of possession of, real property where a property related violation of City Code occurs or continues to occur.

1-4A-3 - ISSUANCE OF AN ADMINISTRATIVE CITATION.

Whenever an Enforcement Officer determines that a violation of City Code has occurred or is occurring, the Enforcement Officer is authorized to issue an Administrative Citation to the Responsible Person(s). If the Responsible Person is a minor, the Enforcement Officer is authorized to issue an Administrative Citation to the parent(s) or guardian(s) having custody and control of the minor.

- A. An Administrative Citation shall include the following information:
 - 1. A reference to the applicable section of the Kuna City Code that has been violated;
 - 2. A brief description of the action or inaction of the Responsible Party constituting the grounds for the citation and the date, time, and location of the violation;

3. The fine for the violation(s);
 4. Whether the violation constitutes a first, second, third, or subsequent offense;
 5. Notice that the fine must be paid within fourteen (14) days of receipt of the citation per Kuna City Code § 1-4A-5(1) and describe the available methods for payment.
 6. Notice that the Responsible Party may request an informal review of the citation through City Clerk's Office, and identify the deadline for making such request; and
 7. The date the citation is issued and the name and signature of the Enforcement Officer.
- B. The City may dismiss an Administrative Citation at any time if it is determined to have been issued in error.

1-4A-4 - SERVICE PROCEDURES:

- A. *Personal Service.* In any case where an Administrative Citation is issued to an individual, the Enforcement Officer shall:
1. Make reasonable efforts to locate the Responsible Party and personally serve the Administrative Citation on the Responsible Party or Parties. If the Responsible Person is a Minor, the Enforcement Officer shall serve the Administrative Citation on the parent(s) or guardian(s) having custody and control of the Minor, and attempt to provide a copy to the Minor.
 2. Obtain the signature of the Responsible Party on the Administrative Citation. If the Responsible Party refuses or fails to sign the Administrative Citation, the failure or refusal to sign shall not affect the validity of the Administrative Citation and subsequent proceedings.
- B. *Service by Mail.* If the Enforcement Officer is unable to locate the Responsible Party for the Administrative Violation, the Administrative Citation may be mailed to the Responsible Party by certified mail. If the Responsible Party is known to be a Minor, the Administrative Citation shall be mailed to the parent(s) or guardian(s) having custody and control of the Minor.
1. If the Responsible Party is the property owner where a property related Administrative Violation occurs, the Administrative Citation shall be sent to the last known address of the Responsible Party, and may also be posted at a prominent location (e.g. the primary entrance of a structure on the property) on the property.
 2. If the Responsible Party is the tenant or other possessor of property where a property related Administrative Violation occurs, the Administrative Citation shall be sent to the property address, and may also be posted at a prominent location (e.g. the primary entrance of a structure on the property) on the property.

- C. *Service of Administrative Citations for Parking Offenses.* If the Administrative Citation relates to the parking of a vehicle, the Responsible Party shall be either: (1) the operator of the vehicle if the identity of such person is known to the Enforcement Officer at the time the Administrative Citation is issued; or (2) the registered owner of the parked vehicle. Service may be accomplished by:
1. Personally serving the Administrative Citation on the Responsible Party according to the process described in Subsection (A) of this Section; or
 2. Placing the Administrative Citation on the illegally parked vehicle and mailing a copy the last known address of the registered owner as provided in Subsection (B) above of this Section.
- D. *Effective Date.* Service pursuant to Subsection (A) of this Section shall be deemed effective at the time of personal delivery. Service pursuant to Subsection (B) of this Section shall be deemed effective on the date the certified mailing is signed by the receiving party, or where the certified mailing is not accepted for any reason, five (5) calendar days following the date of mailing.

1-4A-5 - PROCESS FOLLOWING ISSUANCE OF AN ADMINISTRATIVE CITATION.

Upon receipt of an Administrative Citation, the Responsible Party has the following options:

- A. *Comply with the Administrative Citation.* Upon receipt of an Administrative Citation, the Responsible Party shall:
1. Pay the fine within fourteen (14) calendar days after the effective date of service under Kuna City Code 1-4A-4(D); and
 2. Remedy the conditions or conduct (e.g. clean up real property) that violate City Code. Payment of an Administrative Fine shall not excuse or discharge a failure to correct the conditions or conduct that led to the Administrative Citation nor shall it bar the Enforcement Officer from taking any other enforcement action in response to a violation of City Code, including issuance of additional Administrative Citations.
- B. *Request an Informal Review of the Administrative Citation.* A Responsible Party may contest the Administrative Citation by requesting an Informal Review. Requests for Informal Review must be actually received by the City within fourteen (14) calendar days of the effective date of service under Kuna City Code 1-4A-4(D) by personal delivery or by mail to Kuna City Clerk's Office at 751 W. 4th Street, Kuna, Idaho 83634 Failure to timely make such a request shall constitute a waiver of the right to challenge the Administrative Citation. Submitted requests for Informal Review must be made on an official form provided by the City.
1. If, following the Informal Review, it is determined that the offense charged in the Administrative Citation did not occur, or that dismissal is in the interest of justice, the

Administrative Citation shall be dismissed and the Responsible Person notified by mail.

2. If, following the Informal Review, the Administrative Citation is not dismissed, the Responsible Person shall be notified by mail and informed of the reasons the Administrative Citation was not dismissed and his or her obligation to pay the Administrative Fine within seven (7) calendar days of the post-mark on the notice, and of his or her right to request an administrative hearing.

C. *Request an Administrative Citation Hearing to contest the Informal Review.* The Responsible Party may choose to challenge the outcome of the Informal Review by submitting a request for an Administrative Citation Hearing. Such request must be actually received by the City within seven (7) calendar days of the post-mark on the notice provided in subsection (B)(2) of this Section. Failure to timely make such a request, shall be deemed a waiver of the right to an Administrative Citation hearing. The Responsible Party must submit a written request on an official form provided by the City, requesting an Administrative Hearing. Said form, hereinafter referred to as a Request for Administrative Hearing, shall require advance deposit in the full amount of the costs of the Informal Review fees, estimated Administrative Hearing costs, and the Administrative Fine, or written proof of financial hardship as specified in Paragraph (1) of this Subsection. A Responsible Party who fails to make the required deposit or provide written proof of financial hardship, will have waived the right to contest the Informal Review, and the Informal Review decision shall stand. The Responsible Party may also be responsible for actual administrative costs assessed under Kuna City Code § 1-4A-6(J)(2), including substitution of a hearing officer pursuant to Kuna City Code § 1-4A-7(C).

1. *Financial Hardship.* In lieu of the advance deposit required pursuant to this Subsection, written proof of financial hardship, which shall be in the form of a declaration signed by the Responsible Person under penalty of perjury, shall be filed with the City Clerk. The declaration shall state that the Responsible Person earned less than 50% of the median income for the City of Kuna area during the previous tax year, as reported on the Responsible Person's federal income tax return filed with the Internal Revenue Service. The median income for the applicable year shall be the median household income (or estimated median household income) as determined by the United States Department of Housing and Urban Development for the Boise Metropolitan Area.
2. Advance deposits will be held by the City in trust until the conclusion of the Administrative Hearing process. When the Responsible Party's challenge of the Administrative Violation is unsuccessful, the advance deposit will be forfeited to the City to pay the Administrative Fine and the informal review and Administrative Hearing fees. In the event the Responsible Party's challenge is successful, the advance deposit will be returned to the Responsible Party.

D. In the event a Responsible Party requests an Administrative Hearing to contest an Administrative Citation, the Responsible Party may also simultaneously request all evidence in the City's possession related to the specific Administrative Citation. Upon receipt of such a

request the City shall provide the Responsible Party with a copy of all evidence in the City's possession against him or her.

1-4A-6 - ADMINISTRATIVE CITATION HEARING PROCESS.

A. Powers of the Administrative Hearing Officer. The Administrative Hearing Officer in accordance with this Section has the following powers:

1. The Administrative Hearing Officer shall determine whether the City Code violation specified in the Administrative Citation occurred;
2. The Administrative Hearing Officer shall determine whether the assessed Administrative Fine is in accordance with the Administrative Fine schedules;

B. Qualifications of Administrative Hearing Officer. The officer(s) selected shall:

1. Be selected and appointed by the Mayor to serve as a City Hearing Officer.
2. All Hearing Officers shall make a written disclosure of any conflict of interest or bias in the hearing of any specific Administrative Citation, to the Responsible Party.
3. All Hearing Officers shall have a minimum of twenty (20) hours of training on topics relevant to the Administrative Hearing process. Training may be provided through any of the following:
 - a. A program conducted by an accredited college or university;
 - b. Programming or education conducted by the National Association of Hearing Officials;
 - c. An organization established in arbitration or mediation training; or
 - d. A program developed and implemented by the City.

C. *Request for Disqualification of Hearing Officer.* Any Responsible Party challenging a Hearing Officer for lack of impartiality may do so by making a request with the City Clerk. Such request shall be in writing and include: the Responsible Party's name, address, email address, Administrative Citation number, and an explanation of why the Hearing Officer should be disqualified. After reviewing the request for disqualification, the City Clerk, shall determine and provide to the Responsible Party in writing whether the request for disqualification is granted and their reason therefore. If a substitute is required for a hearing officer due to disqualification or unavailability, a substitute shall be appointed by the City Clerk, and the City Clerk shall issue notice of a new date for the Administrative Hearing. The cost of substitution of a Hearing Officer shall be included in the costs of an Administrative Hearing pursuant to Kuna City Code 1-4A-7(J)(2) to be assessed against the Responsible Party.

