

OFFICIALS

Lee Young, Chairman
Dana Hennis, Vice Chairman
Tyson Garten, Commissioner
Ginny Greger, Commissioner
Jim Main, Commissioner

**CANCELED DUE TO LACK OF
QUORUM - ITEMS RESCHEDULED TO
DECEMBER 13, 2022 AT 6:00 PM
CITY OF KUNA**



Kuna City Hall Council Chambers, 751 W 4th Street, Kuna, Idaho 83634

**Planning & Zoning Commission Meeting
AGENDA**

Wednesday November 9, 2022 (due to Elections)

6:00 PM REGULAR MEETING

For questions, please call the Kuna Planning and Zoning Department at (208) 922-5274.

1. CALL TO ORDER & ROLL CALL:

2. CONSENT AGENDA: ALL OF THE ITEMS LISTED ARE ACTION ITEMS

All items listed under the Consent Agenda are considered to be routine and are acted on with one (1) Motion by the Commission. There will be no separate discussion on these items unless the Chairman, Commissioner, or City Staff requests an item to be removed from the Consent Agenda for discussion. Items removed from the Consent Agenda will be placed on the Regular Agenda under Business or as instructed by the Commission.

- 1. Regular Planning and Zoning Commission Meeting Minutes Dated October 25, 2022
- 2. Findings of Fact & Conclusions of Law
 - A. Case No. 22-13- SUP (Special Use Permit) for Idaho Power Bowmont to Hubbard Transmission Line Upgrade Case No. 22-11-SUP (Special Use Permit) Cole Substation
 - B. Case No. 22-35-DR (Design Review) for the Kuna Police

3. PUBLIC HEARINGS: ALL OF THE ITEMS LISTED ARE ACTION ITEMS

- A. Case No. 22-12-SUP (Special Use Permit) for 6810 S Nordean In-home Group Daycare – Jessica Reid, Associate Planner

Alain & Chloe Lemesse request approval to operate an in-home group daycare for up to 12 children, from 6:00 AM to 6:00 PM, Monday through Friday. Applicants have already passed their Fire Safety Inspection. The subject site is located at 6810 S Nordean Ave (R5665670180); Section 3, Township 2 North, Range 1 West.

- B. Case Nos. 22-13-S (Preliminary Plat) & 22-30-DR (Design Review) for Paul Bunyan Plaza – Troy Behunin, Senior Planner

Bill Hicks, and CRMM, LLC requests Preliminary Plat approval in order to subdivide approximately 16.26 acres into 12 commercial lots. The site was previously Annexed and Zoned as C-2. A Design Review application for the landscaping accompanies this request. The site is located at the NWC of Meridian Rd. and Deer Flat Rd., APN S1313449910.

5. BUSINESS ITEMS:

- A. Case No. 22-41-DR (Design Review) for the Hawk Substation – Doug Hanson, Director

Idaho Power Company requests Design Review approval to for the Hawk Substation site design, fence and landscaping. The subject site is located at 15450 S Cloverdale Road, Kuna ID, 83634 (APN: S1434336150) within Section 34, Township 2 North, Range 1 East.

6. EXECUTIVE SESSION:

A. Executive Session under Idaho Code 74-206(d) & (f) – Andrea Nielsen, City Attorney

- (d) To consider records that are exempt from disclosure as provided in Chapter 1, Title 74 Idaho Code.
- (f) To communicate with legal counsel to discuss legal ramifications of and legal options for pending litigation, or controversies not yet being litigated but immediately likely to be litigated.

7. ADJOURNMENT:

OFFICIALS

Lee Young, Chairman
Dana Hennis, Vice Chairman
Tyson Garten, Commissioner
Ginny Greger, Commissioner
Jim Main, Commissioner



CITY OF KUNA
Kuna City Hall Council Chambers, 751 W 4th Street, Kuna, Idaho 83634

**Planning & Zoning Commission Meeting
MINUTES**

Tuesday October 25, 2022

6:00 PM REGULAR MEETING

For questions, please call the Kuna Planning and Zoning Department at (208) 922-5274.

1. CALL TO ORDER & ROLL CALL:

(Timestamp 00:00:10)

COMMISSION MEMBERS PRESENT:

Chairman Lee Young
Vice Chairman Dana Hennis - Absent
Commissioner Tyson Garten
Commissioner Ginny Greger
Commissioner Jim Main

CITY STAFF PRESENT:

Doug Hansong, Planning & Zoning Director
Morgan Treasure, Economic Development Director
Chris Engels, City Clerk
Jessica Reid, Associate Planner

2. CONSENT AGENDA: ALL OF THE ITEMS LISTED ARE ACTION ITEMS

(Timestamp 00:00:36)

1. Regular Planning and Zoning Commission Meeting Minutes Dated October 11, 2022
2. Findings of Fact & Conclusions of Law
 - A. Case No. 22-09-SUP (Special Use Permit) Hawk Substation
 - B. Case No. 22-11-SUP (Special Use Permit) Cole Substation
 - C. Case Nos. 22-06-S (Preliminary Plat) & 22-26-DR (Design Review) for Beltzarock Subdivision
 - D. Case Nos. 22-01-CPM (Comprehensive Plan Map Amendment), 22-02-ZC (Rezone), 22-02-S (Preliminary Plat) & 22-28-DR (Design Review) for Kuna Apartments
 - E. Case No. 22-33-DR (Design Review) for E Stagecoach Industrial Flexspace

(Timestamp 00:00:38)

Motion To: Approve the Consent Agenda.

Motion By: Commissioner Garten

Motion Seconded: Commissioner Greger

Further Discussion: None

Voting No: None

Absent: 1

Motion Passed: 4-1-0

3. PUBLIC HEARINGS: ALL OF THE ITEMS LISTED ARE ACTION ITEMS

(Timestamp 00:00:52)

- A. Case No. 22-13- SUP (Special Use Permit) for Idaho Power Bowmont to Hubbard Transmission Line Upgrade – Doug Hanson, Director

(Timestamp 00:01:02)

Planning and Zoning Director Doug Hanson presented an overview of the project then stood for questions.

(Timestamp 00:02:22)

Jeff Maffuccio of Idaho Power discussed the need for the upgrade due to deficits becoming evident withing the power grid; Idaho Power’s desire to use existing power poles; why some of the existing power poles could not be used for the additional line in a certain areas; briefly discussed the need for additional power due to growth within the valley; the requirement for a Public Utility to serve all customers; that the project had been planned for approximately 12 years; and that a large majority of the required easements ha already been under Idaho Powers ownership for some time. *(Mr. Maffuccio referenced a PowerPoint presentation during his testimony; see Pages 217 – 228 of the meeting packet).*

(Timestamp 00:13:20)

Chairman Young asked how wide the easements were; Mr. Maffuccio answered they were between 25-ft to 50-ft. Mr. Maffuccio further explained that the power poles were approximately 4-ft wide, and the insulators (arms extending from the poles) extended out 10 – 15-ft.

(Timestamp 00:13:00)

Commissioner Main commented that the poles north of Kuna Road appeared overwhelming then asked if Idaho Power had discussed with ACHD (Ada County Highway District) the requirements for future roadway widening, and if ACHD had an estimated date for construction on the widening. Mr. Maffuccio answered ACHD had requested 80-ft of right-of-way for future widening at their last conversation; he commented that improvements to Cloverdale Road was not currently part of ACHD’s 5-Year Capital Improvement Plan but that Idaho Power would continue working with ACHD in regards to the future improvements. Commissioner Main then asked how difficult it was to move the power poles; Mr. Maffuccio stated it was the cost to do so which was the larger issue, then further commented the project was still a few years out which provided the ability to work out detailed specifics with ACHD.

(Timestamp 00:16:36)

Chairman Young opened the Public Hearing.

Support:

None

Neutral:

None

Against:

None

(Timestamp 00:16:46)

Chairman Young provided an additional opportunity for any individuals present to sign-in to testify if they wished to do so; one (1) person came forward.

Support:

None

Neutral:

Brad Peters, 12467 S Cloverdale Road, Kuna, ID 83634 - Testify

Against:

None

(Timestamp 00:17:52)

Brad Peters commented that Idaho Power had been very cooperative and had actually sent out an Idaho Power representative and Engineer when he contacted them. Mr. Peter's then commented that he did not understand why the new line could not utilize the existing power poles which resulted in new poles needing to be installed on the opposite side of Cloverdale where there currently weren't any; he asked why additional height was not going to be added to the existing poles. Mr. Peters was concerned with the new poles being an eyesore, and why an additional wood power pole needed to be added to his property. He also commented on his concerns with future Cloverdale Road widening as he was under the impression the right-of-way would be over 100-ft. Mr. Peters understood the need for additional power, he was just concerned with what he viewed as lack of future planning, additional items being on his property and the potential for him to lose additional property with future improvements.

(Timestamp 00:21:01)

Mr. Maffuccio rebutted that triple service was not permitted on the existing poles. He also commented that additional wood poles on his property may be due to span length of a line or other factors. Mr. Maffuccio agreed the required right-of-way may be larger than he had believed but Idaho Power was willing to work that out with ACHD.

(Timestamp 00:23:00)

Jimmy Buker, Idaho Power Engineer, explained why triple circuit on the existing poles did not work and referenced three (3) specific reasons: height restrictions from the FAA; the increased width of the power poles to support the additional circuit and the inability for manufacturers to create poles that met those requirements; and the force wind applies to the wires. Mr. Buker then stood for questions.

(Timestamp 00:28:08)

Chairman Young closed the Public Hearing and the Commission proceeded into deliberation.

(Timestamp 00:28:32)

Chairman Young believed that if Idaho Power continued to work with ACHD and because a majority of the poles were already existing, the upgrade was needed due to power requirements; he understood concerns of the residents who had submitted testimony, but did not see an ability for the project not to move forward due to current and future power needs.

(Timestamp 00:29:07)

Commissioner Garten agreed it was an eyesore but it was a necessary eyesore.

(Timestamp 00:29:21)

Commissioner believed that if Idaho Power worked with ACHD to mitigate roadway issues and/or future roadway expansion, he found no issues with the project.

(Timestamp 00:29:27)

Commissioner Greger stated it was unfortunate a portion had to be on both sides of the road but otherwise, she had no concerns.

(Timestamp 00:30:08)

Motion To: Approve Case No. 22-13- SUP (Special Use Permit) for Idaho Power Bowmont to Hubbard Transmission Line Upgrade, with the Conditions as outlined in staffs report.

Motion By: Commissioner Garten

Motion Seconded: Commissioner Main

Further Discussion: None

Voting No: None

Absent:

Motion Passed: 4-1-0

5. BUSINESS ITEMS:

(Timestamp 00:31:02)

A. Case No. 22-35-DR (Design Review) for the Kuna Police Station – Doug Hanson, Director

(Timestamp 00:31:13)

Planning and Zoning Director Doug Hanson presented an overview of the proposed new Kuna Police Station, then stood for questions.

(Timestamp 00:32:50)

Chairman Young asked if the existing trash enclosure was sufficient to service a new police station and City Hall. Mr. Hanson answered that roll-bins (dumpsters) would be used during construction then deferred to the City Clerk to elaborate.

(Timestamp 00:33:14)

City Clerk Chris Engels confirmed roll-bins were to be used during construction, then once complete, the city would re-evaluate if an additional or larger dumpster was required for daily use. Ms. Engels pointed out that they did not want to utilize the average tip-carts and dumpster usage would be dependent on what the police station could and could not throw away (i.e., document shredding services). The Chairman then asked if an additional ADA parking stall would be added as one (1) was being removed according to the project renderings. Mr. Hanson stated that two (2) ADA stalls were being added at the proposed police station, therefore exceeding the ADA parking requirements outlined in Kuna City Code. Ms. Engels clarified if the Chairman was asking if a courtesy ADA stall would be added to the south (near the greenbelt); Chairman Young answered no and felt the two (2) additional ADA stalls were sufficient for the station.

(Timestamp 00:36:00)

Commissioner Main stated concerns with the longevity of the proposed metal shop building and would prefer to see a stone wainscot that matched the station and City Hall to counteract; he also

felt the stone wainscot should extend around the north of the station. Commissioner Main was also concerned with the engineering of one (1) of the entry overhangs as it appeared it would not be structurally sound.

(Timestamp 00:37:35)

Ms. Engels explained the stone wainscot did not continue on the north as the intent was to highlight the public entrances to the station and act as a visual deterrent for the public attempting to access a secured entrance. She also explained that Kuna Police signage was intended for the north side of the station, as well as attempting to be as budget conscious as possible in spending tax dollars; if continuing the stone was not necessary, it was preferred it was not added in order to reduce costs. In regards to the shop, Ms. Engels did not feel that stone was not necessary for the shop as it was simply used for storage; again, she referenced diligence in budgeting which is why a metal building was chosen instead of a stucco one. Ms. Engels expressed willingness to review the entry overhangs with the designing architect to ensure they were structurally sound. Commissioner Main understood Ms. Engels reasoning but again pointed out that a wainscot of some sort seemed appropriate as the shop faced the parking lot shared between the station and City Hall.

(Timestamp 00:44:06)

Mr. Hansons asked Commissioner Main if a stone wainscot was an absolute or if the Commission would support a painted wainscot. Commissioner Main suggested a stone veneer or sheet metal running in the opposite direction of the main structure and painted a color similar to the stone on City Hall and the proposed station. Ms. Engels asked for a moment to ask clarifying questions to staff.

(Timestamp 00:46:05)

Mr. Hanson asked the Commission if they would be willing to let staff research the potential additional costs as the new station was taxpayer funded. Commissioner Main stated he did not believe a wainscot on the east face of the shop would add a substantial cost increase that would negatively affect the budget. Ms. Engels and staff performed calculations and how many square feet would be required for the wainscot, then Mr. Hanson confirmed that it appeared it was a doable change to add a metal wainscot to the shop.

(Timestamp 00:50:41)

Chairman Young then stated that he felt the proposed plantings along the north, when grown out, would hide any additional wainscotting and would provide a visual breakup of the façade; he agreed that budgets for public buildings were important to follow. Commissioner Main agreed the landscaping would be adequate on the north as well.

(Timestamp 00:52:14)

Commissioner Garten had no concerns and appreciated the desire to create cohesive design between the proposed station and City Hall; he agreed with Commissioner Main on adding a wainscot to the shop. Commissioner Garten asked if the new police station was what spurred an Impact Fee increase. Ms. Engels answered that thought Impact Fees were being used, it was not the cause.

(Timestamp 00:54:36)

Ms. Engels provided an estimated timeline for the project, explaining that staff was hoping to have the design finalized by the end of the week so they could move forward to the bidding

process where requests for bid would be published two (2) times. Ms. Engels expected the formal fund request to go before City Council in December, then the project could move forward to submitting for building permits. She also commented that the project was designed in a way that, if additional space was required in the future, it could be added, as well as having an emergency command room that could be used by other agencies such as the Kuna Rural Fire District.

(Timestamp 00:58:18)

Commissioner Garten asked if Kuna Police anticipated having to hire new staff to fill the building. Ms. Engels commented that additional staff was not required at this time, but should additional staff be required to provide an acceptable level of service of 1 officer:1,000 residents, there was room to do so. Commissioner Garten explained that there were concerns within neighboring law enforcement that officers had to sit in their vehicles to complete paperwork and having this larger station provided a safer environment for the officers to perform their paperwork duties and get back out to the public. Ms. Engels confirmed that was a concern for Kuna Police Chief Fratusco as well and that was considered in the proposed station design.

(Timestamp 01:01:30)

Commissioner Greger asked if the greenbelt pathway on the west (*connecting the W 4th Street and N School Ave intersection to the greenbelt*) would be closed; Ms. Engels stated it would in fact remain.

(Timestamp 01:02:07)

Motion To: Approve Case No. 22-35-DR (Design Review) for the Kuna Police Station, with the Conditions as outlined in staffs report and the additional Condition a horizontal corrugated metal wainscot, painted to match the stonework of the station and City Hall, be added to the east face of the shop.

Motion By: Commissioner Garten

Motion Seconded: Commissioner Greger

Further Discussion: None

Voting No: None

Absent: 1

Motion Passed: 4-1-0

6. ADJOURNMENT:

(Timestamp 01:02:50)

As there were no other items on the Agenda, Chairman Young asked staff if there were any other administrative items to discuss.

(Timestamp 01:02:57)

Associate Planner and Meeting Clerk Jessica Reid confirmed Commissioner scheduled absences for the upcoming weeks and reminded the Commission the next meeting would be held on Wednesday November 9, 2022, due to the upcoming election.

(Timestamp 01:03:31)

Motion To: Adjourn.

Motion By: Commissioner Garten

Motion Seconded: Commissioner Main

Further Discussion: None

Voting No: None

Absent: 1

Motion Passed: 4-1-0

Lee Young, Chairman
Kuna Planning & Zoning Commission

ATTEST:

Doug Hanson, Director
Kuna Planning & Zoning



CITY OF KUNA

751 W. 4th Street • Kuna, Idaho • 83634 • Phone (208) 922-5274
Fax: (208) 922-5989 • www.Kunacity.Id.gov

SIGN-UP SHEET

October 25, 2022 – Planning and Zoning Commission Public Hearing

Case Name: 22-13-SUP (Special Use Permit) Idaho Power Bowmont to Hubbard Transmission Line Upgrade

Please print your name below if you would like to present oral testimony or written exhibits about this item to the Commission or City Council.

IN FAVOR		NEUTRAL		IN OPPOSITION	
<input type="checkbox"/> <u>Testify</u>	<input type="checkbox"/> <u>Not Testify</u>	<input checked="" type="checkbox"/> <u>Testify</u>	<input type="checkbox"/> <u>Not Testify</u>	<input type="checkbox"/> <u>Testify</u>	<input type="checkbox"/> <u>Not Testify</u>
_____ Print Name		BRAD PETERS _____ Print Name		_____ Print Name	
_____ Print Address		12467 S. CEDARHURST _____ Print Address		_____ Print Address	
City	State, Zip	KUNA	ID 83634	City	State, Zip
<input type="checkbox"/> <u>Testify</u>	<input type="checkbox"/> <u>Not Testify</u>	<input type="checkbox"/> <u>Testify</u>	<input type="checkbox"/> <u>Not Testify</u>	<input type="checkbox"/> <u>Testify</u>	<input type="checkbox"/> <u>Not Testify</u>
_____ Print Name		_____ Print Name		_____ Print Name	
_____ Print Address		_____ Print Address		_____ Print Address	
City	State, Zip	City	State, Zip	City	State, Zip
<input type="checkbox"/> <u>Testify</u>	<input type="checkbox"/> <u>Not Testify</u>	<input type="checkbox"/> <u>Testify</u>	<input type="checkbox"/> <u>Not Testify</u>	<input type="checkbox"/> <u>Testify</u>	<input type="checkbox"/> <u>Not Testify</u>
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_____ Print Address		_____ Print Address		_____ Print Address	
City	State, Zip	City	State, Zip	City	State, Zip
<input type="checkbox"/> <u>Testify</u>	<input type="checkbox"/> <u>Not Testify</u>	<input type="checkbox"/> <u>Testify</u>	<input type="checkbox"/> <u>Not Testify</u>	<input type="checkbox"/> <u>Testify</u>	<input type="checkbox"/> <u>Not Testify</u>
_____ Print Name		_____ Print Name		_____ Print Name	
_____ Print Address		_____ Print Address		_____ Print Address	
City	State, Zip	City	State, Zip	City	State, Zip

1.2 Public Hearing

1.2.1 The Planning and Zoning Commission heard this on October 25, 2022. The FCO’s have been requested to go to the Commission in November 9, 2022.

1.3 Witness Testimony

1.3.1 Those who testified at the Commission’s October 25, 2022, hearing are as follows, to-wit:

1.3.1.1 City Staff:

Doug Hanson, Planning & Zoning Director

1.3.1.2 Appearing for the Applicant:

Jeff Maffuccio, Idaho Power, 1221 W Idaho Street, Boise, ID 83702

1.3.1.3 Appearing in Favor:

Jimmy Buker, HDR, 412 E Parkcenter Boulevard, Boise, ID 83706 - Testified

1.3.1.4 Appearing Neutral:

Brad Peters, 12467 S Cloverdale Road, Kuna, ID 83634 - Testified

1.3.1.5 Appearing in Opposition:

None

**II
DECISION**

WHEREUPON THE PLANNING AND ZONING COMMISSION being duly informed upon the premises and having reviewed the record, evidence, and testimony received and being fully advised in the premises, DO HEREBY MAKE THE FOLLOWING FINDINGS OF FACT, CONCLUSIONS OF LAW, AND ORDER, to-wit:

**III
FINDINGS OF FACT**

3.1 Findings Regarding Notice

3.1.1 Notice Required: Notice has been given in accordance with City Code and Idaho Statutes.

3.1.2 Notice Provided

3.1.2.1 Notice was published for the October 25, 2022, hearing in the Kuna Melba News, the official City of Kuna newspaper, which has general circulation within the boundaries of the city, Ada and Canyon County.

<i>Newspaper</i>	<i>Date Published</i>
Kuna Melba News	September 28 and October 5, 2022

3.1.2.2 Notice for the October 25, 2022, hearing containing the legal description of the property proposed to be used, was mailed on September 28, 2022, to all know and affected property owners within 300-ft of the property boundaries.

3.1.2.3 Notice for the October 25, 2022, hearing was posted on a sign in accordance with Kuna City Code 5-1A-8, on October 15, 2022. A Proof of Property Posting was provided to staff October 17, 2022.

3.2 Findings Regarding Special Use Permit

3.2.1 The Applicant has submitted a complete application, and following staff review for technical compliance, the application appears to be in general compliance with Kuna City Code Title 5.

3.2.2 The Applicant held a Neighborhood Meeting on June 28, 2022; there were two (2) attendees. Legal Notices were mailed out to landowners within 300-feet of the subject site on September 28, 2022, and a legal notice was published in the Kuna Melba Newspaper on September 28 and October 5, 2022. The Applicant posted a sign on the property on October 15, 2022.

3.3 Testimony of the City Planner

3.3.1 Conclusions: Planning and Zoning Director Doug Hanson, in a staff report to the Planning and Zoning Commission dated October 25, 2022, confirmed that a review of the site and records on file at the City of Kuna has been completed with the following conclusions:

3.3.1.1 Idaho Power Company requests Special Use Permit approval for portions of the proposed Bowmont to Hubbard 230-kilovolt transmission line upgrade project located in City of Kuna which will run adjacent to Barker Road and Cloverdale Road.

3.3.1.2 The Applicant has submitted a complete application in accordance with KCC 5-6-2. The Applicant held a Neighborhood Meeting with neighboring land owners within 300 ft of the proposed project area on June 28, 2022, there were two (2) attendees; the meeting minutes have been included as a part of this application.

3.3.1.3 Per City Engineer's comments (Exhibit 2.13), Public Works can support this Special Use Permit request as the Applicant does not propose construction or connection of any public works infrastructure.

3.3.1.4 Staff has determined the Applicant's Special Use Permit request is in compliance with Kuna City Code Title 5, Comprehensive Plan and Idaho Code. Staff recommends the Commission approve the Special Use Permit, with the Applicant be subject to the Conditions of Approval listed in Section 3.4 of this report, as well as any additional Conditions designated by the Planning and Zoning Commission.

3.4 Conditions of Approval: As a result of the review, the Planning & Zoning Commission Approved the application with the following Conditions:

3.4.1 No building permits will be issued until the Applicant and/or property owner can demonstrate compliance with all Kuna City Codes.

3.4.2 Applicant shall follow all procedures, staff recommendations, Kuna Rural Fire District and all ACHD standards.

- 3.4.3 When required, connection to City Services (Sewer, Water, Pressurized Irrigation) shall conform to all corresponding Master Plans.
- 3.4.4 Applicant shall follow staff, City Engineer's, Ada County Highway District and other agency recommended requirements as applicable.
- 3.4.5 Applicant shall adhere to all agencies and staff requirements and recommendations.
- 3.4.6 Applicant shall comply with all federal, state and local laws.

3.5 Other Testimony

- 3.5.1 10/25/2022 Public Hearing – Jeff Maffucio, Idaho Power presented details on the project discussing: the size and scope of the overall project area, the anticipated construction year of 2025-2026 and the need to provide power and resiliency to accommodate population growth.
- 3.5.2 10/25/2022 Public Hearing – Brad Peters, 12467 S Cloverdale Road, Kuna, ID 83634 stated that Idaho Power has been cooperative to deal with thus far. He did not understand why the monopoles being used had to be placed on both sides of Cloverdale, or they could not make existing poles taller.
- 3.5.3 10/25/2022 Public Hearing - Jimmy Buker, HDR, 412 E Parkcenter Boulevard, Boise, ID 83706 addressed Mr. Peter's question by explain the issues preventing making the existing monopoles taller: FAA height limitations, design problems and manufacturing constraints.

IV

CONCLUSIONS OF LAW

RE: POWERS AND DUTIES OF THE PLANNING AND ZONING COMMISSION

- 4.1 City of Kuna is a duly formed Municipal Corporation organized and existing by virtue of the laws of the State of Idaho and is organized, existing and functioning pursuant to Chapter 1, Title 50, Idaho Code.
- 4.2 The Kuna Planning and Zoning Commission has the decision-making authority over all Legislative Special Use Permit applications as provided in Kuna City Code 1-14-3.
- 4.3 Kuna City Code 5-6 provides that:

It is recognized that an increasing number of new kinds of uses appearing daily, and that many of these and some other more conventional uses possess characteristics of such unique and special nature relative to location, design, size, method of operation, circulation and public facilities that each specific use must be considered individually.

The Planning and Zoning Commission shall hold a Public Hearing on each Special Use Permit application as specified in the Official Schedule of District Regulations. The Commission may Approve, Conditionally Approve or Deny a Special Use Permit under the Conditions as herein specified and considering such additional safeguards as will uphold the intent of this Title.

V

ORDER OF APPROVAL FOR SPECIAL USE PERMIT

The Kuna Planning and Zoning Commission, having reviewed the above-entitled record, having listened to the arguments and presentations at the hearing, and being fully informed in the premises and further based upon the Findings of Fact and Conclusions of Law hereinabove set forth, DO HEREBY APPROVE:

5.1 Case No. 22-13-SUP (Special Use Permit) for the Idaho Power Bowmont to Hubbard transmission Line Upgrade.

BY ACTION OF THE PLANNING AND ZONING COMMISSION of the City of Kuna, at its regular meeting held on the 9th day of November, 2022.

Lee Young, Chairman
Kuna Planning and Zoning Commission

1.3 Testimony

1.3.1 Those who testified at the Commission’s October 25, 2022, meeting are as follows, to-wit:

1.3.1.1 City Staff:

Doug Hanson, Planning and Zoning Director

1.3.1.2 For the Applicant:

Chris Engels, Kuna City Clerk

Morgan Treasure, Economic Development Director

II DECISION

WHEREUPON THE PLANNING AND ZONING COMMISSION being duly informed upon the premises and having reviewed the record, evidence, and testimony received and being fully advised in the premises, DO HEREBY MAKE THE FOLLOWING FINDINGS OF FACT, CONCLUSIONS OF LAW, AND ORDER, to-wit:

III FINDINGS OF FACT

3.1 Findings Regarding Notice

3.1.1 In accordance with Kuna City Code (KCC) 5-4-2: Design Review; all new projects, landscaping, and other various amenities are required to submit an application for review by the Planning and Zoning Commission. As a Public Meeting item, this action requires no formal public noticing.

3.2 Findings Regarding Design Review

3.2.1 The Applicant has submitted a complete application, and following staff review for technical compliance, the application appears to be in general compliance with the design requirements listed in Kuna City Code Title 5.

3.2.2 Review by Staff and the Commission of the proposed Design Review confirms the proposed structures and their design appear appropriate for the subject site.

3.2.3 The Comprehensive Plan designates the future land use designation of the subject site as Commercial; the subject site is currently zoned CBD (Central Business District), thus meeting this requirement.

3.2.4 Upon review, staff finds the proposed project is an appropriate fit for the proposed location.

3.2.5 The placement and orientation of the structures, including building façade and colors, proposed landscaping and fencing, appear to offer a cohesive design and provides adequate screening between the subject sites and neighboring properties.

3.2.6 Sidewalks immediately adjacent to the police station and the existing sidewalk on W 4th Street, provides safe pedestrian access.

3.2.7 Based on comments provided by ACHD in Exhibits 2.11, the existing infrastructure can support the proposed development once roadway improvements are made; the Public

Works Department in Exhibit 2.12 also states the existing infrastructure can support the proposed development.

3.3 Testimony of City Staff

3.3.1 Conclusions: Planning & Zoning Director Doug Hanson, in a staff report to the Planning and Zoning Commission dated October 25, 2022, confirmed that a review of the site and records on file at the City of Kuna has been completed with the following Conclusions:

- 3.3.1.1** The proposed police station will be approximately 5,399 SF with a 960 SF shop. Exterior building materials as shown in Exhibit 2.9 will match existing City Hall.
- 3.3.1.2** The existing sod landscape buffer along W 4th Street will be removed and replaced with RTF turf type tall fescue. The remainder of groundcover on site will consist of a mix RTF turf type tall fescue and one-inch washed rock mulch. Landscaping appears to be in compliance with Kuna City Code (KCC).
- 3.3.1.3** The proposed parking lot provides 18 standard stalls and two (2) ADA accessible stalls. Additional parking will be provided from the existing City Hall parking lot. Per KCC 5-9-3, offices, public or professional administration, or service buildings require one (1) parking stall per 400 square feet of floor area. The proposed parking for this application exceeds requirements of KCC and should be approved as proposed.
- 3.3.1.4** Per Exhibit 2.12 Public Works can support approval of the application. The subject site is already serviced by sanitary sewer and potable water.
- 3.3.1.5** Upon complete review, staff finds the application generally complies with Title 5 of Kuna City Code; Comprehensive Plan Future Land Use Map (FLUM); and Idaho Code. Staff would recommend the Planning and Zoning Commission Approve Case No. 22-35-DR, with the Applicant being subject to the recommended Conditions of Approval listed in Section 3.4 of this report.

3.4 Conditions of Approval: As a result of the review, the Planning and Zoning Commission Approved the application with the following Conditions:

- 3.4.1** The Applicant shall follow all requirements for sanitary sewer, potable water and pressurized irrigation connections, and all other requirements of the Kuna Public Works Department. Potable/drinking water shall not be used for irrigation purposes per Kuna City Code 6-4-2(B)(9).
- 3.4.2** The Applicant shall obtain written approval of the construction plans from the agencies noted below; the approval may be either on agency letterhead referring to the approved use, or may be written or stamped upon a copy of the approved plans. All site improvements are prohibited prior to approval of these agencies and the issuance of a building permit:
 - 3.4.2.1** No construction, grading, filling, clearing or excavation of any kind shall be initiated until the Applicant has received approval of the Civil Plan.
 - 3.4.2.2** The Kuna Rural Fire District shall approve fire flow requirements and/or building plans. Installation of fire protection facilities as required by the Kuna Rural Fire District is required.

- 3.4.2.3** The city shall approve any modifications to the existing water, sewer or irrigation system.
- 3.4.2.4** Approval from Ada County Highway District (impact fees), if any, shall be paid *prior to issuance of building permits*.
- 3.4.3** Developer/Owner/Applicant shall provide engineering certification on all final engineering drawings, as applicable.
- 3.4.4** Developer/Owner/Applicant shall submit civil plans and Central District Health District septic approvals to pwoffice@kunaid.gov for review and receive formal Civil plan approvals prior to construction or Building Permit application.
- 3.4.5** On-site stormwater retention shall be reviewed in conjunction with this Design Review and Applicant/Developer shall be required to provide a stormwater disposal and treatment plan which accounts for increased on-site storm water runoff volumes; detailed drawings of drainage and treatment facilities with supporting calculations for review and approval.
- 3.4.6** If applicable, Fire Suppression shall be shown on all plans and approved by the Kuna Rural Fire District (KRFD).
- 3.4.7** The Kuna Rural Fire District (KRFD), or KRFD representative, must approve fire access to the project before, during, and after construction.
- 3.4.8** Developer/Owner/Applicant shall verify that existing and proposed elevations match at property boundaries such that a slope burden is not imposed on adjacent properties; slopes shall not be steeper than 3:1 on lots adjacent to a street or common lot, and no steeper than 4:1 for lots with common rear lot lines.
- 3.4.9** This development is subject to Architectural and Landscape compliance Design Review inspections prior to receiving a Certificate of Occupancy. Design Review inspection fees shall be paid prior to requesting staff inspection.
- 3.4.10** The Developer/Owner/Applicant, and any future assigns having an interest in the subject property, shall fully comply with all Conditions of development as approved by the Planning and Zoning Commission, or seek amending them through the Design Review process.
- 3.4.11** All required landscaping shall be permanently maintained in healthy growing condition. The property owner shall remove and replace unhealthy or dead plant material within three (3) days or as the planting season permits, as required to meet the standards of these requirements. Maintenance and planting within public rights-of-way shall be with approval from the public entities owning the property.
- 3.4.12** Landscaping shall not be placed within 10 feet of any and all meter pits, pressurized irrigation valves and/or ACHD underground facilities, and must honor all vision triangles. All rope, twine, burlap and wire cages shall be removed half way down the rootball.
- 3.4.13** As-built drawings are required at the conclusion of any public facility construction project and are the responsibility of the Applicants Engineer.

- 3.4.14 Developer/Owner/Applicant is hereby notified of Kuna’s weed control policies and requirements (KCC 8-1-3). Weeds, grasses, vines or other growth which endanger property or are over 12-inches in height shall be continuously cut down, weeded out, sprayed, burned, removed or destroyed throughout the seasons.
- 3.4.15 Developer/Owner/Applicant is hereby notified of Kuna’s working hours. Construction of any kind shall only be conducted between 7:00 AM to 11:00 PM; noises and other public nuisances/distractions outside of this time frame are subject to lawful penalties.
- 3.4.16 Developer/Owner/Applicant shall follow staff, City Engineer and other agency recommended requirements, as applicable.
- 3.4.17 Developer/Owner/Applicant shall comply with all local, state and federal laws.
- 3.4.18 Developer/Owner/Applicant shall place a wainscot on the East elevation of the shop building.

IV

CONCLUSIONS OF LAW

RE: POWERS AND DUTIES OF THE PLANNING AND ZONING COMMISSION

- 4.1 The City of Kuna is a duly formed Municipal Corporation organized and existing by virtue of the laws of the State of Idaho and is organized, existing and functioning pursuant to Chapter 1, Title 50, Idaho Code.
- 4.2 The Kuna Planning and Zoning Commission has the decision-making authority over all Legislative Design Review application as provided in Kuna City Code 1-14-3.
- 4.3 Kuna City Code 5-4-2 provides that:

This Chapter applies to all proposed development located within the Design Review Overlay District which shall include the entire City Limits, and any land Annexed into the city after the date of adoption hereof. Such development includes, but is not limited to, new commercial, industrial, institutional, office, multi-family residential projects, common areas, subdivision signage, proposed conversions, proposed changes in land use and/or building use, or exterior remodeling, exterior restoration, and enlargement or expansion of existing buildings, signs or sites, and requires the submittal of a Design Review application pursuant to this Chapter and fee as prescribed from time to time by City Council.

V

ORDER OF APPROVAL OF APPLICATION FOR DESIGN REVIEW

The Kuna Planning and Zoning Commission, having reviewed the above-entitled record, having listened to the arguments and presentations at the meeting, and being fully informed on the premises and further based upon the Findings of Fact and Conclusions of Law hereinabove set forth, DO HEREBY ORDER AND THIS DOES ORDER:

- 5.1 The Design Review application (22-35-DR) for Kuna Police Station is hereby Approved.

BY ACTION OF THE PLANNING AND ZONING COMMISSION of the City of Kuna at its regular meeting held the 9th day of November, 2022.

**BEFORE THE PLANNING AND ZONING COMMISSION
OF THE CITY OF KUNA**

IN THE MATTER OF THE APPLICATION OF) **Case No. 22-12-SUP (Special Use Permit)**
)
ALAIN & CHLOE LEMESSE)
)
 For Special Use Permit for an In-Home) **STAFF REPORT FOR SPECIAL**
 Group Daycare at 6810 S Nordean Ave.) **USE PERMIT APPLICATION.**

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**I
EXHIBIT LIST**

The exhibits of the above-referenced matter consist of the following, to-wit:

1.1 Exhibits:

<i>DESCRIPTION OF EVIDENCE</i>		Withdrawn	Refused	Admitted
1.1	Staff Report			X
2.1	P&Z Application Coversheet			X
2.2	Daycare Application			X
2.3	Narrative			X
2.4	Aerial Map			X

2.5	Vicinity Map			X
2.6	Deed			X
2.7	Proof State License Begun			X
2.8	Site Plan			X
2.9	CPR & First Aid Certification			X
2.10	Sick Child Plan			X
2.11	Emergency Evacuation Plan			X
2.12	Neighborhood Meeting Certification			X
2.13	Commitment to Property Posting			X
2.14	Enhanced Background Checks – Passed			X
2.15	Fire Safety Inspection – Passed 09.06.2022			X
2.16	Agency Transmittal			X
2.17	Ada County Highway District			X
2.18	City Engineer’s Memo			X
2.19	KMN Proof of Publication			X
2.20	300-ft Property Owners Notice			X
2.21	Proof of Property Posting			X

**II
PROCESS AND NOTICING**

- 2.1** In accordance with Kuna City Code (KCC) 5-3-2: Zoning District Regulations, and 5-6: Special Uses, operating an In-home Daycare requires a Special Use Permit. In addition, it states Special Use Permits are designated as Public Hearings, with the Planning and Zoning Commission as the decision-making body. This land use application was given proper public notice and followed the requirements set forth in Idaho Code Chapter 65, Local Land Use Planning Act.
- 2.2** In accordance with KCC 5-3-6, the Applicant seeks approval of a Special Use Permit (SUP) for an In-Home Daycare at the subject site which allows for no more than twelve (12) children at any one time, on a regularly scheduled basis; staff notes the total number of children permitted will be determined upon inspection performed by the Fire Marshall. SUP applications require a Public Hearing be held in front of the Planning and Zoning Commission with formal notification and site posting required.

2.2.1 Notifications

- 2.2.1.1** Neighborhood Meeting: July 18, 2022
- 2.2.1.2** Agency Transmittal: October 13, 2022
- 2.2.1.3** Kuna Melba News Newspaper: October 19, 2022
- 2.2.1.4** 300 FT Property Owners Notice: October 19, 2022
- 2.2.1.5** Site Posted: October 30, 2022

**III
APPLICANTS REQUEST**

- 3.1** Alain and Chloe Lemesse request approval to operate an in-home group daycare for up to 12 children, from 6:00 AM to 6:00 PM, Monday through Friday, at 6810 S Nordean Avenue (APN: R5665670180); Section 3, Township 2 North, Range 1 West.

**IV
GENERAL PROJECT FACTS**

4.1 Site History

- 4.1.1** The property is zoned R-6 (Medium Density Residential) and the existing dwelling has been used as a single-family residence since its construction.

4.2 Surrounding Land Uses

North	R-6	Medium Density Residential – Kuna City
South	R-6	Medium Density Residential – Kuna City
East	R-6	Medium Density Residential – Kuna City
West	R-6	Medium Density Residential – Kuna City

4.5 Parcel Number, Owner, Zoning and Size

- 4.5.1** Alain & Chloe Lemesse
4.5.2 R5665670180
4.5.3 R-6 (Medium Density Residential)
4.5.4 0.175-acres

4.6 Services

Sanitary Sewer – City of Kuna
Potable Water – City of Kuna
Fire Protection – Kuna Rural Fire District
Police Protection – Kuna Police (Ada County Sheriff’s Office)
Sanitation Services – J&M Sanitation

4.7 Existing Structures, Vegetation, and Natural Features

- 4.7.1** An approximately 1,845 SF, one-story, single-family residence with a fully fenced backyard is onsite; landscaping is consistent with that of a residential use.