D. *Time for Administrative Hearing.*

1. The Responsible Party shall be notified in writing of the date and time of the hearing by mail to the address provided by the Responsible Party in the Request for Administrative Hearing.
2. The Responsible Party may request no more than one continuance, and the sole basis for the continuance shall be for unavailability. The request may be made as follows:
 - a. The Responsible Party shall submit a written request to the City Clerk;
 - b. The City Clerk must actually receive the request no less than 72 hours before the hearing; and
 - c. The request must state the reason why the Responsible Party is unavailable.
3. The Administrative Hearing Officer shall grant a continuance of the hearing date upon a request by the Responsible Party on a showing of good cause.
4. The City Clerk may initially notify the Responsible Party by electronic means, if necessary, to timely provide notice on whether the request was granted or denied. Such notice may be followed by written notice if requested by the Responsible Party.
5. Should the Administrative Hearing Officer be unavailable for the scheduled hearing, the Hearing Officer may order no more than one continuance before dismissing the Administrative Citation.

E. *Failure to Attend Administrative Hearing.* If the Responsible Party fails to attend the scheduled hearing, he or she shall be deemed to have waived his or her right to an Administrative Hearing. Under these circumstances, the Administrative Hearing Officer shall find the Responsible Party in default. A default under this Section shall constitute a forfeiture of the Administrative Fine, Administrative Hearing fee, and Informal Review fee deposited with the City, and a waiver of any right to challenge any additional assessed Enforcement Costs and Administrative Costs.

F. *Withdrawal of Challenge.* A Responsible Party who has been issued an Administrative Citation and who has requested an Administrative Hearing to challenge the citation as provided in this Title may request in writing that his or her challenge to the citation be withdrawn and the hearing cancelled. Upon receipt of a request to withdraw a challenge to the Administrative Citation, the City shall cancel the pending hearing. A withdrawal under this Subsection shall constitute a forfeiture of the Administrative Fine, Administrative Hearing fee, and Informal Review fee deposited with the City, and a waiver of any right to challenge the assessed Enforcement Costs and Administrative Costs.

G. *Effect of Financial Hardship on Failure to Attend Hearing or Withdrawal of Challenge.* If a financial hardship waiver was granted and the Responsible Party is in default as provided in

Paragraph E of this Subsection, or a challenge to the citation is withdrawn pursuant to Paragraph F of this Subsection, the Administrative Fine and Administrative Costs shall be due and payable by the Responsible Person(s) to the City within twenty (20) calendar days following the date that had been set for the administrative hearing.

H. *Procedures at the Administrative Hearing.*

1. Administrative hearings are informal and inquisitorial in nature, and rules of evidence and discovery do not apply. The proceedings shall be audio-recorded by the City.
2. The Responsible Party may be represented by an attorney licensed to practice in the State of Idaho.
3. The Responsible Party must establish that the Administrative Citation was issued without a rational connection between the facts and the Kuna City Code provision that was allegedly violated per the information on the Administrative Citation.
4. The Administrative Citation and any additional documents submitted by the Enforcement Officer prior to the hearing shall be accepted by the Administrative Hearing Officer as prima facie evidence of the respective facts contained in those documents.
5. The City Enforcement Officer may attend the hearing but is not required to do so.
6. The City Enforcement Officer, if present, shall have the first opportunity to testify and present witnesses and evidence in support of his or her case, including the officer's own testimony. The Responsible Party shall then have the same opportunity.
7. All witnesses are subject to questioning from the Enforcement Officer, Responsible Party (or their attorney), and from the Hearing Officer.
8. Nothing shall preclude the use of telephonic or other electronic means of communication as the venue for the Administrative Hearing if deemed appropriate by the Administrative Hearing Officer.

I. *Decision of the Administrative Hearing Officer.* After considering all of the testimony and evidence submitted at the hearing, the Administrative Hearing Officer shall, within fifteen (15) days thereafter, render a decision in writing. The decision rendered by the Administrative Hearing Officer is not exclusive and does not preclude or foreclose the City from pursuing any and all other remedies provided by law.

1. *Contents of Decision.* The decision shall include the following determinations:
 - a. Determine Whether it is more likely than not that the violation of Kuna City Code alleged in the Administrative Citation occurred and that the Responsible Party is in fact legally responsible for such violation.

- b. Determine whether the correct Administrative Fine was charged for the Kuna City Code violation at issue. This includes a determination whether or not the offense at issue was a first, second, third, or subsequent offense pursuant to Kuna City Code 1-4-1.
 - c. For City Code violations that are on-going/continuing violations, determine whether or not the violation has been corrected as of the date of the hearing, and if not corrected order correction of the violation by a date certain. Such date certain shall not be more than fifteen (15) days after the written decision is issued.
2. *Service of Decision.* The Hearing Officer's decision shall be served on the Responsible Party by first-class mail, postage prepaid, at the address he or she provided in the Request for Administrative Hearing.
- J. *Deposit of Administrative Fines and Costs Following Decision.*
- 1. *Deposited Fines and Fees.* If the Administrative Hearing Officer upholds an Administrative Citation, the fines and fees deposited by the Responsible Party with the City prior to the hearing shall be immediately forfeited to the City. If the Hearing Office dismisses the Administrative Citation, the fines and fees deposited with the City prior to the hearing shall be promptly returned to the Responsible Party. If requested by the Responsible Party, the City shall include interest on any returned deposit, and interest shall be calculated at the legal rate of interest set forth in Idaho Code.
 - 2. *Administrative Costs.* The Hearing Officer's decision shall assess whether the actual Administrative Hearing costs exceed the estimated fee deposited by the Responsible Party in accordance with Kuna City Code § 1-4A-5(D). If the City's actual costs exceed the Responsible Party's deposit, the Hearing Officer's decision shall require the Responsible Party to pay the actual costs of the Administrative Hearing. The Responsible Person(s) shall pay such additional fees to the City within twenty (20) calendar days of receiving the Hearing Officer's decision. If the actual costs are less than the Responsible Party's deposit, the Hearing Officer's decision shall require the City to promptly refund to the Responsible Party the portion of the fee that exceeded the City's costs.

1-4A-7 - WHEN FINES OR FEES DUE; PAYMENT OF FINE OR FEE; LATE PAYMENT PENALTY.

- A. Fines or fees related to Administrative Citations shall be paid to the City Clerk's office.
- B. Interest shall accrue at the legal rate of interest set in Idaho Code for any Administrative Citation fine, Informal Review fee, or Administrative Citation Hearing fee which remains unpaid for ten (10) or more days after the due date, which interest shall be added to the fine or fee amount.

C. All fines and fees shall be payable to the City and deposited in the City's general fund, unless the payment is made pursuant to an ordinance that provides otherwise. Additionally, fines and fees deposited with the City prior to an Administrative Hearing challenging an Administrative Citation shall be held by the City in trust, in a separate account from other City funds, until the conclusion of Administrative Hearing process.

1-4A-8 - FAILURE TO PAY ADMINISTRATIVE CITATION FINE OR ADMINISTRATIVE COSTS

A. Any Administrative Citation Fine or Administrative Cost unpaid past sixty (60) days shall be sent to collections and will be subject to additional penalties.

B. If a person has unpaid fines owing to the City at the time said person applies for a license, permit, or any other registration issued by the City, the City may deny the approval of such license, permit, or registration until the fine is paid in full, unless State law provides otherwise.

Section 3: Severability Provision

This ordinance is hereby declared to be severable. Should any portion of this ordinance be declared invalid by a court of competent jurisdiction, the remaining provisions shall continue in full force and effect and shall be read to carry out the purpose(s) of the ordinance before the declaration of partial invalidity.

Section 4: Directing the City Clerk

The City Clerk is directed to file this Ordinance in the official records of the City and to provide a conformed copy to the Planning and Zoning Director.

Section 5: Effective Date

This Ordinance shall take effect and be in force from and after its passage, approval, and publication as required by law and at the discretion of the City Clerk and In lieu of publication of the entire ordinance, a summary thereof in compliance with Section 50-901A, Idaho Code, may be published.

PASSED BY the Council of the City of Kuna, Idaho, this ____ day of _____, 2024.

APPROVED BY the Mayor of the City of Kuna, Idaho, this ____ day of _____, 2024.

ADOPTED this ____ day of _____, 2024.

CITY OF KUNA

Joe L. Stear, Mayor

ATTEST:

Nathan Stanley, City Clerk

**ORDINANCE NO. 2024-17
CITY OF KUNA**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF KUNA:

- **PROVIDING CERTAIN FINDINGS; AND**
- **AMENDING SECTION 1 OF CHAPTER 4 OF TITLE 1 KUNA CITY CODE TO MAKE TECHNICAL CORRECTIONS AND ADD AN ADMINISTRATIVE CITATION FINE SCHEDULE AND AMENDING THE INFRACTION PENALTY WHERE NO FINE IS PROVIDED; AND**
- **PROVIDING A SEVERABILITY CLAUSE; AND**
- **DIRECTING THE CITY CLERK; AND**
- **PROVIDING AN EFFECTIVE DATE.**

NOW, THEREFORE, BE IT ORDAINED by the Mayor and City Council of the City of Kuna, Ada County, Idaho:

Section 1: Findings.

- 1.1** The City possesses the authority to adopt ordinances and proscribe penalties for violations of such ordinances pursuant to the provisions of Chapter 3 of Title 50, Idaho Code.
- 1.2** For many years, the City has adopted ordinances that prohibit certain conduct and behavior and has provided penalties for violations of such ordinances.
- 1.3** The penalties for violating City ordinances has generally been either a misdemeanor (punishable by fine and jail) or an infraction (punishable by fine).
- 1.4** Contemporaneous (or nearly contemporaneous) with this adopting this ordinance, the City adopted an ordinance creating a new (less severe) category of offense called an Administrative Citation.
- 1.5** The purpose of this ordinance is to adopt a section of cod that proscribes penalties for Administrative Citations.

Section 2: That Section 1, Chapter 4 of Title 1 Kuna City Code be and is hereby amended as follows:

1-4-1: GENERAL PENALTY

- A. *Infraction:* A violation of any provision of this Code declared to be an infraction shall be punishable by a fine as provided for in the specific section of the Kuna City Code. For infractions where the fine is not provided, the fine shall be three hundred dollars (\$300.00); costs and in addition thereto, any person so convicted shall pay such costs as the court may assess.

- B. *Misdemeanor*: A violation of any provision of this Code declared to be a misdemeanor is punishable by a fine not to exceed one thousand dollars (\$1,000.00) for any offense and such person may be confined in jail for a period of not more than six (6) months. Either or both such fine and imprisonment may be imposed; and in addition thereto, any person so convicted shall pay such costs as the court may assess.
- C. *Administrative Citation Fine*: All Kuna City Code sections enforceable by Administrative Citation shall be punishable by a civil fine as follows:
1. *First Offenses*: A first offense occurs when someone violates this Code without any prior violation of the same section within the past three (3) years. For a first offense, the civil fine shall be fifty dollars (\$50.00).
 2. *Second Offenses*: A second offense occurs where a person is found in violation of the same section of this Code within three (3) years from the date the person received an Administrative Citation that resulted in a first offense. The civil fine for second offenses shall be one hundred dollars (\$100.00).
 3. *Third Offenses*: A third offense occurs where a person is found in violation of the same section of this Code within three (3) years from the date the person received an Administrative Citation that resulted in a second offense. The civil fine for third offenses shall be two hundred dollars (\$200.00).
 4. *Subsequent Offenses*: A subsequent offense occurs where a person is found in violation of the same section of this Code within three (3) years from the date the person received an Administrative Citation that resulted in a third or subsequent offense. The civil fine for such subsequent offenses shall be three hundred dollars (\$300.00).
 5. An Administrative Citation that is dismissed cannot be a basis for a second, third, or subsequent offense.
- D. *Administrative Citation Fine for Violation of Title 11 Chapter 2*: For violations of Kuna City Code Title 11 Chapter 2 – Stopping, Standing, or Parking, the fine shall be twenty-five dollars (\$25.00) for a first offense, fifty dollars (\$50.00) for a second offense , and one hundred dollars (\$100.00) for third or subsequent offenses.

Section 3: Severability Provision

This ordinance is hereby declared to be severable. Should any portion of this ordinance be declared invalid by a court of competent jurisdiction, the remaining provisions shall continue in full force and effect and shall be read to carry out the purpose(s) of the ordinance before the declaration of partial invalidity.

Section 4: Directing the City Clerk

The City Clerk is directed to file this Ordinance in the official records of the City and to provide a conformed copy to the Planning and Zoning Director.

Section 5: Effective Date

This Ordinance shall take effect and be in force from and after its passage, approval, and publication as required by law and at the discretion of the City Clerk and In lieu of publication of the entire ordinance, a summary thereof in compliance with Section 50-901A, Idaho Code, may be published.

ADOPTED this ____ day of _____, 2024.

CITY OF KUNA

Joe L. Stear, Mayor

ATTEST:

Nathan Stanley, City Clerk

**ORDINANCE NO. 2024-18
CITY OF KUNA**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF KUNA:

- **PROVIDING CERTAIN FINDINGS; AND**
- **AMENDING SECTION 17 OF CHAPTER 3 OF TITLE 3 KUNA CITY CODE MAKING A VIOLATION OF THE CHAPTER (SOLICITORS AND PEDDLERS) ENFORCEABLE BY ADMINISTRATIVE CITATION; AND**
- **AMENDING SECTION 9 OF CHAPTER 4 OF TITLE 3 KUNA CITY CODE MAKING A VIOLATION OF THE CHAPTER (GENERAL LICENSE PROVISIONS) ENFORCEABLE BY ADMINISTRATIVE CITATION; AND**
- **AMENDING SECTIONS 2, 8, 9, 10, 11, 12, 13, AND 14 OF CHAPTER 7 OF TITLE 3 KUNA CITY CODE MAKING A VIOLATION OF CERTAIN PROVISIONS OF THE CHAPTER (TAXICAB REGULATIONS) ENFORCEABLE BY ADMINISTRATIVE CITATION; AND**
- **AMENDING SECTION 16 OF CHAPTER 8 OF TITLE 3 KUNA CITY CODE MAKING A VIOLATION OF THE CHAPTER (SPECIAL EVENTS) ENFORCEABLE BY ADMINISTRATIVE CITATION; AND**
- **AMENDING SECTION 15 OF CHAPTER 9 OF TITLE 3 KUNA CITY CODE MAKING A VIOLATION OF THE CHAPTER (TEMPORARY MOBILE VENDOR'S PERMIT) ENFORCEABLE BY ADMINISTRATIVE CITATION; AND**
- **AMENDING SECTION 22 OF CHAPTER 3 OF TITLE 7 KUNA CITY CODE MAKING A VIOLATION OF THE CHAPTER (PUBLIC WAYS AND PROPERTY) ENFORCEABLE BY ADMINISTRATIVE CITATION; AND**
- **AMENDING SECTIONS 2 AND 3 OF CHAPTER 1 OF TITLE 8 KUNA CITY CODE MAKING A VIOLATION OF CERTAIN PROVISIONS (WEED CONTROL) ENFORCEABLE BY ADMINISTRATIVE CITATION FIRST AND BY MISDEMEANOR CITATION AFTER; AND**
- **AMENDING SECTION 15 OF CHAPTER 4 OF TITLE 8 KUNA CITY CODE MAKING A VIOLATION OF THE CHAPTER (PUBLIC NUISANCE) ENFORCEABLE BY ADMINISTRATIVE CITATION; AND**
- **AMENDING SECTION 4 OF CHAPTER 2 OF TITLE 9 KUNA CITY CODE MAKING A VIOLATION OF THE CHAPTER (OPEN BURNING VIOLATIONS) ENFORCEABLE BY ADMINISTRATIVE CITATION; AND**
- **AMENDING SECTIONS 8, 9, 11, AND 16 OF CHAPTER 3 OF TITLE 10 KUNA CITY CODE MAKING A VIOLATION OF CERTAIN PROVISIONS WITHIN THE CHAPTER (ANIMAL CONTROL) ENFORCEABLE BY ADMINISTRATIVE CITATION; AND**
- **AMENDING SECTIONS 4 AND 11 OF CHAPTER 1 OF TITLE 11 KUNA CITY CODE MAKING A VIOLATION OF CERTAIN PROVISIONS**

(LOADING AND UNLOADING ZONES; PEDESTRIANS) ENFORCEABLE BY ADMINISTRATIVE CITATION; AND

- **REPEALING SECTION 10 OF CHAPTER 1 OF TITLE 11 KUNA CITY CODE (RIDING HORSE AT NIGHT, LIGHT REQUIRED); AND**
- **AMENDING SECTION 12 OF CHAPTER 2 OF TITLE 11 KUNA CITY CODE MAKING A VIOLATION (STOPPING, STANDING, PARKING VIOLATIONS) ENFORCEABLE BY ADMINISTRATIVE CITATION; AND**
- **AMENDING SECTION 3 OF CHAPTER 3 OF TITLE 11 KUNA CITY CODE MAKING A VIOLATION OF THAT CHAPTER (UNCOVERED LOADS) ENFORCEABLE BY ADMINISTRATIVE CITATION; AND**
- **PROVIDING A SEVERABILITY CLAUSE; AND**
- **DIRECTING THE CITY CLERK; AND**
- **PROVIDING AN EFFECTIVE DATE.**

NOW, THEREFORE, BE IT ORDAINED by the Mayor and City Council of the City of Kuna, Ada County, Idaho:

Section 1: Findings.

- 1.1 The City possesses the authority to adopt ordinances and proscribe penalties for violations of such ordinances pursuant to the provisions of Chapter 3 of Title 50, Idaho Code.
- 1.2 For many years, the City has adopted ordinances that prohibit certain conduct and behavior and has provided penalties for violations of such ordinances.
- 1.3 The penalties for violating City ordinances has generally been either a misdemeanor (punishable by fine and jail) or an infraction (punishable by fine).
- 1.4 Contemporaneous (or nearly contemporaneous) with this adopting this ordinance, the City adopted an ordinance creating a new (less severe) category of offense (called an Administrative Citation) and proscribing penalties for such offense.
- 1.5 The City Council finds it appropriate and necessary to update numerous sections of existing City code to recategorize certain offenses as Administrative Citations, instead of as misdemeanors or infractions.

Section 2: That Section 17, Chapter 3 of Title 3 Kuna City Code be and is hereby amended as follows:

3-3-17: - VIOLATIONS AND PENALTY:

A violation of the provisions of this chapter shall be punishable by issuance of an administrative citation as a misdemeanor as provided for in title 1, chapter 4 Kuna City Code and IC § 18-113, as

~~amended~~. Each day or violation of any provision of this chapter shall be considered a separate offense, punishable as described in Kuna City Code.