4.8 Environmental Issues

- 4.8.1** Apart from being within the Nitrate Priority Area, staff is not aware of any environmental issues, health or safety conflicts at this time.

4.9 Comprehensive Plan Future Land Use Map

- 4.9.1** The Future Land Use Map (FLUM) identifies the subject site as Medium Density Residential; the subject site is currently zoned R-6 (Medium Density Residential) and is consistent with the FLUM.

V
TRANSPORTATION AND CONNECTIVITY

- 5.1** The subject site is on the southeast corner of the W Tribute Street and S Nordean Avenue intersection within Memory Ranch Subdivision No.1. A 21-foot-wide or more driveway provides off-street parking for patrons of the daycare. The Ada County Highway District (Exhibit 2.17) expressed no concerns with this Special Use Permit Request.

VI
STAFF ANALYSIS

- 6.1** In order to operate an In-Home Childcare Facility, a Special Use Permit (SUP) is required per Kuna City Code (KCC) 5-3-1: Zoning Districts and Definitions. In-home Group Childcare allows for up to twelve (12) children to be cared for throughout the day, with the appropriate staff to child ratio according to Idaho Code §39-1109(4)(a) & (b), which includes the Applicants children. The Childcare Facility proposes to operate Monday through Friday, from 6:00 AM to 6:00 PM; one (1) additional family member who lives on the premises is to be employed at the daycare.

The subject site contains a one-story, single-family home with a 2-car garage, paved side yard and fully fenced back yard with patio; landscaping is well established. A covered entry is accessed via a walkway from the driveway which provides at least three (3) parking spaces for child drop-off/pick-up. Childcare facilities require a minimum of 40 Square Feet of useable indoor space per child, and 80 Square Feet of useable outdoor space per child. The Applicants will be required to comply with Idaho Code §39-1109.

The Applicants passed their Fire Safety Inspection (Exhibit 2.15) on September 6, 2022; Applicants and employee passed have all passed their Enhanced Background Checks.

In Exhibit 2.18, the City Engineer states they can support approval for this Special Use Permit request as it proposes no changes to public works infrastructure.

Upon complete review, staff has no concerns and has determined this application complies with Title 5 of Kuna City Code; Comprehensive Plan Future Land Use Map; and Idaho Code. Staff would recommend the Planning and Zoning Commission Approve Case No. 22-12-SUP, with the Applicant subject to the recommended Conditions of Approval listed in Section X (10) of this report.

6.2 Applicable Standards

- 6.2.1** City of Kuna Zoning Ordinance, Title 5
- 6.2.2** City of Kuna Comprehensive Plan FLUM
- 6.2.3** Idaho Code, Title 67, Chapter 65 – Local Land Use Planning Act
- 6.2.5** Idaho Code, Title 39, Chapter 11 – Health and Safety

VII
PROPOSED FINDINGS OF FACT

Based upon the record contained in Case No. 22-12-SUP (Special Use Permit), including the Comprehensive Plan, Kuna City Code, Staff’s Memorandums, the exhibits, and the testimony during the Public Hearing; the Kuna Planning and Zoning Commission hereby *Approves/Conditionally Approves/Denies* the Findings of Fact and Conclusions of Law, and Conditions of Approval for Case No.

22-12-SUP, a request from Alain and Chloe Lemesse to operate an in-home group daycare for up to 12 children, from 6:00 AM to 6:00 PM, Monday through Friday, at 6810 S Nordean Avenue:

If the Planning and Zoning Commission wishes to Approve, Deny or modify specific parts of the Findings of Fact and Conclusions of Law as detailed below, those changes must be specified.

7.1 Based on the evidence contained in Case No. 22-12-SUP, this proposal *does/does not* generally comply with Kuna City Code.

Staff Finding: The Applicant has submitted a complete application, and following staff review for technical compliance, the application appears to be in general compliance with Kuna City Code (KCC) Title 5.

7.2 Based on the evidence contained in Case No. 22-12-SUP, this proposal *does/does not* generally comply with the Comprehensive Plan.

Staff Finding: The Comprehensive Plan designates the future land use designation of the proposed subject site as Medium Density Residential; the subject site is currently zoned R-6 (Medium Density Residential).

7.3 The In-Home Group Daycare *does/does not* constitute a special use as established in the Official Schedule of District Regulations for the zoning district involved.

Staff Finding: According to KCC 5-3-2, an In-home Group Daycare requires a Special Use Permit for all permitted zoning districts.

7.4 The public notice requirements have been met and the Neighborhood Meeting was conducted within the guidelines of applicable Idaho Code and City Ordinances.

Staff Finding: A Neighborhood Meeting was held on July 18, 2022; there were no attendees. A Legal Notice was published in the Kuna Melba News Newspaper on October 19, 2022, as well as a Legal Notice being mailed to residents within 300 feet, on October 19, 2022. The Applicants posted a sign on the property October 30, 2022, and a Proof of Property Posting form was submitted to staff October 31, 2022.

VIII

PROPOSED COMPREHENSIVE PLAN ANALYSIS

The Kuna Planning and Zoning Commission may *accept/reject* the Comprehensive Plan components, and shall determine if the proposed Special Use Permit request for the site *is/is not* consistent with the following Comprehensive Plan components:

8.1 Goal Area 1: Kuna will be economically diverse and vibrant.

8.1.1 Goal 1.C: Attract and encourage new and existing businesses.

8.1.1.1 Objective 1.C.2: Create an environment that is friendly to business creation, expansion and relocation.

8.2 Goal 3: Kuna's land uses will support a desirable, distinctive and well-designed community.

8.2.1.1 Objective 3.G.1: Ensure land use policies, restrictions, and fees do not violate private property rights.

8.2.1.1.1 Policy 3.G.1.c: Ensure City land use actions, decisions and regulations do not prevent a private property owner from taking advantage of a fundamental

property right. Ensure City actions do not impose a substantial and significant limitation on the use of the property.

IX

COMMISSIONS ORDER OF DECISION

Note: The motion is for the Approval, Conditional Approval, or Denial of the Special Use Permit application. However, if the planning and Zoning Commission wishes to Approve/Deny specific parts of the requests as detailed in the report, those changes must be specified.

Based on the facts outlined in staff's report and public testimony as presented, the Planning and Zoning Commission of Kuna, Idaho, hereby *Approves/Conditionally Approves/Denies* Case No. 22-12-SUP, a request from Alain and Chloe Lemesse to operate an in-home group daycare for up to 12 children, from 6:00 AM to 6:00 PM, Monday through Friday, at 6810 S Nordean Avenue, subject to the following Conditions of Approval:

- 9.1 As requested by the Applicant, the In-Home Group Daycare shall be permitted to operate between the hours of 6:00 AM to 6:00 PM, Monday through Friday.
- 9.2 Applicant shall provide care for no more than 12 children as determined by the Fire Authority during inspection, as based upon the staff to child ratio provided in Idaho Code §39-1109(4)(a); the allowable 12 children shall include proprietors' children.
- 9.3 The Applicant shall provide protection or supervision for less than 24-hours per day, per Kuna City Code (KCC) 5-1-6.
- 9.4 The Applicant shall not involve uses, activities, processes, materials, equipment or conditions of operation that will be detrimental to any persons, property or general welfare by reason of excessive production of traffic or noise per KCC 5-6-3:G.
- 9.5 Applicant shall provide off-street parking and/or off-street drop off/pick up area for all patrons.
- 9.6 Applicant shall maintain an approved fire extinguisher on site at all times.
- 9.7 Applicant shall install safety locks on doors and cabinets where chemicals are stored.
- 9.8 Applicant shall install safety devices on all electrical outlets accessible to children.
- 9.9 Applicant shall install a door chime on the front door to indicate opening.
- 9.10 A Central District Health Department inspection is required for final sign off; Applicant shall provide Kuna Planning and Zoning with copy of said inspection *prior* to applying for their Kuna City Home Occupation Business License.
- 9.11 In the event the uses or the building located on this parcel is enlarged, expanded upon or altered in anyway (even for temporary purposes), the Applicant and any future assigns having interest in the subject property, shall seek an amendment to the approved Special Use Permit through the Kuna Planning and Zoning Department.
- 9.12 This Special Use Permit is valid only if the Conditions of Approval are adhered to continuously. In the event the Conditions are not followed, the Special Use Permit approval may be revoked.
- 9.13 The Special Use Permit shall follow the proposed intent provided on the application and divest when the Applicants no longer operate an In-Home Daycare and/or no longer have any interest in the property, or the business is discontinued for more than one (1) year. The Applicants are obligated to advise the city of any changes in ownership or leasing agreements which would affect

business operation.

- 9.14** The Applicant shall acquire a Kuna Childcare Business License in accordance with KCC 3-10, through the Kuna City Clerk's office once all Conditions of the Special Use Permit are met, and shall maintain said license through the renewal process during the entirety of the time business is in operation.
- 9.15** The Special Use Permit is not transferable from one parcel to another.
- 9.16** The Applicant shall follow all staff and agency recommendations.
- 9.17** The Applicant shall comply with all local, state and federal laws.
- 9.18** The Applicant shall provide the City with a copy of the Childcare License issued by the State of Idaho Health and Welfare Department within 30 days after approval and signing of the City's Findings of Fact and Conclusions of Law for the Special Use Permit or the approvals may be revoked.
- 9.19** The Applicant shall provide a copy of all subsequent license renewals, Central District Health Department and Fire inspections to the Kuna Planning and Zoning Department.

DATED this 9th day of November, 2022.



Planning & Zoning Application Coversheet

PO Box 13 | 751 W 4th Street | Kuna, ID 83634
(208) 922-5274 | www.KunaCity.ID.gov



****Office Use Only****

File No.(s): 22-12-SUP
Project Name: 6810 S Nordean In-Home Group Daycare
Date Received: 7.20.22 ; REMAINING DOCS 09.26.2022
Date Accepted as Complete: 10.13.2022

Type of review requested (check all that apply):

<input type="checkbox"/>	Annexation & Zoning	<input type="checkbox"/>	Appeal
<input type="checkbox"/>	Comp. Plan Map Amendment	<input type="checkbox"/>	Combination Pre & Final Plat
<input type="checkbox"/>	Design Review	<input type="checkbox"/>	Development Agreement
<input type="checkbox"/>	Final Planned Unit Development	<input type="checkbox"/>	Final Plat
<input type="checkbox"/>	Lot Line Adjustment	<input type="checkbox"/>	Lot Split
<input type="checkbox"/>	Ordinance Amendment	<input type="checkbox"/>	Planned Unit Development
<input type="checkbox"/>	Preliminary Plat	<input type="checkbox"/>	Rezone
<input checked="" type="checkbox"/>	Special Use Permit	<input type="checkbox"/>	Temporary Business
<input type="checkbox"/>	Vacation	<input type="checkbox"/>	Variance

Owner of Record

Name: Alain & Chloe Lemesse
Address: 6810 S Nordean Ave, Kuna
Phone: 353-9709/971-5619 Email: lemessealain@yahoo.com

Applicant (Developer) Information

Name: same
Address: _____
Phone: _____ Email: _____

Engineer/Representative Information

Name: same
Address: _____
Phone: _____ Email: _____

Subject Property Information

Site Address: 6810 S Nordean Ave
Nearest Major Cross Streets: S Nordean & Tribute

Parcel No.(s): R516651670180

Section, Township, Range: Sect. 3, Town 2 North, Range 1 west

Property Size: 0.175 acres

Current Land Use: Residential Proposed Land Use: same

Current Zoning: R-6 Proposed Zoning: same

Project Description

Project Name: 6810 S Nordean In-home Group Daycare

General Description of Project: operate in-home daycare for up to 12 children, Monday to Friday, 6 am to 6 pm

Type of proposed use (check all that apply and provide specific density/zoning):

Residential: R-2 R-4 R-6 R-8 R-12 R-20 Commercial: C-1 C-2 C-3 CBD

Office Industrial: M-1 M-2 Other: _____

Type(s) of amenities provided with development: N/A

Residential Project Summary (If Applicable)

Are there existing buildings? YES NO

If YES, please describe: _____

Will any existing buildings remain? YES NO

No. of Residential Units: _____ No. of Building Lots: _____

No. of Common Lots: _____ No. of Other Lots: _____

Type of dwelling(s) proposed (check all that apply):

Single-Family Townhomes Duplexes Multi-Family

Other: _____

Minimum square footage of structure(s): _____

Gross Density (Dwelling Units ÷ Total Acreage): _____

Net Density (Dwelling Units ÷ Total Acreage not including Roads): _____

Percentage of Open Space provided: _____ Acreage of Open Space: _____

Type of Open Space provided (i.e. public, common, landscaping): _____

Non-Residential Project Summary (If Applicable)

Number of building lots: _____ Other lots: _____

Gross floor area square footage: _____ Existing (if applicable): _____

Building height: _____ Hours of Operation: _____

Total No. of Employees: _____ Max No. of Employees at one time: _____

No. of and ages of students: _____ Seating capacity: _____

Proposed Parking

ADA accessible spaces: _____ Dimensions: _____

Regular parking spaces: _____ Dimensions: _____

Width of driveway aisle: _____

Proposed lighting: _____

Is lighting "Dark Sky" compliant? YES NO

Proposed landscaping (i.e. berms, buffers, entrances, parking areas, etc.):

Applicant Signature:   **Date:** 7/20/22.
By signing, you are confirming you have provided all required items listed on this application.

Upon completion of this form, please email to pzapplications@kunaaid.gov. A link will be provided to you for application attachments to be uploaded to the cloud.

In-Home/Child Care Facility Special Use Permit Application



PO Box 13 | 751 W 4th Street | Kuna, ID 83634

(208) 922-5274 | www.KunaCity.ID.gov

FEE: \$330.00 – In-Home/Group Care; \$800.00 -Center

Kuna City Code (KCC) 5-1-6 defines Child Care Facilities as: Any home, structure, or place where nonmedical care, protection or supervision is regularly provided to children under twelve (12) years of age, for periods less than twenty-four (24) hours per day, while the parents or guardians are not on the premises. Any facility providing child care is required to have a Special Use Permit and a State of Idaho basic day care license. There are three (3) types of facilities:

- A. **Home Child Care:** A child care facility which provides care for six (6) or fewer children throughout the day.
- B. **Group Child Care:** A child care facility which provides care for seven (7) to twelve (12) children throughout the day.
- C. **Child Care Center:** A child care facility which provides care for more than thirteen (13) children throughout the day. It should be noted that, in determining the type of child care facility that is being operated, the total number of children cared for during the day and not the number of children at the facility at any one time, is determinative. (*NOTE: Child Care Centers are subject to the Design Review process*).

It should be noted that in determining the type of Child Care Facility that is being operated, the total number of children cared for during the day and not the number of children at the facility at any one time is determinative.

KCC 5-6-4 Supplementary Conditions and Safeguards:

In granting any Special Use, the Planning and Zoning Commission may prescribe appropriate conditions, bonds and safeguards in conformity with this title. Violations of such conditions, bonds or safeguards, when made a part of the terms under which the Special Use is granted, shall be deemed a violation of this title.

KCC 5-6-5 Procedure for Hearing Notice:

Prior to granting a Special Use Permit, at least one (1) Public Hearing in which interested persons shall have an opportunity to be heard shall be held. At least fifteen (15) days prior to the hearing, notice of time and place and a summary of the proposal shall be published in the official newspaper of general circulation within the jurisdiction. Notice may also be made available to other newspapers, radio and television stations serving the jurisdiction for use as a public service announcement. Notice shall also be provided to property owners and residents within three hundred (300) feet of the external boundaries of the land being considered, and any additional area that may be substantially impacted by the proposed Special Use as determined by the Commission. When notice is required to two hundred (200) or more property owners or residents, in lieu of mailing notice, two (2) additional hearing notices shall be provided.

KCC 5-1A-8 Sign Posting Procedures:

A:1: Posting of a hearing notice on property: Not less than ten (10) days prior to the hearing, the applicant shall post a copy of said notice of hearing of the application on the property under consideration; except as noted herein, posting of the property must be in substantial compliance.

KCC 5-6-6 Action by Commission:

Withing thirty (30) days after the Public Hearing, the Planning and Zoning Commission shall either Approve; Conditionally Approve; or Deny the application as presented. If the application is Approved or Approved with modifications, the Commission shall direct the Planning and Zoning Director to issue a Special Use Permit, listing the specific conditions specified by the Commission for approval.

Application Submittal Requirements

(This application will not be accepted unless the following items are submitted in full.)

Application shall contain one (1) copy of the following (digital documents preferred):

- Complete Special Use Permit application form. *(It is the applicant's responsibility to use the most current application.)*
- Detailed letter of explanation, describing the project, reasons for wishing to open a daycare, any training and/or certifications you may have, etc.
- One (1) Vicinity Map: 8.5" x 11" at a 1" = 300' scale (or similar). Label the location of the property and adjacent streets.
- One (1) Aerial Photo: 8.5" x 11" depicting proposed site, street names, and surrounding parcels within five-hundred (500) feet. *(The purpose of the aerial map is to view the site for existing features and adjacent sites.)*
- Copy of Deed; **and**, if the applicant is not the owner, an *original* Affidavit of Legal Interest from the owner (and ALL interested parties) stating the applicant is authorized to submit the application.
- Provide proof that you have begun the daycare license application process with Idaho Health & Welfare.
- Detailed Site Plan 8.5" x 11" or larger:
 - Size of Parcel (acres or square feet)
 - Indicate existing structures (i.e. home, buildings, storage sheds, etc.)
 - Indicate existing and proposed uses (i.e. play areas, kitchen, etc.)
 - Indicate existing and proposed lighting
 - Indicate existing and proposed landscaping
 - Indicate sidewalks, fencing (include type, height, gates), retaining walls or berms. *(NOTE: All gates are required to be locked during business hours.)*
 - Indicate off-street child drop-off/pick-up location and circulation, driveway location, and garage door width(s)
 - Existing and proposed landscaping
 - Dimensions of useable outdoor and indoor play areas
- Copy of CPR & First Aid training Certification for applicant & all employees
- Sick Child Plan/Policy
- Emergency Evacuation Plan and diagram
- Neighborhood Meeting Certification
- Commitment of Property Posting form signed by the Applicant/Agent

Indicate type of Child Care Facility which you are applying for:

- Child Care In-Home (0 – 6 Children)
- Group Child Care In-Home (7 – 12 Children)
- Child Care Center (13 or more Children)

Applicant Information

Name: Alain & Chloe Lemesse

Address: 6810 S Nordean Avenue

Phone: 2083539709 / 2087715619 Email: lemesse.alain@yahoo.com

Owner Information

If same as above, skip this section.

Name: same

Address: _____

Phone: _____ Email: _____

Representative

If same as Applicant, skip this section.

Name: same

Address: _____

Phone: _____ Email: _____

Subject Property Information

Site Address: 6810 S Nordean Ave

Nearest Cross Streets: Nordean + Tribute

Parcel #(s): R5665670180

Current Zoning: R-1e

Gross Square Footage: 1,800 SF single story

Livable Square Footage (not for Child Care use): _____

Is this address your principal residence? YES NO

(KCC 5-5-4:3b requires that a person(s) must reside within the premises in order to be considered an In-Home child care facility.)

Will you be hiring and employees who will NOT reside on the premises? YES YES NO

If Yes, how many? _____

Are there smoke detectors in every living area, except the bedrooms and bathrooms? YES NO

Are locks installed on all doors to the outside? YES NO

Are door chimes installed on the front door to indicate any opening? YES YES NO

Is a fire extinguisher installed in the kitchen? YES YES NO

Is the child care facility located on an Arterial or Collector street? YES YES NO

If Yes, there must be an on-site pick-up area designed to prevent vehicles from backing into the roadway; include a diagram.

Are there any indoor and/or outdoor pools? YES YES NO

If Yes, what measures have been taken to protect children from the pool area? Attach plan to your application.

Additional Information

Days and hours of operation – Provide the hours of operation for each day you will be open.

Day	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
Hours	6:00am — 6:00 pm	—————				X	X

(24-hour childcare facilities are not permitted per Kuna City Code 5-1-6-2.)

Do you have an Emergency Evacuation Plan? YES NO
An Emergency Evacuation Plan is required, attach plan to application.

Do you have a “Sick Child” Plan/Policy? YES NO
A “Sick Child” Plan/Policy is required, please attach plan to application.

Are there stairs inside/outside of your site? YES NO
If Yes, is a barrier/gate installed? YES NO

Are electrical outlets covered with safety devices? YES NO

Standard Conditions for In-Home & Group Child Care Only

The following conditions must be met as a minimum, additional conditions may be required by Staff, Kuna Rural Fire District, Central District Health or the Planning and Zoning Commission.

- Site shall meet International Fire Code (IFC). *(NOTE: If you are uncertain about a particular code and its utilization, it is the Applicant’s responsibility to seek that knowledge.)*
- Site shall maintain fire safety standards and Kuna City Code (KCC) standards.
- Smoke detectors shall be installed on ceilings of each story of site; in front of doors; to stairways; and separated by a maximum of 30-feet in corridors or at other distances required by IFC.
- Flame source utilities shall not be accessible to children.
- A carbon monoxide detector shall be located within proximity of the flame source and shall remain operable at all times.
- Storage areas shall be inaccessible to children and free of excessive combustibles or highly flammable materials.
- At least two (2) unblocked, outside exits that remain unimpeded at all times shall be provided. Exits shall be marked appropriately; staff and parents shall be advised where these exits are located.
- Shall provide corridors, stairs and entryways/exits that are a minimum of 36” wide.
- Shall provide gates at stairs so children cannot access them.
- Bathroom and closet doors shall be designed as to be unlocked from the outside.
- Site address shall be numbered; illuminated; mounted on the street frontage side; and be readily visible from the street.
- A flashlight and other emergency supplies shall be provided on-site in anticipation of a power outage; supplies shall be readily accessible and maintained in good/working order.
- All dishes; utensils; serving items; storage areas; and equipment shall be properly cleaned, rinsed, sanitized and air dried.
- All food preparation; serving items; storage areas; equipment; and utensils shall be kept in good repair and kept out of reach of children.

- All perishable foods shall be stored in a covered container, in an operating refrigerator, at a maximum of 40 degrees.
- All deep freezers or other refrigeration type units shall not be able to be opened from the outside and shall be locked or stored in a locked room.
- Home-canned foods shall not be served to children.
- A minimum of 40-square feet of habitable indoor dwelling area shall be provided for each child; city staff shall review and determine which areas of the building are considered habitable.
- A minimum of 80-square feet of outdoor play space shall be provided for each child; city staff shall review and determine which areas meet this requirement.
- All cleaning agents and other poisonous substances that pose a danger to children, shall be kept in locked storage or preferably removed from premises.
- Storage of chemicals underneath/over/near a sink shall be avoided as many chemicals are affected by moisture and may become hazardous through chemical change.
- Child care rooms shall be kept clean and dry.
- All floors, walls, ceilings, and furniture shall be kept in good repair.
- All floors shall be swept and mopped daily with a sanitizing solution.
- Carpeted areas shall be vacuumed daily.
- Facility shall be free of exposed, lead-based paint surfaces that are chipped, flaking or peeling. If the residence has lead-based paint, the applicant shall advise city staff of this fact.
- A telephone shall be maintained onsite at all times and remain in operable condition.
- Emergency contact information including Fire, Rescue, Police (or 911 or local equivalent), Poison Control Center, as well as the City of Kuna Planning and Zoning Department (208-922-5274) shall be displayed in a prominent location.
- All play materials; equipment; furnishings; and toys shall be kept in good repair; sturdy; stable; free of hazards and shall not possess any sharp edges/surfaces; lead-based paint; protrusions; and pinch or crush points.
- Outdoor play areas shall be fenced with safe, sight obstructing, sturdy fencing and shall not possess any sharp or jagged edges/surfaces. Fence shall be constructed of approved building materials to a minimum of five (5) feet but not to exceed six (6) feet; fence shall include a minimum of two (2) operating exits; and fences shall not have openings exceeding 1 3/4" in width.
- Children shall not be permitted to play on outdoor equipment that is hot to the touch; stationary outdoor equipment greater than eighteen (18) inches shall be installed over a protective service; play equipment shall be placed at least six (6) feet away from buildings, fences and trees; swing sets shall be made of plastic, soft, or flexible materials; and outdoor play areas shall adjoin or be safely accessible to indoor areas.
- All upright angles shall be greater than 55 degrees as to prevent child entrapment or entanglement.
- All doors opening to the outside shall be self-closing (except for sliding glass doors), and all ventilating windows shall have locking screens.
- All heating, ventilating and lighting facilities shall meet KCC/International Building Code (IBC)/IFC.
- All child accessible electrical outlets shall be covered with safety caps and have ground fault interrupters or have safety outlets installed that meet KCC/IBC/IFC.
- All refuse shall be collected, stored and disposed of in appropriate containers that do not attract rodents/insects; containers shall be placed in a City approved location; and refuse shall be collected with a minimum weekly solid waste pickup or disposal service.
- Site grounds shall be kept neat and clean and free from rodents; hazards; and other perils.
- Smoking shall be prohibited in all areas of the facility during its hours of operation.

- Any ill children shall be excluded from the general population and sent home as soon as possible in order to minimize exposure to other children. Any health-related concerns (i.e. COVID-19, Hand/Foot/Mouth, etc.) shall be reported to Idaho Health and Welfare.
- All sleeping areas, play areas, and fixtures shall be maintained in sanitary condition. Children shall not share bedding and all bedding shall be washed at least once a week or after soiling.
- Exterior balconies, porches and stairs shall be of stable construction and any space under porches shall be closed off in such a manner as to guard against children's curiosity.
- Vertical offsets such as outside basement window wells, stairways or retaining walls shall have guardrails or approved screening.
- Wells, tool sheds, and other hazards shall be fenced or closed off.
- Areas inhabited by children shall be kept free of animal waste and debris and any poisonous plants, berries or mushrooms shall be removed.
- Sandbox or sand play areas shall be completely covered when not in use.
- Outdoor water features, including but not limited to pools, spas, ponds, fountains, and cisterns, shall not be accessible to children.
- Child care facilities shall not be permitted next to an open body of water without City approved fencing.
- The child care owner/operator shall ensure that firearms, other types of weapons, weapon accessories and ammunition are kept in locked storage. Firearms shall be kept unloaded at all times and ammunition shall be stored separately from the firearm(s). Parents and Guardians shall be notified of weapons kept on premises and advised of how they are secured.
- All child care facilities are required to be inspected by the Central District Health Department for compliance with Idaho Code §39-1110. The child care owner/operator shall practice acceptable public health practices in order to curtail the spread of communicable diseases and maintain sanitary conditions.

I, Alain + Chloe Lemesse, understand and agree to the above listed Standard Conditions and am aware that additional conditions of approval may be required.

Applicant Signature:



Signature



Date:

7/20/22

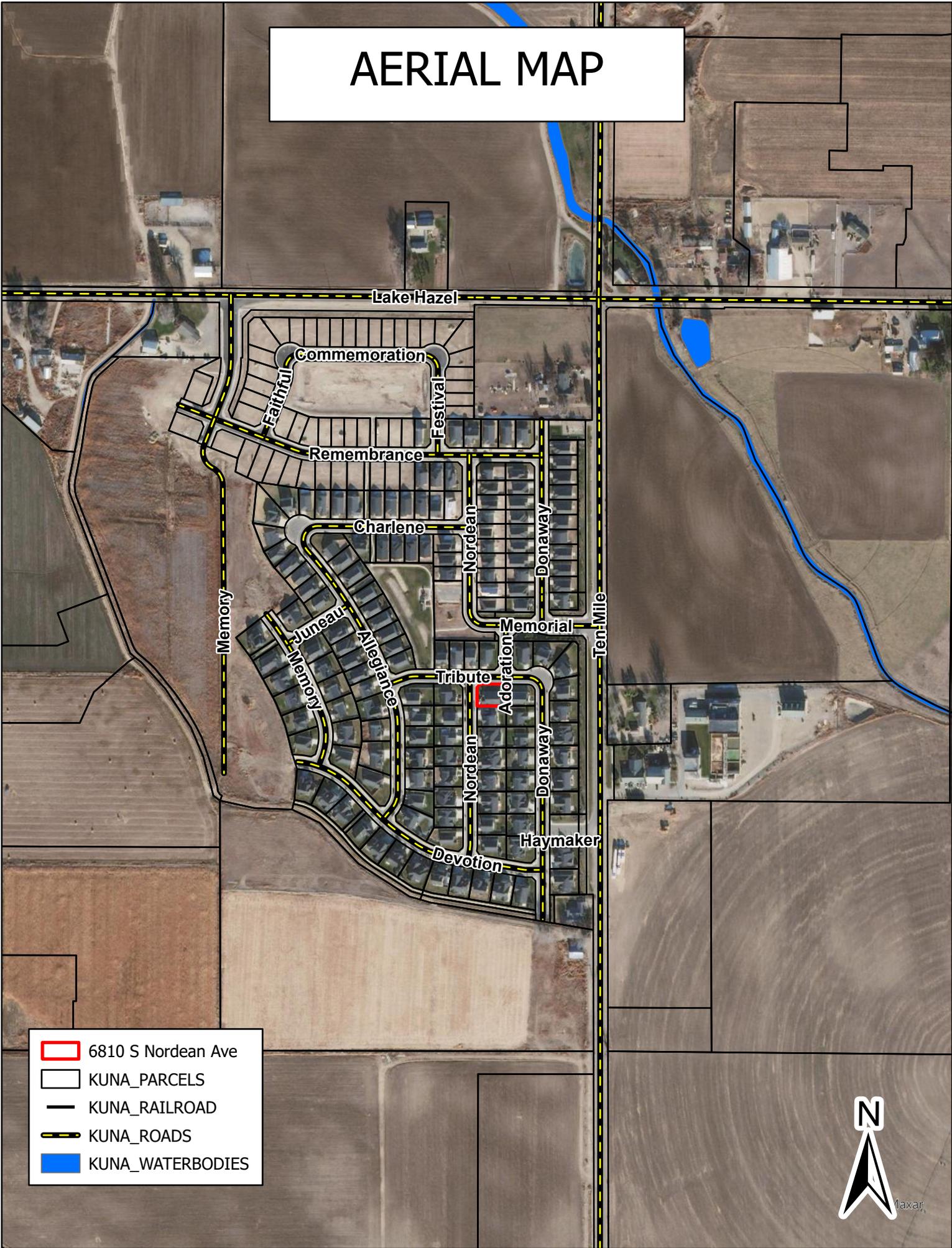
We are Chloe & Alain Lemesse, and we request approval to operate an In-Home Daycare for up to 12 children at 6810 S. Nordean Ave. This number may reduce after completing Fire and Health Department inspections. We intend to operate five days per week from 6:00 am to 6:00 pm; this offers parents options that will fit their work schedules.

We plan on having parents pull into our driveway to drop off their children and escort them to the front door. It will be the same process during pickup time. Outside playtime will be offered within the backyard throughout the day, and children will have equipment and toys to play on.

Sincerely,

Chloe & Alain Lemesse

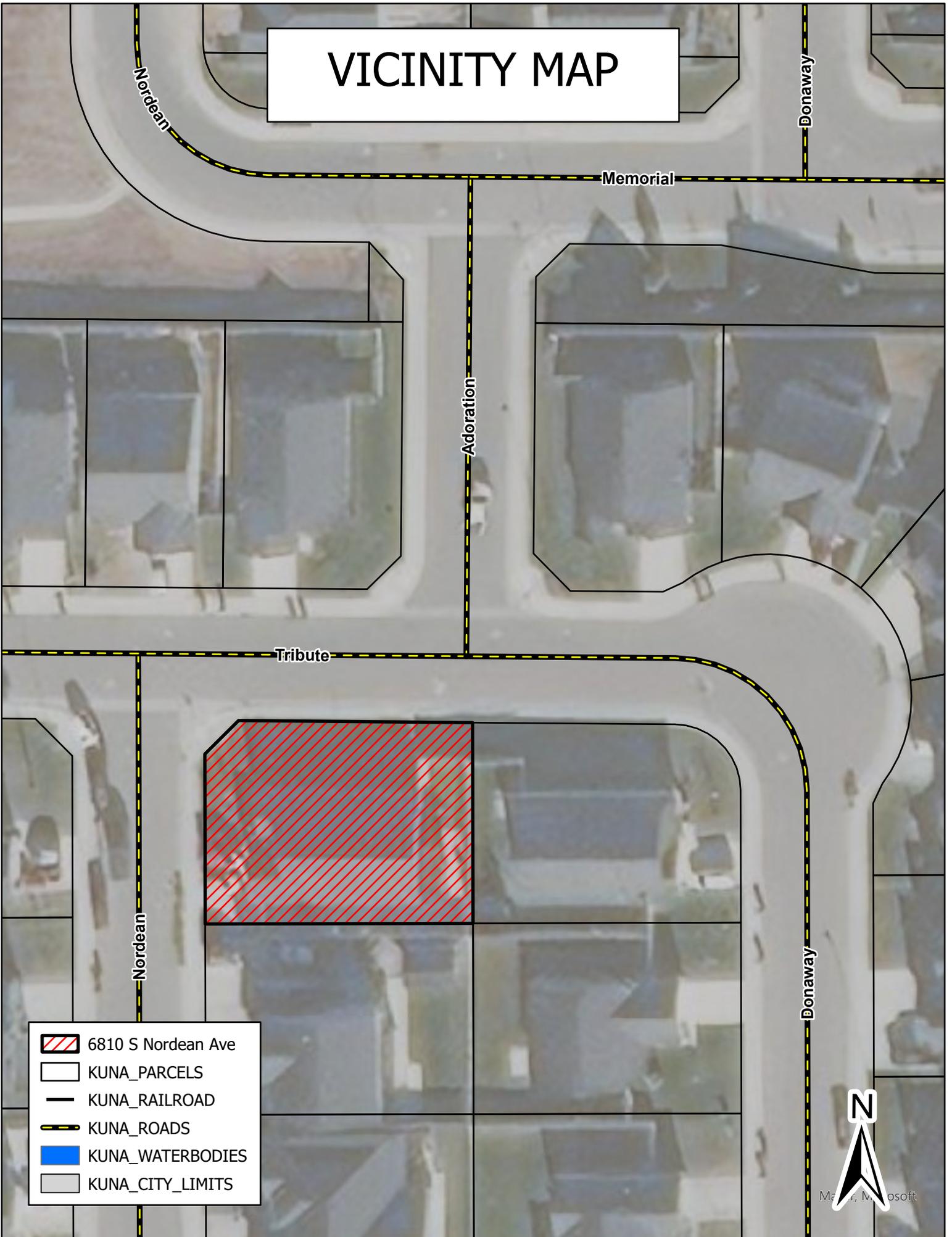
AERIAL MAP



-  6810 S Nordean Ave
-  KUNA_PARCELS
-  KUNA_RAILROAD
-  KUNA_ROADS
-  KUNA_WATERBODIES



VICINITY MAP



-  6810 S Nordean Ave
-  KUNA_PARCELS
-  KUNA_RAILROAD
-  KUNA_ROADS
-  KUNA_WATERBODIES
-  KUNA_CITY_LIMITS



NYID-0741246-TP

(Space above this line for Recorder's use)

SPECIAL WARRANTY DEED

FOR VALUE RECEIVED, the receipt and sufficiency of which is hereby acknowledged, **Corey Barton Homes, Inc., an Idaho Corporation dba CBH Homes**, whose address is 1977 E Overland Rd, Meridian ID 83642, (the "Grantor"), does hereby grant, bargain, sell and convey to, Alain Lemesse and Chloe Lemesse, husband and wife, whose address 6810 S Nordean Ave, Meridian, ID 83642 (the "Grantee"), the following described premises (the "Premises"):

Lot 1 in Block 2 of Memory Ranch Subdivision No. 1, according to the official plat thereof, filed in Book 111 of Plats at Page(s) 16180-16182, and amended by Affidavit recorded July 19, 2017 as Instrument No. 2017065993, official records of Ada County, Idaho.

TO HAVE AND TO HOLD the Premises, with their appurtenances unto the Grantee, and its successors and assigns forever.

TOGETHER WITH all and singular the improvements, hereditaments, and appurtenances thereon and thereunto belonging or in anywise appertaining, and the reversion or reversions, remainders, rents, issues and profits thereof; and all of the estate, title, interest, claim and demand whatsoever of the Grantor, either in law or in equity, of, in and to the above-described Premises with said improvements, hereditaments and appurtenances.

Grantor makes no covenants or warranties with respect to title, express or implied, other than as expressly stated hereinafter. Grantor is the owner of the Premises and has not conveyed the same estate to any person other than Grantee and that such estate is at the time of the execution of this instrument free from encumbrances caused, created, or suffered directly by Grantor.

Effective Date: 5/24/18

GRANTOR

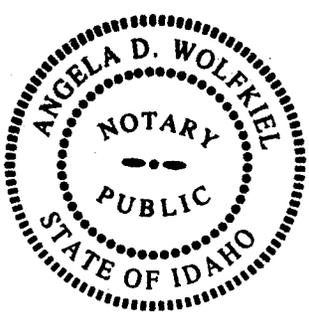
Corey Barton Homes, Inc., an Idaho Corporation dba CBH Homes

BY: [Signature]
Tanya Hoffman-Lampman
CCO

STATE OF IDAHO)
): ss.
County of Ada)

On this 24 day of May in the year of 2018, before me, the undersigned, a Notary Public in and for said State, personally appeared **Tanya Hoffman-Lampman** known or identified to me to be the CCO of the corporation that executed the instrument or the person who executed the instrument on behalf of said corporation, and acknowledged to me that such corporation executed the same.