Section 3: That Section 9, Chapter 4 of Title 3 Kuna City Code be and is hereby amended as follows:

3-4-9: - FAILURE TO PROCURE LICENSE:

Any person that shall operate, conduct or engage in any trade, business, profession or vocation for which a license is required without first procuring such a license from the city clerk shall be deemed in violation. In addition to suspension or revocation of a license, violations of any of the provisions of this Code, are punishable by issuance of an administrative citation. ~~misdemeanor criminal offenses and may subject the violator to criminal prosecution and the potential penalties provided for in section 1-4-1 of this Code.~~

Section 4: That Sections 2, 8, 9, 10, 11, 12, 13, And 14, Chapter 7 of Title 3 Kuna City Code be and is hereby amended as follows:

3-7-2: - TAXICAB VEHICLE LICENSE REQUIRED; APPLICATION AND PROCEDURES

A. It shall be unlawful for any person or entity to conduct, operate, or maintain, or to participate in the conduct, operation, or maintenance of a taxicab within the city unless a valid taxicab vehicle license has been issued, as herein provided, and which is in full force and effect.

B. Application for a taxicab vehicle license shall be made to the city clerk office on a form and in a manner as prescribed by the city. The application shall include the name and address of the applicant, and if a partnership, the names and addresses of each partner, and if a corporation or association, the names and addresses of the principal stockholders; the name of the operating manager; a statement of the number of vehicles to be operated, an active telephone number, and other information as may be required. In addition, the city clerk shall require criminal history checks for all applicants. The criminal history records shall be kept confidential.

C. No person shall be issued a license to own, lease, or maintain a taxicab vehicle license if that person: 1. Is under the age of eighteen (18) years; 2. Is not the bona fide owner or lessee of such taxicab; 3. Has had a taxicab vehicle license or taxicab driver's license revoked by this city or another licensing public entity within the preceding five (5) years.

D. The qualification requirements for the applicant shall also apply to each partner of a partnership application and to each incumbent officer, director, or member of the governing board of a corporation or association application.

E. A taxicab licensee must continue to meet all the qualification and eligibility requirements of this chapter throughout the license period or the license will be subject to suspension and revocation, pursuant to KCC 3-7-18.

F. The applicant must maintain a telephone number which is accessible during the hours the taxicab is in operation, and their telephone number must be on file with the city clerk's office. The telephone number may be connected to an answering or dispatch service.

G. If the applicant meets all of this chapter's qualification and eligibility requirements, the city clerk's office shall issue a taxicab vehicle license if the requirements of this chapter have been met.

H. A violation of this subsection shall be punishable by an Administrative Citation.

3-7-4: - LAND USE PROVISIONS:

A. A taxicab business shall be conducted from a physical location that meets applicable zoning standards. A taxicab business shall not be conducted pursuant to a home occupation permit. A taxicab operator living within the City of Kuna is allowed to have one (1) vehicle at the residence that he/she is residing at when the taxicab is not in use; however, a taxicab operation cannot be conducted from a city residence or in a city residential zoning district. Taxicabs shall be stored on property zoned for their accommodation. Any parking area established for taxicab operation, and related storage, shall be subject to the city's design review process prior to its usage. Kuna-based taxicab dispatch centers shall be subject to the city's zoning standards. The city clerk's office shall confer with the city planning staff concerning the establishment of taxicab operations. The planning staff shall provide the applicant forms for reviewing the taxicab operation. A taxicab operation that operates contrary to the city's zoning procedures is subject to the city's zoning penalty provisions.

B. A violation of this subsection shall be punishable by an Administrative Citation.

3-7-8: - APPROVED COLOR SCHEME, NAME AND NUMBER:

A. The applicant or licensee shall submit a distinctive and uniform color scheme to the city clerk's office for approval with their application for a taxicab vehicle license. The color scheme shall not conflict with or imitate another taxicab service color scheme, monogram, name, or insignia. The body of each taxicab shall have, painted upon it, or otherwise permanently affixed to it, by means of a plate or other device approved by the city clerk's office, the owner's trade name along with the taxicab number of the vehicle. No lettering shall be less than two (2) inches in height. New or repainted vehicles will conform to the approved color scheme, and all vehicles shall display the approved color, trade name, and taxicab number at the time of inspection. Removal of the plate name or any method of affiliation camouflage shall be grounds for license suspension or revocation.

B. A violation of this subsection shall be punishable by an Administrative Citation.

3-7-9: - VEHICLES LICENSED ELSEWHERE:

A. Taxicab business operating in another city that desires to provide point-to-point business service in Kuna must have its taxicab(s) licensed with and in full compliance with the other city's

taxicab licensing laws, and: 1. Provide the city clerk's office a list of current taxicab licenses from the originating city that will potentially operate in Kuna. 2. Fill out an application form with the city clerk's office. 3. Provide the number of taxicabs that will operate in Kuna and pay the assigned fees.

Note: Operating more taxicabs than permitted will be cause for revocation of all City of Kuna taxicab licenses.

Example: ABC Taxicab Company is registered in Boise with ten (10) taxicabs. It desires to operate two (2) taxicabs in Kuna but does not know which ones will it operate here. In this circumstance, it would provide the city with a copy of the valid Boise taxicab licenses for all ten (10) licensed taxicabs, but pay fees for two (2) taxicabs to operate in Kuna. The city will issue the company two (2) Kuna taxicab vehicle licenses that are non-vehicle specific. However, if the city determines it is operating more than two (2) taxicabs at one (1) time, the city will revoke all of the licenses.

B. Taxicab business located in another city, providing point-to-point taxi service in Kuna where their taxicab drivers are fully licensed in this other city: 1. Provide the city clerk's office a list of the current taxicab driver licenses from the originating city that will potentially operate in Kuna. 2. Fill out an application with the city clerk's office. 3. Provide the number of taxicab drivers that will operate in Kuna and pay the assigned fees.

Note: Operating more taxicabs in Kuna than the number of approved taxicab drivers will be cause for revocation of all City of Kuna taxicab licenses.

Example: ABC Taxicab Company has ten (10) taxicab drivers registered with Boise City. The company wishes to operate two (2) taxicabs in Kuna but it does not know which two (2) taxicab drivers will have this status as they continually change.

The company would provide the city information about the ten (10) taxicab drivers eligible to drive in Kuna, but pay non-person specific fees for two (2) taxicab drivers to operate in Kuna at a given time. However, if the city determines they are operating more than two (2) taxicabs at one (1) time, the city will revoke all of their licenses.

C. A taxicab business located in another city that does not have taxicab or taxicab driver licensing requirements wishing to do point-to-point taxicab business in Kuna must register its taxicabs and taxicab drivers as a Kuna-based taxicab operation and adhere to all requirements of this chapter.

D. A taxicab operator living in a city with a taxicab ordinance that does not provide taxicab services there but is desirous of providing point-to-point taxicab business in Kuna must register his/her taxicabs and taxicab drivers as a Kuna-based taxicab operation and adhere to all requirements of this chapter.

E. A violation of this subsection shall be punishable by an Administrative Citation.

3-7-10: - UNLAWFUL CHARGES:

A. It shall be unlawful for any person to charge, demand, collect, or receive any rate, fare, or charge which is greater than the established rates displayed on the fixed rate card.

B. All taxicab drivers employed to carry passengers to a definite point shall take the most direct route and charge fees on that basis.

C. A violation of this subsection shall be punishable by an Administrative Citation.

3-7-11: – FARE RATE:

A. A conspicuous rate card or sticker shall be posted in the taxicab. The rate card or sticker shall not be less than four (4) inches by six (6) inches in size, printed in legible type, and state the fare rates. The city shall be advised of the rates charged by the taxicab service, with a thirty-day written notice of change in fee structure;

B. Whenever a taxicab is engaged, each passenger shall be entitled to have transported, without charge, two (2) items of luggage, which may be in the form of valises, suitcases, bags, folding wheelchair, or child carrier. Each passenger shall be entitled, at the option of the driver, to have additional items of luggage, which may be valises, suitcases, or bags, carried at a posted rate for each valise, suitcase, or bag in excess of two (2) items per person;

C. No charge for waiting time shall be made for time lost or used on account of inefficiency of the taxicab, or its operation or prompted by prematurely responding to a call for service;

D. The driver of a taxicab shall be prepared to provide a receipt for fares charged when requested by the passenger. The receipt shall be on a form that provides the name of the driver, the date and time of the fare, and the amount of the fare. The form shall also identify the name of the taxicab company and the related taxicab company vehicle number. The driver shall also be prepared to provide change if requested by the passenger;

E. No taxicab rate shall be charged within the corporate limits unless it complies with this chapter;

F. The city does not assume responsibility for another public entity's taxicab charges; and

G. An administrative fee set by council will be changed for replacement rate cards due to rate change, loss, or damage.

H. A violation of this subsection shall be punishable by an Administrative Citation.

3-7-12: - UNLAWFUL PRACTICES:

It shall be unlawful for any person to:

A. Operate a taxicab or any vehicle displaying any marking as required by KCC 3-7-8 within the City of Kuna city limits without a valid taxicab license.

B. Permit or allow any person or their possessions to ride on the fenders, hood, or any place on the outside of a taxicab unless the vehicle has been specifically designed for that purpose.

C. Carry or transport a person other than those first employing the taxicab unless that person consents to the acceptance of an additional passenger or passengers. Under all circumstances, the taxicab driver shall accommodate the first passenger's destination by the most expedient route, prior to accommodating other passengers.

D. Permit more persons to be carried in a taxicab than the rated seated capacity of the taxicab. Provisions shall be made for the safe transfer of small children according to state and federal regulations. The taxicab provider shall make accommodations for the transport of a child carrier; however, it is the parent's responsibility to provide the appropriate child carrier. A child under the age of six (6) shall not be counted as a passenger unless their presence exceeds the taxicab's rated seating capacity. Children under the age of sixteen (16) shall not be transported except in the care of or at the written direction of their parent or guardians.

E. Refuse or neglect to convey over public or private roads an orderly person or persons upon request, unless previously engaged, except that every driver shall have the right to demand legal fare in advance if they have reasonable grounds to believe that the fare will not be paid at the completion of the run.

F. Permit any person other than a person licensed by this chapter to operate or drive a taxicab while in service.

G. Solicit any person, or assist in the solicitation of any person, or participate in any illicit or unlawful sex act.

H. Operate or drive a taxicab while consuming, or affected in any way by, an alcoholic beverage, illegal substance, or legal substance which impairs the ability to operate a motor vehicle and where the potential for such impairment is published as a warning on the product's label, or sell or provide an alcoholic beverage or illegal substance to a passenger, or allow a passenger to consume alcoholic beverage or illegal drug substances while in transit.

I. Employ a taxicab driver unless the driver is licensed as required by this chapter.

J. Refuse to convey a passenger to a destination based on race, gender, religious affiliation, disability, or other constitutionally protected classes.

K. Violation. A violation of subsections A through E shall be punishable by an Administrative Citation. A violation of subsections F through J shall be punishable as a misdemeanor.

3-7-13: - DAILY RECORD:

A. All licensees shall keep a daily record of all passengers transported. The daily record shall show the time and place where the passenger(s) was/were picked up and dropped off and the number of passengers carried. These records shall be kept by the licensee at their place of business for a minimum of six (6) months. The records shall be available for city inspection upon request.

B. A violation of this subsection shall be punishable by an Administrative Citation.

3-7-14: - TAXICAB DRIVER'S LICENSE:

A. Every person desiring to drive, operate, or have charge of a taxicab within the city limits shall make application to the city clerk's office upon an application form provided by the city for a taxicab driver's license.

B. After review and approval, the city clerk's office shall issue a taxicab license. The license shall contain the applicant's full name, physical description, and their photograph (taken by the city). The taxicab driver's license shall expire April 30 of each year.

C. A violation of this subsection shall be punishable by an Administrative Citation.

Section 5: That Section 16, Chapter 8 of Title 3 Kuna City Code be and is hereby amended as follows:

3-8-16: - ~~CRIMINAL CODE VIOLATIONS AND PENALTY:~~

~~Any person, business, firm, company or corporation who shall violate any of the provisions of this chapter shall be punished according KCC 1-4-1.~~

A violation of this chapter shall be punishable by an Administrative Citation.

Section 6: That Section 15, Chapter 9 of Title 3 Kuna City Code be and is hereby amended as follows:

3-9-15: - PENALTY:

~~Any person violating this chapter shall be guilty of an infraction punishable as provided in for in IC § 50-302(2) and chapter 4, title 1 of the Kuna City Code.~~

A violation of this subsection shall be punishable by an Administrative Citation.

Section 7: That Section 22, Chapter 3 of Title 7 Kuna City Code be and is hereby amended as follows:

7-3-22: - VIOLATION, PENALTY:

A. Violation: ~~A violation of this chapter shall be punishable by an Administrative Citation. A violation of this chapter shall be punishable by infraction and subject to a fine of fifty dollars (\$50.00) for the first offense, one hundred dollars (\$100.00) for the second offense, and three hundred dollars (\$300.00) for each additional offense.~~

B. Ejection: Except as provided for in section 7-3-10, a police officer, Code Enforcement Officer, or a representative of the City of Kuna shall have the authority to eject from the park, any person acting in violation of this chapter. Any person ejected from the park shall leave promptly, and peaceably and shall not return to the park for any reason on the same calendar day of his/her ejection.

Section 8: That Sections 2 and 3, Chapter 1 of Title 8 Kuna City Code be and is hereby amended as follows:

8-1-2: - PENALTY:

A violation of this chapter shall be punishable by an Administrative Citation. However, after a Responsible Party receives an Administrative Citation charging a third or subsequent offense, the City may pursue a misdemeanor charge against the Responsible Party for repeated or on-going violations thereafter. Any person violating this chapter is guilty of a misdemeanor.

8-1-3: - WEED CONTROL:

D. Violation: Any person owning, managing, or occupying any lots, lands or premises within such incorporated limits of the city who, after notice, fails, refuses or neglects to continuously keep weeded out, cut down, obliterated, sprayed, burned or destroyed, the herein described weeds, grass and growths in the manner prescribed in accordance with the provisions of subsection B of this section shall be punishable as provided in section 8-1-2 of Kuna City Code. ~~deemed guilty of a misdemeanor.~~

G. ~~Misdemeanor~~ Violation: Any person in actual physical control of property and who does not comply with the provisions of subsection B of this section shall be punishable as provided in section 8-1-2 of Kuna City Code. ~~guilty of a misdemeanor.~~

Section 9: That Section 15, Chapter 4 of Title 8 Kuna City Code be and is hereby amended as follows:

8-4-15: - PUBLIC NUISANCE:

A. Improper disposal solid waste or recyclable solid waste prohibited: It shall be unlawful for any owner or occupier of a premises to permit or to place or accumulate in or about any yard, lot, place about the premises, or upon any street, alley or sidewalk adjacent to the premises, so as to cause the yard, lot, premises, or the street, alley or sidewalk adjacent thereto, to be or remain in such condition as to cause or create an offensive odor or atmosphere, be offensive as

noticeably unsightly, or create an insect or rodent harborage, or hereby, in any manner, is a public nuisance and a menace to public health.

No person shall deposit solid waste or recyclable solid waste in or upon a public alley, street, other public area, or upon the premises of another person, whether or not the refuse is in an "approved container". No solid waste or recyclable solid waste of any kind shall be thrown, swept or pushed into the street in front of any premises. The owner and occupier of the premises shall be responsible for the disposal of all such solid waste and recyclable solid waste.

B. Violation, notice: Any person found to be violating any provision of this section shall be served by the city by written notice stating the nature of the violation and providing a specified maximum period of time not to exceed five (5) days for the satisfactory correction thereof.

C. ~~Misdemeanor Violation~~, penalty: A violation of this subsection shall be punishable by an Administrative Citation. However, after a Responsible Party receives an Administrative Citation charging a third or subsequent offense, the City may pursue a misdemeanor charge against the Responsible Party for repeated or on-going violations thereafter ~~Any person who shall continue any violation beyond the time limit provided for in this section, shall be guilty of a misdemeanor, and on conviction thereof shall be subject to a fine not exceeding three hundred dollars (\$300.00) or imprisonment not exceeding thirty (30) days or both such fine and imprisonment for each violation. Each day in which any such violation shall continue shall be deemed a separate offense.~~

Section 10: That Section 4, Chapter 2 of Title 9 Kuna City Code be and is hereby amended as follows:

9-2-4: - PENALTY:

A violation of this chapter shall be punishable by an Administrative Citation. ~~Any person violating any of the provisions of this title shall be deemed guilty of an infraction, and shall be deemed guilty of a separate offense for each and every day or portion thereof during which any violation of any provisions of this title is committed, continued or permitted. Upon conviction of any violation of an, of the provisions of this title, such persons shall be punished as provided in section 1-4-1 of this code. The sheriff may issue to any person violating any of the provisions of this title, a citation that shall be an infraction. Such citation shall impose upon the owner a fine of twenty five dollars (\$25.00).~~

Section 11: That Sections 8, 9, 11, and 16, Chapter 3 of Title 10 Kuna City Code be and is hereby amended as follows:

10-3-8: - LIMITATIONS ON NUMBER OF DOGS OR CATS

A. A single residence is limited to four (4) dogs or four (4) cats, or a combination of both dogs and cats not exceeding four (4) total animals, on the premises at one (1) time; unless a person residing at the residence obtains a valid noncommercial kennel license, or commercial kennel license, that permits a greater number of dogs or cats.

B. For the purposes of this section, the litter of a female dog or cat may be kept with its mother and the litter, and shall constitute one (1) dog or cat until the litter reaches six (6) months of age at which time this status will divest and each dog or cat shall be counted as an individual animal.

C. A residence may exceed the four (4) dogs or cats per premises limit by an additional one (1) animal, where one (1) or more of the animals is a Service Animal, or Other Support or Therapy Animal, as defined in this chapter, and the animal(s) will be in use at said premises in this special capacity and the person(s) utilizing the animal(s) reside(s) on the premises.

D. A violation of this subsection shall be punishable by an Administrative Citation.

10-3-9: - NONCOMMERCIAL AND COMMERCIAL KENNEL LICENSES:

A. License requirements: All kennels, commercial or noncommercial, must be properly licensed. Applications are to be addressed to the animal control agency, with a duplicate application sent to the city. The application shall state the name and address of the owner, the location of the kennel or residence, and the number and type of dogs or cats to be kept. The city fee for a kennel license shall be set by resolution of the city council. An authorized officer of the animal control agency shall inspect all prospective kennels or multiple animal residences prior to granting a kennel permit. The animal control agency will ensure that the designated number of animals and the housing and keeping of such animals will not likely constitute a public nuisance.

B. Any application for a kennel permit must include:

1. Written approval from the animal control agency that includes a statement about the number of dogs and/or cats that may be kept at the facility. Noncommercial kennel licenses are limited to ten (10) dogs or cats, or ten (10) dogs and cats in the aggregate.

2. Licensing for each dog that is subject to licensing under section 10-3-7.

3. Written City of Kuna Planning and Zoning Department approval for a commercial kennel license, which shall:

- a. Be in the form of an approved conditional use permit and valid zoning certificate issued pursuant to Chapter 12 of Title 5, Kuna City Code.

- b. Include the Kuna City Planning and Zoning Director or designee's signature on the kennel license.