[Signature]
Notary Public
Residing at:
My Commission Expires:
Residing: Nampa, ID
Commission Expires: 2/23/19



Facility Management : Borah's Childcare

[Home](#) > [Facility Management](#) > Borah's Childcare

[Facility](#) [STAFF](#) [Documents](#) [STAFF STATUS](#) [State Licensing](#) [ICCP](#) [STEPS TO QUALITY](#) [CLASSROOMS](#) [QUALITY](#)

State Licensing Checklist

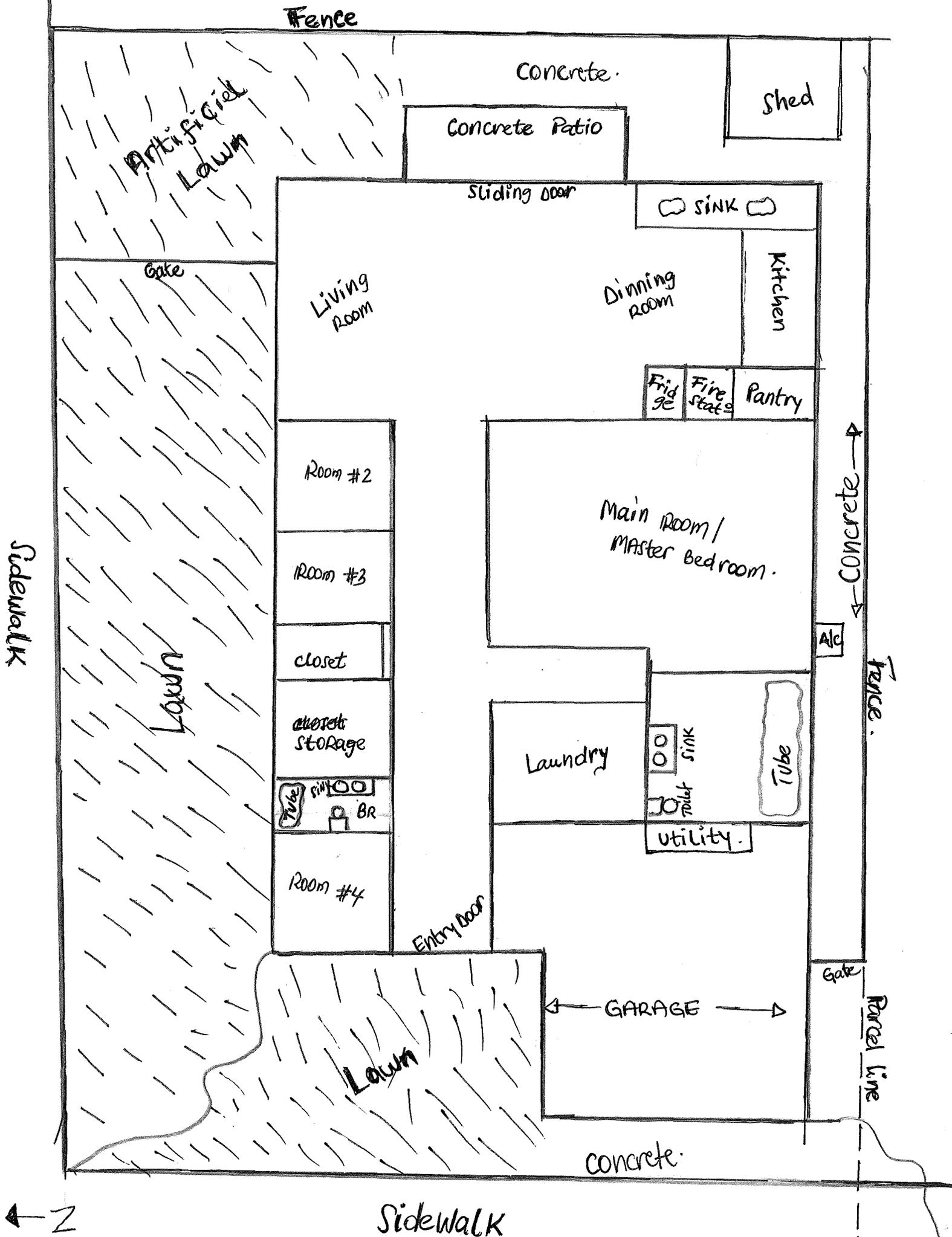
Facility Profile Complete	<input checked="" type="checkbox"/>
Training Compliance	<input checked="" type="checkbox"/>
Background Check	<input checked="" type="checkbox"/>
PQ CPR & PQ FA	<input checked="" type="checkbox"/>
Local Compliance	<input checked="" type="checkbox"/>
Proof of Liability and fire Insurance	<input checked="" type="checkbox"/>
Approved Fire Inspection	<input checked="" type="checkbox"/>
Licensing fee referral	<input checked="" type="checkbox"/>
Health Inspection	<input checked="" type="checkbox"/>
Basic Day Care License	<input checked="" type="checkbox"/>

Applied Date : 07/27/2022

Status : Pending Licensing

[Learn More](#)

[Close Application](#)



Fence

Concrete

Shed

Concrete Patio

Artificial Lawn

Sliding door

Sink

Gate

Living Room

Dining Room

Kitchen

Fridge

Fire stove

Pantry

Room #2

Room #3

closet

closet storage

BR

Room #4

Main Room / Master Bedroom

Concrete

Alc

Fence

Laundry

Sink
Tub

Tub

Utility

Entry door

Gate

GARAGE

Parcel line

Lawn

concrete

Sidewalk

Lawn

Sidewalk

North arrow

BASIC LIFE SUPPORT

**BLS
Provider**



American
Heart
Association.

Chloe Lemesse

**has successfully completed the cognitive and skills evaluations
in accordance with the curriculum of the American Heart Association
Basic Life Support (CPR and AED) Program.**

Issue Date

8/21/2021

Renew By

08/2023

Training Center Name

Minidoka Memorial Hospital

Training Center ID

ID15134

Training Center City, State

Rupert, ID

**Training Center Phone
Number**

(208) 436-0481

Instructor Name

Chris Seagrave

Instructor ID

04170566892

eCard Code

215415200319

QR Code

To view or verify authenticity, students and employers should scan this QR code with their mobile device or go to www.heart.org/cpr/mycards.

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BLS Provider



American
Heart
Association.

has successfully completed the cognitive and skills evaluations in accordance with the curriculum of the American Heart Association Basic Life Support (CPR and AED) Program.

Issue Date

Renew By

eCard Code



To view or verify authenticity, students and employers should scan this QR code with their mobile device or go to www.heart.org/cpr/mycards.

**Training
Center Name**

**Training
Center ID**

TC City, State

TC Phone

**Instructor
Name**

Instructor ID

Borah's Childcare sick policy

Fever policy:

Typically, a temperature of 100 degrees may indicate that the body is fighting off an infection. Without medication, the fever must stay down on its own for 24 hours to be readmitted at Little Sprouts. Due to the COVID recommendations, it must be 72 hours per our state health department.

Vomiting policy:

If the child has vomited within 24 hours, they must be kept out of daycare. Every time in the past 25 years, I have made an exception thinking the child wasn't sick; they were. And I regretted it.

Diarrhea policy:

This is a tough one. If the child has had diarrhea in the past 24 hours, they should be kept home. Parents often say it's teething, but nine times out of 10, it ends up being something else and other kids end up with it. Everyone can't get teeth at once, but 5 or 7 kids with diarrhea is quite the nightmare for a provider.

Runny nose policy:

Runny noses are commonplace at daycare. There are allergies and all kinds of reasons a child will have a runny nose. Generally, I don't exclude from care for only a running nose. But, with our COVID recommendations from the health department I am following, we need to exclude if the mucus is dark or green/yellow during this time.

Cough policy:

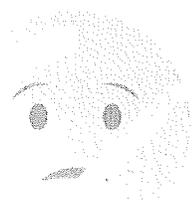
If a child is coughing, typically, we don't exclude them from care if it's the only symptom. Like a runny nose, this can be allergy-related. But during COVID, we recommend excluding a child from care for any cough since it's the top indicator that someone may have it. Coughs spread illness quickly because it's in the air. So be very cautious about accepting a child or taking your child to daycare with a cough.

COVID-19 Policy

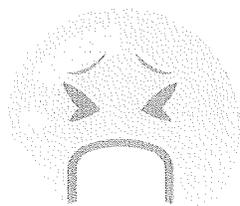
If the child is known as a COVID-19 virus recipient or has any signs and symptoms, that child should stay home and seek medical attention until the issue is resolved according to their doctor's order.

ILLNESS POLICY

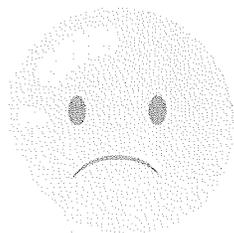
Kids must be kept at home if:



Fever of
100 in the
last 24
hours
without
medicine



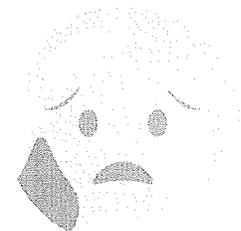
Vomit or
diarrhea
in the
last 24
hours



Un-
Identified
Rash



Lice or
nits in
hair



Red eyes
or mucus
draining
from eye

Please help us keep everyone well by

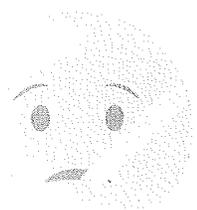
KEEPING KIDS AT HOME WHEN THEY
DON'T FEEL GOOD.

THANK YOU FOR UNDERSTANDING!

COVID

ILLNESS POLICY

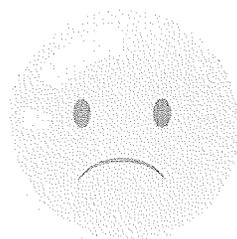
Kids must be kept at home if:



Fever of 100 in the last 72 hours without medicine



Vomit or diarrhea in the last 24 hours



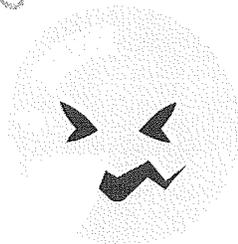
Un-Identified Rash



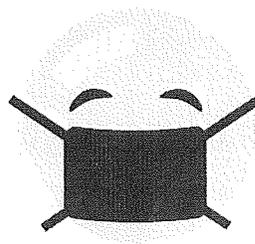
Lice or nits in hair



Red eyes or mucus draining from eye



Runny nose with dark mucus



Coughing of any kind

Please help us keep everyone well by

KEEPING KIDS AT HOME WHEN THEY DON'T FEEL GOOD.

THANK YOU FOR UNDERSTANDING!

Appendix B

Emergency/Disaster Plan

Program Information	
Facility Name	BORAH'S CHILDCARE
Facility Address	6810 S. MADDEAN AVE, MERIDIAN, ID 83642
Hours of Operations	6am - 6:30pm
Days of Operation	Monday -> Friday
Landline Tel. Number	N/A
Mobile Tel. Number	(208) 353-9709 & (208) 971-5619
Alternate Emergency Contact	
Tel. Number	
Capacity (enter number)	Employees: 2 Children: 12
Age Range of Children (choose all that apply)	<input type="checkbox"/> Infants <input checked="" type="checkbox"/> Preschoolers <input checked="" type="checkbox"/> Toddlers <input checked="" type="checkbox"/> School Age
Emergency Warning System	<input type="checkbox"/> Intercom. <input checked="" type="checkbox"/> Loud buzzer, whistle, or bell. <input checked="" type="checkbox"/> Flashing lights for persons with hearing impairment. <input checked="" type="checkbox"/> Loud alarms for persons with vision impairment. <input type="checkbox"/> Vibrating alarm system for persons with hearing and vision impairment. <input type="checkbox"/> Other:
Emergency Communications System	Radio station(s) (enter call letters): TV station(s) (enter call letters): Website (enter URL): 1-800- Automatic dialing to out-of-town emergency contacts.

Emergency Contact	Contact Information
Fire, Police, and Ambulance	Fire & Police 911 or (208) 888-6678 Fire Department (208) 888-1234.
Poison Control	1 800 222 1222
Hospital	St. Luke's Hospital (208) 706 5000
Oil Company	1 800 424 8802
Gas Company	1 800 767 1689 OR (208) 377-6840 OR 911
Electric Company	1 800 488 6151 OR (208) 388-2323 OR 911
Water Company	(208) 888 5242
Electrician	1877 565 1638 OR (208) 343 4445
Plumber	(208) 888 7555 OR (208) 922-6686
Snow Removal	(208) 506 5654
Child Protective Services	1855 552 5437 OR (208) 465 8452
Stress Counselor	(208) 314 1876 OR (208) 514 4475

Evacuation Plans/Procedures	
Routes/Exits	<input checked="" type="checkbox"/> Diagram of evacuation route(s) and exit(s) posted in each room.
Meeting Location	children will be taken to an exterior room, front & back yard.
Evacuating Infants and Toddlers	Take all infants in the inner room or take them through the front or the back yard.
Notification/Communication (with emergency responders and families)	Parents / Guardians will be notified once immediate threat has passed and where to meet with their kids.
Emergency Go-Kit Location(s)	Emergency go-kits are located the nearest fridge in the living room.

Relocation Sites	
<p>Neighborhood Site</p> <p><input checked="" type="checkbox"/> This location is wheelchair-accessible.</p> <p><input type="checkbox"/> Signed and dated memorandum of agreement with this site is filed with, or attached to, this summary.</p>	<p>Address: 6810 S. MARDIAN AVE MERIDIAN, ID 83642 NEIGHBORHOOD PARK</p> <p>Contact Name: Alani & Chae Lemese OR CBH office</p> <p>Phone: (208) 353 9709 & (208) 971 5619</p> <p>Access Information:</p>
<p>Out-of-Neighborhood Site</p> <p><input checked="" type="checkbox"/> This location is wheelchair-accessible.</p> <p><input type="checkbox"/> Signed and dated memorandum of agreement with this site is filed with, or attached to, this summary.</p>	<p>Address: RIVER CITY CHURCH 7540 W. NORTHVIEW ST, BOISE ID.</p> <p>Contact Name: PASTOR CROWN OBER</p> <p>Phone: (208) 375 1328</p> <p>Access Information:</p>
<p>Transportation to Relocation Site</p>	<p>Boise: childcare van OR personal car.</p>

Safe-Place/Lock-Down Plans/Procedures	
<p>Safe Place from Intruder</p>	<p>All kids will be placed in the same inner room that is locked with security surveillance.</p>
<p>Safe Place from Severe Weather</p>	<p>All kids will be locked down in the inner room with providers until the weather is resolved.</p>
<p>Location of Emergency Supplies</p>	<p>Emergency supply are located in the living room close the refrigerator and in kids' room.</p>
<p>Considerations for Infants and Toddlers</p>	<p>Infants & toddlers will remain with their providers until the situation is resolved.</p>
<p>Notification/Communication with Emergency Responders and Families</p>	<p>Police department, fire department, and family members will be contacted at once and keep them up date until the issue is resolved.</p>

Emergency Closing Plan

Before Opening Procedure

How I will make the decision to close:

Decision will be made immediately whenever the emergency event takes place.

I will make the decision to close by:

I will make a decision as soon as any emergency event or incident present itself.

How I will let staff know:

To take action immediately for the best interest of the kids. Keep them safe and initiate the evacuation plan.

How I will let parents know:

I will contact the parents immediately as well as the Police the nature of the incident / update them as well.

How I will make the decision when to re-open:

The decision will be made as soon as the threat is gone and all kids are safe.

After Opening Procedure

How I will make the decision to close:

As long as the threat or the event still present around the location where kids are.

I will make the decision to close by:

Telling staff members to lockdown the place or to evacuate kids from the site.

How I will let staff know:

Staff will communicate by close loop communication in a calm manner.

How I will let parents know:

By calling them through the contact information given.

How I will make the decision when to re-open:

As long as the threat is not longer present.

Children/Staff with Access or Functional Needs

<p>Name:</p> <p>Staff Member Responsible:</p> <p>Alain & chloe</p>	<p>Emergency Supplies:</p> <ul style="list-style-type: none"> - fire extinguisher - fire blankets. <p>Alternative Evacuation Plan:</p> <ul style="list-style-type: none"> - Through the window <p>Additional Information:</p> <ul style="list-style-type: none"> - More initiative & precautions will be made in place accordingly.
<p>Name:</p> <p>Staff Member Responsible:</p> <p>Alain & chloe</p>	<p>Emergency Supplies:</p> <ul style="list-style-type: none"> - first aid kit - medications - food & drink. <p>Alternative Evacuation Plan:</p> <ul style="list-style-type: none"> - Through the back doors / back yard. <p>Additional Information:</p> <ul style="list-style-type: none"> - Additional method and precautions will be develop according to the nature of the event.
<p>Name:</p> <p>Staff Member Responsible:</p> <p>Alain & chloe</p>	<p>Emergency Supplies:</p> <ul style="list-style-type: none"> - flash lights - masks. - whistles <p>Alternative Evacuation Plan:</p> <ul style="list-style-type: none"> - Through the garage / front yard. <p>Additional Information:</p> <ul style="list-style-type: none"> - During the process, more measures and good instinct will take into motion.



Neighborhood Meeting Certification

PO Box 13 | 751 W 4th Street | Kuna, ID 83634
(208) 922-5274 | www.KunaCity.ID.gov



You **must** conduct a Neighborhood Meeting **prior** to submission of an application for Annexation; Rezone; Special Use Permit; Subdivision; and Variance. Please see Kuna City Code 5-1A-2 for more information or contact the Planning & Zoning Department at (208) 922-5274.

The Neighborhood Meeting Certification packet includes the following:

- Neighborhood Meeting Certification – This acts as quick reference information regarding your project.
- Sign-in Sheet – This provides written record of who attended your Neighborhood Meeting.
- Neighborhood Meeting Minutes – Provides space in which to record the items discussed and any concerns attendees may have.

A Neighborhood Meeting cannot take place more than two (2) months prior to acceptance of the application and an application will not be accepted before the meeting is conducted. You are required to mail written notification of your meeting, allowing at least fourteen (14) days before your meeting for property owners to plan to attend. **Contacting and/or meeting individually with property owners will not fulfill Neighborhood Meeting requirements.** You may request a 300' property owners mailing list by completing the Neighborhood Meeting Mailing List Request form located under Forms & Applications on the City of Kuna website.

Neighborhood Meetings must be held on either a weekend between 10:00 Am & 7:00 PM, or a weekday between 6:00 PM & 8:00 PM. The meeting **cannot** be conducted on holidays, holiday weekends, or the day before/after a holiday or holiday weekend. The meeting must be held at one of the following locations:

- Subject property;
- Nearest available public meeting place (i.e. Libraries, Community Centers, etc.); or
- An office space within a one (1) mile radius of the subject property.

Once you have held your Neighborhood Meeting, please complete this certification form and include with your application along with the Sign-in Sheet, Neighborhood Meeting Minutes & a copy of the notification mailed to attendees.

Description of proposed project: In-Home Group Daycare

Date of Meeting: 7/18/22 Time: 7:00 pm

Meeting Location: MEMORY RANCH'S NEIGHBORHOOD PARK,

Site Information

Location: Section 3 Township 2N Range 1W Total Acres 0.175
Subdivision Name: Memory Ranch No. 1 Lot 1 Block 2

Address: 6810 S Nordean Ave, Kuna, ID 83634

Parcel No(s): R5665670180

Include ALL addresses and parcel numbers for your application.

Current Property Owner

Name: Alain & Chloe Lemesse

Address: 6810 S Nordean, Ave Kuna, ID 83634

Contact Person

Name: Alain & Chloe Lemesse

Business Name (if applicable): _____

Address: 6810 S Nordean Ave, Kuna, ID 83634

Phone: (208) 353 9709 / 208 971 5619 Email: lemessealain@yahoo.com

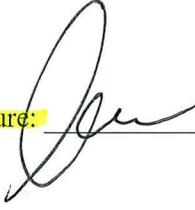
Applicant

Name: Same

Address: _____

Phone: _____ Email: _____

I, Alain & Chloe Lemesse, certify that a Neighborhood Meeting was conducted at the time and location noted on this form in accordance with Kuna City Code 5-1A-2.

Applicant Signature:   Date: 7/20/22

SIGN-IN SHEET

Project Name: 6810 S Nordean In-home Group Daycare

	Name	Address	Phone
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COMMITMENT TO PROPERTY POSTING

PO Box 13 | 751 W 4th Street | Kuna, ID 83634
(208) 922-5274 | www.KunaCity.ID.gov



Per Kuna City Code (KCC) 5-1A-8, the Applicant, for all applications requiring a Public Hearing, shall post the subject property *not less than ten (10) days prior to the hearing*. The Applicant shall post a copy of the Public Hearing notice on the property under consideration; all posting must be in substantial compliance.

The Applicant shall submit proof of property posting in the form of a notarized statement and a photograph of the posting to the Planning and Zoning Department *no later than seven (7) days* prior to the Public Hearing, attesting to where and when the sign(s) were posted. Unless such certificate is received by the required date, the hearing will be continued to the next available date, as scheduling permits.

The signs shall be removed no later than three (3) days after the end of the Public Hearing for which the sign(s) had been posted.

Print Name: CHLOE & ALAIN LEMESSE

Signature:  

Date: 7/20/22



IDAHO DEPARTMENT OF
HEALTH & WELFARE

BRAD LITTLE – Governor
DAVE JEPPESEN – Director

Criminal History Unit
1720 N. Westgate Dr., Ste B
Boise, ID 83704
PHONE 208-332-7990
TOLL FREE 1-800-340-1246

09/15/2022

Alain Lemesse
6810 S NORDEAN AVE
MERIDIAN, ID 83642

NOTICE OF CLEARANCE- ENHANCED

Applicant: Alain Lemesse

Verification Number: 134489

The Department has completed its criminal history and background check. No disqualifying crimes or relevant records were revealed during this process. Effective 8/23/2022, you are cleared for employment as per IDAPA 16.05.06 and other applicable criteria. Your employer has been notified of your eligibility status as well. Please note that this clearance is not a guarantee of employment. Your employer retains its discretion as to whether you can be employed with them or not.

NO RECORDS FOUND

The Department's background check is fingerprint based and includes information obtained from the state and national criminal databases, Idaho Driving Records, state and national Child Abuse Registries, Idaho Adult Protection Registry, Sex Offender Registries, Idaho Nurse Aide Registry and state and national Medicare/Medicaid Provider Exclusion Lists.

If there are any questions about the process or results, contact the criminal history unit at (208)332-7990, or toll free at 1-800-340-1246. Additional information about the criminal history background check process and applicant status is available at the web site. <https://chu.dhw.idaho.gov>.

Sincerely,

Sutton, Tia

Sutton, Tia



IDAHO DEPARTMENT OF
HEALTH & WELFARE

BRAD LITTLE – Governor
DAVE JEPPESEN – Director

Criminal History Unit
1720 N. Westgate Dr., Ste B
Boise, ID 83704
PHONE 208-332-7990
TOLL FREE 1-800-340-1246

09/15/2022

Chloe Lemesse
6810 S Nordean Ave
MERIDIAN, ID 83642

NOTICE OF CLEARANCE- ENHANCED

Applicant: Chloe Lemesse

Verification Number: 233225

The Department has completed its criminal history and background check. No disqualifying crimes or relevant records were revealed during this process. Effective 8/23/2022, you are cleared for employment as per IDAPA 16.05.06 and other applicable criteria. Your employer has been notified of your eligibility status as well. Please note that this clearance is not a guarantee of employment. Your employer retains its discretion as to whether you can be employed with them or not.

NO RECORDS FOUND

The Department's background check is fingerprint based and includes information obtained from the state and national criminal databases, Idaho Driving Records, state and national Child Abuse Registries, Idaho Adult Protection Registry, Sex Offender Registries, Idaho Nurse Aide Registry and state and national Medicare/Medicaid Provider Exclusion Lists.

If there are any questions about the process or results, contact the criminal history unit at (208)332-7990, or toll free at 1-800-340-1246. Additional information about the criminal history background check process and applicant status is available at the web site. <https://chu.dhw.idaho.gov>.

Sincerely,

Flores, Jacey

Flores, Jacey



IDAHO DEPARTMENT OF
HEALTH & WELFARE

BRAD LITTLE – Governor
DAVE JEPPESEN – Director

Criminal History Unit
1720 N. Westgate Dr., Ste B
Boise, ID 83704
PHONE 208-332-7990
TOLL FREE 1-800-340-1246

09/15/2022

BRUNO LEMESSE
6810 S NORDEAN AVE
MERIDIAN, ID 83642

NOTICE OF CLEARANCE- ENHANCED

Applicant: BRUNO LEMESSE

Verification Number: 407623

The Department has completed its criminal history and background check. No disqualifying crimes or relevant records were revealed during this process. Effective 8/23/2022, you are cleared for employment as per IDAPA 16.05.06 and other applicable criteria. Your employer has been notified of your eligibility status as well. Please note that this clearance is not a guarantee of employment. Your employer retains its discretion as to whether you can be employed with them or not.

NO RECORDS FOUND

The Department's background check is fingerprint based and includes information obtained from the state and national criminal databases, Idaho Driving Records, state and national Child Abuse Registries, Idaho Adult Protection Registry, Sex Offender Registries, Idaho Nurse Aide Registry and state and national Medicare/Medicaid Provider Exclusion Lists.

If there are any questions about the process or results, contact the criminal history unit at (208)332-7990, or toll free at 1-800-340-1246. Additional information about the criminal history background check process and applicant status is available at the web site. <https://chu.dhw.idaho.gov>.

Sincerely,

Flores, Jacey

Flores, Jacey



IDAHO DEPARTMENT OF HEALTH & WELFARE

Fire Safety Inspection for State Daycare Licensing

[X] New Daycare License Applicant [] Daycare License Renewal Applicant

Date 9-6-2022 Operator _____ Owner Chloe Lemesse, Alain Lemesse

Name of Facility Brook's Child Care

Address 6810 S. NoDean Ave

City Meridian State ID Zip 83642

Facility Phone Number (208) 353-9709, 971-5619 Land Line or Cellular Phone

Note: The licensing authority is the Idaho Department of Health and Welfare. The minimum standards as outlined in the state daycare licensing act will not preempt any local ordinance that is more stringent.

This inspection form was drafted within the confines of the legislated fire safety standards for daycare facilities and does not mean to infer that the provisions within provide for a level of fire safety that would meet nationally recognized standards. Nor does it mean that it would provide a level of fire safety that would meet our own adopted fire safety standards for other occupancies in Idaho.

II. GENERAL REQUIREMENTS FOR ALL DAYCARE OCCUPANCIES

Lemessealain@yahoo.com

Table with 3 columns: Standard, Facility Meets Standard (Yes), Facility does Not Meet Standard (No). Rows include Exiting Requirements with specific questions about exits.

Standard	Facility Meets Standard (Yes)	Facility does Not Meet Standard (No)
Exiting Requirements (cont.)		
<p>Are sleeping rooms provided with at least one emergency egress window having at least a minimum single net clear opening of 5.7 square feet, minimum height 24 inches, minimum width 20 inches, and maximum finished sill height not over 44 inches?</p> <p><i>Note: An approved exit door is acceptable in lieu of egress windows. Also, an approved piece of furniture or platform, if anchored in place, can be approved to sit in front of a window, if the sill height is over 44 inches</i></p>	X	
<p>Are approved egress windows from sleeping areas operable from the inside without the use of separate tools?</p>	X	
<p>Where children are located on a story below the level of exit discharge (basement), are there at least two exits provided, one of which is directly to the outside?</p> <p><i>Note: More than one exit from the basement opening directly to the outside may be required, depending on the structure of the building.</i></p>	N/A	
<p>Daycare is prohibited on any upper floor beyond the first floor. <i>Exception: Daycare is permitted at the second floor level, provided that the building has two (2) exits, one (1) of which must open directly to the outside and be in compliance with building codes. Is the facility in compliance?</i></p>	N/A	
Fire Extinguishers		
<p><u>For DAYCARE CENTERS:</u> Is there a portable fire extinguisher (minimum 2A-10BC) mounted securely in the kitchen area and one other approved location that is visible, does not exceed five (5) feet from the floor to the top of the extinguisher, and not more than seventy five (75) feet travel distance, and is it maintained properly? <i>Note: Fire extinguishers shall be maintained properly.</i></p>	N/A	
<p><u>For GROUP DAYCARE FACILITIES and FAMILY DAYCARE HOMES:</u> Is there a portable fire extinguisher (minimum 2A-10BC) mounted securely in the kitchen area that is visible, does not exceed five (5) feet from the floor to the top of the extinguisher, and not more than seventy five (75) feet travel distance, and is it maintained properly? <i>Note: Fire extinguishers shall be maintained properly.</i></p>	X	
<p>Is there a hood-type fire suppression system installed in the kitchen area, if required?</p>	N/A	
<p>In facilities over three thousand (3,000) square feet are additional fire extinguishers present and approved by local fire official or designee?</p>	N/A	
<p>In Facilities greater then twenty thousand (20,000) square feet in area or when the number of children under the age of eighteen (18) month exceeds one hundred (100) is there an automatic sprinkler system?</p>	N/A	

Standard	Facility Meets Standard (Yes)	Facility does Not Meet Standard (No)
Telephone		
Is there an operable telephone on the premises?	Y	
Smoke Detectors		
Is there a smoke detector installed in the basement having a stairway which opens from the basement into the facility (such detector shall be connected to a sounding device or other detector to provide an alarm which will be audible in the sleeping area)?	N/A	
Are approved smoke detectors provided on the ceiling or wall outside each separate sleeping area or in the immediate vicinity of bedrooms?	X	
Is there a smoke detector in each room used for sleeping purposes?	X	
Is there a smoke detector in each story within the facility including the basement?	X	
Fire Safety and Evacuation Plan <i>Note: Each daycare center, group daycare facility or family daycare home voluntarily licensed by the Department, must have an approved fire safety and evacuation plan prepared. Fire evacuation and safety plans must include the elements listed below.</i>		
Procedures and policies that accounts for all employees and children after an evacuation is completed.		
Identifies evacuation routes, locations of facility exits, and assembly point for an evacuation.		
Includes location of smoke detectors, fire alarm appliances and fire extinguishers.		
A schedule of fire and emergency evacuation drills and annual reviews that all employees and children participate in with records of those drills available for reference and review.		
For Facilities with an Occupancy Load of Fifty or More <i>Note: In addition to the requirements above, those facilities with an occupancy load of fifty (50) or more occupants must also meet the criteria outlined below.</i>		
Do exit doors swing in the direction of egress?	N/A	
Do exit doors from rooms having an occupant load to fifty (50) or more, if provided with a latch, have panic hardware?	N/A	
Are Exit signs installed at required exit doorways and where otherwise necessary to clearly indicate the direction of egress?	N/A	
For facilities with over fifty (50) children, is an approved fire alarm system installed?	N/A	

Standard	Facility Meets Standard (Yes)	Facility does Not Meet Standard (No)
Occupant Load <i>Note: Occupant load is determined by the local fire official or designee. Only those areas used for daycare purposes will be used when determining occupant load.</i>		
<p>To determine occupant load, calculate the square footage of the space between the interior face of the exterior walls, assigned to daycare use, and divide by the occupant load factor of 35. Allowances for interior walls or partitions and furnishings have been taken into account in the occupant load factor, except fixed seating. The occupant load for fixed seating is determined by counting the seats.</p> <p style="text-align: right;">Enter Occupant Load: <u>12</u></p>		
<p>Is the facility in compliance?</p>		

Note: This inspection is for the purpose of meeting only the requirements of the Department of Health and Welfare. The operator/owner may also be required to meet; zoning, building code, fire code or other agency regulations within their local jurisdiction to conduct this type of business. In addition, a separate Health and Safety inspection is required on all facilities that are required to be licensed.

REMARKS: _____

Facility passes fire inspection: <input checked="" type="radio"/> Yes <input type="radio"/> No	Occupant Load: <u>12</u> <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial
--	---

INSPECTION MADE BY: T.J. Lawrence

TITLE AND AGENCY: Fire chief

Signature of Inspector: [Signature] Date: 9-6-2022

Name of facility operator/owner (please print): Chloe Lemesse

Signature of facility operator/owner: [Signature] Date: 9/6/2022

From: [Jessica Reid](#)
To: [PWoffice](#); [Catherine Feistner](#); [TLawrence Kuna Fire](#); [ACHD](#); [Scott FCCNWI](#)
Cc: [Doug Hanson](#)
Subject: 22-12-SUP 6810 S Nordean In-home Group Daycare Agency Transmittal
Date: Thursday, October 13, 2022 4:50:39 PM
Attachments: [image001.png](#)

Agency Transmittal – October 13, 2022

Notice is hereby given by the City of Kuna the following actions are under consideration:

CASE NUMBER(S):	Case No. 22-12-SUP (Special Use Permit) 6810 S Nordean Ave In-home Group Daycare
PROJECT DESCRIPTION	Alain & Chloe Lemesse request approval to operate an in-home group daycare for up to 12 children, from 6:00 AM to 6:00 PM, Monday through Friday. Applicants have already passed their Fire Safety Inspection. The subject site is located at 6810 S Nordean Ave (R5665670180); Section 3, Township 2 North, Range 1 West.
SITE LOCATION(S)	6810 S Nordean Ave Meridian, Id 83642
REPRESENTATIVE	Alain & Chloe Lemesse 208-353-9709
SCHEDULED HEARING DATE	Tuesday, November 9, 2022 , at 6:00 PM, Kuna City Hall Council Chambers, 751 W 4 th Street, Kuna, ID 83634
STAFF CONTACT	Jessica Reid Associate Planner jreid@kunaid.gov
PROJECT PACKET LINK	https://www.kunacity.id.gov/DocumentCenter/View/8226/6810-S-Nordean-Inhome-Group-Daycare-Agency-Transmittal
	<ul style="list-style-type: none"> • The above referenced Case may have potential impacts on which your agency may wish to comment. • <i>Please provide comments within 15 days; if more time is needed, please inform our offices.</i> We would appreciate any information as to how this action would affect the service(s) your agency provides. • If your agency requires additional information in order for you to complete your review, please notify our office and we will do our best to provide it. • If you have received this notification in error or if a different individual should be receiving this transmittal, please notify our office who future packets should be sent to, including their email address. • <i>If your agency needs additional time for review, please notify our office ASAP.</i>

Jessica Reid

Associate Planner

751 W 4th Street • Kuna, ID 83634

jreid@kunaid.gov • Ph: (208) 387-7731





Mary May, President
Alexis Pickering, Vice-President
Jim D. Hansen, 2nd Vice President
Kent Goldthorpe, Commissioner
Dave McKinney, Commissioner

October 14, 2022

To: Alain & Chloe Lemesse
6810 S Nordean Avenue
Kuna, ID 83642

Subject: KUNA22-0024/ 22-12-SUP
6810 S Nordean Avenue
In-home Group Daycare

The Ada County Highway District (ACHD) has reviewed the submitted application for the application referenced above and has determined that there are no improvements required to the adjacent street(s).

The applicant shall be required to:

1. Pay a traffic impact fee. If applicable, a traffic impact fee may be assessed by ACHD and will be due prior to the issuance of a building permit by the lead agency. This is a separate review process and it is the applicant's responsibility to submit plans directly to ACHD.
2. Comply with all ACHD Policies and ACHD Standard Conditions of Approval for any improvements or work in the right-of-way.
3. Obtain a permit for any work in the right-of-way prior to the construction, repair, or installation of any roadway improvements (curb, gutter, sidewalk, pavement widening, driveways, culverts, etc.).

Traffic Information

This development is estimated to generate 49 additional vehicle trips per day; and 9 additional vehicle trips per hour in the PM peak hour, based on the Institute of Transportation Engineers Trip Generation Manual, 11th edition.

Condition of Area Roadways:

Traffic Count is based on Vehicles per hour (VPH)

Roadway	Frontage	Functional Classification
Nordean Avenue	82-feet	Local
Tribute Street	88-feet	Local

Average Daily Traffic Count (VDT):

Average daily traffic counts are based on ACHD's most current traffic counts

- There are no current average daily traffic counts for Nordean Avenue and Tribute Street.

If you have any questions, please feel free to contact me at (208) 387-6329.

Sincerely,



Carbella Loise Medina
Planning Review Intern
Development Services

cc: City of Kuna – Jessica Reid

Standard Conditions of Approval

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).
2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
3. In accordance with District policy, 7203.6, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA) requirements. The applicant's engineer should provide documentation of ADA compliance to District Development Review staff for review.
4. Replace any existing damaged curb, gutter and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.
5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.
9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.
10. Construction, use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.
11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.
12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.



CITY OF KUNA
P.O. BOX 13
KUNA, ID 83634
www.kunacity.id.gov

Catherine Feistner, E.I.T.
Assistant Kuna City Engineer

Brady Barroso
Engineering Technician I

MEMORANDUM

To: Doug Hanson - Planning and Zoning Director
From: Brady Barroso - Engineering Technician I
Catherine Feistner - Assistant City Engineer
Date: 31 October 2022
RE: Public Works Comments
6810 S Nordean In-Home Group Daycare – 22-12-SUP (Special Use Permit)

The 6810 S Nordean In-Home Group Daycare property, 22-12-SUP, special use permit request dated 13 October 2022 has been reviewed. These comments apply to the application as they affect public works infrastructure. Review of civil design drawings is accomplished separately, when received by PWoffice@kunaid.gov.

Public Works staff can support approval for this special use permit. The applicant does not propose any changes to public works infrastructure.

Comments may be expanded or refined in connection with the future land-use actions.



ADVERTISING PROOF

c/o ISj Payment Processing Center
 PO Box 1570,
 Pocatello, ID 83204
 Ph. (208) 465-8129 Fax: (907) 452-5054

BILLING DATE:	ACCOUNT NO:
10/14/22	21880

LEGAL NOTICE

**Case No. 22-12-SUP
 (Special Use Permit) for
 6810 S Nordean Ave
 In-Home Group Daycare**

1 KUNA, CITY OF
 P.O. BOX 13
 KUNA, ID 83634

NOTICE IS HEREBY GIVEN the Planning & Zoning Commission will hold a Public Hearing Tuesday, November 9, 2022, at 6:00 PM, or as soon as can be heard; in connection with a Special Use Permit (SUP) request from Alain & Chloe Lemesse to operate an in-home group daycare for up to twelve (12) children, Monday through Friday, from 6:00 AM to 6:00 PM, located at 6810 S Nordean Ave (R5665670180); Section 3, Township 2 North, Range 1 West.

Please do not contact the Commission, City Council and/or Mayor as it is considered ex parte. If you have questions on how to submit public testimony, or if you require special accommodations, please contact Kuna Planning & Zoning Department prior to the meeting at (208) 922-5274.

Kuna Planning & Zoning Department

October 19, 2022 293887

AD #	DESCRIPTION	START	STOP	TIMES	AMOUNT
293887	22-12-sup - 6810 s.	10/19/22	10/19/22	1	\$41.08

Payments:

Date	Method	Card Type	Last 4 Digits	Check	Amount
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Discount:	\$0.00	Gross:	\$41.08
Surcharge:	\$0.00	Paid Amount:	\$0.00
Credits:	\$0.00		

Amount Due: \$41.08

We Appreciate Your Business!

Suggestions for Testifying at Public Hearings:

Be Informed...

Review the proposal, Staff Report, applicable Ordinance(s), Comprehensive Plan & Idaho Code §67-65. All items pertaining to the application can be found online the Friday prior to the hearing at www.kunacity.id.gov >City Government >Agendas & Minutes.

Be on time...

Although the item you are interested in may not be first on the agenda, you never know when it will be heard; the governing body has authority to adjust the schedule according to its discretion, thus, anticipate attending from the beginning.

Speak to the Point...

The governing body appreciates pertinent, well organized, factual & concise comments. The Developer or their Representative is given 10 minutes to present their project; 3 minutes per individual is provided for public testimony; neighborhood groups are encouraged to select a community representative & the representative is provided 10 minutes (please inform staff). The Developer/Representative is given additional time for rebuttal.

If you do not wish to speak, write...

Written testimony received by close of business the Wednesday before the hearing will be included in the meeting packet; late submissions will be provided to the governing body at time of hearing. As a reminder, it is unreasonable to submit extensive written comments/info at the hearing and expect it to be reviewed prior to a decision.



Planning & Zoning

PO BOX 13

Kuna, ID 83634

POST

FIRST-CLASS MAIL

10/19/2022

US POSTAGE \$000.00⁰⁰



ZIP 83634
041M11460992

City of Kuna

UB 10.19.22

LEGAL NOTICE

Dear Property Owner: NOTICE IS HEREBY GIVEN the **Planning and Zoning Commission** is scheduled to hold a Public Hearing on **November 9, 2022 at 6:00 PM** (or as soon as can be heard), in City Hall Council Chambers, 751 W 4th Street, Kuna, ID, 83634, on the following case:

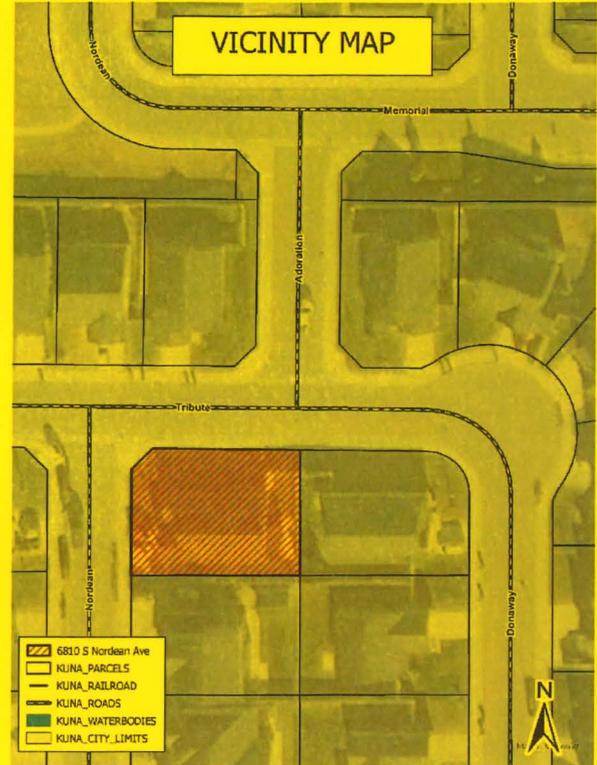
Case No. 22-12-SUP (Special Use Permit) for an In-home Group Daycare at 6810 S Nordean Ave

Alain & Chloe Lemesse request Special Use Permit (SUP) approval to operate an In-Home Group Daycare for up to 12 children, Monday through Sunday from 6:00 AM to 6:00 PM. The subject site is located at 6810 S Nordean Avenue; Section 24, Township 2 North, Range 1 West.

The public is invited to provide testimony; if you require additional information or require special accommodations, please contact the Kuna Planning & Zoning Department at (208) 922-5274.

Written testimony received by close of business on **November 2, 2022**, and will be included with the meeting packet.

MAILED 10.19.2022





Proof of Property Posting

PO Box 13 | 751 W 4th Street | Kuna, ID 83634
(208) 922-5274 | www.KunaCity.ID.gov



This form shall confirm that the Public Hearing Notice for 22-12-SUP Case No. _____
6810 S Nordean Ave in-home Group Daycare was posted, as required per Kuna City Code
5-1A-8, on October 30, 2022 Date _____. This form and associated photos shall be returned
to the Planning & Zoning department no later than seven (7) days prior to the Public Hearing.
Signs shall be removed from the site within three (3) days after the Public Hearing.

DATED this 30th day of October, 2022.
Signature: [Signature] Owner/Developer [Signature]

State of Idaho)
) ss
County of Ada)

On this 30th day of October, 2022, before me, the
Undersigned, a Notary Public in and for said State, personally appeared before me
(Owner/Developer).

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and
year in this certificate first above written. Subscribed and sworn to before me the day and year
first above written.

Kelsie Rook _____
Residing at: 1577 N. Linder Rd.
Kuna 10 83634
My Commission expires: 05/24/2027

Affix Seal Here

[Signature]
Signature

KELSIE ROOK
Notary Public - State of Idaho
Commission Number 20212274
My Commission Expires 05-24-2027



**CITY OF KUNA PUBLIC
HEARING NOTICE**

**BEFORE THE PLANNING &
ZONING COMMISSION**

WHEN: 6:00 PM TUESDAY

**NOVEMBER 9, 2022 AT KUNA CITY
HALL COUNCIL CHAMBERS**

751 W 4TH STREET

**PURPOSE: CASE NO. 22-12-SUP
SPECIAL USE PERMIT TO OPERATE
AN IN-HOME GROUP DAYCARE
WITH UP TO TWELVE (12)
CHILDREN, MONDAY THROUGH
FRIDAY, 6:00 AM TO 6:00 PM**

**LOCATION: 6810 S NORDEAN AVE,
MERIDIAN, ID 83642**

**APPLICATION BY: ALAIN & CHLOE
LEMESSÉ**



**CITY OF KUNA PUBLIC
HEARING NOTICE**

**BEFORE THE PLANNING &
ZONING COMMISSION**

**WHEN: 6:00 PM TUESDAY
NOVEMBER 9, 2022 AT KUNA CITY
HALL COUNCIL CHAMBERS
751 W 4TH STREET**

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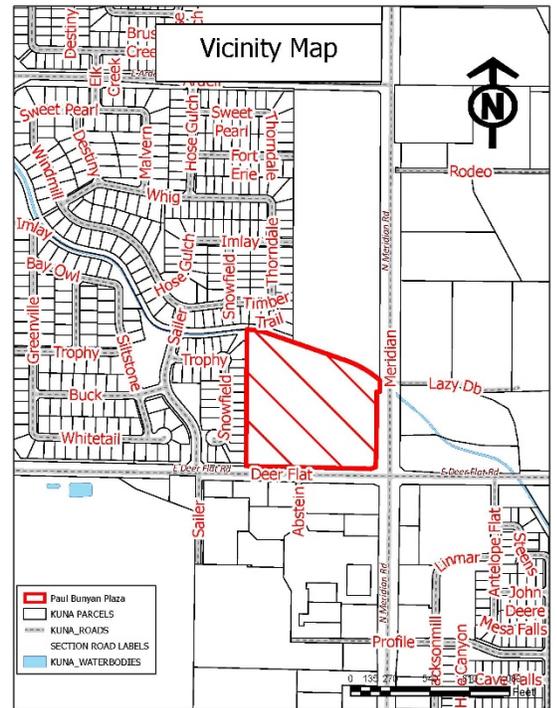
**APPLICATION BY: ALAIN & CHLOE
LEMESSE**

**BEFORE THE PLANNING AND ZONING COMMISSION
OF THE CITY OF KUNA**

IN THE MATTER OF THE APPLICATIONS OF) **Case Nos. 22-13-S (Preliminary Plat)**
) **and 22-30-DR (Design Review).**
BILL HICKS, AND CRMM, LLC)
)
) **STAFF REPORT FOR**
For a Preliminary Plat and Design) **SUBDIVISION AND DESIGN**
Review Request for Paul Bunyan Plaza.) **REVIEW APPLICATION.**

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1. Exhibit List
2. Process and Noticing
3. Applicants Request
4. General Project Facts
5. Transportation and Connectivity
6. Staff Analysis
7. Proposed Findings of Fact and Conclusions of Law
8. Proposed Comprehensive Plan Analysis
9. Commission’s Recommendation



**I
EXHIBIT LIST**

The exhibits of the above-referenced matter consist of the following, to-wit:

1.1 Exhibits:

<i>DESCRIPTION OF EVIDENCE</i>		Withdrawn	Refused	Admitted
1.1	Staff Report			X
2.1	Application Coversheet			X

2.2	Preliminary Plat Application			X
2.3	Narrative			X
2.4	Vicinity Map			X
2.5	Legal Description			X
2.6	Warranty Deed			X
2.7	Affidavit of Legal Interest			X
2.8	Neighborhood Meeting Certification			X
2.9	Commitment to Post Site			X
2.10	Subdivision Name Reservation			X
2.11	Preliminary Plat			X
2.12	Landscape Plan			X
2.13	TIS Executive Summary			X
2.14	Design Review Application			X
2.15	Landscape Plan COLOR RENDERING			X
2.16	CC&R's			X
2.17	Agency Transmittal Letter			X
2.18	City Engineer			X
2.19	ACHD (Ada County Highway District)			X
2.20	Boise Project Board of Control			X
2.21	CDHD (Central District Health Department)			X
2.22	COMPASS			X
2.23	Nampa Meridian Irr. Dist.			X
2.24	Kuna Melba News			X
2.25	300 Ft. Legal Mailer			X
2.26	Website Notice			X

II PROCESS AND NOTICING

2.1 Kuna City Code (KCC), Title 1, Chapter 14, Section 3 states that Design Reviews are designated as Public Meetings with the Planning and Zoning Commission (acting as Design Review Commission), as the decision-making body, while Preliminary Plats are designated as Public Hearings, with the Planning and Zoning Commission as a recommending body and City Council as the decision-making body. These land use applications were given proper public notice and followed the requirements set forth in Idaho Code, Chapter 65, Local Land Use Planning Act (LLUPA).

2.1.1 Notifications

2.1.1.1 Neighborhood Meeting: May 18, 2022 (3 Attendees)

- 2.1.1.2 Agency Comments Request: August 17, 2022
- 2.1.1.3 300 FT Legal Mailer Notice: October 19, 2022
- 2.1.1.4 Kuna Melba News Newspaper: October 19, 2022
- 2.1.1.5 Site Posted: October 27, 2022

**III
APPLICANTS REQUEST**

3.1 Bill Hicks, and CRMM, LLC requests Preliminary Plat approval in order to subdivide approximately 16.26 acres into 12 commercial lots. The site was previously Annexed and Zoned as C-2. A Design Review application for the landscaping accompanies this request. The site is located within Section 13 Township 2 north, Range 1 west, Accessor Parcel Number S1313449910.

**IV
GENERAL PROJECT FACTS**

4.1 Site History

4.1.1 The site was annexed into Kuna City Limits August 20, 2019. Historically the subject site has been used for agricultural purposes.

4.2 Surrounding Land Uses

North	C-2 R-20	Area Commercial - Kuna City High Density Residential - Kuna City
South	C-1	Neighborhood Commercial - Kuna City
East	C-1	Neighborhood Commercial - Kuna City
West	R-6	Neighborhood Commercial - Kuna City

4.3 Parcel Number, Owner, Parcel Size and Current Zoning

- 4.3.1** S1313449910
 - 4.3.1.1** CRMM, LLC
 - 4.3.1.2** Approximately 16.26 acres
 - 4.3.1.3** C- 2 (Area Commercial)

4.4 Services

- Sanitary Sewer – City of Kuna
- Potable Water – City of Kuna
- Pressurized Irrigation – City of Kuna
- Fire Protection – Kuna Rural Fire District
- Police Protection – Kuna Police (Ada County Sheriff’s Office)
- Sanitation Services – J & M Sanitation

4.5 Existing Structures, Vegetation, and Natural Features

4.5.1 The proposed project site currently has vegetation consistent with that of an agricultural fields. The site has an estimated average slope of 1.0% to 1.4%. According to the USDA Soil Survey for Ada County, bedrock depth is estimated between 40 inches up to greater than 60 inches.

4.6 Environmental Issues

4.6.1 Staff is not aware of any environmental issues, health or safety conflicts and the subject site is well outside the boundary of the Nitrate Priority Area. Idaho Department of Environmental Quality (DEQ) has recommendations for surface and groundwater protection practices and requirements for development of all sites.

4.7 Comprehensive Plan Future Land Use Map

4.7.1 The Future Land Use Map (FLUM) is intended to serve as a *guide* for the decision-making body for the city. The FLUM indicates land use designations, generally speaking, it is not the actual zone. The Future Land Use Map identifies the proposed project site as Mixed-Use.

4.8 Recreation and Pathways Map

4.8.1 The Pathways Master Plan Map indicates a future trail or pathway along the Kuna Canal which runs through the north boundary of the site. Internal pathways and other connections within the site shall provide pedestrian and biking connectivity and connect to adjacent regional greenspaces and pathways, while providing a connection for adjacent properties in the future.

4.9 Agency Responses

Agency	Exhibit No.
City Engineer's Memo	2.21
ACHD – Ada County Highway District	2.22
Boise Project Board of Control	2.23
Central Dist. Health Dept.	2.24
COMPASS	2.25
Nampa Meridian Irrigation District	2.26

V

TRANSPORTATION AND CONNECTIVITY

5.1 According to the ACHD report (*Exhibit 2.22*) Deer Flat Road is listed in the Capital Improvement Plan (CIP)/Integrated five-year work plan (IFYWP) to be widened to 5-lanes from Linder Road to Meridian Road, between 2031 and 2035.

The intersection of Deer Flat Road and Meridian Road is scheduled in the CIP to be widened to 6-lanes on the north leg, 6-lanes on the south leg, 7-lanes on the east leg and 6-lanes on the west leg and reconstructed between 2031 and 2035. The intersection of Deer Flat and Meridian Road is programmed and funded as part of the CIP, therefore no mitigation is required.

ACHD recommends the Applicant construct a temporary full access discussed on page two (2) of their report, as 'Access D' and would later be restricted to a right-in/right-out with an ACHD future intersection and widening project, or as traffic conditions warrant, determined by ACHD.

The Bikeways Master Plan (BMP) identifies Deer Flat as a level 3 facility. The BMP also identified level facilities on Ardell Road, the northern collector roadway.

ACHD recommends the Applicant construct curb returns for high-volume driveways to be 30 radii.

Staff notes sidewalks along classified roads (Collector and Arterials) are required to be a minimum of eight (8) feet wide. Staff recommends sidewalks on classified roads be detached and located within the ROW.

Staff highlights that *KCC 6-3-3-C* requires developers to provide and connect to stub streets. According to the ACHD report, benefits of interconnectivity through use of stub streets includes, but is not limited to, reduction in miles traveled, increased pedestrian and bicycle connectivity, increased access for EMS, reduced need for additional access points to Arterial systems, promotes efficient delivery of daily services/deliveries, promotes intra-neighborhood traffic circulation to schools, parks, etc., and promotes orderly development.

VI STAFF ANALYSIS

- 6.1** A Pre-Application Meeting was held March 10, 2022. The Applicant held a Neighborhood Meeting with residents within 300-ft of the proposed project area on May 18, 2022, there were three (3) attendees. Neighborhood Meeting Minutes, as well as mailed materials have been provided as a part of this application.

The Applicant requests approval to subdivide approx. 16.26 acres into 12 total commercial lots. The FLUM calls for Mixed-Use for the site and coupled with R-6 Medium Density to the west, the recently approved R-20 High Density Residential and Commercial directly north of this site, staff believes this proposal follows the intent of the FLUM.

According to Public Works comments in Exhibit 2.21, this project is located within the Danskin Lift Station basin which currently does not have capacity to provide sewer service for Paul Bunyan Plaza. Sewer service for the Paul Bunyan Plaza Phase 1 will be contingent on the successful completion of the 18" Danskin sewer force main project. Sewer capacity (equivalent dwelling units [EDU's]) that become available upon completion of the 18" Danskin force main will be distributed on a first come first serve basis. EDU's will be soft reserved once the civil construction drawings are received and issuance of the QLPE will hard reserve the EDU's needed for each phase. Public Works staff cannot support approval of this application until the 18" Danskin force main project is complete.

The installation of streetlights is a required public improvement listed under KCC 6-4-2. The Applicant shall be required to work with staff in order to comply with KCC and install streetlights a maximum spacing of 250-ft.; the final location of streetlights will be approved at the time of construction document review. Staff notes that these streetlights must be designed and installed according to "Dark Sky" standards and shall be LED streetlights.

A Design Review application for landscape buffers along Deer Flat and Meridian Road was included with this application. Staff finds the proposed landscaping to be in compliance with Kuna City Code. It is the responsibility of the Developer to ensure the landscape buffer widths follow KCC. Staff notes the applicant proposes to combine the Pressure Irrigation, Sewer, Water and Gravity Irrigation within the first 30 feet along Meridian Road, and the first 20 feet along Deer Flat. Staff notes the Applicant has not proposed a common lot along the adjacent frontages. If the Applicant intends to place all said utilities within the stated utility widths, staff recommends additional area be preserved for landscaping; staff recommends an additional 15 feet along Meridian Road and an additional 10 feet be dedicated for a landscape easement along Deer Flat Road. Trees, and large shrubs must be at least 10 feet clear of all critical utility connections, and it will be difficult to combine so many uses within the proposed landscape buffers. Staff recommends a common lot be dedicated along classified roadways to avoid maintenance questions and issues after build-out. Staff also highlights a note on the landscape plan calling for perimeter landscaping to be developed by individual lots. Staff *may* support that approach for the western boundary, however, along the east, north and south boundaries staff recommends landscaping be installed adjacent to the stated frontages in connection with a Final Plat following KCC.

Staff notes if this project is approved, at the time of civil plan development, landscaping cannot be placed within ten (10) feet of any meter pits, pressurized irrigation valves, or ACHD underground facilities. In the event that locations of landscaping elements are within the locations listed above, those trees must be moved to an alternate location, and an updated landscape plan must be provided to staff prior to scheduling a landscape compliance inspection. Any elements that must be moved to another spot, may not simply be removed. Staff notes the landscape plan shall have a note for trees stating "Remove all tags, twine or other non-biodegradable materials attached to plant or root mass". Staff notes KCC calls for all twine, burlap and wire baskets to be removed at least 1/2 way down the root ball *after* being placed in the hole. Developer shall correct the note *and re-submit* the Landscape Plan prior to landscape plan approval.

The Developer/Owner/Applicant is hereby notified that this project is subject to Design Review inspection fees. Required inspections (post construction), verify landscaping compliance prior to requesting signature on the Final Plat.

Staff has reviewed the proposed Preliminary Plat for technical compliance with KCC, and the Design Review for compliance with Title 5 and Title 6 of Kuna City Code; Idaho Statute § 67-6511; and the Kuna Comprehensive Plan. The Applicant will be required to work with Kuna's staff, ACHD, the Kuna Rural Fire District and any other applicable agencies to ensure conformance to each agency's requirements where the stricter rule shall be followed. If the Planning and Zoning Commission recommends Approval of Case No. 22-13-S and Approves Case No. 22-30-DR the Applicant shall be subject to the Conditions of Approval listed in section "IX" (9) of this report, and any additional Conditions recommended by the Planning and Zoning Commission.

6.2 Applicable Standards

6.2.1 City of Kuna Zoning Ordinance, Title 5.

6.2.2 City of Kuna Subdivision Ordinance Title 6.

6.2.3 City of Kuna Comprehensive Plan FLUM.

6.2.4 Idaho Code, Title 67, Chapter 65- the Local Land Use Planning Act.

VII PROPOSED FINDINGS OF FACT

Based upon the record contained in Case Nos. 22-13-S, and 22-30-DR, including the Comprehensive Plan, Kuna City Code, Staff's report, including the exhibits, and testimony during the Public Hearing, the Kuna Planning and Zoning Commission hereby (***Recommends Approval/Conditional Approval/Denial***) of Case No. 22-13-S and (***Approves/Conditionally Approves/Denies***) Case No. 22-30-DR.

If the Commission wishes to approve, deny or modify specific parts of the Findings of Fact and Conclusions of Law as detailed below, those changes must be specified.

- 7.1 Based on the evidence contained in Case Nos. 22-13-S and 22-30-DR this proposal ***does/does not*** generally comply with the City Code.

Staff Finding: *The Applicant has submitted a complete application, and following staff review for technical compliance, the application appears to be in general compliance with the design requirements, public improvement requirements, objectives and considerations listed in Kuna City Code Title 5 and Title 6. According to Exhibit 2.21, Public Works state, Sewer service for Paul Bunyan Plaza, Phase 1 will be contingent on the successful completion of the 18" Danskin sewer force main project. Sewer capacity EDU's that become available upon completion of the 18" Danskin force main will be distributed on a first come first serve basis. Public Works staff cannot support approval of this application until the 18" Danskin force main project is complete.*

- 7.2 The public notice requirements ***have/have not*** been met and the Neighborhood Meeting was conducted within the guidelines of applicable Idaho Code and City Ordinances.

Staff Finding: *Applicant held a Neighborhood Meeting May 18, 2022; three (3) residents attended. Neighborhood Notices were mailed out to residents within 300-feet of the proposed project site on October 19, 2022, and a legal notice was published in the Kuna Melba Newspaper on October 19, 2022. The Applicant posted a sign on the property on October 27, 2022.*

- 7.3 Based on the evidence for Case Nos. 22-13-S and 22-30-DR, this proposal ***does/does not*** generally comply with the Comprehensive Plan.

Staff Finding: *The Comp Plan has listed numerous goals for providing a variety of commercial uses throughout Kuna, as well as the installation of pathways and open space. The existing zone district is C-2, and the Comp Plan Map designates the property as Mixed-Use.*

- 7.4 The contents of the proposed Preliminary Plat, and Design Review applications ***do/do not*** contain the necessary requirements as listed in KCC 5-13-9, KCC 5-7, KCC 6-2-3, KCC 5-13, KCC 5-6, and KCC 5-4.:

Staff Finding: *Review by Staff of the proposed Preliminary Plat and Design Review confirms all applicable technical requirements listed in KCC were provided.*

- 7.5 The availability of existing and proposed public services and streets ***can/cannot*** accommodate the proposed development.

Staff Finding: *According to Exhibit 2.21 Public Works state, Sewer service for Paul Bunyan Plaza Phase 1 will be contingent on the successful completion of the 18" Danskin sewer force main project. Sewer capacity EDU's that become available upon completion of the 18" Danskin force main will be distributed on a first come first serve basis. Public Works staff cannot support approval of this application until the 18" Danskin force main project is complete.*

7.6 The proposed development *is/is not* in compliance with the City of Kuna Master Utility Plans (Sewer/Water/Pressurized Irrigation).

Staff Finding: Correspondence from Kuna Public Works recommends the Applicant be required to conform to the Master Sewer Plan, Master Water Plan and Master Pressurized Irrigation Plan, therefore satisfying this requirement.

7.7 The public *does/does not* have the financial capability to provide supporting services to the proposed development.

Staff Finding: Throughout the development of the project and beyond, connection fees, impact fees (Fire, Police, Park and Ada County Highway District), and property taxes will be collected, therefore satisfying the financial capability to provide supporting services.

7.8 The proposed project *does/ does not* consider health and safety of the public and the surrounding area's environment.

Staff Finding: Connection to City services, as well as other public improvements such as streetlights, fire hydrants, sidewalks, etc. are required to be implemented as a part of this project. No major wildlife habitats will be impacted by the proposed development.

7.9 The site landscaping *does/does not* minimize the impact on adjacent properties through the use of screening.

Staff Finding: Landscaping is proposed around the perimeter of the subdivision where permitted, unless otherwise approved.

7.10 The Applicant and/or Owner of the property have the right to request a written regulatory taking analysis.

Staff Finding: Pursuant to Idaho Code 67-8003, the Owner of private property that is subject of such action may submit a written request for a regulatory taking analysis with the City Clerk, not more than twenty-eight (28) days after the final decision concerning the matter at issue. The City shall prepare a written taking analysis concerning the action if requested.

VIII PROPOSED COMPREHENSIVE PLAN ANALYSIS

The Planning and Zoning Commission may *accept/reject* the Comprehensive Plan components, and shall determine if the proposed Preliminary Plat, and Design Review requests for the site *are/are not* consistent with the following Comprehensive Plan components:

- 8.1 Goal Area 1: Kuna will be Economically Diverse and Vibrant.
- Goal 1.A: Ensure Land Use in Kuna will support economic development.
 - Goal 1.C: Attract and Encourage new and existing businesses.
 - Objective 1.C.2: Create an environment that is friendly to business creation, expansion and relocation.
 - Policy 1.C.2.d: Ensure infrastructure and public facilities are in place and parcels identified for commercial or industrial are shovel ready.

- 8.2** Goal Area 2: Kuna will be a healthy, safe community.
- Goal 2.A: Maintain and expand parks and public gathering spaces.
 - Objective 2.A.2: Maintain and expand the pathway and trail network with a focus on building connectivity to key activity and population centers that serve all areas of Kuna.
 - Policy 2.A.2.a: Ensure the trails and pathways system promotes bike and pedestrian connectivity to key activity centers such as schools, parks, retail centers and downtown.
 - Policy 2.A.2.d: Work with private developers and landowners to direct expansion of the trails and pathways system throughout Kuna.
 - Goal 2.B.: Maintain and expand parks and public gathering spaces.
 - Objective 2.B.1: Maintain and expand the parks system.
 - Policy 2.B.1.b: Continue to require neighborhood park development through the subdivision development process.
- 8.4** Goal Area 4: Kuna will be a connected community through strong transportation and infrastructure systems.
- Goal 4.B.: Increase sidewalk coverage and connectivity and invest in pedestrian facilities to increase walkability.
 - Objective 4.B.2: Maintain/expand sidewalks/pedestrian facilities within the community.
 - Policy 4.B.2.b: Install detached sidewalks and/or protected pedestrian routes/facilities along high trafficked roads as development occurs.
 - Policy 4.B.2.c: Promote the installation of off-system pedestrian pathways to create neighborhood connections and reduce the length of non-motorized transportation routes.
 - Policy 4.B.2.g: Coordinate with developers to connect and/or enhance pedestrian facilities, including on and off-system pathways, footbridges (across canals, etc.), road bridges, sidewalks, pedestrian crossings and wayfinding signage.
- 8.5** Goal 4.C.: Increase pathway, trail and on-street bicycle facilities.
- Objective 4.C.1: Maintain/enhance existing pathways/trails/on-street bicycle facilities.
 - Policy 4.C.1.a: Expand the bicycle network as identified in the Kuna Pathways Master Plan and ACHD Roadways to Bikeways Plans through land use developments and capital improvement projects.
 - Policy 4.C.1.e: Coordinate with developers to connect to and/or enhance bicycle facility connections, including pathways, non-motorized canal crossings, road bridges and wayfinding signage.
 - Objective 4.C.2: Ensure expansion of pathways, trails and on-street bicycle routes.
 - Policy 4.C.2.b: Promote the installation of off-system bicycle pathways to create neighborhood connections and reduce non-motorized transportation route lengths.

- 8.6** Goal 4.D.: Promote a connected street network that incorporates mid-mile collectors and crossing for improved neighborhood connectivity.
- Objective 4.D.2: Ensure the continued expansion/development of a classified roads system throughout the community.
 - Policy 4.D.2a: Extend and expand Mid-Mile Roads as growth occurs.
 - Policy 4.D.2b: Preserve adequate Rights-Of-Way along all classified roads or other approved alternative locations to align roads.

IX COMMISSION'S RECCOMENDATION

*Note: These motions are for the **Approval, Conditional Approval or Denial** of the Design Review application and the recommendation of **Approval, Conditional Approval or Denial** of the Preliminary Plat to the City Council. However, if the Planning and Zoning Commission wishes to approve or deny specific parts of these requests as detailed in the report, those changes must be specified.*

Based upon the record contained in Case Nos. 22-13-S, and 22-30-DR, including the Comprehensive Plan, Kuna City Code, Staff's report, including the exhibits, and testimony during the Public Hearing, the Kuna Planning and Zoning Commission hereby (**Recommends Approval/Conditional Approval/Denial**) of Case No. 22-13-S and (**Approves/Conditionally Approves/Denies**) Case No. 22-30-DR, subject to the following Conditions:

- 9.1** The Developer/Owner/Applicant shall obtain written approval on letterhead or may be written/stamped on the approved plans of the construction plans from the agencies noted below. All submittals are required to include the lighting, landscaping, drainage, and development plans. All site improvements are prohibited prior to approval of the following agencies:
- 9.1.1** The City Engineer shall approve all sewer connections.
 - 9.1.2** The City Engineer shall approve all civil plans. No construction, grading, filling, clearing or excavation of any kind shall be initiated until the Applicant has received approval of the drainage plan.
 - 9.1.3** Central District Health Department recommends the plan be designed and constructed in conformance with standards contained in, "Catalog for Best Management Practices for Idaho Cities and Counties".
 - 9.1.4** The Kuna Rural Fire District shall approve fire flow requirements and/or building plans. Installation of fire protection facilities as required by Kuna Rural Fire District are required.
 - 9.1.5** The Kuna Municipal Irrigation System and Boise Project Board of Control shall approve any modifications to the existing irrigation system.
 - 9.1.6** Approval from Ada County Highway District (ACHD) shall be obtained and Impact Fees must be paid prior to issuance of any building permit(s).
 - 9.1.7** All public rights-of-way shall be dedicated and constructed to standards of the City and Ada County Highway District. No public street construction may commence without the approval and permit from Ada County Highway District.
- 9.2** Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground, see KCC 6-4-2.

- 9.3 Compliance with Idaho Code, Section §31-3805 pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site. Compliance with the requirements of the Boise Project Board of Control is required.
- 9.4 Connection to City Services (Sewer and Domestic Water) is required; the Applicant shall conform to all corresponding City of Kuna Master Plans.
- 9.5 The Developer/Owner/Applicant shall not submit an application for Final Plat until the City's Public Works Director issues a Will-Serve Letter stating that the City's appurtenance has capacity to service the proposed development with domestic water, and accept the wastewater discharged from the proposed development.
- 9.6 In the event a Will-Serve Letter is not issued within the time the Applicant is required to record a Final Plat, the Applicant shall have good cause and may be eligible to receive, pursuant to KCC § 6-2-3 (J), a Time Extension to file a Final Plat up to and until a Will-Serve Letter has been issued.
- 9.7 Landscape buffers, curb, gutter and sidewalk (attached and detached) shall be installed in accordance with Kuna City Code Title 5 Chapter 17 and Title 6 Chapter 4.
- 9.8 Developer/Owner/Applicant shall work with Ada County Highway District and the City of Kuna to complete all required traffic mitigation improvements to the surrounding roadways and intersections as detailed in the Ada County Highway District staff report.
- 9.9 It is the responsibility of the Developer or their engineer to coordinate *and* design for the stricter requirement between agencies and City of Kuna standards for the entire development.
- 9.10 Developer/Owner/Applicant shall work with staff in order to provide final locations of streetlights as required by Kuna City Code. Streetlights for the site shall be LED lighting and must comply with Kuna City Code and established Dark Sky practices.
- 9.11 Fencing within and around the site shall comply with Kuna City Code (unless specifically approved otherwise and permitted).
- 9.12 All required landscaping shall be permanently maintained in a healthy growing condition. The property Owner shall remove and replace unhealthy or dead plant material within 3 days or as the planting season permits as required to meet the standards of these requirements. Maintenance and planting in public Rights-of-Way shall be with approval from ACHD.
- 9.13 Landscaping shall not be placed within ten (10) feet of all meter pits, pressurized irrigation valves and/or ACHD underground facilities and must honor all vision triangles.
- 9.14 All signage within/for the project shall comply with Kuna City Code and shall be approved through the applicable sign approval process listed in KCC 5-10.
- 9.15 If any revisions are made, the Applicant shall provide the Planning and Zoning Staff with a revised copy of the Preliminary Plat.
- 9.16 Any revisions of the plat are subject to Administrative Determination to rule if the revision is substantial.
- 9.17 The Developer/Owner/Applicant, and any future assigns having an interest in the subject property,

shall fully comply with all Conditions of development as approved by the City Council, or seek amending them through Public Hearing processes.

- 9.18** Developer shall ensure any anticipated buildings fit any given buildable lot.
- 9.19** Developer/Owner/Applicant/Contractors are hereby notified of Kuna's working hours. Construction of any kind shall only be conducted within the hours specified in KCC. Noises and other public nuisances/distractions outside of this time frame are subject to lawful penalties.
- 9.20** Developer/Owner/Applicant is hereby notified of Kuna's weed control policies and requirements (KCC 8-1-3). Weeds, grasses, vines or other growth which endanger property or are over twelve (12) inches in height shall be continuously cut down, weeded out, sprayed, burned, removed or destroyed throughout all seasons.
- 9.21** Develop/Owner/Applicant is hereby notified that this project is subject to Design Review inspection fees. Required inspections (post construction), are to verify landscaping compliance prior to requesting signature on the Final Plat.
- 9.22** The Landscape Plan (dated 6.7.22) and Preliminary Plat (dated 4.8.22) will be considered binding site plans as amended and/or approved.
- 9.23** Downstream and upstream water users' rights shall not be impeded. At their expense, Developers/Owners/Applicants, are all responsible to maintain and honor all historic flows, rights, and access.
- 9.24** Equivalent Dwelling Units (EDU's) will be issued on a Phase-by-Phase basis (per Final Plat).
- 9.25** Developer/Owner/Applicant shall follow staff, the City Engineer's, and other agency recommended requirements as applicable.
- 9.26** Developer/Owner/Applicant and all successors shall comply with all Local, State and Federal Laws.

DATED this 9th day of November 2022.



Planning & Zoning Application Coversheet

PO Box 13 | 751 W 4th Street | Kuna, ID 83634
(208) 922-5274 | www.KunaCity.ID.gov



****Office Use Only****

File No.(s): 22-13-S, 22-30-DR

Project Name: Paul Bunyan Plaza

Date Received: 06.13.2022

Date Accepted as Complete: 8.9.22

Type of review requested (check all that apply):

<input type="checkbox"/>	Annexation	<input type="checkbox"/>	Appeal
<input type="checkbox"/>	Comp. Plan Map Amendment	<input type="checkbox"/>	Combination Pre & Final Plat
<input checked="" type="checkbox"/>	Design Review	<input type="checkbox"/>	Development Agreement
<input type="checkbox"/>	Final Planned Unit Development	<input type="checkbox"/>	Final Plat
<input type="checkbox"/>	Lot Line Adjustment	<input type="checkbox"/>	Lot Split
<input type="checkbox"/>	Ordinance Amendment	<input type="checkbox"/>	Planned Unit Development
<input checked="" type="checkbox"/>	Preliminary Plat	<input type="checkbox"/>	Rezone
<input type="checkbox"/>	Special Use Permit	<input type="checkbox"/>	Temporary Business
<input type="checkbox"/>	Vacation	<input type="checkbox"/>	Variance

Owner of Record

Name: CRMM, LLC

Address: 8942 Spanish Ridge Ave., Las Vegas, NV 89145

Phone: (702) 221-2500 Email: bhicks@newmarketadvisors.com

Applicant (Developer) Information

Name: Bill Hicks

Address: 8942 Spanish Ridge Ave., Las Vegas, NV 89145

Phone: (702) 221-2500 Email: bhicks@newmarketadvisors.com

Engineer/Representative Information

Name: Civil Innovations, PLLC

Address: 1043 E. Park Blvd. Ste. 101, Boise, ID, 83712

Phone: (208) 884-8181 Email: ben@civil-innovations.com

Subject Property Information

Site Address: N. Meridian Road

Nearest Major Cross Streets: Deer Flat Road

Parcel No.(s): S1313449910

Section, Township, Range: Sec. 13, T.2N, R.1W

Property Size: 16.26 Acres

Current Land Use: Vacant Proposed Land Use: Commercial

Current Zoning: C-2 Proposed Zoning: _____

Project Description

Project Name: Paul Bunyan Plaza - Preliminary Plat

General Description of Project: 12 commercial lots on approximately 16.26 acres at the NW corner of Meridian and Deer Flat Roads.

Type of proposed use (check all that apply and provide specific density/zoning):

- Residential: R-2 R-4 R-6 R-8 R-12 R-20 Commercial: C-1 C-2 C-3 CBD
 Office Industrial: M-1 M-2 Other: _____

Type(s) of amenities provided with development: Pathway along the south side of the Kuna Canal and sidewalks along Meridian and Deer Flat Roads.

Residential Project Summary (If Applicable)

Are there existing buildings? YES NO

If YES, please describe: _____

Will any existing buildings remain? YES NO

No. of Residential Units: _____ No. of Building Lots: _____

No. of Common Lots: _____ No. of Other Lots: _____

Type of dwelling(s) proposed (check all that apply):

- Single-Family Townhomes Duplexes Multi-Family
 Other: _____

Minimum square footage of structure(s): _____

Gross Density (Dwelling Units ÷ Total Acreage): _____

Net Density (Dwelling Units ÷ Total Acreage not including Roads): _____

Percentage of Open Space provided: _____ Acreage of Open Space: _____

Type of Open Space provided (i.e. public, common, landscaping): _____

Non-Residential Project Summary (If Applicable)

Number of building lots: 12 Other lots: 0

Gross floor area square footage: _____ Existing (if applicable): _____

Building height: _____ Hours of Operation: _____

Total No. of Employees: _____ Max No. of Employees at one time: _____

No. of and ages of students: _____ Seating capacity: _____

Proposed Parking

ADA accessible spaces: _____ Dimensions: _____

Regular parking spaces: _____ Dimensions: _____

Width of driveway aisle: _____

Proposed lighting: _____

Is lighting "Dark Sky" compliant? YES NO

Proposed landscaping (i.e. berms, buffers, entrances, parking areas, etc.):

Applicant Signature:  Date: 6/13/22
By signing, you are confirming you have provided all required items listed on this application.

Upon completion of this form, please email to pzapplications@kunaaid.gov. A link will be provided for application attachments to be uploaded to the cloud.



Preliminary Plat Application



PO Box 13 | 751 W 4th Street | Kuna, ID 83634
(208) 922-5274 | www.KunaCity.ID.gov

Preliminary Plats require public hearings with both the Planning & Zoning Commission and City Council. Public Hearing signs will be required to be posted by the applicant for both meetings. Sign posting regulations are available online.

Office Use Only	
Case No(s):	<u>22-13-S, 22-30-DR</u>
Project Name:	<u>Paul Bunyan Plaza</u>
Date of Pre-Application Meeting:	<u>Valid 3, 10, 22 (3) months, unless otherwise determined by staff</u>
Date Received:	<u>06.13.2022</u>
Date Accepted as Complete:	<u>8.9.22</u>

Application shall contain one (1) copy of the following (digital documents preferred):

- Complete Planning & Zoning Application Coversheet
- Complete Preliminary Plat Application
- Detailed narrative or justification for the application, describing the project, design elements, serviceability, amenities, and how the project complies with the requirements found within Kuna City Code.
- Vicinity Map 8.5" x 11": Drawn to scale of 1" = 300' (or similar), showing the location of subject property. Map shall contain a shaded area showing the annexation property; surrounding street names; and name(s) of surrounding subdivisions.
- Legal Description of Preliminary Plat Area: Include metes & bounds description to the section line of all adjacent roadways; stamped & signed by a registered professional Land Surveyor; calculated closure sheet; and a map showing the boundaries of the legal description.
- Recorded Warranty Deed for property.
- Affidavit of Legal Interest if the individual submitting this application is not the legal property owner. *(One Affidavit required for each party involved. Originals must be submitted to the Planning & Zoning Department.)*
- Neighborhood Meeting Certification.
- Commitment of Property Posting form signed by the applicant/agent.
- A letter or email from the Ada County Engineer showing the subdivision name reservation. *(A name change needs to be submitted and approved by the Planning & Zoning Director & Ada County Engineer.)*
- Preliminary Plat (24" x 36"): Drawn to a scale of 1" = 100' (or similar), showing
 - Topography at 2' intervals
 - Land uses (location, layout, types & dimensions) of Residential, Commercial & Industrial
 - Street right-of-way (ROW) including dimensions of ROW dedication for all roadways, street sections, improvements, etc.
 - Easements/common space such as utility easements, parks, community spaces, etc.
 - Layout & dimensions of lots
 - Improvements drawing showing water, sewer, drainage, electricity, irrigation, telephone, gas, proposed street lighting, proposed street names, fire hydrant placement, storm water disposal, underground utilities, and sidewalks.
- Preliminary Plat (8.5" x 11"): Drawn to a scale of 1" = 100' (or similar), with the same items as listed in the "Preliminary Plat".

- Phasing Plan
- Landscape Plan for subdivision entrances, buffers, common areas, etc.
- Homeowners Maintenance Agreement for the care of landscaped common areas.

IF THE PRELIMINARY PLAT INCLUDES 100 LOTS OR MORE,

A TRAFFIC IMPACT STUDY IS REQUIRED.

This application shall not be considered complete (nor will a Public Hearing be scheduled) until Staff has received all required information. Once the application is deemed complete, Staff will notify the Applicant of the scheduled hearing date, fees due, and any additional items via a Letter of Completeness.

Information to Note:

The date of application acceptance shall be the date the applicant submits the final required information to the Planning & Zoning Department, including the application fee (KCC 5-1A-2C).

Complete applications shall be reviewed within sixty (60) days of date of acceptance (KCC 5-1A-5A).

Applicant Signature: Ben [Signature] Date: 6/14/22
By signing, you are confirming you have provided all required items listed on this application.



CIVIL INNOVATIONS, PLLC
PROFESSIONAL ENGINEERING

1043 E. Park Blvd. Ste. 101
Boise, ID 83712
Phone: (208) 884-8181
www.civil-innovations.com

June 14, 2022

City of Kuna
Planning & Zoning Department
751 W. 4th Street
Kuna, ID 83634

Re: Paul Bunyan Plaza – Preliminary Plat Application

Please find enclosed preliminary plat application for the proposed Paul Bunyan Plaza. This 16.26 acre property is located at the northwest corner of Meridian and Deer Flat Roads. The property was previously annexed into the City with a C-2 zoning designation. Current land use is agricultural with no existing structures.

The applicant is proposing to subdivide the property into 12 commercial building lots to be served by City water, sewer, and pressurized irrigation utilities. New sidewalks are proposed along the frontage of Meridian and Deer Flat Roads along with an extension of the existing pathway located on the south side of the Kuna Canal.

Landscaping is proposed along the road frontages and also adjacent to the existing single family housing directly west of this property.

Thank you for your consideration of this application. If you have questions, or need any additional information, please let us know.