4. A noncommercial kennel license does not require a conditional use permit or zoning certificate.

C. Revocation of kennel license:

1. A kennel license may be revoked or the application for kennel license denied when any of the following conditions are found to exist:

- a. Dogs or cats from the subject kennel are apprehended by an animal control officer for running-at-large within the city limits more than one (1) time in any six-month period.
- b. Failure of the kennel to maintain an accurate list of all the animals kept at the kennel. The list shall be maintained as part of the records of the kennel.
- c. The kennel keeping more than the approved number of animals at the kennel.
- d. Failure of the kennel to allow access to an authorized animal control officer to inspect the kennel facility.
- e. Failure to maintain the kennel in a clean and sanitary manner by the kennel operator or its staff.
- f. Failure by the kennel to provide the animal's adequate shelter and protection from the weather.
- g. Failure by the kennel to provide the animal's with adequate ventilation.
- h. The quartering together of temperamentally unsuited dogs or allowing the animals to be in proximity to one another which action causes the dogs to be abused or tormented.
- i. Excessive or loud animal noises at the kennel.
- j. Failure to adequately treat any diseased or injured dog or failure to segregate a diseased dog necessary to preventing the spread of disease to other animals.
- k. Conviction on an animal nuisance or cruelty charge, or failure to abate a condition determined by the Animal Control Agency to contribute to, or constitute a condition of public nuisance.

D. Upon notice of revocation, served by the animal control officer, a kennel license holder shall have thirty (30) days to cure any noted defect. In the alternative, the kennel license holder may, within thirty (30) days, file a written protest to contest such revocation. The protest must be filed with the City of Kuna.

E. If no protest has been submitted to the Kuna City Council by the kennel owner seeking review of a revocation within thirty (30) days after notice of that action, the kennel license shall be deemed revoked.

F. A violation of this subsection shall be punishable by an Administrative Citation.

10-3-11: - FOUND STRAY ANIMALS:

A. It shall be unlawful for any person to take into their possession a stray animal without notifying the animal control agency at once. The animal shall be released to the animal control agency or an animal control officer upon demand by that agency's representative without charge. This shall not apply to a person who captures a free roaming at large domestic cat, transports the cat to a veterinarian for sterilization surgery, and releases the cat in the approximate location where it was found for the purpose of cat population control.

B. A violation of this subsection shall be punishable by an Administrative Citation.

10-3-16 – HABITUAL BARKING OR NOISEMAKING; NUISANCE:

A. Prohibition: It shall be unlawful for a person to fail to exercise proper care and control of their animal to prevent it from becoming a public nuisance, as the term public nuisance is defined in Chapter 1, Title 52, of the Idaho Code. Unless otherwise stated, ~~A~~ a person shall be subject to criminal liability for allowing an animal to become a public nuisance when such person permits or allows an animal to:

B. Exceptions: This section shall not apply to animals that are being harassed or provoked by a person to cause such noise, that are maintained on land zoned for agricultural purposes, are kept at a properly permitted animal shelter established for the care and placement of unwanted or stray animals, or a pare kept at a properly zoned commercial boarding kennel.

C. Proof of excessive noise nuisance: The owner or custodian of an animal may be charged with excessive animal noise nuisance and issued an Administrative Citation when an animal control officer:

1. Receives signed complaints alleging an animal noise nuisance from at least two (2) unrelated adult witnesses residing in different residences;
2. Receives a signed complaint alleging an animal noise nuisance from one adult witness who has an audio or video recording of the alleged violation;
3. Receives a signed complaint alleging an animal noise nuisance from one (1) adult witness and the animal control officer also personally observes noise emission consistent with the complainant's allegations, even if the noise emission witnessed by the officer is for less than the required amount of time under this ordinance; or
4. Personally witnesses the excessive noise violation for the required period of time under this ordinance.

D. Other animal nuisances: An other animal nuisance ~~may~~ occurs when:

1. An animal threatens, or acts aggressively towards, passersby;

2. An animal chases vehicles, individuals on bicycles, scooters or similar devices, or pedestrians;
3. An animal attacks other animals;
4. An animal trespasses upon public or private property in such a manner as to damage the property;
5. An excessive amount of animal feces is permitted to accumulate in such a manner as to ~~prevent~~ present a health risk to a person or which is of such quantity as to generate odors off the premises of the animal owner; or
6. An owner fails to confine a female dog during estrus or proestrus in a building or secure enclosure in such manner that such female dog cannot come into contact with male dogs, except for planned breeding. Such failure shall be punishable by an Administrative Citation.

E. Nuisance feral cat prevention: Any cat not spayed or neutered that is permitted to be out of doors not under the direct control of its owner is deemed a nuisance. The animal control agency may seize any cat at large, and may spay or neuter such animal. The animal control agency may mark the cat as being spayed or neutered by marking the animal's ear, or through some other methodology. A cat that is seized pursuant this section, spayed or neutered, and marked as such, may be released by the animal control agency to the location from which it was seized.

10-3-18 – Cleaning up Waste: An owner of an animal shall be responsible for cleaning up the animal's wastes and disposing of the waste in a sanitary manner when occurring on other's property and at the time of the occurrence. An owner of any animal shall also be responsible for maintaining sanitary conditions on their own property.

F. A violation of this subsection shall be punishable by an Administrative Citation.

Section 12: That Sections 4 and 11, Chapter 1 of Title 11 Kuna City Code be and is hereby amended as follows:

11-1-4: - LOADING AND UNLOADING ZONES:

A. The City Council is hereby authorized and directed to designate loading and unloading zones, within said restricted vehicular district, and no person shall stop, stand or park a vehicle within or at said designated zones for any purpose or length of time other than for the expeditious and actual loading or unloading of passengers, materials, goods or merchandise except in places where, and at hours when, parking for the loading or unloading of materials, goods or merchandise is permitted. Drivers of vehicles may back into the curb to take on or discharge loads; provided, that the driver of such vehicle must first procure a permit therefor from the City Clerk. Such loading zones shall not be applicable between the hours of seven o'clock (7:00) P.M. and eight o'clock (8:00) A.M. nor on Sundays or holidays.

B. A violation of this subsection shall be punishable by an Administrative Citation.

11-1-11: - PEDESTRIANS:

A. Where traffic control signals are not placed or not in operation, the driver of a vehicle shall yield the right of way to any pedestrian crossing the street at any intersection.

B. A violation of this subsection shall be punishable by an Administrative Citation.

11-1-12: - PENALTY:

Any person violating any provisions of this chapter shall be guilty of an ~~infraction~~ ~~misdemeanor~~, except where a different penalty is specifically proscribed.

Section 13: That Section 10, Chapter 1, of Title 11 (Riding Horse At Night, Light Required) be repealed.

Section 14: That Section 12, Chapter 2 of Title 11 Kuna City Code be and is hereby amended as follows:

11-2-12: - DESIGNATION AS ADMINISTRATIVE CITATION ~~INFRACTION~~; APPLICABLE PROCEDURE; ISSUING CITATIONS; PENALTIES AND IMPOUNDING UNLAWFULLY PARKED VEHICLES:

A. A violation of a provision of this chapter is ~~designated as an~~ punishable by an Administrative Citation. ~~infraction, as that term is defined in Idaho Code section 18-111, and such infractions shall be prosecuted as contemplated by the Idaho Infraction Rules promulgated by the Idaho Supreme Court.~~

B. An ~~infraction~~ under this chapter may be issued by any peace officer having jurisdiction within city boundaries by issuing an Idaho Uniform Citation, in which he shall certify that he has reasonable grounds to believe and does believe that the person cited committed the ~~infraction~~ contrary to law.

C. A peace officer may issue a citation under this chapter by affixing an Idaho Uniform Citation to a vehicle that is parked in violation of a provision of this chapter. Where a citation is affixed to a vehicle, the peace officer shall issue the citation to the registered owner of the vehicle. However, where a peace officer has probable cause to believe a person other than the registered owner parked the vehicle in question in violation of this chapter, the peace officer shall cite that person instead of the registered owner.

~~B~~D. Peace officers are authorized to affix a citation to an illegally parked vehicle every two (2), or more, hours until the car is moved. This provision applies to any violation of this chapter, including cars parked in spaces designated for a person with a disability.

~~E. Except where specifically designated otherwise in this chapter, any person who is found to have violated a provision of this chapter shall be punished by a fine of twenty dollars (\$20).~~

~~CF. Impounding unlawfully parked vehicles: All police officers and Code Enforcement Officer~~~~traffic control officers~~ of the City are authorized and empowered to remove or cause to be removed all vehicles parked, caused to be parked or left parked upon any street or city parking lot or area contrary to the provisions of this chapter, or illegally parked, and to store the vehicle, and the owner or operator of the vehicle shall be liable for any reasonable towing and storage charges

Section 15: That Section 3, Chapter 3 of Title 11 Kuna City Code be and is hereby amended as follows:

11-3-3: - PENALTIES:

~~A person who violates the provisions of this chapter shall be guilty of an infraction and subject to a fine of fifty dollars (\$50.00). For each subsequent violation of this chapter, the fine shall be increased by twenty-five dollars (\$25.00) but shall not exceed one hundred dollars (\$100.00).~~

A violation of this chapter shall be punishable by an Administrative Citation.

Section 16: Severability Provision

This ordinance is hereby declared to be severable. Should any portion of this ordinance be declared invalid by a court of competent jurisdiction, the remaining provisions shall continue in full force and effect and shall be read to carry out the purpose(s) of the ordinance before the declaration of partial invalidity.

Section 17: Directing the City Clerk

The City Clerk is directed to file this Ordinance in the official records of the City and to provide a conformed copy to the Planning and Zoning Director.

Section 18: Effective Date

This Ordinance shall take effect and be in force from and after its passage, approval, and publication as required by law and at the discretion of the City Clerk and In lieu of publication of the entire ordinance, a summary thereof in compliance with Section 50-901A, Idaho Code, may be published.

ADOPTED this ____ day of _____, 2024.

CITY OF KUNA

Joe L. Stear, Mayor

ATTEST:

Nathan Stanley, City Clerk

(Space above reserved for recording)

**ORDINANCE NO. 2024-14
CITY OF KUNA, IDAHO**

**CJM LIMITED LIABILITY LIMITED PARTNERSHIP,
MUNICIPAL REZONE**

A MUNICIPAL REZONE ORDINANCE OF THE CITY COUNCIL OF THE CITY OF KUNA:

- **MAKING CERTAIN FINDINGS AND DECLARATION OF AUTHORITY; AND**
- **REZONING CERTAIN REAL PROPERTY, TO WIT: ADA COUNTY ASSESSOR'S PARCEL NOS. S1324110095, AND S1324110170, OWNED BY CJM LIMITED LIABILITY LIMITED PARTNERSHIP, SITUATED WITHIN THE CORPORATE CITY LIMITS OF THE CITY OF KUNA, ADA COUNTY, IDAHO; AND**
- **AMENDING THE ZONING MAP; AND**
- **DIRECTING THE CITY ENGINEER AND THE CITY CLERK; AND**
- **PROVIDING AN EFFECTIVE DATE.**

THE CITY COUNCIL MAKES THE FOLLOWING FINDINGS AND DECLARATIONS OF ITS AUTHORITY, HISTORY AND PROCESS OF THIS IDAHO CODE SECTION §67-6511 AND REZONE ORDINANCE AS FOLLOWS:

WHEREAS, the City of Kuna, Idaho is a municipal corporation organized and existing under the laws of the state of Idaho (the "City") and is authorized to under the provisions of Idaho Code §67-6511, to establish within its jurisdiction one or more zones or zoning districts where appropriate which zoning districts are established in Kuna City Code §5-2-2; and

WHEREAS, CJM LIMITED LIABILITY LIMITED PARTNERSHIP, (The "Owner") of the subject property [legally described in "Exhibit A-1" Legal Description and "Exhibit B" Location Map, attached hereto and by this reference herein incorporated] (The "Real Property") and has requested that the Real Property be Rezoned from the City's C-1 Neighborhood Commercial and R-6 Medium Density Residential Zoning to R-20 High Density Residential Zoning (The "Rezone"); and

WHEREAS, CJM LIMITED LIABILITY LIMITED PARTNERSHIP, (The "Owner") of the subject property [legally described in "Exhibit A-2" Legal Description and "Exhibit B" Location Map, attached hereto and by this reference herein incorporated] (The "Real Property") and has requested that the Real Property be Rezoned from the City's R-6 Medium Density Residential Zoning to C-1 Neighborhood Commercial Zoning (The "Rezone"); and

WHEREAS, The Planning and Zoning Commission, pursuant to public notice as required by law, held a public hearing on October 11, 2022, as required by Section §67-6525, Idaho Code, made findings (approved by the Commission on October 25, 2022) where it was recommended to the Mayor and Council that the Rezoning for the lands described in Exhibit A-1, from C-1 Neighborhood Commercial and R-6 Medium Density Residential Zoning to R-20 High Density Residential Zoning, and the Rezoning of the lands described in Exhibit A-2, from R-6 Medium Density Residential to C-1 Neighborhood Commercial, be approved; and

WHEREAS, The Council, pursuant to public notice as required by law, held a public hearing on January 3, 2023, on the Owner's application and request for the Real Property Rezoning, as required by Section §67-6525, Idaho Code, and in accordance with the provisions of Kuna City Code §5-1A-7, made

findings (approved on February 7, 2023) wherein the City Council determined that the Owner's written request and application for Rezoning of parcel *Nos. S1324110095, and S1324110170* should be granted with a R-20 zoning district classification as legally described in Exhibit A-1, and for Rezoning parcel *No. S1324110095* should be granted with a C-1 zoning district classification as legally described in Exhibit A-2; and

WHEREAS, It is necessary that the City Council adopt this Ordinance, as required by Section §67-6511 (2) Idaho Code, and Kuna City Code §5-1A-7 (G), to complete the process of implementing the decision of the Kuna City Council to Rezone the Subject Real Property.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF KUNA, IDAHO, as follows:

Section 1: The Kuna City Council hereby finds and declares that the Real Property described below is Rezoned from C-1 Neighborhood Commercial and R-6 Medium Density Residential to R-20 High Density Residential as described in Exhibit A-1 (The "Rezone") and shown in "Exhibit B" – Vicinity Map.

Section 2: The Kuna City Council hereby also finds and declares that the Real Property described below is Rezoned from R-6 Medium Density Residential to C-1 Neighborhood Commercial as described in Exhibit A-2 (The "Rezone") and shown in "Exhibit B" – Vicinity Map.

Section 3: The Zoning Map of the City of Kuna is hereby amended to comply with this Rezone.

Section 4: The City Engineer is directed to change the zoning district depictions of the Subject Real Property on the Zoning Map of the City in accordance with this Rezone Ordinance; and

Section 5: The City Clerk is hereby directed to file, within ten (10) days of passage and approval of this Ordinance, a certified copy of this Ordinance with the offices of the Auditor, Treasurer, and Assessor of Ada County, Idaho, and with the Idaho State Tax Commission, Boise, Idaho, as required by Section §50-223, Idaho Code, and to comply with the provisions of Section §63-215, Idaho Code, with regard to the preparation and filing of a map and legal description of the real property Rezoned by this Ordinance.

Section 5: This Ordinance shall take effect and be in force from and after its passage, approval, and publication as required by law. In lieu of publication of the entire ordinance, a summary thereof in compliance with Section §50-901A, Idaho Code, may be published.

DATED this 2nd day of July 2024.

CITY OF KUNA

Joe Stear, Mayor

ATTEST:

Nathan Stanley, City Clerk

**EXHIBIT A-1
LEGAL DESCRIPTION FOR R-20**

**CJM LIMITED LIABILITY LIMITED PARTNERSHIP
A MUNICIPAL REZONE**

A parcel of land situated in the Northeast 1/4 of the Northeast 1/4 of Section 24, Township 2 North, Range 1 West, Boise Meridian, Ada County, Idaho, more particularly described as follows:

COMMENCING at the East 1/4 Corner of Section 24 monumented by a found Aluminum Cap as shown on Corner Record Instrument No. 106079467, thence North 00°46'08" East, 2,649.29 feet to the Northeast Corner of Section 24 monumented by a found Aluminum Cap as shown on Corner Record Instrument No. 2019-015473; thence North 88°45'45" West, 1315.42 feet to the East 1/16 Corner; thence along the north-south 1/16th line, South 00°39'30" West, 53.50 feet to the southerly right-of-way for E. Deer Flat Road and the westerly right-of-way for N. Sailer Avenue; thence continuing along the 1/16th line and the westerly right-of-way, South 00°39'30" West, 571.40 to the **POINT OF BEGINNING**;

Thence along the boundary of the existing C-1 Zone, South 89°13'52" East, 385.47 feet;

Thence South 00°46'02" West, 12.95 feet;

Thence South 89°13'52" East, 217.87 feet;

Thence South 00°46'05" West, 67.90 feet;

Thence South 29°13'55" East, 107.67 feet;

Thence South 00°46'05" West, 345.74 feet;

Thence South 89°13'55" East, 47.35 feet;

Thence South 00°46'05" West, 184.05 feet the northwest corner of the Ensign Subdivision No.1;

Thence along the east-west 1/16th line, North 88°36'35" West, 703.23 feet to the northeast 1/16th corner;

Thence along the north-south 1/16th line and the existing RUT Zone, North 00°39'30" East, 696.26 feet to the **POINT OF BEGINNING**.

Containing 10.525 acres, more or less

EXHIBIT A-2
LEGAL DESCRIPTION FOR C-1

CJM LIMITED LIABILITY LIMITED PARTNERSHIP
A MUNICIPAL REZONE

A parcel of land situated in the Northeast Quarter of Section 24, Township 2 North, Range 1 West, Boise Meridian, Ada County, Idaho, being more particularly described as follows:

Commencing from the East Quarter Corner of Section 24, as monumented by a found Aluminum Cap as shown on Corner Record Instrument No. 106079467, thence North 00°46'08" East along the east section line 2649.29 feet to the Northeast Corner of said Section 24, as monumented by a found Aluminum Cap as shown on Corner Record Instrument No. 2019-015473, and North 88°45'45" West along the north section line 1315.42 feet to the East Sixteenth Corner, and South 00°39'30" West 53.50 feet to the South Right-of-Way Line of Deer Flat Road and the West Right-of-Way Line of N. Sailer Avenue, and continuing along the North-South Sixteenth line South 00°39'30" West 1267.66 feet to the Northeast Sixteenth Corner, and South 88°36'35" East along the East-West Sixteenth Line 703.23 feet to the Northwest Corner of Ensign Subdivision No. 1 and the true Point of Beginning;