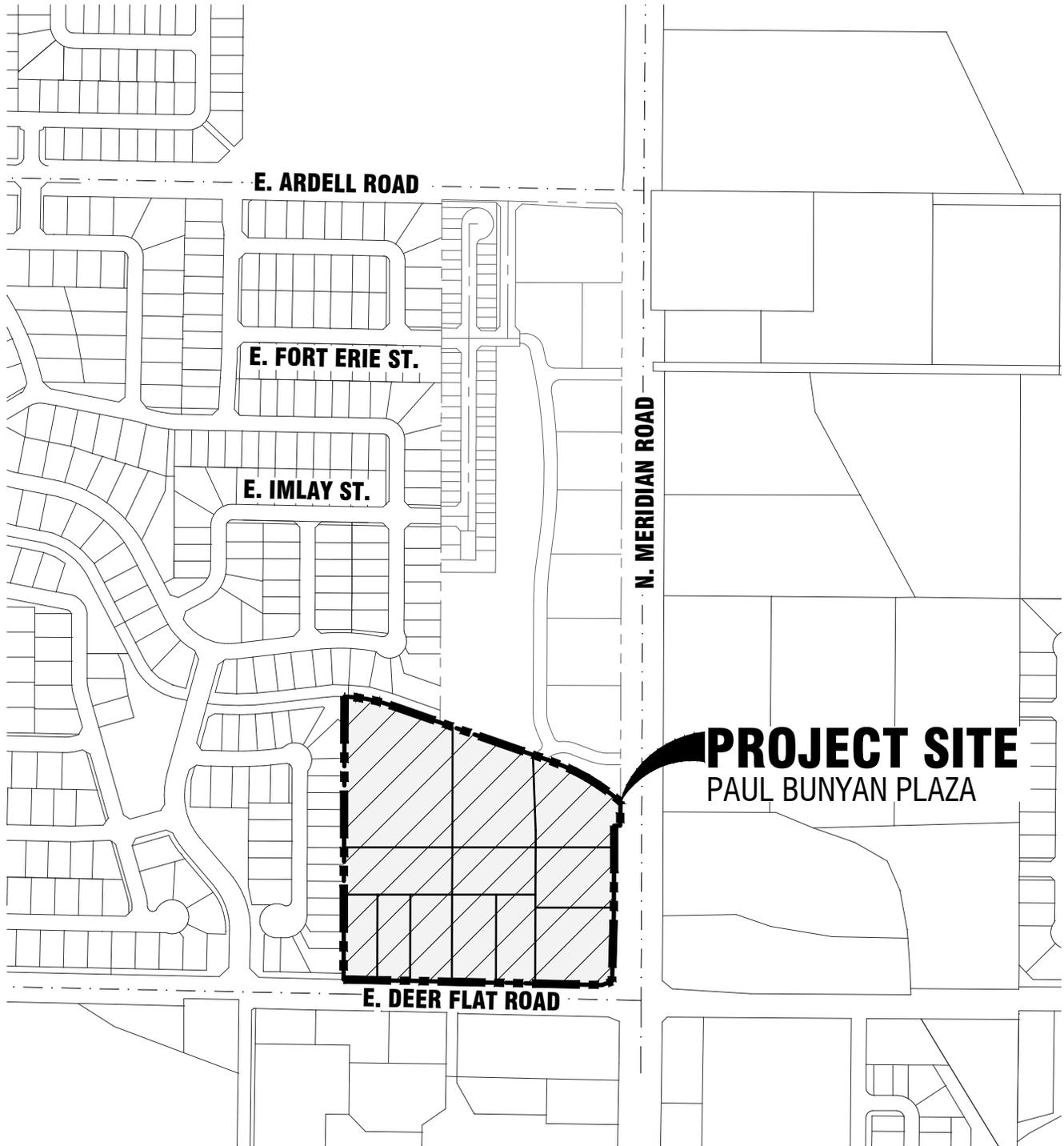
Sincerely,

Ben Thomas

Ben Thomas, PE

PAUL BUNYAN PLAZA

KUNA, IDAHO - 2022



PROJECT NO.	22-0128-KRC
DWG FILE	VICINITY MAP
DESIGNED BY	BT
DRAWN BY	BT
CHECKED BY	BT
ISSUE DATE	06/14/2022
SCALE	AS SHOWN
SHEET	1 OF 1

PAUL BUNYAN PLAZA

KUNA, IDAHO

VICINITY MAP

CIVIL INNOVATIONS, PLLC

1043 E. PARK BLVD STE 101
BOISE, ID 83712
PHONE: (208) 884-8181
www.civil-innovations.com

**DESCRIPTION FOR
SOUTH PARCEL
BLACKROCK MARKET PLACE**

A parcel of land located in the E 1/2 of the SE 1/4 of Section 13, Township 2 North, Range 1 West, Boise Meridian, Ada County, Idaho being more particularly described as follows:

Commencing at the SE corner of said Section 13 from which the S 1/4 corner of said Section 13 bears North 88°45'38" West, 2,630.90 feet;

thence along the South boundary line of said Section 13 North 88°45'38" West, 973.49 feet;

thence leaving said South boundary line North 00°11'35" East, 48.01 feet to a point on the North right-of-way line of E. Deer Flat Road, said point also being the **REAL POINT OF BEGINNING**;

thence continuing North 00°11'35" East, 925.33 feet to a point on the centerline of the Kuna Canal;

thence along the centerline of the Kuna Canal the following 3 courses and distances:

thence 151.82 feet along the arc of a non-tangent curve to the right, said curve having a radius of 500.00 feet, a central angle of 17°23'51" and a long chord which bears South 79°28'45" East, 151.24 feet;

thence South 70°46'49" East, 554.68 feet

thence 267.30 feet along the arc of a non-tangent curve to the right, said curve having a radius of 700.00 feet, a central angle of 21°52'45" and a long chord which bears South 59°50'27" East, 265.68 feet to a point on the East right-of-way line of N. Meridian Road (SH 69);

thence along said East right-of-way line the following 4 courses and distances:

thence South 00°11'35" West, 78.47 feet;

thence North 89°48'25" West, 20.00 feet;

thence South 00°11'35" West, 290.00 feet;

thence South 01°33'25" West, 219.77 feet to a point on the North right-of-way line of E. Deer Flat Road;

thence along said North right-of-way line the following 2 courses and distances:

thence South 70°33'25" West, 35.49 feet;

thence North 88°45'38" West, 844.81 feet to the **REAL POINT OF BEGINNING**. Containing 16.255 acres, more or less.





ADA COUNTY RECORDER Phil McGrane
BOISE IDAHO Pgs=3 CHE FOWLER
PIONEER TITLE COMPANY OF ADA COUNTY

2021-153040
10/21/2021 03:55 PM
\$15.00

1211 W Myrtle Street, Plaza II Suite 100
Boise, ID 83702

**ELECTRONICALLY RECORDED-DO NOT
REMOVE THE COUNTY STAMPED FIRST
PAGE AS IT IS NOW INCORPORATED AS
PART OF THE ORIGINAL DOCUMENT**

File No. 770799 JS/JO

WARRANTY DEED

For Value Received SH69 Holdings, LLC, an Idaho Limited Liability Company hereinafter referred to as Grantor, does hereby grant, bargain, sell, warrant and convey unto

CRMM, LLC, a Nevada limited liability company hereinafter referred to as Grantee, whose current address is 8942 Spanish Ridge Ave. Las Vegas, 89145

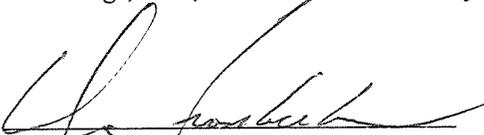
The following described premises, to-wit:

See Exhibit A attached hereto and made a part hereof.

To HAVE AND TO HOLD the said premises, with their appurtenances unto the said Grantee(s), and Grantees(s) heirs and assigns forever. And the said Grantor(s) does (do) hereby covenant to and with the said Grantee(s), the Grantor(s) is/are the owner(s) in fee simple of said premises; that said premises are free from all encumbrances EXCEPT those to which this conveyance is expressly made subject and those made, suffered or done by the Grantee(s); and subject to U.S. Patent reservations, restrictions, dedications, easements, rights of way and agreements, (if any) of record, and current years taxes, levies, and assessments, includes irrigation and utility assessments, (if any) which are not yet due and payable, and that Grantor(s) will warrant and defend the same from all lawful claims whatsoever.

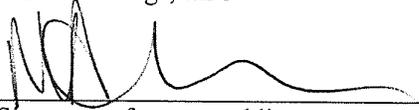
Dated: October 13, 2021

SH69 Holdings, LLC, an Idaho limited liability company

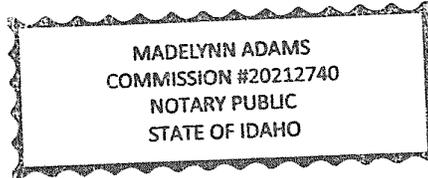
By: 
David Gronbeck, Manager

State of IDAHO, County of ADA

This record was acknowledged before me on October 21, 2021 by David Gronbeck, as Manager of SH69 Holdings, LLC.



Signature of notary public
Commission Expires:



MADELYNN ADAMS
Residing in: Nampa, ID
Commission Expires: 06/22/2027

EXHIBIT A

A parcel of land located in the E 1/2 of the SE1/4 of Section 13, Township 2 North, Range 1 West Boise-Meridian, Ada County, Idaho being more particularly described as follows:

Commencing at the SE corner of said Section 13 from which the S 1/4 corner of said Section 13 bears North 88°45'38" West, 2630.90 feet;
thence along the South boundary line of said Section 13 North 88°45'38" West, 973.49 feet
thence leaving said South boundary line North 00°11'35" East, 48.01 feet to a point on the North right-of-way line of E. Deer Flat Road, said point being the Real Point of Beginning;
thence continuing North 00°11'35" East, 925.33 feet to a point on the centerline of the Kuna Canal;
then along the centerline of the Kuna Canal the following 3 courses and distances:
thence 151.82 feet along the arc of a non-tangent curve to the right, said curve having a radius of 500.00 feet, a central angle of 17°23'51" and a long chord which bears South 79°28'45" East, 151.24 feet;
thence South 70°46'49" East 554.68 feet;
thence 267.30 feet along the arc of a non-tangent curve to the right, said curve having a radius of 700.00 feet, central angle of 21°52'45" and a long chord which bears South 59°50'27" East, 265.68 feet to a point on the East right-of-way line of N. Meridian Road (SH 69);
thence along said East right-of-way line the following 4 courses and distances:
thence South 00°11'35" West, 78.47 feet;
thence North 89°48'25" West, 20.00 feet;
thence South 00°11'35" West, 290.00 feet;
thence South 01°33'25" West, 219.77 feet to a point on the North right-of-way line of E. Deer Flat Road;
thence along said North right-of-way line the following 2 courses and distances:
thence South 70°33'25" West, 35.49 feet;
thence North 88°45'38" West, 844.81 feet to the Real Point of Beginning.



Neighborhood Meeting Certification

PO Box 13 | 751 W 4th Street | Kuna, ID 83634
(208) 922-5274 | www.KunaCity.ID.gov



You **must** conduct a Neighborhood Meeting **prior** to submission of an application for Annexation; Rezone; Special Use Permit; Subdivision; and Variance. Please see Kuna City Code 5-1A-2 for more information or contact the Planning & Zoning Department at (208) 922-5274.

The Neighborhood Meeting Certification packet includes the following:

- Neighborhood Meeting Certification – This acts as quick reference information regarding your project.
- Sign-in Sheet – This provides written record of who attended your Neighborhood Meeting.
- Neighborhood Meeting Minutes – Provides space in which to record the items discussed and any concerns attendees may have.

A Neighborhood Meeting cannot take place more than two (2) months prior to acceptance of the application and an application will not be accepted before the meeting is conducted. You are required to mail written notification of your meeting, allowing at least fourteen (14) days before your meeting for property owners to plan to attend. **Contacting and/or meeting individually with property owners will not fulfill Neighborhood Meeting requirements.** You may request a 300' property owners mailing list by completing the Neighborhood Meeting Mailing List Request form located under Forms & Applications on the City of Kuna website.

Neighborhood Meetings must be held on either a weekend between 10:00 Am & 7:00 PM, or a weekday between 6:00 PM & 8:00 PM. The meeting **cannot** be conducted on holidays, holiday weekends, or the day before/after a holiday or holiday weekend. The meeting must be held at one of the following locations:

- Subject property;
- Nearest available public meeting place (i.e. Libraries, Community Centers, etc.); or
- An office space within a one (1) mile radius of the subject property.

Once you have held your Neighborhood Meeting, please complete this certification form and include with your application along with the Sign-in Sheet, Neighborhood Meeting Minutes & a copy of the notification mailed to attendees.

Description of proposed project: Preliminary plat consisting of 12 commercial lots on
approximately 16.26 acres at the NW corner of Meridian and Deer Flat Roads.

Date of Meeting: 5/18/22 Time: 6:00 PM

Meeting Location: Kuna Public Library, 457 N. Locust Ave.

Site Information

Location: Section 13 Township 2N Range 1W Total Acres 16.26

Subdivision Name: Paul Bunyan Plaza Lot Block

Address: N. Meridian Rd.

Parcel No(s): S1313449910

Include ALL addresses and parcel numbers for your application.

Current Property Owner

Name: CRMM, LLC

Address: 8942 Spanish Ridge Ave., Las Vegas, NV 89145

Contact Person

Name: Bill Hicks

Business Name (if applicable): _____

Address: 8942 Spanish Ridge, Ave., Las Vegas, NV 89145

Phone: (702) 221-2500 Email: bhicks@newmarketadvisors.com

Applicant

Name: Bill Hicks

Address: 8942 Spanish Ridge Ave., Las Vegas, NV 89145

Phone: (702) 221-2500 Email: bhicks@newmarketadvisors.com

I, Ben Thomas, certify that a Neighborhood Meeting was conducted at the time and location noted on this form in accordance with Kuna City Code 5-1A-2.

Applicant Signature:  Date: 6/14/22

SIGN-IN SHEET

Project Name: Paul Bunyan Plaza

	Name	Address	Phone
1	Bill Hawks	80 Pristine	702 501 8001
2	Fred Hansen	4111 N Barney	702-374-3580
3	Ken LeDuc	Sterling Ranch	-
4	Armen Sarkisian		702-267-7371
5			
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NEIGHBORHOOD MEETING MINUTES

Meeting Date: 5/18/22 Number of Attendees: 5

Location: Kuna City Library

Project Description: Commercial subdivision at the NW corner of Meridian & Deer Flat

Attendee Comments or Concerns: _____

One question about the increased traffic on Deer Flat. We agreed to share the traffic study which identifies the estimated traffic flows.

I, _____, hereby certify the above information and the information provided within these forms is true, complete and correct to the best of my knowledge.

Applicant Signature: _____ Date: _____



COMMITMENT TO PROPERTY POSTING

PO Box 13 | 751 W 4th Street | Kuna, ID 83634
(208) 922-5274 | www.KunaCity.ID.gov



Per Kuna City Code (KCC) 5-1A-8, the Applicant, for all applications requiring a Public Hearing, shall post the subject property *not less than ten (10) days prior to the hearing*. The Applicant shall post a copy of the Public Hearing notice on the property under consideration; all posting must be in substantial compliance.

The Applicant shall submit proof of property posting in the form of a notarized statement and a photograph of the posting to the Planning and Zoning Department *no later than seven (7) days* prior to the Public Hearing, attesting to where and when the sign(s) were posted. Unless such certificate is received by the required date, the hearing will be continued to the next available date, as scheduling permits.

The signs shall be removed no later than three (3) days after the end of the Public Hearing for which the sign(s) had been posted.

Print Name: Ben Thomas

Signature: 

Date: 6/14/22

Ben Thomas

From: Sub Name Mail <subnamemail@adacounty.id.gov> on behalf of Sub Name Mail
Sent: Tuesday, May 24, 2022 12:05 PM
To: Ben Thomas
Cc: Gregory Carter (gcarter@idahosurvey.com)
Subject: RE: Paul Bunyan Plaza Subdivision Name Reservation

May 24, 2022

Greg Carter, Idaho Survey Group
Ben Thomas, Civil Innovations

RE: Subdivision Name Reservation: **PAUL BUNYAN PLAZA SUBDIVISION**

At your request, I will reserve the name **Paul Bunyan Plaza Subdivision** for your project. I can honor this reservation only as long as your project is in the approval process. Final approval can only take place when the final plat is recorded.

This reservation is available for the project as long as it is in the approval process unless the project is terminated by the client, the jurisdiction or the conditions of approval have not been met, in which case the name can be re-used by someone else.

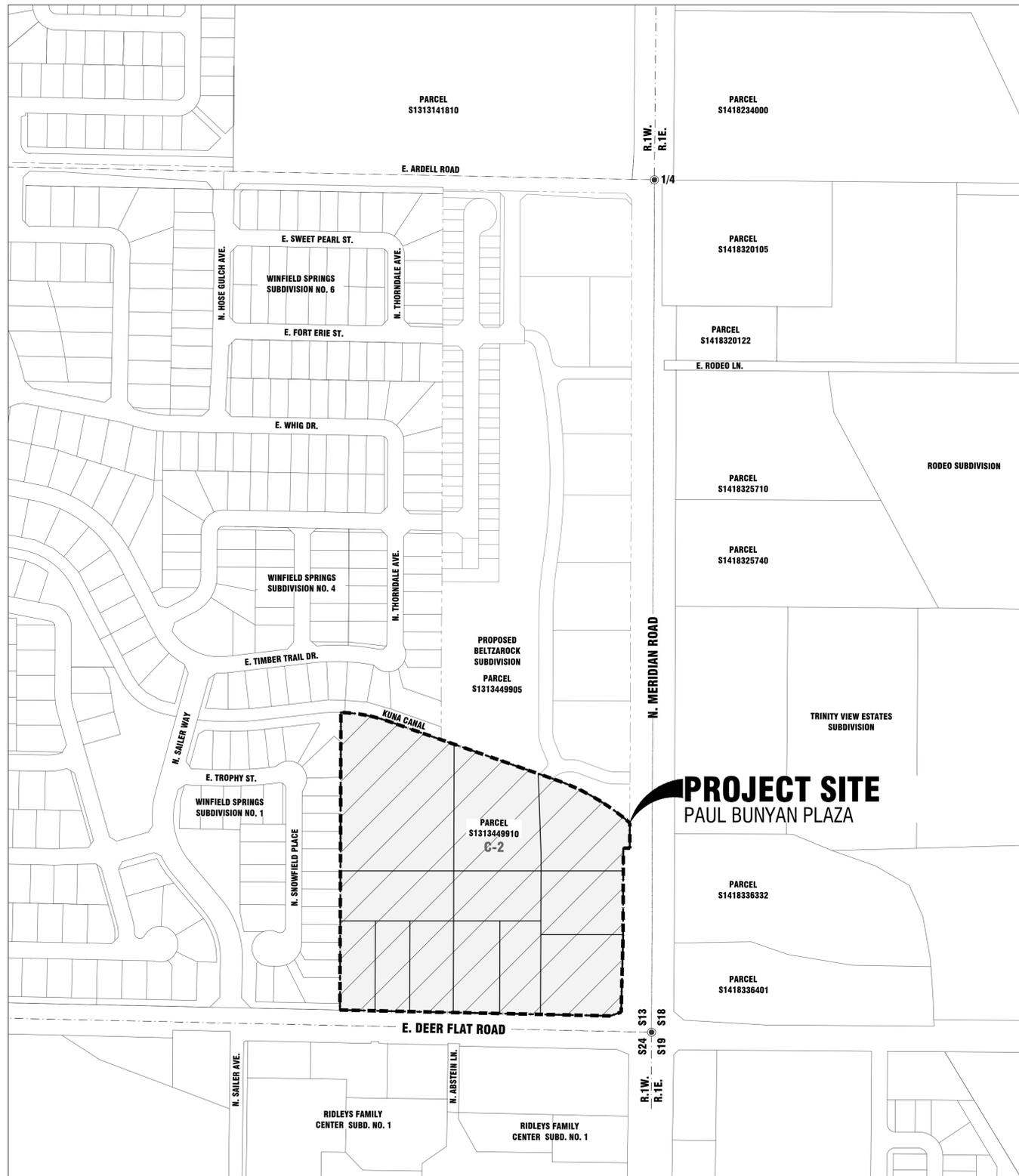
Sincerely,



Glen Smallwood
Surveying Technician
Ada County Development Services
200 W. Front St., Boise, ID 83702
(208) 287-7926 *office*
(208) 287-7909 *fax*

PAUL BUNYAN PLAZA - PRELIMINARY PLAT

KUNA, IDAHO - 2022



PROPOSED LEGEND

- BOUNDARY LINE
- RIGHT-OF-WAY LINE
- CENTERLINE
- PROPERTY LOT LINE
- ZERO PROPERTY LOT LINE
- ZONE BOUNDARY
- ZONE DESIGNATION
- PROPOSED VERTICAL CURB
- PROPOSED ROLLED CURB
- PROPOSED VERTICAL TO ROLLED CURB TRANSITION SECTION
- PROPOSED STREET LIGHT
- DIRECTION OF SURFACE FLOW
- PROPOSED SEEPAGE BED WITH MONITORING WELLS
- PROPOSED DROP INLET
- PROPOSED STORM DRAIN LINE AND MANHOLE
- PROPOSED GRAVITY IRRIGATION LINE AND BOX
- PROPOSED PRESSURE IRRIGATION LINE AND VALVE
- PROPOSED WATER LINE AND VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED SANITARY SEWER LINE AND MANHOLE

EXISTING LEGEND

- EXISTING PROPERTY LOT LINE
- EXISTING EDGE OF GRAVEL
- EXISTING TOP OF BANK
- EXISTING TOE OF BANK
- EXISTING DITCH FLOW LINE
- EXISTING OVERHEAD POWER W/ POLE
- EXISTING UNDERGROUND GAS
- EXISTING UNDERGROUND TELEPHONE
- EXISTING FENCE
- EXISTING VERTICAL CURB
- EXISTING ROLLED CURB
- EXISTING 9' CONTOUR
- EXISTING 1' CONTOUR
- EXISTING DROP INLET
- EXISTING STORM DRAIN LINE AND MANHOLE
- EXISTING GRAVITY IRRIGATION LINE
- EXISTING PRESSURE IRRIGATION LINE AND VALVE
- EXISTING WATER LINE AND VALVE
- EXISTING FIRE HYDRANT
- EXISTING SEWER LINE AND MANHOLE
- EXISTING STREET LIGHT
- EXISTING ROAD SIGN
- EXISTING SPRINKLER BOX
- EXISTING POWER JUNCTION BOX
- EXISTING TELEPHONE RISER
- EXISTING DECIDUOUS TREE
- EXISTING EVERGREEN TREE
- EXISTING GAS MARKER
- EXISTING GAS VALVE

1 VICINITY MAP

SCALE: 1" = 200'

2 SHEET INDEX

1 OF 3	C.100	TITLE SHEET
2 OF 3	C.200	PRELIMINARY PLAT
3 OF 3	C.300	PRELIMINARY SITE PLAN

3 SITE DATA

BUILDABLE LOTS	12
TOTAL AREA	16,255 AC
MINIMUM LOT SIZE	30,297 S.F.
AVERAGE LOT SIZE	59,006 S.F.

4 CONSTRUCTION CONTACT INFORMATION

ENGINEER	DEVELOPER	SURVEYOR
CIVIL INNOVATIONS, PLLC CONTACT: BEN THOMAS 1043 E. PARK BLVD. STE 101 BOISE, ID 83712 PHONE: (208) 884-8181	BILL HICKS 5245 S. DURANGO DR. LAS VEGAS, NV 89113 PHONE: (702) 221-2500	IDAHO SURVEY GROUP CONTACT: GREG CARTER, PLS 9955 W. EMERALD ST. BOISE, ID 83704 PHONE: (208) 846-8570

5 BENCH MARK AND DATUM DATA

DATUM DATA
HORIZONTAL: NAD 83 (ADJUSTED TO THE ADA COUNTY H.A.R.N SURVEY)
VERTICAL: NAVD 88

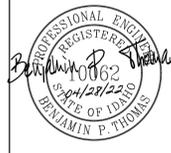
6 PRELIMINARY PLAT NOTES

- MINIMUM BUILDING SETBACK LINES SHALL CONFORM TO THE APPLICABLE ZONING REGULATIONS OF THE CITY OF KUNA AT THE TIME OF ISSUANCE OF A BUILDING PERMIT.
- ANY RE-SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS OF THE CITY OF KUNA IN EFFECT AT THE TIME OF RE-SUBDIVISION.
- IRRIGATION WATER WILL BE PROVIDED BY THE CITY OF KUNA IN COMPLIANCE WITH IDAHO CODE SECTION 31-3805(1)(B). ALL LOTS WITHIN THIS SUBDIVISION WILL BE ENTITLED TO IRRIGATION RIGHTS AND WILL BE OBLIGATED FOR ASSESSMENTS FROM CITY OF KUNA.
- MAINTENANCE OF ANY IRRIGATION, DRAINAGE PIPE OR DITCHES CROSSING A LOT IS THE RESPONSIBILITY OF THE LOT OWNER UNLESS SUCH RESPONSIBILITY IS ASSUMED BY AN IRRIGATION/DRAINAGE ENTITY. SUCH LOTS MUST REMAIN FREE OF ENCROACHMENTS AND OBSTRUCTIONS TO SAID IRRIGATION/DRAINAGE FACILITIES.
- THIS DEVELOPMENT RECOGNIZES SECTION 22-4503 OF THE IDAHO CODE, RIGHT TO FARM ACT, WHICH STATES: "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION, FACILITY OR EXPANSION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF."
- ALL LOT LINES COMMON TO THE PUBLIC RIGHTS-OF-WAY CONTAIN A 14.00 FOOT WIDE EASEMENT, UNLESS OTHERWISE DIMENSIONED, FOR PUBLIC UTILITIES, CITY OF KUNA IRRIGATION AND LOT DRAINAGE. THIS EASEMENT SHALL NOT PRECLUDE THE CONSTRUCTION OF HARD-SURFACED DRIVEWAYS AND WALKWAYS TO EACH LOT.
- UNLESS OTHERWISE DIMENSIONED, ALL LOT LINES COMMON TO THE SUBDIVISION BOUNDARY AND ALL REAR LOT LINES CONTAIN A 10.00 FOOT WIDE EASEMENT FOR PUBLIC UTILITIES, CITY OF KUNA IRRIGATION AND LOT DRAINAGE.
- LOTS SHALL NOT BE REDUCED IN SIZE WITHOUT PRIOR APPROVAL FROM THE HEALTH AUTHORITY AND THE CITY OF KUNA.
- THIS SUBDIVISION WILL BE SUBJECT TO THE COVENANTS, CONDITIONS AND RESTRICTIONS THAT ARE TO BE FILED FOR RECORD AT THE ADA COUNTY RECORDERS OFFICE.
- A PORTION OF LOTS 1, 2 AND 3, BLOCK 1 AS SHOWN HEREON ARE SUBJECT TO AN EXISTING BOISE PROJECT BOARD OF CONTROL EASEMENT FOR OPERATION AND MAINTENANCE OF THE KUNA CANAL.
- NO LOTS WITHIN THIS SUBDIVISION SHALL BE ALLOWED TO TAKE DIRECT ACCESS FROM N. MERIDIAN ROAD.

GENERAL INFORMATION

IRRIGATION DISTRICT: BOISE KUNA IRRIGATION DISTRICT, NEW YORK IRRIGATION DISTRICT
SCHOOL DISTRICT: KUNA
FIRE DISTRICT: KUNA
SEWER PROVIDER: CITY OF KUNA
WATER PROVIDER: CITY OF KUNA

CIVIL INNOVATIONS, PLLC
1043 E. PARK BLVD. STE 101
BOISE, ID 83712
PHONE: (208) 884-8181
www.civil-innovations.com



THESE DRAWINGS, OR ANY PORTION OR EXTENSION THEREOF, SHALL NOT BE USED OR REPRODUCED ON ANY PROJECT WITHOUT WRITTEN CONSENT FROM CIVIL INNOVATIONS, PLLC

NO.	DESCRIPTION	BY	DATE

PAUL BUNYAN PLAZA
KUNA, IDAHO

TITLE SHEET

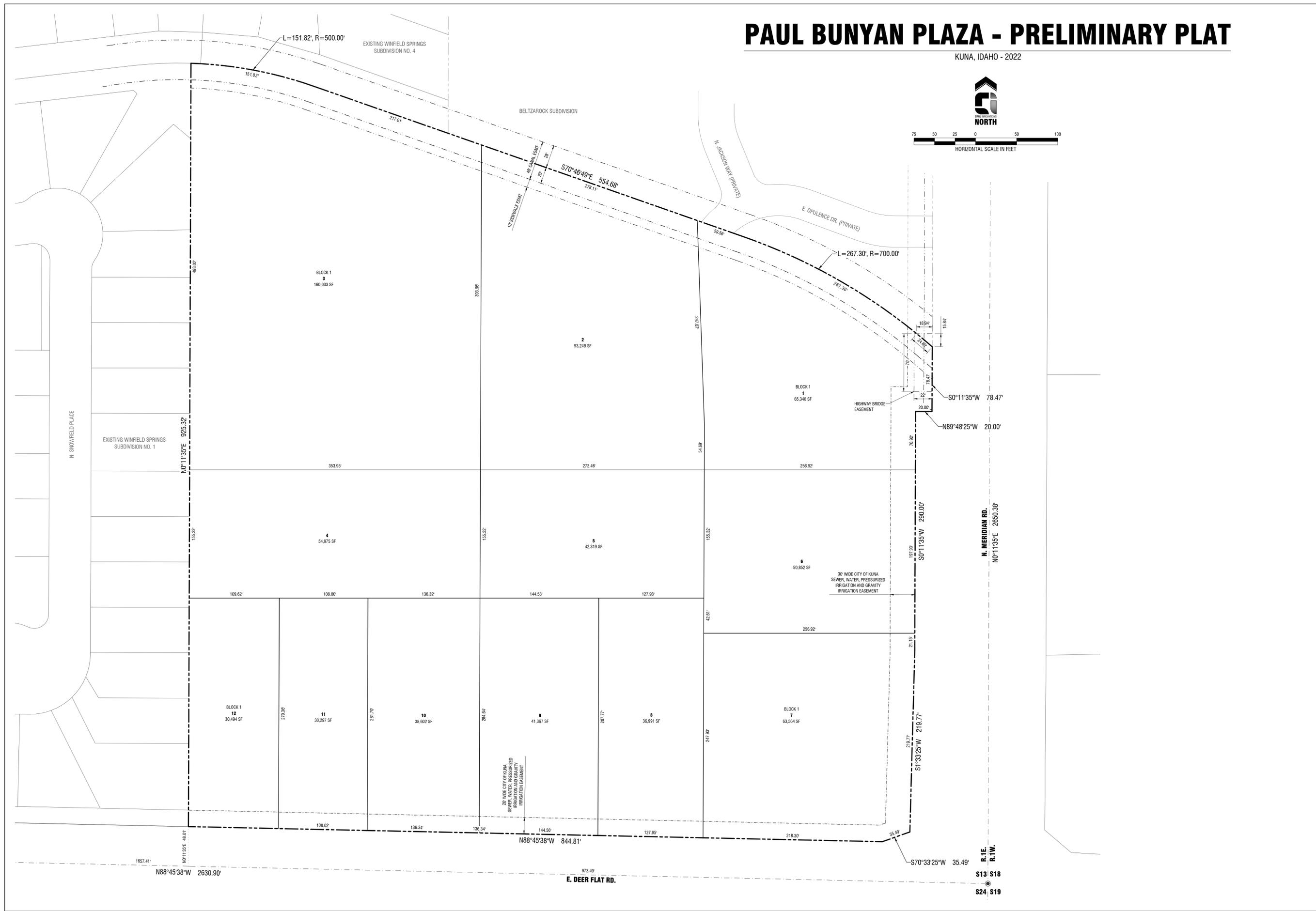
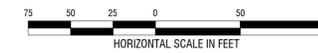
PROJECT NO.	22-0128-KRC
DWG FILE	C.100
DESIGNED BY	BT
DRAWN BY	JTA
CHECKED BY	BT
ISSUE DATE	04/28/22
HORIZ. SCALE	AS SHOWN
VERT. SCALE	AS SHOWN

C.100

SHEET 1 OF 3

PAUL BUNYAN PLAZA - PRELIMINARY PLAT

KUNA, IDAHO - 2022



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PAUL BUNYAN PLAZA
KUNA, IDAHO

PRELIMINARY PLAT

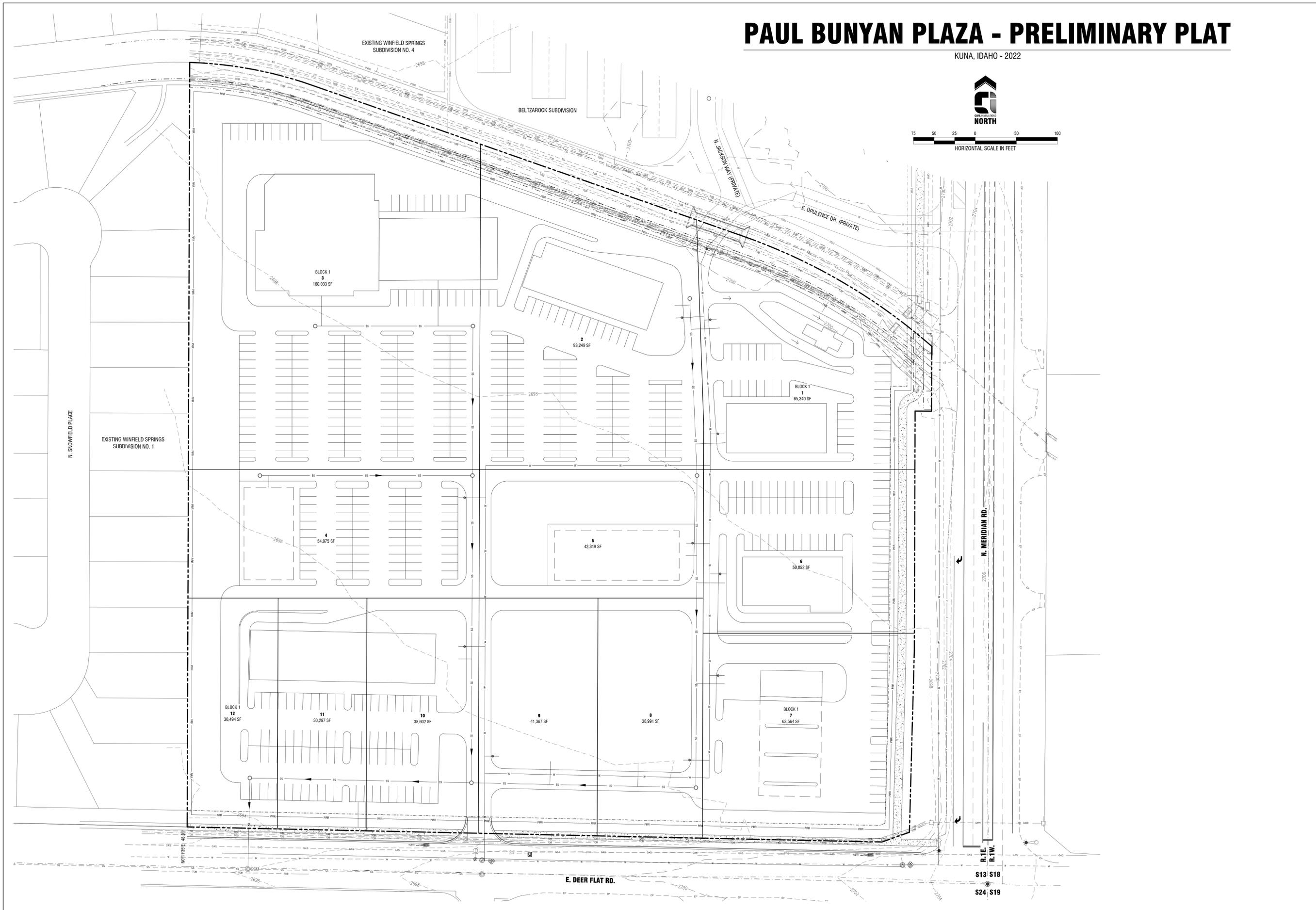
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DWG FILE	C.200
DESIGNED BY	BT
DRAWN BY	JTA
CHECKED BY	BT
ISSUE DATE	04/28/22
HORIZ. SCALE	AS SHOWN
VERT. SCALE	AS SHOWN

C.200

SHEET 2 OF 3

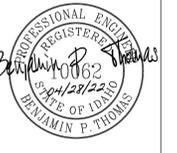
PAUL BUNYAN PLAZA - PRELIMINARY PLAT

KUNA, IDAHO - 2022



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NO.	DESCRIPTION	BY	DATE

PAUL BUNYAN PLAZA

KUNA, IDAHO

PRELIMINARY SITE PLAN

PROJECT NO.	22-0128-KRC
DWG FILE	C.300
DESIGNED BY	BT
DRAWN BY	JTA
CHECKED BY	BT
ISSUE DATE	04/28/22
HORIZ. SCALE	AS SHOWN
VERT. SCALE	AS SHOWN

C.300

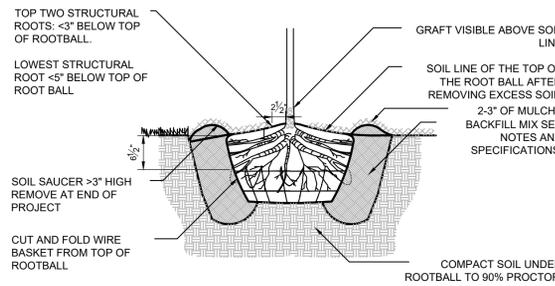
SHEET 3 OF 3

LANDSCAPE NOTES:

1. REGULATIONS & STANDARDS
 - 1.1. All contractor work shall be conducted in accordance with ISPWC (Idaho Standard Public Works Construction), 2022 (or most recent published); and City of KUNA, ID codes, standards and state and local regulations.
2. EXISTING CONDITIONS
 - 2.1. All utilities shall be located prior to construction and protected. Any damage to structures, utilities or concrete will be replaced at contractor's expense.
 - 2.2. The site has many existing improvements such as underground utilities, curb and gutter, light poles and sidewalks.
 - 2.3. See Engineer's plans for information about existing features.
 - 2.3.1. Refer to civil plans for all existing and/or proposed drainage pipes & locations, utilities. Protect all drainage at all times, protect all utilities at all times.
3. GRADING & SITE PREPARATION
 - 3.1. Prepare finish grades for planting by grubbing and removing weeds. If necessary apply Round-Up (or equivalent herbicide), using a certified applicator. Remove rocks and other materials over 2".
 - 3.2. All gravel overprep to be removed and disposed of off site.
 - 3.3. Finish grade to be smooth transition to allow for entire site to be a natural flowing space.
 - 3.4. Fine grade lawn areas to elevations set by Engineer's plans with positive drainage away from structures.
 - 3.5. Refer to Engineer's plans for grading information & for all drainage pipes and locations. Protect and retain drainage at all times.
 - 3.6. No pooling or standing water will be accepted per industry standards.
4. SOILS
 - 4.1. Lawn areas shall receive 12" min depth of screened topsoil.
 - 4.2. All planter beds shall receive 18" min depth of screened topsoil.
 - 4.3. Reuse of existing topsoil that has been stockpiled on site is permitted if:
 - 4.3.1. Topsoil is tested and analyzed to ensure a proper growing medium. Provide additional amendments as determined by soil tests.
 - 4.3.2. Topsoil is to be loose, friable sandy loam that is clean and free of toxic materials, noxious weeds, weed seeds, rocks, grass or other foreign materials.
 - 4.3.3. Topsoil shall have a pH of 6.5 to 8.0.
 - 4.3.4. If on site topsoil does not meet these minimum standards contractor is responsible for providing approved imported topsoil or improving onsite topsoil per the approval of the project manager.
 - 4.4. If imported topsoil is used it must be from a local source and be screened free of any debris or foreign matter. Topsoil must not contain rocks, sticks, lumps, or toxic matter and has a pH of 6.5-8.0.
 - 4.5. Smooth, compact, and fine grade topsoil in lawn areas to smooth and uniform grade .5" below adjacent surfaces.
 - 4.6. Amend all new plantings with 2 parts topsoil, 1 part compost.
5. LAWN AREAS
 - 5.1. Sodded lawn to be tall turf-type fescue, or approved other.
 - 5.2. Sodded lawn to be regionally/locally harvested, lay sod within 24 hours of harvesting.
 - 5.3. Lay sod to form a solid mass with offset, tightly fitted joints on even grades.
 - 5.4. Any existing lawn that is damaged shall be replaced with sodded lawn of the same type of existing lawn.
 - 5.5. All lawn areas adjacent to planter beds, gravel areas, or aggregate pathways shall have 4" black steel edging installed per manufacturer recommendations. Other applications to be approved by owner and landscape architect.
 - 5.6. Lawn adjacent to buildings, structures shall be a minimum of 18" away from foundations. Lawn adjacent to fences or other screening elements shall be a minimum of 9" away.
 - 5.6.1. Install 3/4" chips or other approved gravel mulch type in mow strip at a depth of 3" over commercial grade weed barrier fabric installed per manufacturer recommendations.
 - 5.7. Provide tree rings with a minimum 3" diameter around all trees located in lawn, mulch type & installation/application to match all other planter beds.
6. PLANTER BED MULCH
 - 6.1. All planter beds to receive 3" depth of black & tan mini rock mulch or approved equal, submit for approval prior to placement. Install over commercial grade weed barrier fabric per manufacturer recommendations.
7. PLANTS
 - 7.1. All plant material shall be installed per industry standards.
 - 7.2. All plant material shall meet or exceed the minimum federal standards as regulated by ANSI Z60.1, American Standard for Nursery Stock. Plants not meeting these standards for quality, or plants determined to be unhealthy by Owner's representative, will be rejected.
 - 7.3. All Ball and Burlap trees to be installed per Balled and Burlapped planting detail. All shrubs to be installed per detail.
 - 7.4. Trees and shrubs over 30" shall not be planted within clear vision triangles.
 - 7.5. Fertilize all trees and shrubs with 'Agriform' planting tablets or approved equal. Apply per manufacturers recommendations.
8. IRRIGATION
 - 8.1. Irrigation system shall be built to the following specifications:
 - 8.2. Adhere to city codes when connecting to city water.
 - 8.3. All irrigation material to be new with manufacturers' warranty fully intact.
 - 8.4. Install outdoor rated controller in specified location on plan, in a lock box with 2 keys. Coordinate with project manager and general contractor on exact location.
 - 8.4.1. Controller to have On/Off rain switch or rain shut off device that does not alter program.
 - 8.5. All remote control valves (including master control valve) to have flow control device.
 - 8.6. Irrigation system piping to be minimum class 200 PVC or approved equal, sleeves to be double the size of pipes located within, all wires to be contained in separate sleeves 1-1/2" dia min.
 - 8.7. All pipe above 3" caliber to be gasketed, with approved joint restraints at all 45, TEE, ELL, Z, 11.
 - 8.8. Use common trenching where possible.
 - 8.9. All PVC located under hardscapes to be schedule 40 PVC with same req's as above.
 - 8.10. All wires to be Paige wire 7350 or 7351 direct bury wire at a minimum of 12" below finished grade.
 - 8.11. Connect mainline to point of connection in approximate location shown on plan.
 - 8.12. Contractor is responsible complying with all codes and paying all permits necessary.
 - 8.13. Sprinkler heads shall have matched precipitation within each control circuit. Velocities shall not exceed 5 feet per second.
 - 8.14. All drip irrigation to be buried 2" below finished grade.
 - 8.15. Water schedule to be provided at a min of 80% evapotranspiration as determined by the local ET.
 - 8.16. Install all irrigation per irrigation drawings, utilize material specified or approved equal.
 - 8.17. Contractor shall confirm the static water pressure at least five days before construction begins and to contact the landscape architect in writing if the pressure is below 80 psi.
 - 8.18. If any discrepancies are found, then local codes shall prevail.
9. CONTRACTOR RESPONSIBILITIES
 - 9.1. Estimated quantities are shown for general reference only. Contractor shall be responsible for all quantity estimates.
 - 9.2. All plant material and workmanship shall be guaranteed for a period of one year beginning at the date of Acceptance by Owner. Replace all dead or unhealthy plant material immediately with same type and size at no cost to Owner.
 - 9.3. Landscape contractor to turn in as built drawings at the end of project. Substantial completion will not be granted until 2 copies @ 1"=20' scale are turned in and approved by owner's representative.
10. In the event of a discrepancy, notify the Landscape Architect immediately.