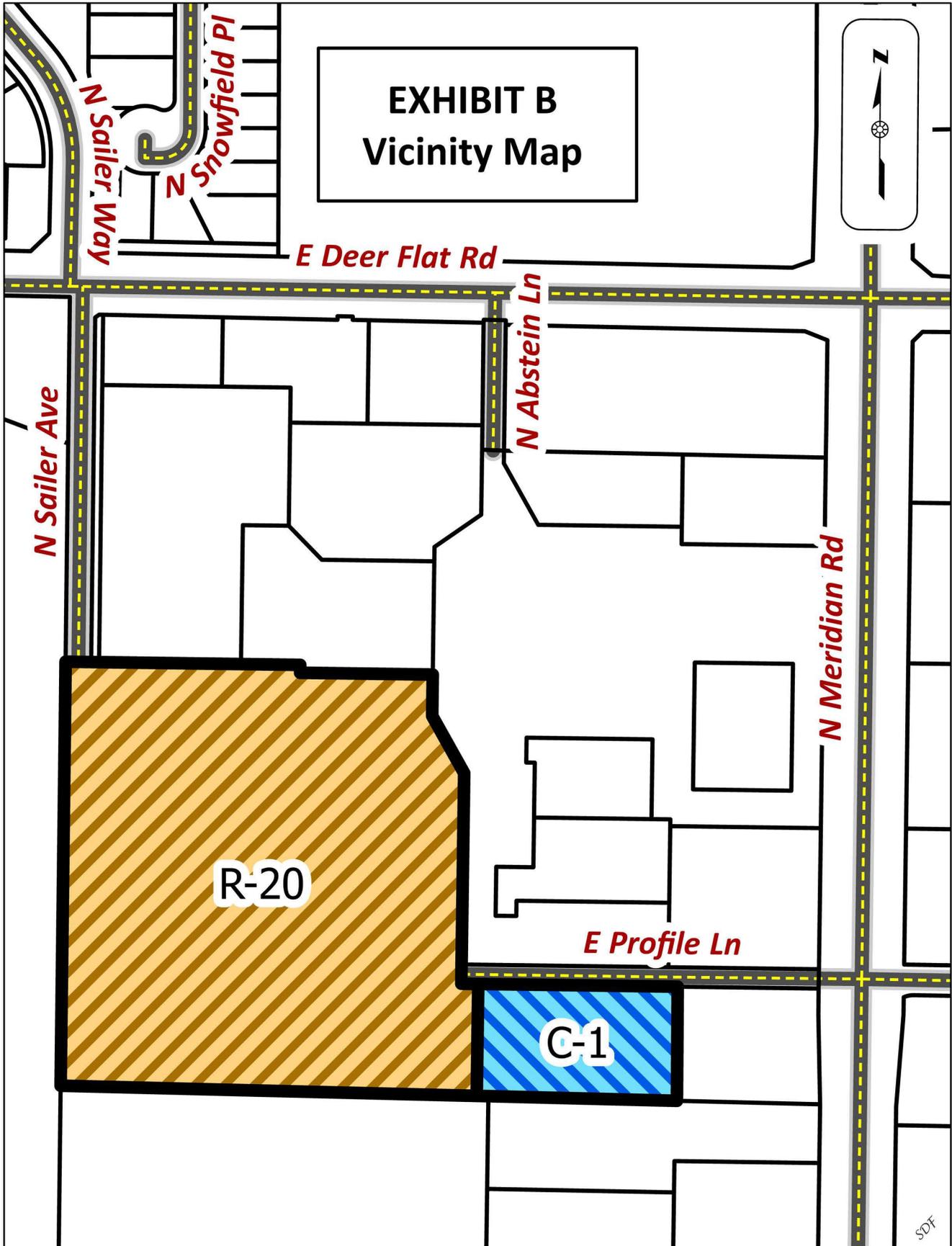
and running thence North 00°46'05" East 184.05 feet;

thence South 89°13'57" East 335.44 feet;

thence South 00°49'53" West 187.70 feet;

thence North 88°36'35" West 335.26 feet to the Point of Beginning.

Contains 62,332.81 sq/ft or 1.43 Acres



(Space above reserved for recording)

**ORDINANCE NO. 2024-15
CITY OF KUNA, IDAHO**

**VASILII OLEYNIK,
MUNICIPAL REZONE**

A MUNICIPAL REZONE ORDINANCE OF THE CITY COUNCIL OF THE CITY OF KUNA:

- **MAKING CERTAIN FINDINGS; AND**
- **REZONING CERTAIN REAL PROPERTY, TO WIT: ADA COUNTY ASSESSOR'S PARCEL NO. S1322244220, OWNED BY VASILII OLEYNIK, SITUATED WITHIN THE CORPORATE CITY LIMITS OF THE CITY OF KUNA, ADA COUNTY, IDAHO; AND**
- **AMENDING THE ZONING MAP; AND**
- **DIRECTING THE CITY ENGINEER AND THE CITY CLERK; AND**
- **PROVIDING AN EFFECTIVE DATE.**

THE CITY COUNCIL MAKES THE FOLLOWING FINDINGS AND DECLARATIONS OF ITS AUTHORITY, HISTORY AND PROCESS OF THIS IDAHO CODE SECTION §67-6511 AND REZONE ORDINANCE AS FOLLOWS:

WHEREAS, the City of Kuna, Idaho is a municipal corporation organized and existing under the laws of the state of Idaho (the "City") and is authorized to under the provisions of Idaho Code §67-6511, to establish within its jurisdiction one or more zones or zoning districts where appropriate which zoning districts are established in Kuna City Code §5-2-2; and

WHEREAS, VASILII OLEYNIK, (The "Owner") of the subject property [legally described in "Exhibit A" Legal Description and "Exhibit B" Location Map, attached hereto and by this reference herein incorporated] (The "Real Property") and has requested that the Real Property be Rezoned from the city's **A, AGRICULTURAL ZONING DISTRICT TO R-6 MEDIUM DENSITY RESIDENTIAL ZONING** (The "Rezone"); and

WHEREAS, The Planning and Zoning Commission of the City, pursuant to public notice as required by law, held a public hearing on May 9, 2023, as required by Section §67-6525, Idaho Code, made findings (approved by the Commission on June 13, 2023) where it was recommended to the Mayor and Council that the Rezoning for the lands described in Exhibit A, from Agriculture (A) to Medium Density Residential (R-6), be approved; and

WHEREAS, The Council, pursuant to public notice as required by law, held a public hearing on September 19, 2023, on the Owner's application and request for the Real Property Rezoning, as required by Section §67-6525, Idaho Code, and in accordance with the provisions of Kuna City Code §5-1A-7, made findings (approved on February 6, 2024) wherein the City Council determined that the Owner's written request and application for Rezoning of the property should be granted with a R-6 zoning district classification; and

WHEREAS, It is necessary that the City Council adopt this Ordinance, as required by Section §67-6511 (2) Idaho Code, and Kuna City Code §5-1A-7 (G), to complete the process of implementing the decision of the Kuna City Council to Rezone the Subject Real Property.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF KUNA, IDAHO, as follows:

Section 1: The Kuna City Council hereby finds and declares that the Real Property described below is Rezoned from the AGRICULTURE ZONING DISTRICT to R-6 MEDIUM DENSITY RESIDENTIAL as described in Exhibit A (The “Rezone”) and shown in “Exhibit B” – Vicinity Map.

Section 2: The Zoning Map of the City of Kuna is hereby amended to comply with this Rezone.

Section 3: The City Engineer is directed to change the zoning district depictions of the Subject Real Property on the Zoning Map of the City in accordance with this Rezone Ordinance; and

Section 4: The City Clerk is hereby directed to file, within ten (10) days of passage and approval of this Ordinance, a certified copy of this Ordinance with the offices of the Auditor, Treasurer, and Assessor of Ada County, Idaho, and with the Idaho State Tax Commission, Boise, Idaho, as required by Section §50-223, Idaho Code, and to comply with the provisions of Section §63-215, Idaho Code, with regard to the preparation and filing of a map and legal description of the real property Rezoned by this Ordinance.

Section 5: This Ordinance shall take effect and be in force from and after its passage, approval, and publication as required by law. In lieu of publication of the entire ordinance, a summary thereof in compliance with Section §50-901A, Idaho Code, may be published.

DATED this 2nd day of July 2024.

CITY OF KUNA

Joe Stear, Mayor

ATTEST:

Nathan Stanley, City Clerk

EXHIBIT A LEGAL DESCRIPTION

VASILIIY OLEYNIK MUNICIPAL REZONE

A portion of the east half of the northwest quarter of Section 22, Township 2 North, Range 1 West, Boise Meridian, City of Kuna, Ada County, Idaho, being more particularly described as follows:

Commencing at the northwest corner of said Section 22;

Thence S00°03'38"E, 1,330.83 feet along the westerly boundary of said Section 22 to the southwest corner of the northwest quarter of the northwest quarter of said Section 22;

Thence S89°50'29"E, 1,328.13 feet along the southerly boundary of the northwest quarter of the northwest quarter of said Section 22 to the southeast corner of the northeast quarter of the northwest quarter to the POINT OF BEGINNING;

Thence N00°02'18"W, 603.53 feet along the westerly boundary of the northeast quarter of the northwest quarter to the southwesterly right-of-way of the Union Pacific Railroad;

Thence S35°14'00"E, 810.95 feet along the southwesterly right-of-way of said Union Pacific Railroad to the approximate centerline of Indian Creek;

Thence 209.95 feet along a non-tangent curve deflecting to the left, with a radius of 180.00 feet, a central angle of 66°49'46", a long chord bearing of S35°14'00"E and a long chord distance of 198.25 feet along the centerline of Indian Creek to the southwesterly right of way of said Union Pacific Railroad;

Thence S35°14'00"E, 457.42 feet along the southwesterly right-of-way of said Union Pacific Railroad;

Thence S54°46'00"W, 554.79 feet;

Thence N51°58'27"W, 32.14 feet;

Thence N61°21'43"W, 404.06 feet;

Thence N72°16'56"W, 12.73 feet to the westerly boundary of the southeast quarter of the northwest quarter of said Section 22;

Thence N00°02'18"W, 697.15 feet along the westerly boundary of the southeast quarter of the northwest quarter of said Section 22 to the POINT OF BEGINNING.

Comprising of 15.06 Acres more or less.