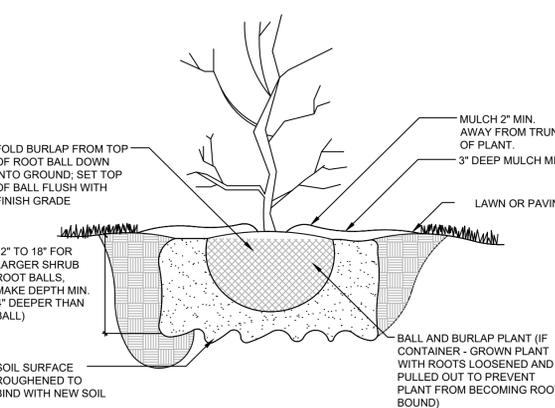
NOTES:

1. DO NOT DAMAGE OR CUT LEADER
2. DO NOT DISTURB ROOT OR DAMAGE ROOT BALL WHEN INSTALLING TREE OR TREE STAKES.
3. TREE STAKING SHALL BE AT THE DISCRETION OF CONTRACTOR. HOWEVER ANY TREES DISTURBED FROM PLUMB DURING THE PLANT WARRANTY PERIOD WILL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
4. WATER PLANTS THOROUGHLY IMMEDIATELY AFTER INSTALLATION.
5. REMOVE ALL BURLAP, TWINE, ROPE, OR MATERIAL FROM THE TOP OF THE ROOTBALL.
6. 5" DIAMETER PLANTER BED/MULCH RING AROUND THE TRUNK OF THE TREE. 3" OF MULCH MIN. DO NOT PLACE MULCH WITHIN 2" OF TRUNK OF TREE.

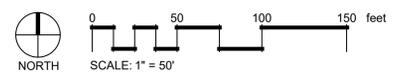
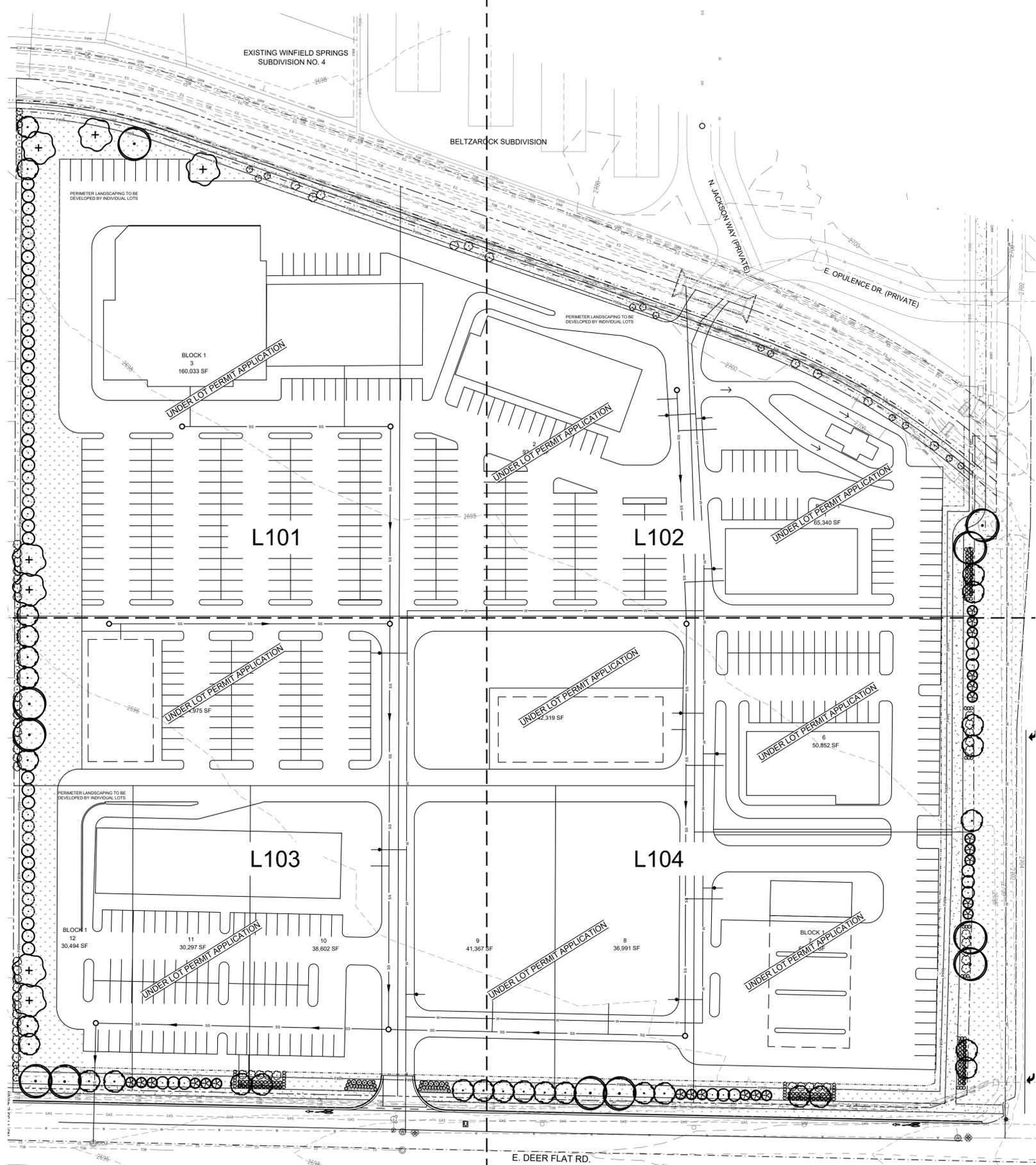


1 BALL & BURLAP TREE PLANTING
3/4" = 1'-0" 3293-01

- NOTE: REMOVE ALL TAGS, TWINE OR OTHER NON BIODEGRADABLE MATERIALS ATTACHED TO PLANT OR ROOT MASS.
- BACKFILL SHALL BE 100% TOPSOIL. WATER SETTLE ALL PLANTINGS TO ENSURE PLANT ROOTBALL MAINTAINS 1/2" HEIGHT ABOVE EXISTING SOILS WHEN COMPLETE.



2 SHRUB PLANTING
1" = 1'-0" 329333-03



STACK ROCK GROUP
LANDSCAPE ARCHITECTURE & MASTER PLANNING

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404 S 8th St. #154
Boise, ID 83702
StackRockGroup.com

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STATE OF IDAHO
WILLET C. HOWARD
LA-16733
08.07.22
LANDSCAPE ARCHITECT

NOT FOR CONSTRUCTION

PAUL BUNYAN PLAZA

KUNA, IDAHO

REVISIONS

MRK	DATE	Description
▲	**	**

JOB NO:
DATE: 06.07.22
DRAWN BY: JB
CHECKED BY: JB

DRAWING TITLE

LANDSCAPE OVERVIEW

SHEET NUMBER

L100



STACK ROCK GROUP
 LANDSCAPE ARCHITECTURE & MASTER PLANNING
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 KUNA, IDAHO

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JOB NO:
 DATE: 06.07.22
 DRAWN BY: JB
 CHECKED BY: JB

DRAWING TITLE

LANDSCAPE PLAN

SHEET NUMBER

L101

H
C
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A

LANDSCAPE REQUIREMENTS:

CODE REQUIREMENTS PER CITY CODE
STREET BUFFER:
 *1 STREET TREE PER 35LF OF ROW
 *2 SHADE TREES, 3 EVERGREEN TREES, 12 SHRUBS PER 100 LF
 *SHD: SHADE
 *CON: CONIFER
 *SHB: SHRUB

STREET NAME	LENGTH (LF)	SHD/CON/SHB REQ'D	SHD/CON/SHB PROV'D
MERIDIAN RD	569	11 / 17 / 68	11 / 17 / 68+
E DEER FLAT RD	893	18 / 27 / 107	18 / 27 / 107+

FUTURE LOT DEVELOPMENT:
 *STREET LANDSCAPE STRIPS (BETWEEN BUILDINGS/ROW): 1 TREE & 5 SHRUBS PER 35LF OF ROW
 *PARKING ISLANDS: 1 TREE & SHRUBS OR VEGETATIVE GROUND COVER EACH

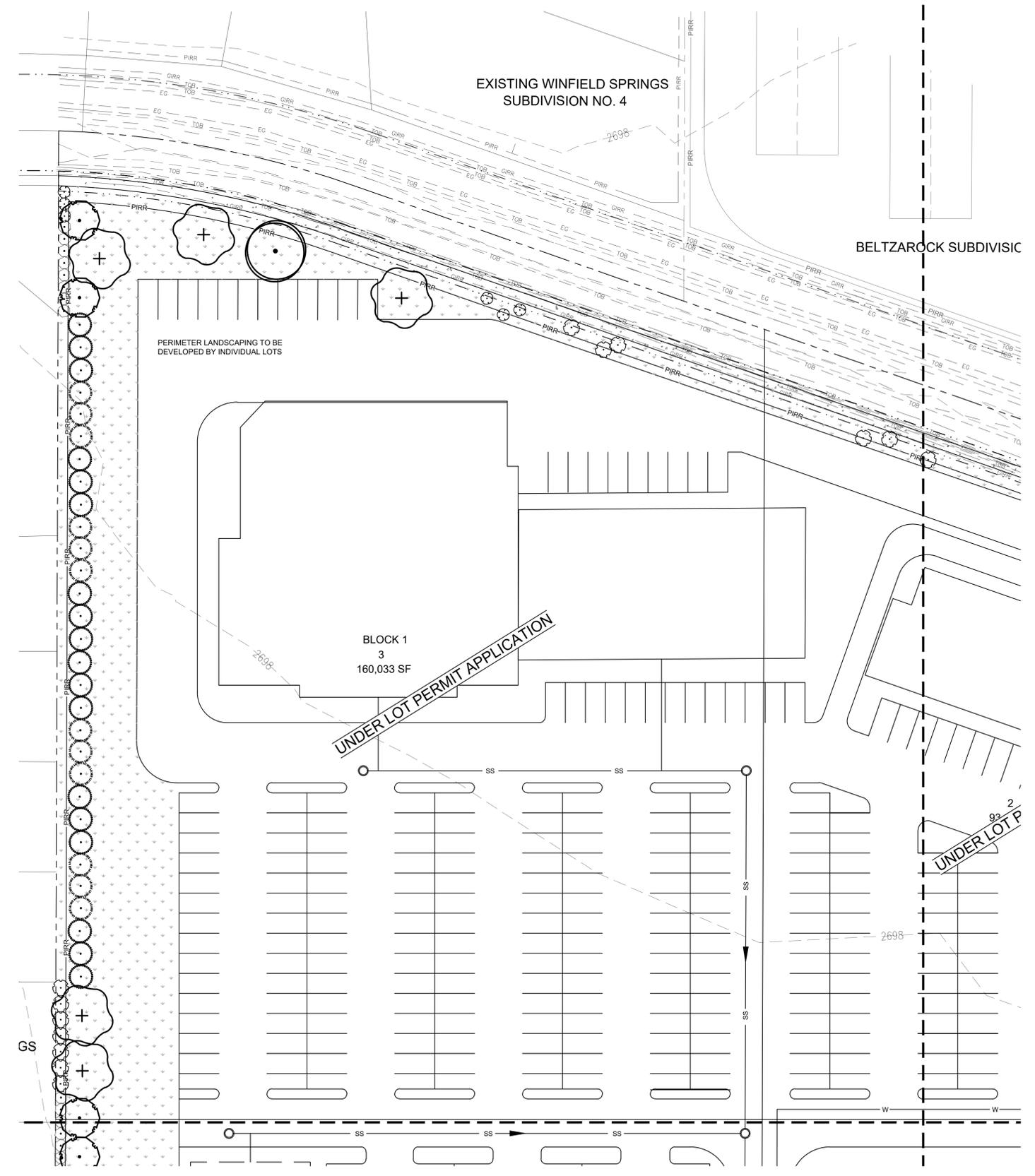
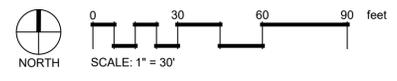
MINIMUM PLANT SIZES:

PLANT TYPE:	MINIMUM SIZE
*EVERGREEN TREES:	6'-0" HT. MIN.
*ORNAMENTAL TREES:	2" CALIPER MIN.
*SHADE TREES:	2" CALIPER MIN.
*WOODY SHRUBS:	2 GAL. MIN.

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
	Acer platanoides 'Columnar Broad' / Parkway Maple	B & B	2" Cal		30	40' h x 25' w, Class II
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	2"		7	50' h x 30' w Class II
	Picea omorika 'Bruns' / Bruns Spruce	B&B		6'-7' H	23	30' h x 10' w
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	B & B		6'-7' H	39	25' h x 12' w
	Pinus nigra 'Oregon Green' / Oregon Green Pine	B & B		6'-7' H	18	20' h x 15' w
	Tilia americana 'Redmond' / Redmond American Linden	B & B	2"		11	50' h x 30' w Class II
SHRUBS	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY	REMARKS
	Forsythia x intermedia 'Mindor' TM / Show Off Forsythia	5 gal			18	5' h x 6' w
	Helictotrichon sempervirens 'Blue Oats' / Blue Oat Grass	2 gal			60	3' h x 3' w
	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender	2 gal			16	3' h x 3' w
	Physocarpus opulifolius 'Monlo' TM / Diabolo Purple Ninebark	2 gal			58	6' H x 10' W
	Pinus mugo 'Mops' / Mops Mugo Pine	5 gal			8	4' h x 5' w
	Prunus laurocerasus 'Otto Luyken' / Otto Luykens English Laurel	2 gal			22	3' h x 6' w
	Rosa x 'Noare' / Flower Carpet Red Groundcover Rose	2 gal			64	3' h x 3' w
	Yucca filamentosa 'Color Guard' / Adam's Needle	5 gal			44	3' h x 4' w

 SODDED LAWN, TALL TURF-TYPE FESCUE





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MRK	DATE	Description
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JOB NO: _____
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 DRAWN BY: JB
 CHECKED BY: JB

DRAWING TITLE
LANDSCAPE PLAN
 SHEET NUMBER
L102

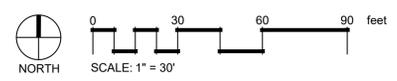
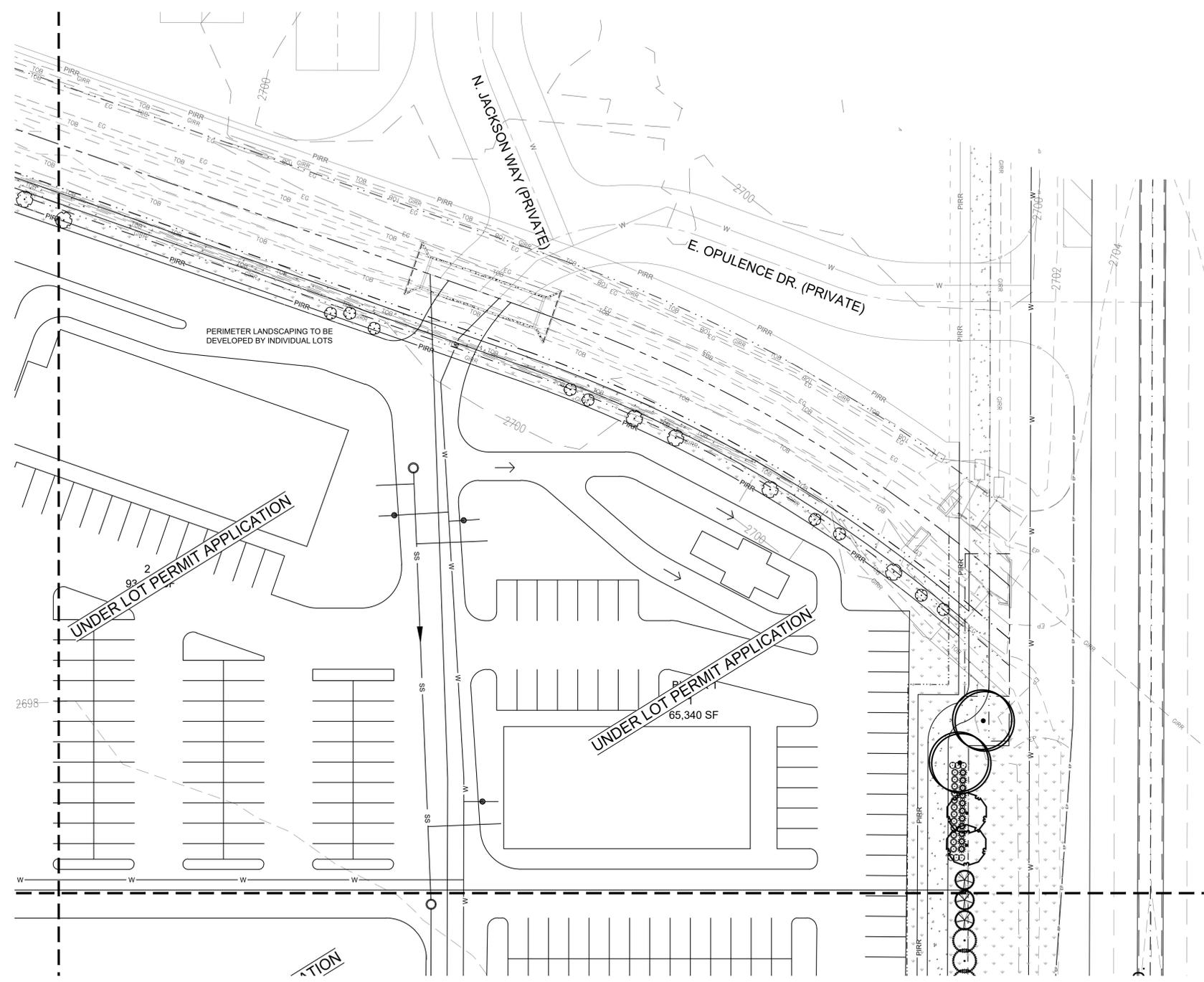
LANDSCAPE REQUIREMENTS:

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STREET BUFFER:
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 *2 SHADE TREES, 3 EVERGREEN TREES, 12 SHRUBS PER 100 LF
 **SHD: SHADE
 *CON: CONIFER
 **SHB: SHRUB
- | STREET NAME | LENGTH (LF) | SHD/CON/SHB REQ'D | SHD/CON/SHB PROV'D |
|----------------|-------------|-------------------|--------------------|
| MERIDIAN RD | 569 | 11 / 17 / 68 | 11 / 17 / 68+ |
| E DEER FLAT RD | 893 | 18 / 27 / 107 | 18 / 27 / 107+ |
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 *STREET LANDSCAPE STRIPS (BETWEEN BUILDINGS/ROW): 1 TREE & 5 SHRUBS PER 35LF OF ROW
 *PARKING ISLANDS: 1 TREE & SHRUBS OR VEGETATIVE GROUND COVER EACH
- MINIMUM PLANT SIZES:**
- | PLANT TYPE: | MINIMUM SIZE |
|--------------------|-----------------|
| *EVERGREEN TREES: | 6'-0" HT. MIN. |
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| *SHADE TREES: | 2" CALIPER MIN. |
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PLANT SCHEDULE

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 SODDED LAWN, TALL TURF-TYPE FESCUE



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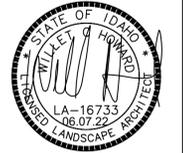
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 KUNA, IDAHO

REVISIONS

MRK	DATE	Description
△	**	**

JOB NO:
 DATE: 06.07.22
 DRAWN BY: JB
 CHECKED BY: JB

DRAWING TITLE

LANDSCAPE PLAN

SHEET NUMBER
L103

LANDSCAPE REQUIREMENTS:

CODE REQUIREMENTS PER CITY CODE

STREET BUFFER:
 *1 STREET TREE PER 35LF OF ROW
 *2 SHADE TREES, 3 EVERGREEN TREES, 12 SHRUBS PER 100 LF
 *SHD: SHADE
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STREET NAME	LENGTH (LF)	SHD/CON/SHB REQ'D	SHD/CON/SHB PROV'D
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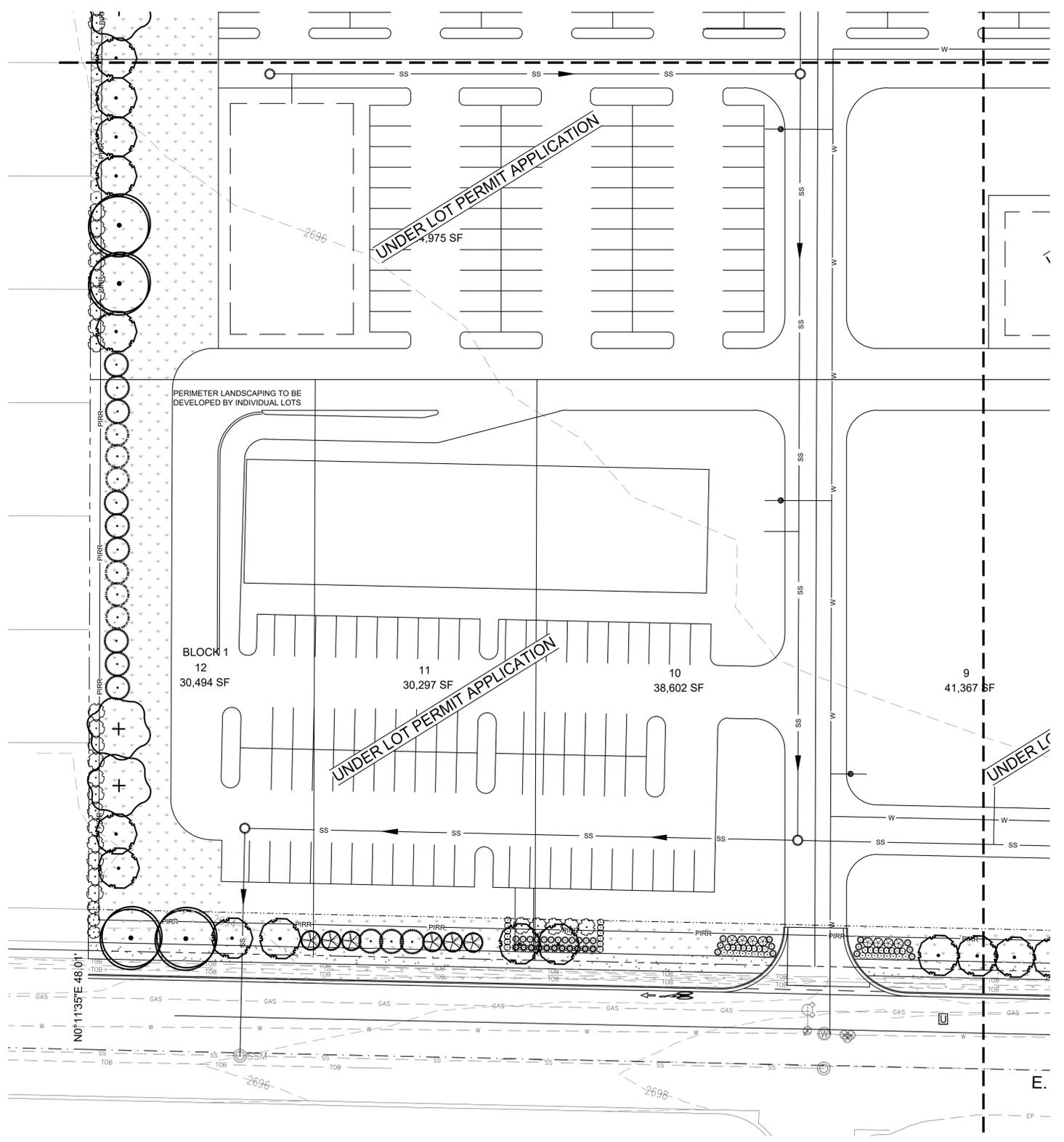
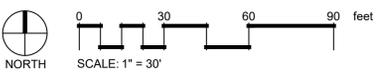
MINIMUM PLANT SIZES:

PLANT TYPE:	MINIMUM SIZE
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*ORNAMENTAL TREES:	2" CALIPER MIN.
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PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
●	Acer platanoides 'Columnar Broad' / Parkway Maple	B & B	2" Cal		30	40' h x 25' w, Class II
+	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	2"		7	50' h x 30' w Class II
⊗	Picea omorika 'Bruns' / Bruns Spruce	B&B		6'-7" H	23	30' h x 10' w
●	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	B & B		6'-7" H	39	25' h x 12' w
●	Pinus nigra 'Oregon Green' / Oregon Green Pine	B & B		6'-7" H	18	20' h x 15' w
●	Tilia americana 'Redmond' / Redmond American Linden	B & B	2"		11	50' h x 30' w Class II
SHRUBS	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY	REMARKS
⊗	Forsythia x intermedia 'Mindor' TM / Show Off Forsythia	5 gal			18	5' h x 6' w
⊗	Helictotrichon sempervirens 'Blue Oats' / Blue Oat Grass	2 gal			60	3' h x 3' w
⊗	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender	2 gal			16	3' h x 3' w
⊗	Physocarpus opulifolius 'Monlo' TM / Diabolo Purple Ninebark	2 gal			58	6' H x 10' W
⊗	Pinus mugo 'Mops' / Mops Mugo Pine	5 gal			8	4' h x 5' w
⊗	Prunus laurocerasus 'Otto Luyken' / Otto Luykens English Laurel	2 gal			22	3' h x 6' w
⊗	Rosa x 'Noare' / Flower Carpet Red Groundcover Rose	2 gal			64	3' h x 3' w
⊗	Yucca filamentosa 'Color Guard' / Adam's Needle	5 gal			44	3' h x 4' w

SODDED LAWN, TALL TURF-TYPE FESCUE



H
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C
B
A

LANDSCAPE REQUIREMENTS:

CODE REQUIREMENTS PER CITY CODE
STREET BUFFER:
 *1 STREET TREE PER 35LF OF ROW
 *2 SHADE TREES, 3 EVERGREEN TREES, 12 SHRUBS PER 100 LF
 *SHD: SHADE
 *CON: CONIFER
 *SHB: SHRUB

STREET NAME	LENGTH (LF)	SHD/CON/SHB REQ'D	SHD/CON/SHB PROV'D
MERIDIAN RD	569	11 / 17 / 68	11 / 17 / 68+
E DEER FLAT RD	893	18 / 27 / 107	18 / 27 / 107+

FUTURE LOT DEVELOPMENT:
 *STREET LANDSCAPE STRIPS (BETWEEN BUILDINGS/ROW): 1 TREE & 5 SHRUBS PER 35LF OF ROW
 *PARKING ISLANDS: 1 TREE & SHRUBS OR VEGETATIVE GROUND COVER EACH

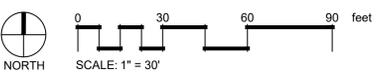
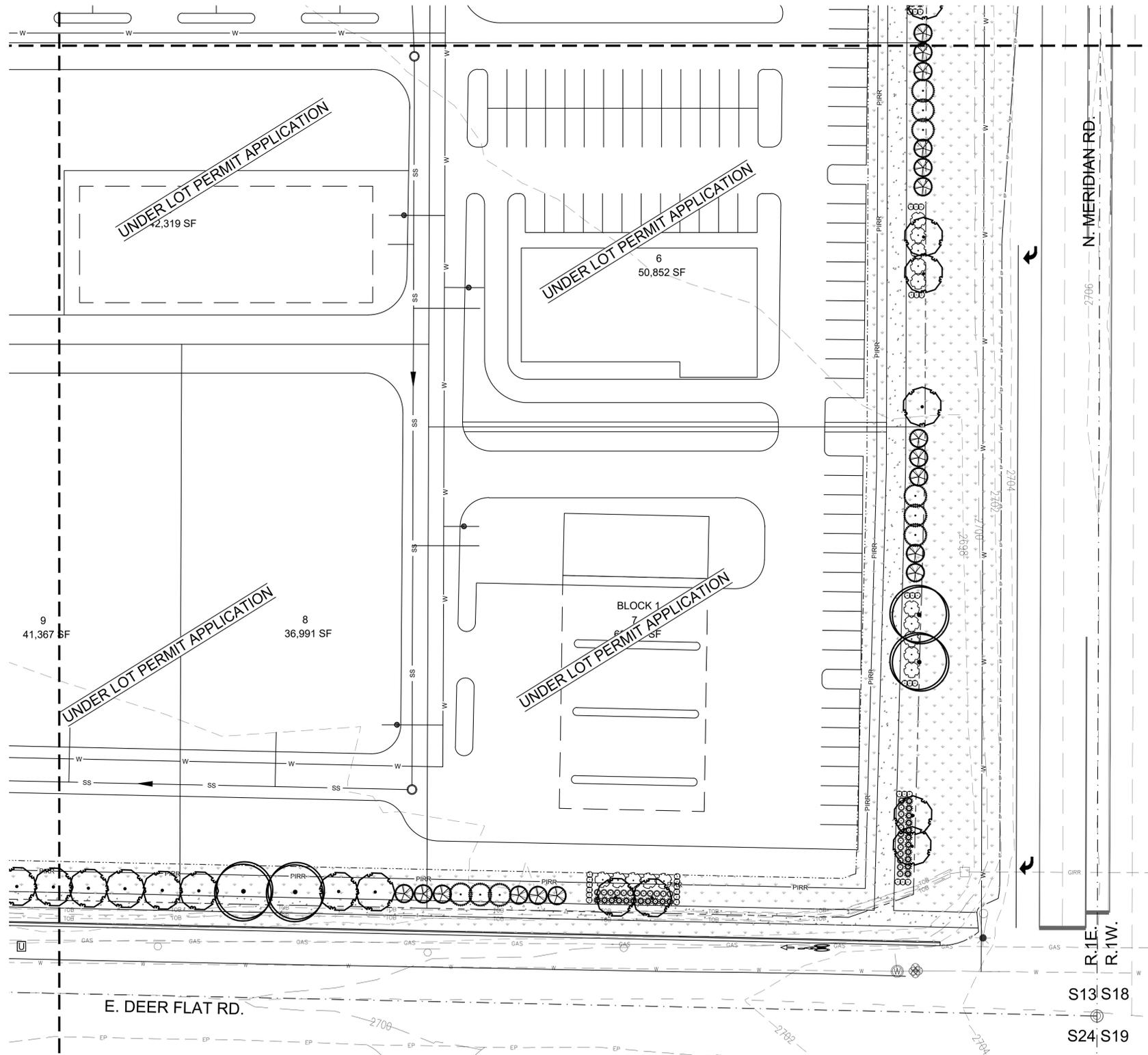
MINIMUM PLANT SIZES:

PLANT TYPE:	MINIMUM SIZE
*EVERGREEN TREES:	6'-0" HT. MIN.
*ORNAMENTAL TREES:	2" CALIPER MIN.
*SHADE TREES:	2" CALIPER MIN.
*WOODY SHRUBS:	2 GAL. MIN.

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
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	Picea omorika 'Bruns' / Bruns Spruce	B&B		6'-7' H	23	30' h x 10' w
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	B & B		6'-7' H	39	25' h x 12' w
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SODDED LAWN, TALL TURF-TYPE FESCUE



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PAUL BUNYAN PLAZA
 KUNA, IDAHO

REVISIONS

MRK	DATE	Description
△	**	**

JOB NO:
 DATE: 06.07.22
 DRAWN BY: JB
 CHECKED BY: JB

DRAWING TITLE

LANDSCAPE PLAN

SHEET NUMBER
L104

TRANSPORTATION IMPACT STUDY

Blackrock Marketplace and Village

February 2022 (updated June 2022)

PREPARED FOR
SH69 North, LLC
199 N. Capitol Boulevard, Suite 200
Boise, ID 83702

PREPARED BY
KITTELSON & ASSOCIATES, INC.
101 S Capitol Boulevard, Suite 600
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Transportation Impact Study

Blackrock Marketplace and Village

Kuna, Idaho

Prepared For:
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199 N. Capitol Boulevard, Suite 200
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Project No. 25746

February 2022 (updated June 2022)



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Section 1
Executive Summary

EXECUTIVE SUMMARY

Kittelsohn & Associates, Inc. (Kittelsohn) has prepared a Transportation Impact Study (TIS) for the proposed Blackrock Marketplace and Village, located on the west side of Meridian Road (SH 69) north of Deer Flat Road, in Kuna, Idaho. The proposed development site is bounded on the west by existing development (the Winfield Springs Subdivision), on the north by Ardell Road, on the south by Deer Flat Road, and on the east by Meridian Road. Figure 1 shows the site vicinity.

The purpose of this study is to evaluate the impact of the proposed development on the transportation system. Kittelsohn prepared this TIS based on conversations with SH69 North, LLC (property developer), Ada County Highway District (ACHD), Idaho Transportation Department (ITD) and Ada County Highway District (ACHD), Community Planning Association of Southwest Idaho (COMPASS), City of Kuna, and our familiarity with the area and with ACHD, City and ITD policies. *Appendix A includes the scope of work and coordination emails with ACHD, ITD and COMPASS and the COMPASS area of influence model run.*

The information presented in this report was developed based on conversations with the developer, a due diligence investigation, and coordination with the Idaho Transportation Department (ITD) and Ada County Highway District (ACHD).

FINDINGS

Existing Conditions

The existing conditions analysis findings are summarized below:

- The study evaluated four existing intersections during the AM and PM peak hours of a typical weekday.
- All study intersections were found to operate at acceptable operating standards during the existing weekday AM and PM peak hours with the exception of:
 - **Deer Flat Road / Meridian Road:** The eastbound left-turn movement was found to be over capacity during both the AM and PM peak hours:
 - Mitigation to acceptable operating standards requires adding a second eastbound left-turn lane creating dual eastbound left-turn lanes.
 - Field observations during the weekday AM peak hour revealed that there is a significant peak in eastbound traffic between approximately 7:20 and 7:40 AM that causes significant eastbound queuing on Deer Flat Road that appears to be partially due to traffic from the nearby high school to the west on Deer Flat Road.
 - This intersection is identified in the ACHD CIP for expansion and reconstruction in the 2031-2035 timeframe.

- The two existing unsignalized intersections that will be across from two of the proposed site driveways have movements that operate at LOS D which ACHD policy requires evaluation of signal warrants. These include:
 - **Site Access B (Future)/ Rodeo Lane / Meridian Road:** The westbound movement operates at LOS D with a V/C ratio of 0.03 during the weekday PM peak hour. The westbound volume was only 1 vehicle in the peak hour and therefore would not meet signal warrants. This intersection is also not planned for a signal by ITD in the draft concepts for the ITD SH-69 corridor plan.
 - **Site Access D (Future) / Ridleys Access / Deer Flat Road:** The northbound movement operates at LOS D with a V/C ratio of 0.68 during the weekday PM peak hour, which meets ACHD V/C thresholds of ≤ 1.00 . Based on discussions with ACHD this intersection is planned to be converted to right-in, right-out (RIRO) and will not be considered for signalization. Therefore, traffic signal warrants were not evaluated. It should be noted that existing queues from Meridian Road currently extend to this intersection for brief periods under existing conditions, these events are not accounted for in the LOS procedures. Therefore, actual operations will be worse than reported during those periods.
- Intersection crash rates at the Ardell Road / Meridian Road intersection and Deer Flat Road / Meridian Road intersection did not indicate an abnormally high number of crashes. More detailed review of the crash characteristics identified the following:
 - **Deer Flat Road / Meridian Road:** A review of the crash data revealed a high percentage of the crashes were between eastbound left-turning traffic and westbound through traffic. This could indicate left-turn drivers may not be yielding to through traffic to the extent they should during the permissive left-turn signal phases.
- All ACHD study roadway segments are projected to operate at acceptable levels of service.

2030 Evaluation Findings

The evaluation included 2030 background and 2030 total traffic conditions. The 2030 findings are summarized below:

2030 Background Conditions

- Year 2030 background traffic volumes were forecasted using a 3.0 percent annual compounded growth rate to the existing traffic volumes for all roadways in the study area, except Ardell Road which a 2.0 percent annual compounded growth rate was applied to existing traffic volumes to account for regional growth in the site vicinity. Additionally,

forecasted trips from the Lee Hubble Development were added on Ardell Road based on the TIS for that development.

- The 2030 analysis evaluated two roadway network scenarios for Ardell Road:
 - **Scenario 1:** Ardell Road remains as in the existing conditions and does not extend across the canal to the west.
 - **Scenario 2:** Ardell Road is connected over the canal to the west by 2030 and provides access to Linder Road.
- The 2030 background traffic analysis (without inclusion of site-generated traffic) found that all study intersections are expected to operate at acceptable operating standards during the weekday AM and PM peak hours, with the exception of the following intersections:
 - **Ardell Road / Meridian Road:** Under Scenario 2 in the PM peak hour, the eastbound approach is over-capacity.
 - ITD has an ongoing corridor study looking at long-term improvements that proposes a Reduced Conflict U-Turn (RCUT) intersection at the Ardell Road / Meridian Road intersection. An RCUT or right-in/right-out/left-in (RIROLI) mitigate this intersection under 2030 background conditions.
 - Improvement of this intersection is projected to be needed in approximately 2025, when approximately 122 additional eastbound PM peak hour trips are added to Ardell Road.
 - **Deer Flat Road / Meridian Road:** In the AM peak hour, the overall intersection V/C exceeds 1.00. The eastbound left turn also exceeds 1.00 in the AM and PM peak hour and the northbound and westbound through movements exceed the ITD V/C ratio threshold of ≤ 0.90 during the AM peak hour.
 - Similar to existing conditions, mitigation requires adding a second eastbound left-turn lane. But without signal timing changes the eastbound left-turn and westbound through movements have V/C ratios that exceed the ITD threshold of ≤ 0.90 . To mitigate to the ITD V/C threshold requires the following additional improvement:
 - A third eastbound left-turn lane.
 - **Site Access D / Ridley's Access / Deer Flat Road:** The northbound movement exceeds capacity in the PM peak hour.
 - Mitigation requires restricting the intersection to RIROLI.
 - This mitigation is projected to be needed in approximately 2029 with approximately 384 additional PM peak hour trips added to the intersection above existing traffic volume levels.

- Discussion with ACHD has indicated that in the long term, restriction of this intersection to RIRO is planned.
- All ACHD study roadway segments are projected to operate at acceptable levels of service with the exception of the following:
 - **Deer Flat Road (Site Frontage):** During the weekday AM peak hour, the single eastbound lane exceeds the ACHD segment threshold volume.
 - Mitigation requires adding a second eastbound through lane on Deer Flat Road.
 - This widening is projected to be needed in approximately 2024/2025 with approximately 70 additional eastbound trips on Deer Flat Road.
 - The ACHD CIP identifies widening of this section of Deer Flat Road in the 2031-2035 timeframe.

Trip Generation and Distribution

- The development is estimated to generate a total of approximately 18,158 daily trips, 778 weekday AM peak hour net new trips (440 inbound / 338 outbound) and 999 weekday PM peak hour net new trips (500 inbound / 499 outbound).
- The distribution pattern for site-generated trips was developed by reviewing the site plan and roadway system and evaluating a select zone analysis created by the COMPASS regional travel demand model.

2030 Total Traffic Conditions

- Year 2030 total traffic conditions found the same intersections not meeting ACHD and ITD requirements as under existing and 2030 background conditions which include the following:
 - **Ardell Road / Meridian Road:** Similar to 2030 background traffic conditions, the eastbound approach exceeds capacity during the weekday PM peak hour. With the site traffic, the intersection also exceeds capacity during the weekday AM peak hour under both Ardell Road scenarios.
 - Mitigation requires one of the following options:
 - **Option 1:** Signalized RCUT intersection
 - **Option 2:** Signalized RIROLI (similar to an RCUT operationally)
 - **Option 3:** Signalized full access with an eastbound left-turn lane.
 - Options 1 and 2 operate at acceptable levels of service and under capacity, but the V/C ratios for the eastbound right-turn and the southbound

- through movements exceed the ITD policy of ≤ 0.90 during the weekday PM peak hour.
- Option 3 (full access signalized intersection) is the only option that meets ITD District 3 operational policy for LOS D and movement V/C ratios < 0.90 .
 - The eastbound movement at the intersection is also projected to exceed capacity during the shoulder peak hour.
 - With development of the site, mitigation is projected to be needed in approximately 2023-2025 at which time approximately 27 percent (55,900 SF) and 21 percent (43,400 SF) of the development is estimated to be completed for Scenarios 1 and 2, respectively.
 - Approximately 122 additional eastbound PM peak hour trips, above existing conditions, can be added to the intersection prior to reaching capacity.
 - Site traffic accounts for approximately 18.8 and 19.8 percent of the total entering traffic during the AM and PM peak hours, respectively for Scenario 1 and 17.4 and 18.3 percent during the AM and PM peak hours, respectively for Scenario 2.
- **Deer Flat Road / Meridian Road:** Similar to 2030 background traffic conditions, the eastbound left turn and southbound right turn movements exceed capacity during the weekday AM and PM peak hours.
- Mitigation requires adding a second eastbound left-turn lane (same as existing and background conditions) to meet ACHD policy of LOS E and V/C ratios for movements of ≤ 1.00 .
 - Further mitigation would be needed to meet ITD policy of LOS D and V/C ratios for movements of ≤ 0.90 . Mitigation to ITD policy would require the following:
 - A third eastbound left-turn lane.
 - A third northbound and southbound through lane.
 - The median U-turn (MUT) intersection configuration identified in the draft SH-69 corridor plan was found to result operations that are under capacity, but some movements are projected to exceed the ITD V/C policy of ≤ 0.90 .
 - The eastbound left-turning movement is also projected to exceed capacity in the shoulder peak hours.
 - Site traffic accounts for approximately 13.5 percent of the total entering traffic during both the weekday AM and PM peak hours.
- **Site Access D / Ridley's Access / Deer Flat Road:** The northbound and southbound approaches at the intersection are projected to exceed capacity during both the

weekday AM and PM peak hours. Additionally, projected eastbound queues from the signal at Meridian Road were estimated to impact the ability to have a westbound left-turn lane into the Ridley's Access. The intersection could be mitigated with the following options:

- **Option 1 - Site Access D RIROLI (Ridley's RIRO):** This option operates acceptably but requires southbound left-turning traffic from the site to turn right and make a U-turn at a location to the west, such as Sailer Way, to go east on Deer Flat Road.
- **Option 2 - Site Access D RIRO (Ridley's RIRO):** This option operates acceptably but requires the same re-routing as Option 1, but also requires eastbound left-turns at Site Access D to make turns or left-turns at the Deer Flat Road / Meridian Road intersection to access the site. This option results in the most impact to operations at the Deer Flat Road / Meridian Road intersection. This option may require minor widening and signal modifications at the Deer Flat Road / Meridian Road intersection to accommodate eastbound U-turns.
- With development of the site, mitigation is projected to be needed in approximately 2022/2023 at when approximately 7 percent (14,500 SF) of the development is completed.
- Approximately 75 additional trips can be added to the intersection prior to reaching capacity with the north leg added to the intersection.
- Site traffic accounts for approximately 33.9 percent and 26.8 percent of the total entering traffic during the weekday AM and PM peak hours, respectively.
- All ACHD study roadway segments are projected to operate at acceptable levels of service with the exception of:
 - **Deer Flat Road (Site Frontage):** During the weekday AM peak hour, the single eastbound lane exceeds the ACHD segment threshold volume.
 - The segment meets the ACHD segment thresholds in the shoulder peak hour. Two potential alternative mitigations could include:
 - **Deer Flat Road Sidewalk or Pathway:** A sidewalk or pathway connection along the site frontage to connect to the signal at Meridian Road and the stubbed sidewalk on the west end of the site. This is anticipated to be required by the City but would improve connectivity to the signalized pedestrian crossing on Meridian Road.
 - **Kuna Canal Shared-Use Pathway:** A shared use pathway along the Kuna Canal would provide a convenient connection to the adjacent neighborhood and potentially serve longer trips once other sections are completed by residential subdivisions to the east.

- Mitigation requires adding a second eastbound through lane on Deer Flat Road.
- The ACHD CIP has widening of this section of Deer Flat Road identified for the 2031-2035 timeframe.
- This widening is projected to be needed in approximately 2024 with approximately 70 additional eastbound trips on Deer Flat Road.
- With development of the site, mitigation is projected to be needed in approximately 2024/2025 when approximately 28 percent (55,200 SF) of the development is completed.
- Site traffic accounts for approximately 6.6 percent of the eastbound segment volume during the critical weekday AM peak hour.

Site Access Evaluation

- The turn lane analysis using ACHD and ITD procedures resulted in turn lane warrants at the following external site access streets:
 - Site Access B / Meridian Road:
 - Southbound right-turn lane
 - Northbound left-turn lane (existing center-turn lane)
 - Site Access C / Meridian Road:
 - Southbound right-turn lane
 - Northbound left-turn lane (existing center-turn lane)
 - Site Access D / Ridley's Access / Deer Flat Road:
 - Westbound right-turn lane (RIRO or RIROLI)
 - Eastbound left-turn lane (if RIROLI)
- Impacts to the adjacent local streets where the two street stubs are proposed to be extended into the northern portion of the development are projected to be low and not result in significant cut-through traffic for the following reasons:
 - The two connections to the west at Fort Erie Street and Imlay Street are at the northern portion of the site and therefore are not convenient for a majority of site traffic that is associated with the commercial uses on the south portion of the site.
 - The northern portion of the site has less commercial development than the southern portion of the development.
 - Use of the neighborhood streets would result in significantly longer travel distances to get to both Ardell Road and Deer Flat Road than using the internal site roadways.

- Most of the traffic (approximately 80 percent) is projected to have origins and destinations to the north, south, and east and only approximately 20 percent of the site trips will have destinations to the west on Deer Flat Road and Ardell Road.
- The intersection sight distance review identified that intersection sight distance can be achieved at the site access intersections.
- Daily traffic volumes at the site access locations are projected to remain under 5,000 with the exception of the following:
 - **Site Access A:** Site access A is projected to have a daily volume of 5,010.
 - **Site Access D – RIRO or RIROLI:** Site access D is projected to have a daily volume of 6,680 as a RIROLI and 6,130 as a RIRO.
 - Due to the volumes on these driveways being relatively close to the ACHD 5,000 daily trip threshold, additional driveways were not determined to be needed.
- A review of the site access locations and spacings identified the following:
 - **Site Access A:** The location will meet ACHD access spacing for Ardell Road.
 - **Site Access B:** This driveway will be in place of deeded accesses for the site and will only allow RIROLI movements. This driveway will be approximately opposite Rodeo Lane. The spacing to the north and south exceed the ITD minimum spacing between driveways but is only 550 feet south of Ardell Road which is below the 660 feet required by ITD upstream of the public road intersection.
 - Moving the access south approximately 30 feet may be necessary to accommodate the minimum standard ITD right-turn lane design for 55 mph. Moving the driveway to be offset with Rodeo Lane should not be a significant issue due to the low traffic volumes on Rodeo Lane.

There are minor driveways on the east side of Meridian Road that will be in the influence area of the RIROLI channelization for this driveway that may be restricted to RIRO depending on the design of the access.

- **Site Access C:** This driveway will be in place of deeded accesses for the site and will only allow RIROLI movements. The spacing to the north and south exceed the ITD minimum spacing between driveways and spacing to Ardell Road and Deer Flat Road on the west side of Meridian Road. There are minor driveways on the east side of Meridian Road that will be in the influence area of the RIROLI channelization for this driveway that may be restricted to RIRO depending on the design of the access.
- **Site Access D:** If designed as a RIRO driveway, this access will be aligned with the existing Ridley's driveway and not impact the access spacing of Deer Flat Road. If designed as a RIROLI driveway, this access may need to be shifted west to provide for the taper/gap for the dual left-turn lanes at the Deer Flat Road / Meridian Road.

If such offset is required, it will not create conflicts due to the restricted left-turn movements at both driveways. Additionally, the ACHD access spacing minimums will be met to Meridian Road (assuming the right-in, right-out classification is applied for the distance from Meridian Road) to the east and Sailer Way to the west.

RECOMMENDATIONS

Based on the analyses and findings summarized in this report, the following are the recommendations for the development.

Existing Traffic Condition Mitigations (Without the Proposed Development)

The following mitigations are recommended to accommodate the existing traffic volume and meet ACHD and ITD policies.

- **Deer Flat Road / Meridian Road:** Add a second eastbound left-turn lane to create dual eastbound left-turn lanes. In order to accommodate future traffic growth and the proposed development, a left-turn storage distance of 475 feet is recommended.

Year 2030 Background Traffic Conditions Mitigations (Without the Proposed Development)

The following mitigations are recommended to accommodate the year 2030 background traffic volume and meet ACHD and ITD policies.

2030 Background Traffic – Intersection Improvements

- **Ardell Road / Meridian Road:** Once Ardell Road is connected over the canal to the west (Scenario 2), one of the following mitigations are recommended:
 - **Option 1:** Install an RCUT intersection per the ITD draft corridor plan.
 - **Option 2:** Restrict to RIROLI by closing the eastbound left-turn movement.
 - Signalization could also be considered but is not consistent with the ITD draft corridor plan (see 2030 Total Traffic conditions)
 - Mitigation is estimated to be needed in approximately 2025 once approximately 122 additional eastbound trips are added in the weekday PM peak hour.
- **Deer Flat Road / Meridian Road:** Same improvement identified under existing conditions. It should be noted that two movements will exceed the ITD V/C threshold of 0.90 even with this mitigation and signal timing changes are required for those movements to meet ITD policy.

- **Site Access D / Ridleys Access / Deer Flat Road:** Restrict the existing access to RIRO. RIROLI could be considered if the length of the eastbound left-turn storage at the Deer Flat Road / Meridian Road intersection is not extended as recommended in the existing conditions recommendations and the left-turn lanes can be accommodated back-to-back.
 - This mitigation is projected to be needed in approximately 2029 with approximately 384 additional PM peak hour trips added to the intersection.
 - It should be noted that existing queues from Meridian Road currently extend to this intersection for brief periods under existing conditions which is not accounted for in the LOS procedures. Therefore, actual operations will be worse during those periods.

2030 Background Traffic - Roadway Segment Improvements

- **Deer Flat Road (Site Frontage):** Add an additional eastbound through lane to create two eastbound through lanes.
 - This widening is projected to be needed in approximately 2024 with approximately 70 additional eastbound trips on Deer Flat Road.

Year 2030 Total Traffic Conditions Mitigations (With the Proposed Development)

The following mitigations are recommended to accommodate the year 2030 total traffic volumes and meet ACHD and ITD policies:

2030 Total Traffic - Intersection Improvements

- **Ardell Road / Meridian Road:** Three mitigation options were identified.
 - **Option 1:** Signalized RCUT intersection
 - **Option 2:** Signalized RIROLI (similar to an RCUT operationally)
 - **Option 3:** Signalized full access with an eastbound left-turn lane.
 - Improvement of this intersection is projected to be needed in approximately 2023-2025 at which time approximately 27 percent (55,900 SF) and 21 percent (43,400 SF) of the development is estimated to be completed for Scenarios 1 and 2, respectively.
 - Site traffic accounts for approximately 18.8 and 19.8 percent of the total entering traffic during the AM and PM peak hours, respectively for Scenario 1 and 17.4 and 18.3 percent during the AM and PM peak hours, respectively for Scenario 2.
- **Deer Flat Road / Meridian Road:** Same improvement identified under existing and background 2030 conditions. Queue storage of approximately 475 ft is recommended for the eastbound dual left-turn lanes.

- Site traffic accounts for approximately 13.5 percent of the total entering traffic during both the weekday AM and PM peak hours.
- **Site Access D / Ridley's Access / Deer Flat Road:** Two improvement options were identified, of which Option 1 provides the best operations with respect to the Deer Flat Road / Meridian Road intersection:
 - **Option 1 – Site Access D RIROLI (Ridley's RIRO):** Design the access at RIROLI for the north leg of the intersection a RIRO for the Ridley's Access in order to accommodate the eastbound left-turn queuing from the Deer Flat Road / Meridian Road intersection.
 - Install a westbound right-turn lane
 - Install an eastbound left-turn lane
 - Minor movement of Site Access D west may be needed depending on the design of the eastbound dual left-turn lanes.
 - **Option 2 – Site Access D RIRO (Ridley's RIRO):** Design the intersection as a RIRO for both the north and south legs of the intersection. This option results in the most impact to operations at the Deer Flat Road / Meridian Road intersection.
 - Install a westbound right-turn lane.
 - Review the northwest corner of the Deer Flat Road / Meridian Road intersection to determine if eastbound U-turns can be accommodated and modify the corner design if necessary.
 - Improvement of this intersection is projected to be needed in approximately 2022/2023 when approximately 7 percent (14,500 SF) of the development is completed.
 - Site traffic accounts for approximately 33.9 percent and 26.8 percent of the total entering traffic during the weekday AM and PM peak hours, respectively.

2030 Total Traffic - Roadway Improvements

- **Deer Flat Road (Site Frontage):** Same as background 2030 (add an additional eastbound lane to accommodate AM traffic volumes).
 - With development of the site, mitigation is projected to be needed in approximately 2024/2025 at which time approximately 28 percent (55,200 SF) of the development is completed.
 - Site traffic accounts for approximately 6.6 percent of the eastbound segment volume during the critical weekday AM peak hour.
 - The segment meets the ACHD segment thresholds in the shoulder peak hour. Two potential alternative mitigations could include:

- **Deer Flat Road Sidewalk or Pathway:** A sidewalk or pathway connection along the site frontage to connect to the signal at Meridian Road and the stubbed sidewalk on the west end of the site. This is anticipated to be required by the City but would improve connectivity to the signalized pedestrian crossing on Meridian Road.
- **Kuna Canal Shared Use Pathway:** A shared use pathway along the Kuna Canal would provide a convenient connection to the adjacent neighborhood and potentially serve longer trips once other sections are completed by residential subdivisions to the west.

Site Driveways

- Install the site access driveways with the following configurations:
 - **Site Access A:** Single lane northbound and southbound.
 - **Site Access B:** Channelized RIROLI that may require relocation approximately 30 feet (or more) south to accommodate the ITD right-turn lane design. The following turn lanes are recommended:
 - Northbound left-turn lane with 100 feet of vehicle storage (existing two-way-left-turn (TWLTL) can be used).
 - Southbound right-turn lane per ITD design requirements.
 - Minor movement of the site driveway south may be needed to accommodate the southbound right-turn lane design.
 - **Site Access C:** Channelized RIROLI. The following turn lanes are recommended:
 - Northbound left-turn lane with 100 feet of vehicle storage (existing two-way-left-turn (TWLTL) can be used).
 - Southbound right-turn lane per ITD design requirements.
 - **Site Access D:** Channelized RIROLI or RIRO. The following turn lanes are recommended:
 - RIROLI (provides best operations at Deer Flat Road / Meridian Road):
 - Eastbound left-turn lane with 100 feet of vehicle storage (existing two-way-left-turn (TWLTL) can be used).
 - Westbound right-turn lane with 100 feet of vehicle storage per ACHD requirements.
 - Movement of Site Access D slightly west may be required based on the design of the eastbound dual-left-turn lanes taper/gap for the Deer Flat Road / Meridian Road intersection.

- RIRO:
 - Westbound right-turn lane with 100 feet of vehicle storage.

The following recommendations have been identified to ensure adequate safety and sight distance is provided at the site access points, internal intersections, and roadways:

- Verify adequate intersection sight distance is available during the final design of the access driveways and internal intersections.
- Review placement of fences, walls, monument signs, street trees, and other features that may impact intersection sight distance.
- Site accesses should match the existing grade of the roadways.
- Shrubbery, weeds, and landscaping near the internal intersections and site access points should be maintained or modified to ensure adequate sight distance.
- If future widening occurs along adjacent roadways, care should be taken to ensure adequate intersection sight distance is maintained.

Section 2
Introduction

INTRODUCTION

Kittelson & Associates, Inc. (Kittelson) has conducted a Transportation Impact Study (TIS) for the proposed Blackrock Marketplace and Village in Kuna, Idaho. The study was prepared in accordance with requirements of the Idaho Transportation Department (ITD) *Rules Governing Highway Right-of-Way Encroachment Rights-of-Way* (Reference 1) and Ada County Highway District's (ACHD) *Policy Manual Section 7106* (Reference 2). The TIS examines the current transportation network and addresses the transportation impacts associated with background growth and the proposed development.

PROJECT DESCRIPTION

The proposed Blackrock Marketplace and Village is situated on approximately 41 acres of land in Kuna, Idaho. The proposed development site is bounded on the west by existing residential development (the Winfield Springs Subdivision), north by Ardell Road, south by Deer Flat Road, and east by Meridian Road. Figure 1 shows the site vicinity. The development plan consists of the following land uses:

- Approximately 53 town homes
- Approximately 18,500 square feet of office space
- 189,500 square-feet of commercial/retail space, and
- 600 storage units

The proposed site plan for the development is shown in Figure 2 and the estimated locations for specific land-uses is shown in Exhibit 1. Access to the development is proposed via two right-in, right-out, left-in (RIROLI) accesses on Meridian Road, an access on Ardell Road, an access on Deer Flat Road, and connections to residential stub streets at Fort Erie Street and Imlay Street. As shown in Exhibit 1, the primary retail center uses (shown in blue) are proposed to be located along Deer Flat Road with the residential and other pad uses in the northern portion of the development. It should be noted that the development has existing deeded accesses on Meridian Road which, based on discussions with ITD, will be replaced with the two RIROLI accesses.

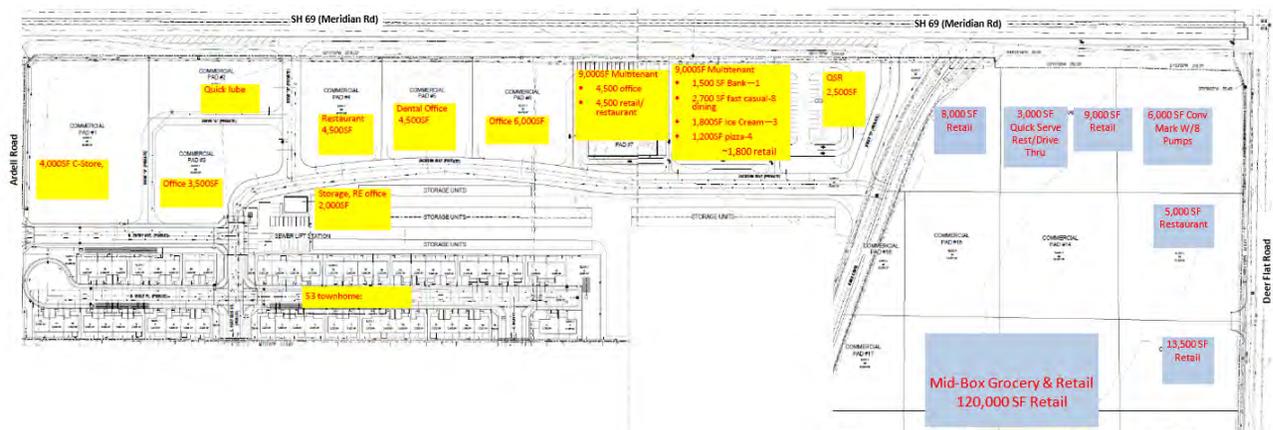


Exhibit 1. Proposed Locations of Land-Uses

DESIGN REVIEW APPLICATION

PO Box 13 | 751 W 4th Street | Kuna, ID 83634
(208) 922-5274 | www.KunaCity.ID.gov



****Office Use Only****

Case No(s): 22-13-S, 22-30-DR

Project Name: Paul Bunyan Plaza

Date of Pre-Application Meeting: 3.10.22 Valid for three (3) months, unless otherwise determined by Staff

Date Received: 8.9.22

Date Accepted as Complete: 8.9.22

The City of Kuna has adopted a Design Review Overlay District whose purpose is to make Kuna a pleasant and comfortable place to live and work. This Design Review process is based on standards and guidelines found in Kuna City Code 5-4. The Design Overlay District includes all of Kuna City Limits.

Design Review includes, but is not limited to:

- Commercial
- Institutional
- Multifamily Residential
- Proposed Conversions
- Exterior Remodel//Restoration
- Industrial
- Office
- Common Areas/Landscaping
- Proposed Changes in Land and/or building use
- Enlargement or Expansion of existing buildings or sites

Application shall contain one (1) copy of the following (digital documents preferred):

- Complete Planning & Zoning Application Coversheet
- Complete Design Review Application *(It is the Applicant's responsibility to use the most current application.)*
- Detailed narrative or justification for the application, describing the project, design elements and how the project complies with Design Review standards.
- Vicinity Map: 8.5" x 11" at 1" = 300' scale (or similar). Label the location of the property and adjacent streets.
- Aerial Map: 8.5" x 11" color photo depicting proposed site, street names, and surrounding area within 500'.
- Recorded Warranty Deed
- Affidavit of Legal Interest if the individual submitting the application is not the property owner. *(One Affidavit required for each party involved. Originals must be submitted to the Planning & Zoning Department.)*
- Elevations for each structure & color rendering with material sample(s) specifically noting where each color and material is to be located on the structure. *(PDF or photo of materials acceptable).*
- Site, Lighting, Landscape & Drainage Plans
- Construction Drawings/Civil Plans

Detailed Site Plan Requirements

- Name of plan preparer with contact information
- Name of project and date
- North arrow
- Property Lines
- Existing structures – Identify those which are relocated or removed
- On-site and adjoining streets, alleys, private drives and rights-of-way
- Drainage location and method of on-site retention/detention
- Location of public restrooms, if applicable
- Existing and/or proposed utility services; any above ground utility structures and provide their location
- Location and width of easements, canals and drainage ditches
- Location and dimensions of off-street parking
- Location and size of any loading areas, docks, ramps and vehicle storage or service areas
- Location of trash storage areas and exterior mechanical equipment; provide proposed method of screening
- Sign locations (*A separate Sign Application must be submitted; this is a Staff level review.*)
- On-site transportation circulation plan for motor vehicles, pedestrians and bicycles
- Locations and uses of all Open Spaces (*if applicable*)
- Location, types and sizes of sound and visual buffers (*all buffers must be located outside the public rights-of-way.*)
- Parking layout including spaces, driveways, curbs, cuts, circulation patterns, pedestrian walks and vision triangles
- Location and designation of subdivision lines (*if applicable*), property lines, and rights-of-way
- Location of walls and fences; provide their height and material of construction
- Roofline and foundation plan of building and location onsite

Landscape Plan

The Landscape Plan need to be drawn by the Project Architect, Professional Landscape Architect, Landscape Designer, or qualified Nurseryman for developments possessing more than twelve thousand (12,000) square feet of private land. The Landscape Plan must be colored and drawn to a scale no smaller than 1" = 30', unless otherwise approved. The Planning & Zoning Director may require the preparation of a landscape plan for smaller developments by one of the noted individuals, if the lot(s) have unique attributes. (*See Kuna City Code 5-17 Landscaping Requirements*)

- Name of plan preparer with contact information
- Name of project and date
- North arrow
- Boundaries, property lines and dimensions
- Location and design of areas to be landscaped
- Location and labels for all proposed plants
- Existing vegetation identified by species & sizes, and if they are proposed to be relocated or removed (*Retention of existing trees required, see Kuna City Code 5-17-4*)
- Plant lists or schedules with the botanical common name, quantity, and spacing as well as the size of all proposed landscape materials at time of planting
- Location of automatic, underground irrigation systems (*See Kuna City Code 5-17-11*)
- Clearly identify pressurized irrigation lines and underground water storage
- Location, description, materials, and cross-sections of special features, including berming, retaining walls, hedges, fencings, fountains, street/pathway furniture, etc.

- Sign locations (a separate sign application must be submitted)
- Locations of open spaces (*if applicable*)
- Parking areas
- Location and designations of all sidewalks
- Engineered Grading and Drainage Plans: A generalized drainage plan showing direction drainage with proposed on-site retention. Upon submission of building/construction plans for an approved Design Review application, a detailed site grading and drainage plan prepared by a registered professional engineer (PE), shall be submitted to the City for review and approval by the City Engineer.

Building Elevations

- Detailed elevation plans, in color, of each side of any proposed building(s) or addition(s). Label associated elevations with North, South, East, West
- Color renderings of all proposed building materials and indication where each material and color application are to be located, in PDF or JPEG format.
- Screening of mechanical equipment
- Provide a cross-section of the building showing any rooftop mechanical units and their roof placement
- Detailed trash enclosure elevation plans showing the materials to be used in construction

Lighting Plan

- Exterior lighting, including detailed cut sheets and photometric plan (*pedestrian, vehicle, security, decoration, etc.*)
- Types and wattage of all light fixtures. (*NOTE: Lighting fixtures shall comply with "Dark Sky" policies.*)
- Placement of all light fixtures shown on elevations and landscaping plans

Owner Information

Name: CRMM, LLC
 Address: 8942 Spanish Ridge Ave., Las Vegas, NV 89145
 Phone: (702) 221-2500 Email: bhicks@newmarketadvisors.com

Applicant Information

Name: Bill Hicks
 Address: 8942 Spanish Ridge Ave., Las Vegas, NV 89145
 Phone: (702) 221-2500 Email: bhicks@newmarketadvisors.com

Engineer/Representative

Name: Civil Innovations, PLLC
 Address: 1043 E. Park Blvd. Ste., 100, Boise, ID 83712
 Phone: (208) 884-8181 Email: ben@civil-innovations.com

Exterior Building Materials and Colors

	Material	Color
Roof:		
Walls: (include percentage of wall coverage of each material)		
% of Wood Application:		
% EIFS: (Exterior Insulation Finish System)		
% Masonry:		
% Face Block:		
% Stucco:		
Other:		
Windows/Doors:		
Soffits and Fascia:		
Trim, etc.:		

Mechanical Units

Please identify mechanical unit(s) size and placement: _____

Proposed screening method? _____

Trash Enclosures

Please identify trash enclosure location, size, and construction materials: _____

Irrigation Ditches/Canals

Are there any irrigation ditches/canals on or adjacent to the property? YES NO

If Yes, what is the name of the irrigation/drainage provider? Boise-Kuna

What is the proposed method of on-site drainage retention/detention? Ponds and seepage beds.

Fencing

Is there any existing fencing that will remain?

If Yes, what is the fencing material, size and location? Existing 6' vinyl fencing along the west boundary will remain.

What is the fencing material for all new fencing? _____

The City has regulations for fences, walls, and hedges (see Kuna City Code 5-5-5). A fence permit must be acquired prior to installation of any fencing; a permit cannot be acquired until Design Review application Approval/Conditional Approval/Denial.

Building Coverage

% of site devoted to building coverage?		
% of site devoted to landscaping? (Include landscaped rights-of-way)		Square Footage:
% of site that is hard surface? (paving, driveways, walkways)		Square Footage:
% of site devoted to other uses:		Describe:

Landscaping

Please provide dimensions of landscaped areas within public rights-of-way: _____

See landscape plans.

Are there any existing trees of 4" or greater in caliper on the property? YES NO

If Yes, what type, size and general location? (Please indicate location on site plan. NOTE: It is the city's goal to preserve such trees.)

Dock Loading Facilities

Will there be any dock loading facilities? YES NO (If Yes, please continue; if No, please skip this section.)

No. of dock loading facilities and their location: _____

What is the proposed method of screening? _____

Pedestrian Amenities

Are there any proposed pedestrian amenities? (i.e. bike racks, trash receptacles, drinking fountains, benches, etc.) YES NO

If Yes, please indicate type, number of each type: _____

Parking

Total number of parking spaces? _____ Dimensions? _____

Total number of ADA accessible spaces? _____ Dimensions? _____

Total number of compact spaces (8' x 17')? _____

Miscellaneous

Will you be proposing setbacks different than those found in KCC 5-3-3? YES NO

If YES, please provide setbacks below, in feet:

Front: _____ Rear: _____ Side: _____ Side: _____

Is any portion of the property subject to flooding conditions? YES NO

The Ada County Highway District (ACHD) may also conduct a public meeting regarding this application. If you have questions about the meeting date, the traffic that this development may generate or the impact of that traffic on streets in the area, please contact ACHD at (208) 387-6170. In order to expedite your request, please have ready the file number indicated.

Applicant Signature: Ben [Signature] Date: 10/17/22

Additional Information

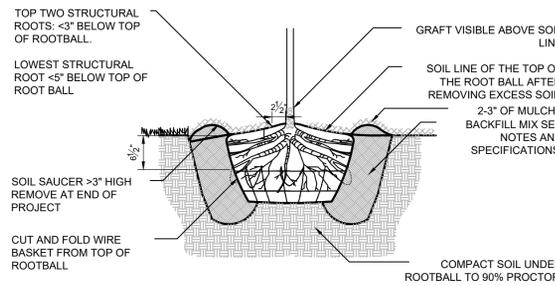
Please indicate/explain/provide any additional information deemed relevant to this application:

LANDSCAPE NOTES:

1. REGULATIONS & STANDARDS
 - 1.1. All contractor work shall be conducted in accordance with ISPWC (Idaho Standard Public Works Construction), 2022 (or most recent published); and City of KUNA, ID codes, standards and state and local regulations.
2. EXISTING CONDITIONS
 - 2.1. All utilities shall be located prior to construction and protected. Any damage to structures, utilities or concrete will be replaced at contractor's expense.
 - 2.2. The site has many existing improvements such as underground utilities, curb and gutter, light poles and sidewalks.
 - 2.3. See Engineer's plans for information about existing features.
 - 2.3.1. Refer to civil plans for all existing and/or proposed drainage pipes & locations, utilities. Protect all drainage at all times, protect all utilities at all times.
3. GRADING & SITE PREPARATION
 - 3.1. Prepare finish grades for planting by grubbing and removing weeds. If necessary apply Round-Up (or equivalent herbicide), using a certified applicator. Remove rocks and other materials over 2".
 - 3.2. All gravel overtop to be removed and disposed of off site.
 - 3.3. Finish grade to be smooth transition to allow for entire site to be a natural flowing space.
 - 3.4. Fine grade lawn areas to elevations set by Engineer's plans with positive drainage away from structures.
 - 3.5. Refer to Engineer's plans for grading information & for all drainage pipes and locations. Protect and retain drainage at all times.
 - 3.6. No pooling or standing water will be accepted per industry standards.
4. SOILS
 - 4.1. Lawn areas shall receive 12" min depth of screened topsoil.
 - 4.2. All planter beds shall receive 18" min depth of screened topsoil.
 - 4.3. Reuse of existing topsoil that has been stockpiled on site is permitted if:
 - 4.3.1. Topsoil is tested and analyzed to ensure a proper growing medium. Provide additional amendments as determined by soil tests.
 - 4.3.2. Topsoil is to be loose, friable sandy loam that is clean and free of toxic materials, noxious weeds, weed seeds, rocks, grass or other foreign materials.
 - 4.3.3. Topsoil shall have a pH of 6.5 to 8.0.
 - 4.3.4. If on site topsoil does not meet these minimum standards contractor is responsible for providing approved imported topsoil or improving onsite topsoil per the approval of the project manager.
 - 4.4. If imported topsoil is used it must be from a local source and be screened free of any debris or foreign matter. Topsoil must not contain rocks, sticks, lumps, or toxic matter and has a pH of 6.5-8.0.
 - 4.5. Smooth, compact, and fine grade topsoil in lawn areas to smooth and uniform grade. 5" below adjacent surfaces.
 - 4.6. Amend all new plantings with 2 parts topsoil, 1 part compost.
5. LAWN AREAS
 - 5.1. Sodded lawn to be tall turf-type fescue, or approved other.
 - 5.2. Sodded lawn to be regionally/locally harvested, lay sod within 24 hours of harvesting.
 - 5.3. Lay sod to form a solid mass with offset, tightly fitted joints on even grades.
 - 5.4. Any existing lawn that is damaged shall be replaced with sodded lawn of the same type of existing lawn.
 - 5.5. All lawn areas adjacent to planter beds, gravel areas, or aggregate pathways shall have 4" black steel edging installed per manufacturer recommendations. Other applications to be approved by owner and landscape architect.
 - 5.6. Lawn adjacent to buildings, structures shall be a minimum of 18" away from foundations. Lawn adjacent to fences or other screening elements shall be a minimum of 9" away.
 - 5.6.1. Install 3/4" chips or other approved gravel mulch type in mow strip at a depth of 3" over commercial grade weed barrier fabric installed per manufacturer recommendations.
 - 5.7. Provide tree rings with a minimum 3" diameter around all trees located in lawn, mulch type & installation/application to match all other planter beds.
6. PLANTER BED MULCH
 - 6.1. All planter beds to receive 3" depth of black & tan mini rock mulch or approved equal, submit for approval prior to placement. Install over commercial grade weed barrier fabric per manufacturer recommendations.
7. PLANTS
 - 7.1. All plant material shall be installed per industry standards.
 - 7.2. All plant material shall meet or exceed the minimum federal standards as regulated by ANSI Z60.1, American Standard for Nursery Stock. Plants not meeting these standards for quality, or plants determined to be unhealthy by Owner's representative, will be rejected.
 - 7.3. All Ball and Burlap trees to be installed per Balled and Burlapped planting detail. All shrubs to be installed per detail.
 - 7.4. Trees and shrubs over 30" shall not be planted within clear vision triangles.
 - 7.5. Fertilize all trees and shrubs with 'Agriform' planting tablets or approved equal. Apply per manufacturers recommendations.
8. IRRIGATION
 - 8.1. Irrigation system shall be built to the following specifications:
 - 8.2. Adhere to city codes when connecting to city water.
 - 8.3. All irrigation material to be new with manufacturers' warranty fully intact.
 - 8.4. Install outdoor rated controller in specified location on plan, in a lock box with 2 keys. Coordinate with project manager and general contractor on exact location.
 - 8.4.1. Controller to have On/Off rain switch or rain shut off device that does not alter program.
 - 8.5. All remote control valves (including master control valve) to have flow control device.
 - 8.6. Irrigation system piping to be minimum class 200 PVC or approved equal, sleeves to be double the size of pipes located within, all wires to be contained in separate sleeves 1-1/2" dia min.
 - 8.7. All pipe above 3" caliber to be gasketed, with approved joint restraints at all 45, TEE, ELL, Z, 11.
 - 8.8. Use common trenching where possible.
 - 8.9. All PVC located under hardscapes to be schedule 40 PVC with same req's as above.
 - 8.10. All wires to be Paige wire 7350 or 7351 direct bury wire at a minimum of 12" below finished grade.
 - 8.11. Connect mainline to point of connection in approximate location shown on plan.
 - 8.12. Contractor is responsible complying with all codes and paying all permits necessary.
 - 8.13. Sprinkler heads shall have matched precipitation within each control circuit. Velocities shall not exceed 5 feet per second.
 - 8.14. All drip irrigation to be buried 2" below finished grade.
 - 8.15. Water schedule to be provided at a min of 80% evapotranspiration as determined by the local ET.
 - 8.16. Install all irrigation per irrigation drawings, utilize material specified or approved equal.
 - 8.17. Contractor shall confirm the static water pressure at least five days before construction begins and to contact the landscape architect in writing if the pressure is below 80 psi.
 - 8.18. If any discrepancies are found, then local codes shall prevail.
9. CONTRACTOR RESPONSIBILITIES
 - 9.1. Estimated quantities are shown for general reference only. Contractor shall be responsible for all quantity estimates.
 - 9.2. All plant material and workmanship shall be guaranteed for a period of one year beginning at the date of Acceptance by Owner. Replace all dead or unhealthy plant material immediately with same type and size at no cost to Owner.
 - 9.3. Landscape contractor to turn in as built drawings at the end of project. Substantial completion will not be granted until 2 copies @ 1"=20' scale are turned in and approved by owner's representative.
10. In the event of a discrepancy, notify the Landscape Architect immediately.

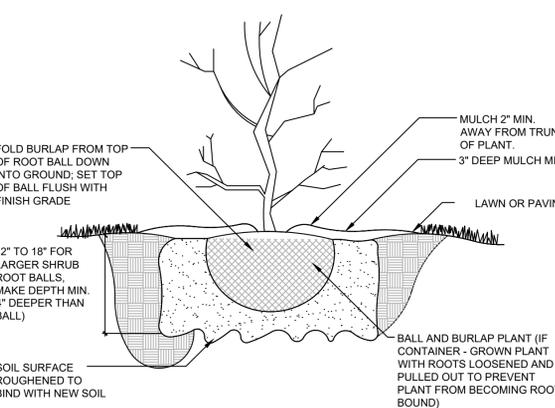
NOTES:

1. DO NOT DAMAGE OR CUT LEADER
2. DO NOT DISTURB ROOT OR DAMAGE ROOT BALL WHEN INSTALLING TREE OR TREE STAKES.
3. TREE STAKING SHALL BE AT THE DISCRETION OF CONTRACTOR. HOWEVER ANY TREES DISTURBED FROM PLUMB DURING THE PLANT WARRANTY PERIOD WILL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
4. WATER PLANTS THOROUGHLY IMMEDIATELY AFTER INSTALLATION.
5. REMOVE ALL BURLAP, TWINE, ROPE, OR MATERIAL FROM THE TOP OF THE ROOTBALL.
6. 5" DIAMETER PLANTER BED/MULCH RING AROUND THE TRUNK OF THE TREE. 3" OF MULCH MIN. DO NOT PLACE MULCH WITHIN 2" OF TRUNK OF TREE.

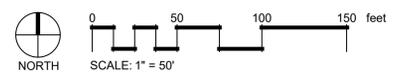
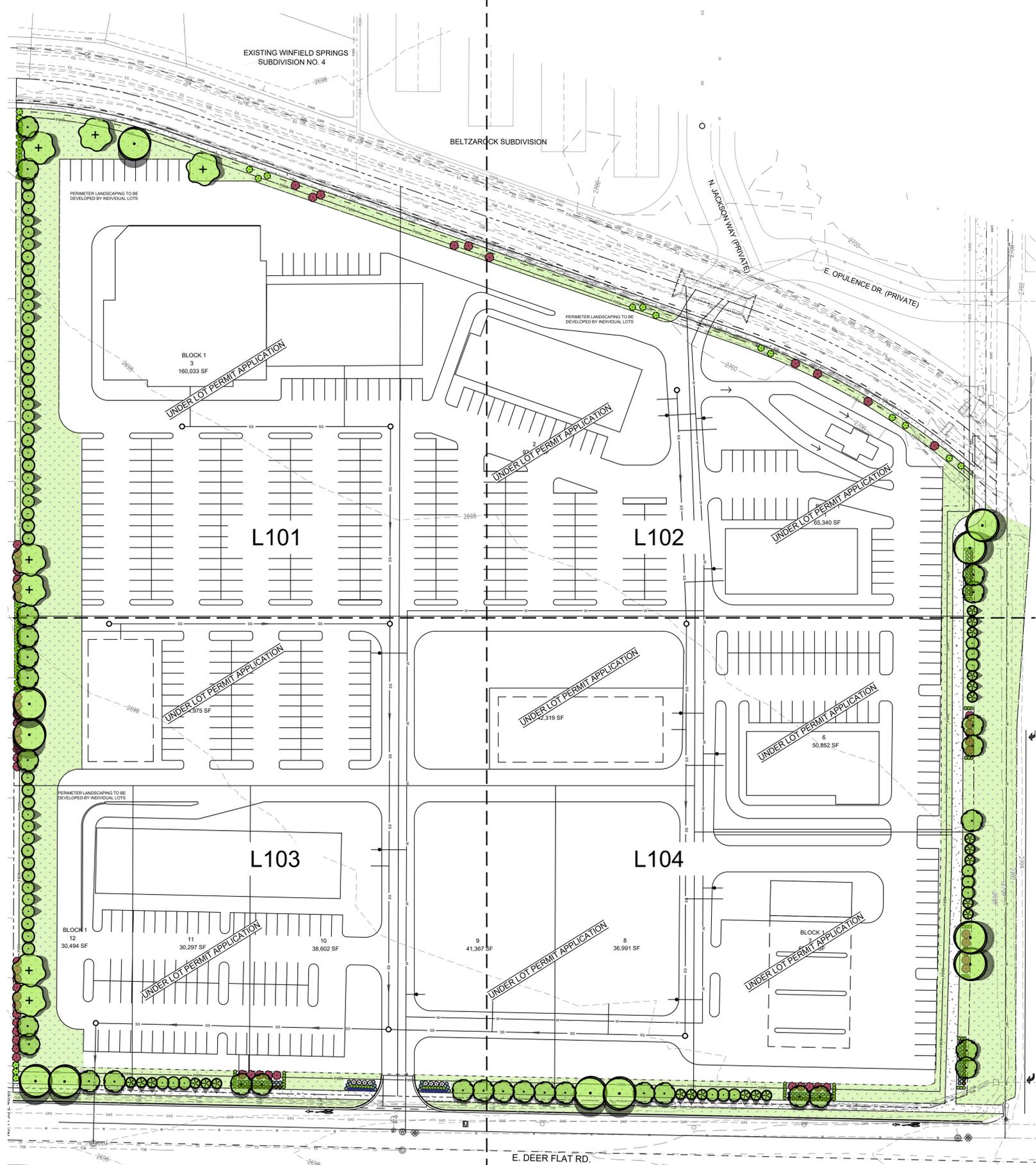


1 BALL & BURLAP TREE PLANTING
3/4" = 1'-0" 3293-01

- NOTE: REMOVE ALL TAGS, TWINE OR OTHER NON BIODEGRADABLE MATERIALS ATTACHED TO PLANT OR ROOT MASS.
- BACKFILL SHALL BE 100% TOPSOIL. WATER SETTLE ALL PLANTINGS TO ENSURE PLANT ROOTBALL MAINTAINS 1/2" HEIGHT ABOVE EXISTING SOILS WHEN COMPLETE.



2 SHRUB PLANTING
1" = 1'-0" 329333-03



STACK ROCK GROUP
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PRELIMINARY
Seals
STATE OF IDAHO
WILLET C HOWARD
LA-16733
08.07.22
LANDSCAPE ARCHITECT

NOT FOR CONSTRUCTION

PAUL BUNYAN PLAZA
KUNA, IDAHO

REVISIONS

MRK	DATE	Description
▲	**	**

JOB NO: 22-2406
DATE: 06.07.22
DRAWN BY: JB
CHECKED BY: JB

DRAWING TITLE
LANDSCAPE OVERVIEW
SHEET NUMBER
L100



STACK ROCK GROUP
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 KUNA, IDAHO

REVISIONS

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 DATE: 06.07.22
 DRAWN BY: JB
 CHECKED BY: JB

DRAWING TITLE

LANDSCAPE PLAN

SHEET NUMBER

L101

STACK ROCK GROUP - CITY REVIEW SET

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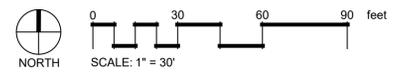
LANDSCAPE REQUIREMENTS:

- CODE REQUIREMENTS PER CITY CODE
STREET BUFFER:
 *1 STREET TREE PER 35LF OF ROW
 *2 SHADE TREES, 3 EVERGREEN TREES, 12 SHRUBS PER 100 LF
 *SHD: SHADE
 *CON: CONIFER
 *SHB: SHRUB
- | STREET NAME | LENGTH (LF) | SHD/CON/SHB REQ'D | SHD/CON/SHB PROV'D |
|--------------|-------------|-------------------|--------------------|
| MERIDIAN RD | 569 | 11 / 17 / 68 | 11 / 17 / 68+ |
| DEER FLAT RD | 893 | 18 / 27 / 107 | 18 / 27 / 107+ |
- FUTURE LOT DEVELOPMENT:**
 *STREET LANDSCAPE STRIPS (BETWEEN BUILDINGS/ROW): 1 TREE & 5 SHRUBS PER 35LF OF ROW
 *PARKING ISLANDS: 1 TREE & SHRUBS OR VEGETATIVE GROUND COVER EACH
- MINIMUM PLANT SIZES:**
- | PLANT TYPE: | MINIMUM SIZE |
|--------------------|-----------------|
| *EVERGREEN TREES: | 6'-0" HT. MIN. |
| *ORNAMENTAL TREES: | 2" CALIPER MIN. |
| *SHADE TREES: | 2" CALIPER MIN. |
| *WOODY SHRUBS: | 2 GAL. MIN. |

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
	Acer platanoides 'Columnar Broad' / Parkway Maple	B & B	2" Cal		30	40' h x 25' w, Class II
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	2"		7	50' h x 30' w Class II
	Picea omorika 'Bruns' / Bruns Spruce	B&B		6'-7' H	23	30' h x 10' w
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	B & B		6'-7' H	39	25' h x 12' w
	Pinus nigra 'Oregon Green' / Oregon Green Pine	B & B		6'-7' H	18	20' h x 15' w
	Tilia americana 'Redmond' / Redmond American Linden	B & B	2"		11	50' h x 30' w Class II
SHRUBS	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY	REMARKS
	Forsythia x intermedia 'Mindor' TM / Show Off Forsythia	5 gal			18	5' h x 6' w
	Helictotrichon sempervirens 'Blue Oats' / Blue Oat Grass	2 gal			60	3' h x 3' w
	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender	2 gal			16	3' h x 3' w
	Physocarpus opulifolius 'Monlo' TM / Diabolo Purple Ninebark	2 gal			58	6' H x 10' W
	Pinus mugo 'Mops' / Mops Mugo Pine	5 gal			8	4' h x 5' w
	Prunus laurocerasus 'Otto Luyken' / Otto Luykens English Laurel	2 gal			22	3' h x 6' w
	Rosa x 'Noare' / Flower Carpet Red Groundcover Rose	2 gal			64	3' h x 3' w
	Yucca filamentosa 'Color Guard' / Adam's Needle	5 gal			44	3' h x 4' w

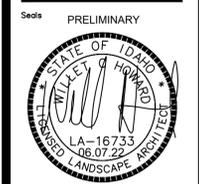
 SODDED LAWN, TALL TURF-TYPE FESCUE



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NOT FOR CONSTRUCTION

PAUL BUNYAN PLAZA
 KUNA, IDAHO

REVISIONS

MRK	DATE	Description
△	**	**

JOB NO: 22-2406
 DATE: 06.07.22
 DRAWN BY: JB
 CHECKED BY: JB

DRAWING TITLE
LANDSCAPE PLAN
 SHEET NUMBER
L102

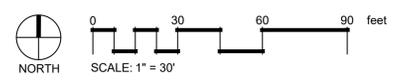
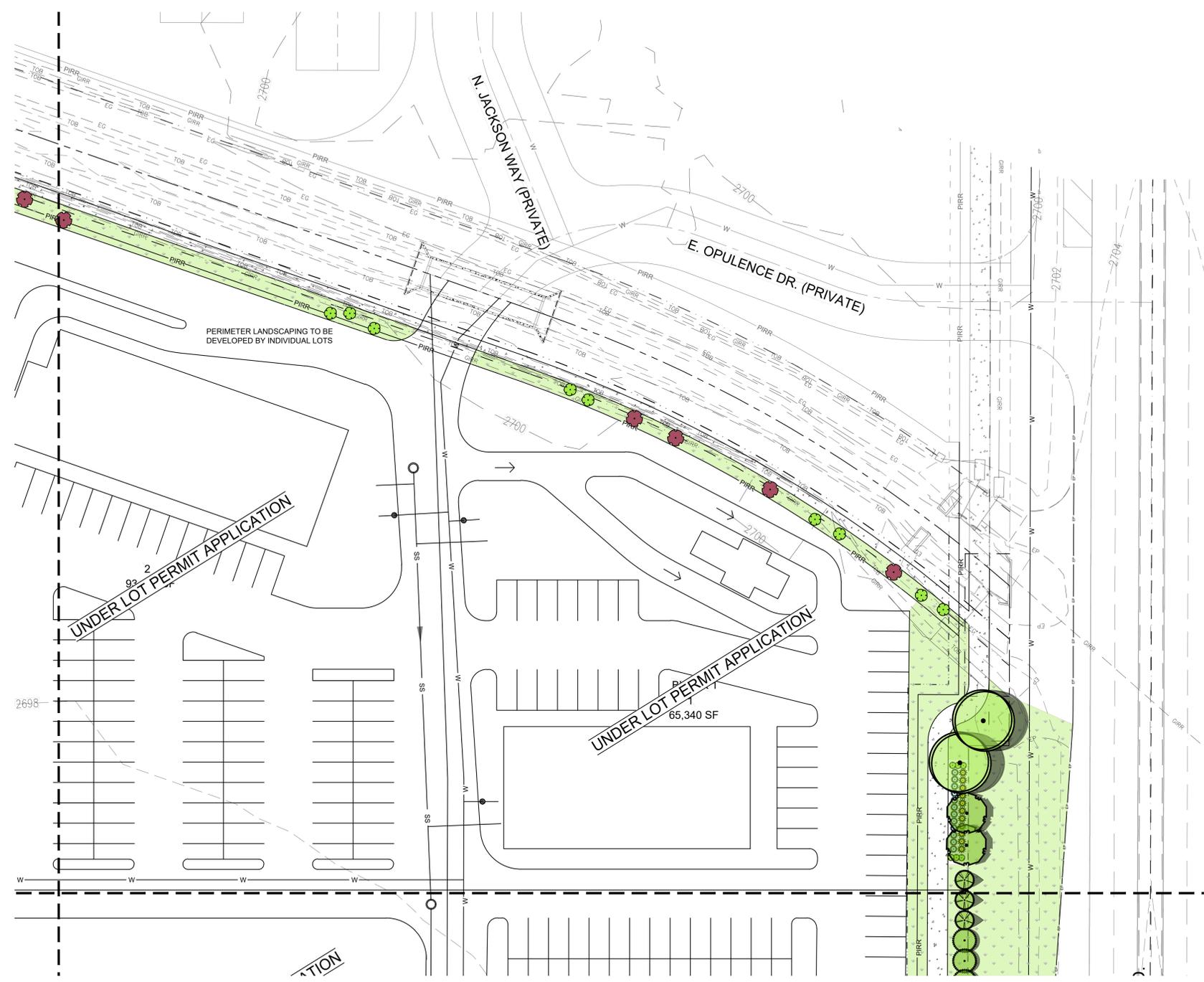
LANDSCAPE REQUIREMENTS:

- CODE REQUIREMENTS PER CITY CODE
STREET BUFFER:
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|----------------|-------------|-------------------|--------------------|
| MERIDIAN RD | 569 | 11 / 17 / 68 | 11 / 17 / 68+ |
| E DEER FLAT RD | 893 | 18 / 27 / 107 | 18 / 27 / 107+ |
- FUTURE LOT DEVELOPMENT:**
 *STREET LANDSCAPE STRIPS (BETWEEN BUILDINGS/ROW): 1 TREE & 5 SHRUBS PER 35LF OF ROW
 *PARKING ISLANDS: 1 TREE & SHRUBS OR VEGETATIVE GROUND COVER EACH
- MINIMUM PLANT SIZES:**
- | PLANT TYPE: | MINIMUM SIZE |
|--------------------|-----------------|
| *EVERGREEN TREES: | 6'-0" HT. MIN. |
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PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
	Acer platanoides 'Columnar Broad' / Parkway Maple	B & B	2" Cal		30	40' h x 25' w, Class II
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	2"		7	50' h x 30' w Class II
	Picea omorika 'Bruns' / Bruns Spruce	B&B		6'-7' H	23	30' h x 10' w
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	B & B		6'-7' H	39	25' h x 12' w
	Pinus nigra 'Oregon Green' / Oregon Green Pine	B & B		6'-7' H	18	20' h x 15' w
	Tilia americana 'Redmond' / Redmond American Linden	B & B	2"		11	50' h x 30' w Class II
SHRUBS	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY	REMARKS
	Forsythia x intermedia 'Mindor' TM / Show Off Forsythia	5 gal			18	5' h x 6' w
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	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender	2 gal			16	3' h x 3' w
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 SODDED LAWN, TALL TURF-TYPE FESCUE



LANDSCAPE REQUIREMENTS:

CODE REQUIREMENTS PER CITY CODE
STREET BUFFER:
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STREET NAME	LENGTH (LF)	SHD/CON/SHB REQ'D	SHD/CON/SHB PROV'D
MERIDIAN RD	569	11 / 17 / 68	11 / 17 / 68+
E DEER FLAT RD	893	18 / 27 / 107	18 / 27 / 107+

FUTURE LOT DEVELOPMENT:
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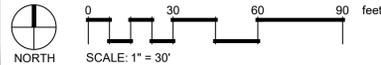
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PLANT SCHEDULE

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	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	B & B		6'-7" H	39	25' h x 12' w
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SODDED LAWN, TALL TURF-TYPE FESCUE



STACK ROCK GROUP
 LANDSCAPE ARCHITECTURE & MASTER PLANNING
 (208) 345-0500
 404 S 8th St. #154
 Boise, ID 83702
 StackRockGroup.com

WILLET C HOWARD, PLA
 OFFICE: (208) 345.0500 EMAIL: WILLET@STACKROCKGROUP.COM
 WWW.STACKROCKGROUP.COM

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PAUL BUNYAN PLAZA
 KUNA, IDAHO

REVISIONS

MRK	DATE	Description
△	**	**

JOB NO: 22-2406
 DATE: 06.07.22
 DRAWN BY: JB
 CHECKED BY: JB

DRAWING TITLE

LANDSCAPE PLAN

SHEET NUMBER
L103

LANDSCAPE REQUIREMENTS:

CODE REQUIREMENTS PER CITY CODE
STREET BUFFER:
 *1 STREET TREE PER 35LF OF ROW
 *2 SHADE TREES, 3 EVERGREEN TREES, 12 SHRUBS PER 100 LF
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STREET NAME	LENGTH (LF)	SHD/CON/SHB REQ'D	SHD/CON/SHB PROV'D
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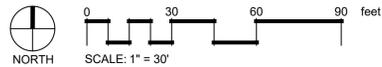
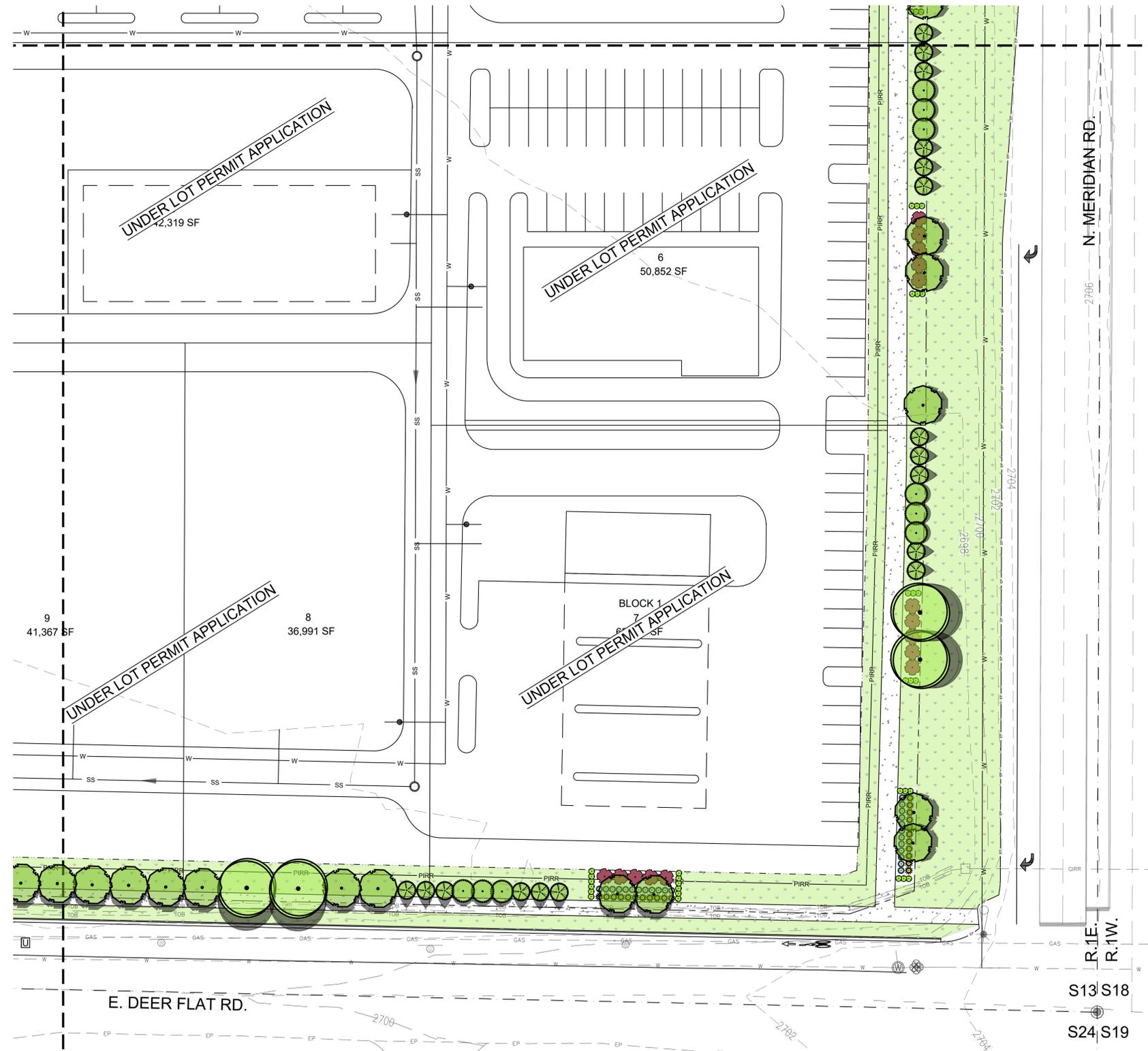
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SODDED LAWN, TALL TURF-TYPE FESCUE



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PAUL BUNYAN PLAZA
 KUNA, IDAHO

REVISIONS

MRK	DATE	Description
△	**	**

JOB NO:	22-2406
DATE:	06.07.22
DRAWN BY:	JB
CHECKED BY:	JB

DRAWING TITLE

LANDSCAPE PLAN

SHEET NUMBER
L104

DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR PAUL BUNYAN PLAZA

This Declaration of Covenants, Conditions, and Restrictions ("**Declaration**") for Paul Bunyan Plaza is made as of the _____ day of October, 2022 by CRMM, LLC, a Nevada limited liability company having an address at 8942 Spanish Ridge Ave, Las Vegas, Nevada 89148 ("**Declarant**").

RECITALS

WHEREAS, Declarant owns certain real property located in Ada County, Idaho, described in the attached Exhibit A (the "**Project**") except for portions that have been: (a) dedicated or conveyed to Governmental Entities (defined below) for public rights-of-way, drainage areas, or other public purposes; or (b) conveyed to other Persons (defined below) as identified on Exhibit B. Declarant desires and intends that the Project be operated as an integrated commercial and/or retail center to be called Paul Bunyan Plaza and to impose upon the Project, mutual and beneficial restrictions, covenants, agreements, easements, conditions and charges as hereinafter set forth, under a general plan for the benefit of all of the Project.

NOW, THEREFORE, Declarant adopts, establishes, and imposes the following covenants, conditions, and restrictions on the Project and declares that the Project and all portions thereof are and shall be held, transferred, sold, conveyed, and occupied subject to such covenants, conditions, restrictions, easements, liens, and charges set forth herein, all of which shall be binding on all parties having any right, title, or interest in the Property or any part thereof.

ARTICLE I GENERAL

Section 1.01 Defined Terms. For the purposes of this Declaration, the following words or phrases have the meanings as set forth below:

"**Accessibility Law**" means any federal, state or local law, statute, code, ordinance, rule, regulation or requirement relating to accessibility to facilities or properties for disabled, handicapped and/or physically challenged persons, including, without limitation, the Americans with Disabilities Act of 1991, as amended (42 U.S.C. Sections 12101, et seq.) and any similar state statute, as amended.

"**Applicable Law**" means any present or future law, statute, ordinance, regulation (including zoning ordinances and regulations), code, building code, judgment, injunction, arbitration award, order, rule, directive, proclamation, decree, common law, or other requirement, ordinary or extraordinary, foreseen or unforeseen, of the federal or any state or local governmental, or any political subdivision, arbitrator, department, commission, board, bureau, agency, or instrumentality thereof, or of any court or other administrative, judicial or quasi-judicial tribunal or agency of competent jurisdiction, or of any other public or quasi-public authority or group, having jurisdiction over the Property, and any reciprocal easement, covenant,

restriction, or other agreement, restriction, or easement of record affecting the Property as of the date of this Declaration or thereafter.

"Building" shall mean any enclosed structure designated for the exclusive use of an Owner or Occupant placed, constructed or located on a Lot, which for the purpose of this Declaration shall include any appurtenant supports, service areas and other outward extensions. **"Building Area"** or **"Building Areas"** shall mean the areas designated on the Site Plan where Buildings and appurtenant improvements, including without limitation attached sidewalks, drive-throughs, patios, may be located on each Lot. Unless otherwise expressly permitted by this Declaration or previously agreed to in writing by the Declarant, its officers, managers, principals, successors or assigns, the Owners have no right to place footings, signs, canopies, roof overhangs, cornices, columns, foundation walls and walls or other building features or improvements whether or not attached to a Building which encroach or project beyond the Building Areas. The Building Areas are designated areas where Buildings or Structures may be located, but the entire amount of Building Area does not necessarily have to be used for Buildings, and Declarant shall have the right to restrict the size of any Building located in a Building Area.

"Common Area" shall mean all non-Building Areas within the Project, including but not limited to: (a) landscape areas and trail systems, (b) entry signage at the entrance of the Project, if any, and monument signage, if any, (c) lighting facilities for the parking areas and any Common Area signage, (d) common curb cuts, roadways, driveways, parking areas, drive aisles, walkways and sidewalks, (e) water facilities located within the Project (including but not limited to all pipes, submeters and other appurtenances necessary for the delivery of water service to the Lots but not within the Lots), and (f) any similar amenities which may not or hereafter be established by Declarant for the common use and enjoyment of all Lots. Canopies, overhangs, awnings, signage or lighting which extend over the Common Area, together with any columns or posts supporting the same, shall be deemed to be a part of the Building to which they are attached and not a part of the Common Area. The Common Area shall not include any drive-through lanes or service station canopies.

"Common Area Assessments" Common Area Expenses shall mean the assessments for Common Expenses described in Section 8.04 below.

"Common Drives" shall mean those portions of the Project shown or illustrated on Exhibit "B" attached hereto and incorporated herein by this reference, as the same may be modified from time to time.

"Common Expenses" shall mean all costs and expenses reasonably incurred hereafter in connection with the Common Areas, included without limitation the operating expenses (which shall include without limitation the costs of any management fees under any agreement entered into with a property manager pursuant to Section 10.05 hereof), real and personal property taxes (but not real property taxes for the Project located within any Lot which shall be the responsibility of the Owner of such Lot) and amortized cost of capital improvements for the Common Areas of the Project; insurance; utility costs (including with limitation, water and electricity for the Common Areas); cleaning and maintenance of the Common Areas or any portion thereof; maintenance of Common Area landscaping and trail system and the replacement

of same as necessary; cleaning, striping, sealing and paving of the paved surfaces of the Common Area; the maintenance, repair, replacement of all facilities necessary for the delivery of other utilities or lighting which may exist for the benefit of the Common Areas or all Lots within the Project, specifically including all water facilities and all charges for water services supplied to the Lots; the maintenance of any pipes, submeters or other appurtenances necessary for the delivery of any utility service the Common Areas and the Lots to the extent such maintenance is not the responsibility of a public utility included but not limited to water service; and maintenance of reasonable replacement reserves.

“Consenting Owner” shall mean the Declarant and or its assigns pursuant to Section 7.2, or if Declarant and/or its assigns no longer owns any portion of the Project, the Declarant’s successor-in-interest to the Property identified as Outlot I.

"Declarant" has the meaning set forth in the Preamble, together with its successors and assigns, to whom rights and powers reserved herein to Declarant expressly are conveyed or assigned by operation of law.

"Default Interest Rate" means a per annum rate of interest equal to the twelve percent (12%) percent, or the maximum allowable contract rate of interest under law then in effect in the State.

"Design Standards” shall mean any rules, regulations, and/or standards that may be adopted by the Owners in conformity with this Declaration pursuant to Section V below, for the development and use of the Lots within the Project, as may be amended, revised and/or supplemented by the Consenting Owner from time to time.

"Environmental Laws" means and includes all Applicable Law relating to pollution or protection of human health, wildlife, natural resources, or the environment (including ambient air, surface water, ground water, land surface, or subsurface strata) including such laws governing or regulating the use, generation, storage, removal, remediation, recovery, treatment, handling, transport, disposal, control, release, discharge of, or exposure to, Hazardous Materials. Without limiting the generality of the foregoing, Environmental Laws include the Comprehensive Environmental Response, Compensation and Liability Act, 42 U.S.C. Section 9601, *et seq.*; the Resource Conservation and Recovery Act, 42 U.S.C. Section 6901, *et seq.*; the Toxic Substances Control Act, 15 U.S.C. Section 2601, *et seq.*; the Clean Water Act, 33 U.S.C. Section 1251, *et seq.*; the Hazardous Materials Transportation Act, 49 U.S.C. Section 5101, *et seq.*; the Clean Air Act, 42 U.S.C. Sections 7401, *et seq.*; the Safe Drinking Water Act, 42 U.S.C. Section 300f, *et seq.*; the Occupational Safety and Health Act, 29 U.S.C. Chapter 15, *et seq.*; the Federal Water Pollution Control Act, 33 U.S.C. Sections 1251, *et seq.*; the Federal Insecticide, Fungicide and Rodenticide Act, 7 U.S.C. Section 136, *et seq.*; the River and Harbors Appropriation Act, 33 U.S.C. Section 403, *et seq.*; The Emergency Planning and Community Right to Know Act of 1986, 42 U.S.C. Section 110001, *et seq.*; all regulations adopted thereunder; and any similar local, state or federal laws, rules, ordinances or regulations either in existence as of the date hereof, or enacted or promulgated after the date of this Declaration.

"Hazardous Substances" means those substances now or hereafter included within (whether as a result of such substance's inclusion on a list, physical characteristics, or otherwise)

any of the definitions of "hazardous substances," "hazardous waste," "hazardous materials," "pollutant," "contaminant," or "toxic substance" under, or otherwise regulated by, any Environmental Laws, including, but not limited to: (i) mixtures containing listed Hazardous Substances and waste generated from the treatment, storage, or disposal of Hazardous Substances; (ii) asbestos; (iii) polychlorinated biphenyls; (iv) radioactive materials; and (v) petroleum (including crude oil or any fraction thereof), natural gas, natural gas liquids, liquified natural gas, and synthetic gas.

“Lien” Lien shall mean a lien against any Lot or Lots arising pursuant to this Declaration.

"Lot" or **"Lots"** shall mean those Lots described on Exhibit “B” and any legally created parcel of land hereafter created and located within the Project, including without limitation the subsequent division, if any, of any such Lots. No Lot may be created other than by Declarant so long as Declarant owns any portion of the Project, unless prior written approval is obtained from Declarant.

“Mortgage” shall mean a mortgage, deed of trust or other security device affecting all or any portion of the Project and which shall have been recorded in the Public Records.

“Mortgagee” shall mean and refer to the mortgagee, beneficiary, or other holder of any of a Mortgage, provided the name and address of such mortgagee, beneficiary, or other holder shall appear among the Public Records.

"Occupant" shall mean anyone occupying or using a Lot under or through the Owner, including, without limitation, any Owner, lessee, licensee, user or their employees, agents, contractors, licensees, customers, or invitees.

"Owner" or **"Owners"** shall mean any Person having any fee simple estate in any Lot, excluding any Person who holds such interest as security for the payment of an obligation, but including any Mortgagee or other security holder in actual possession of any Lot, by foreclosure or otherwise, and any Person taking title from any such security holder.

"Person" or **"Persons"** means any individual, corporation, partnership, firm, trustee, or other legal entity, and all respective heirs, successor, and assigns.

"Project" has the meaning set forth in the Recitals. The term Project shall include such additional tracts that, from time to time, are subjected to the provisions of this Declaration and shall not include any tracts that, from time to time, are withdrawn as provided under this Declaration.

“Public Records” shall mean the Official Records of Ada County, Idaho, or such other public office as may, at the time and according to context, be the repository of records and documents imparting contractive notice under applicable local, state or federal law.

"Signage Criteria" shall mean the signage criteria for the Project as established by the Declarant attached hereto as Exhibit "C" and made a part hereof, as amended, modified or supplemented from time to time by the Consenting Owner.

"Structure" or "Structures" shall mean any thing, device or improvement, the placement of which upon any Lot might affect the physical appearance thereof, including, by way of illustration and not limitation, Buildings, covered patios, canopies, drive-throughs, walkways, driveways, parking areas, trees, shrubbery, paving, curbing, landscaping, fences or walls, satellite dishes, television or radio antennas, and any sign or signboard.

Section 1.02 General Declaration. Declarant hereby declares that all of the Project, is hereby made subject to this Declaration and shall be conveyed, hypothecated, encumbered, leased, occupied, built upon or otherwise used, improved, or transferred, in whole or in part, subject to this Declaration. All of the covenants and provisions of this Declaration are hereby declared to be in furtherance of a general plan for the use, enjoyment, improvement, subdivision, and sale of Lots within the Project, and are established for the purpose of enhancing and perfecting the value, aesthetics, desirability and attractiveness of the Project and the Lots. All of the covenants, conditions, restrictions and easements provided in this Declaration shall run with the land now or hereafter constituting the Project, for all purposes, and shall be binding upon and inure to the benefit of Declarant and all Owners, as well as their respective successors-in-interest and assigns. All of the covenants, conditions, restrictions and easements provided in this Declaration shall also be binding upon all Occupants of the Project, as well as their respective successors-in-interest and assigns.

ARTICLE II DURATION AND MODIFICATION OF RESTRICTIONS

Section 2.01 Duration. This Declaration shall remain in full force and effect for fifty (50) years after the date of recordation of this Declaration in the Public Records, and may not be terminated prior to such date, unless terminated by instrument recorded in the Public Records and executed by (a) the then record Owner or Owners of seventy-five percent (75%) of the gross acreage of the Project, (b) Declarant (so long as Declarant owns any interest in the Project), and (c) if applicable, any Required Mortgagees as defined in Section 2.03. Thereafter, this Declaration shall be renewed automatically, without further notice and without limitation, for successive renewal periods of ten (10) years each, unless terminated by instrument recorded in the Public Records and executed by the Owners of seventy-five percent (75%) of the gross acreage of the Project and, if applicable, any Required Mortgagees. Provided, however, that any termination of this Declaration shall not operate to terminate the easements granted under Article VI hereof to the extent that such easements are necessary for the continued use of any Lot, unless a separate easement is granted and recorded in connection with the instrument terminating this Declaration.

Section 2.02 Amendment. So long as Declarant owns any portion of the Project, this Declaration may be modified only by the recordation, in the Public Records, of an agreement or document of modification executed by (a) the then record Owner or Owners of at least fifty-one percent (51%) of the gross acreage of the Project, (b) Declarant and (c) if applicable, any Required Mortgagee. At such time as Declarant no longer owns any portion of the Project, this Declaration may be modified only by the recordation, in the Public Records, of an agreement or document of modification executed by the record Owners of at least seventy-five percent (75%) of the gross acreage of the Project and, if applicable, any Required Mortgagee.

Section 2.03 Required Mortgagee Consent. A first Mortgage may by its terms require that a termination or amendment of this Declaration (or certain specified amendments) be approved in writing by the holder of the Mortgage (the Mortgagee under such a first Mortgage is referred to as a "**Required Mortgagee**"). In such event, a termination or amendment (or, if applicable, the specified amendment) shall not be effective as against a Required Mortgagee without its prior written approval or consent.

ARTICLE III USE OF PROJECT

Section 3.01 No Hazardous Waste. No Lot or any portion thereof shall be utilized for the storage or disposal of Hazardous Substance, nor shall any Owner cause, suffer or permit any Hazardous Substance to be brought upon, kept, stored, disposed of, released, manufactured or used in or about the Project, except to the extent the bringing upon, keeping storage, manufacturing or use of such Hazardous Substance (i) is necessary, consistent with or useful to the conduct of any business lawfully permitted to be operated (under applicable laws and this Declaration) within the Project; (ii) will be in strict compliance with all Laws, including without limitation, all Environmental Laws; (iii) will not result in the breach or default under a Mortgage; (iv) is not harmful to, and will not unreasonably interfere with the business operations of, any other Owner or Occupant, of the Project; (v) will not cause any increase in the amounts of insurance otherwise required to be carried by any other Owner hereunder; and (vi) will not create a nuisance. If an Owner breaches the obligations stated in the preceding sentence, or if, notwithstanding that such presence is permitted under the preceding sentence, the presence of Hazardous Substance within the Project caused, suffered or permitted by an Owner results in contamination of the Project or any part thereof, or if contamination of the Project or any part thereof by Hazardous Substances otherwise occurs for which an Owner is legally liable to any other Owner or Occupant of the Project or Declarant for damage directly resulting therefrom, then such Owner shall protect, indemnify, defend and hold the other Owners and Occupants and Declarant harmless from and against any and all claims (including, without limitation, diminution in value of the Project, damages for the loss or restriction on use of rentable or usable space or of any amenity of the Project, damages arising from any adverse impact on marketing of space, and sums paid in settlement of claims, reasonable attorneys' fees, consultant fees, expert fees and costs) which arise as a result of such contamination, unless caused the gross negligence or willful misconduct of the other Owners, and/or Occupants. This indemnification includes, without limitation, costs incurred in connection with any investigation of site conditions or any cleanup, remediation, removal, or restoration work required by any federal, state, or local governmental agency or political subdivision because of Hazardous Substances present in the soil or ground water on or under the Project. Without limiting the foregoing, if the presence of any Hazardous Substance within the Project or any part thereof caused, suffered or permitted by an Owner directly results in any contamination of the Project or any part thereof, such Owner shall promptly take all actions as are necessary at its sole expense to return the Project or such part thereof to the condition existing prior to the introduction of any such Hazardous Substance to the Project; provided, that the written approval of such actions shall first be obtained from the affected Owners, all Mortgagees and Declarant (if Declarant then owns any interest in the Project).

Section 3.02 General Use Restrictions and Prohibited Uses. Each Lot shall be used for lawful retail or commercial purposes in conformance with the restrictions set forth herein and all restrictions imposed by all applicable Laws and no use or operation shall be made, conducted or palliated on or with respect to all or any portion of a Lot which is illegal. In addition to the foregoing, throughout the term of this Declaration, no portion of the Project shall be used, directly or indirectly, for purposes of:

(i) an adult book store, adult theatre, adult amusement facility, any facility selling or displaying pornographic materials (provided; however the incidental sale of such materials by a regional or national retailer (by way of example, without limitation, a book store, video store, drug store or electronics store) in accordance with such retailer's standard business operations and applicable governmental requirements and regulations shall be permitted);

(ii) auction house or flea market;

(iii) commercial laundry or dry cleaning plant (provided; however, a pick up and drop off dry cleaning business shall be permitted);

(iv) mobile home or trailer court;

(v) mortuary;

(vi) labor camp; junkyard, stock yard or use involving animal raising (provided, however, a national pet supply or pet store shall be permitted);

(vii) any automobile body and fender repair shop operation, or any retail automotive repair shop, including auto part stores, tire stores, and car audio stores with incidental service bays for the installation of products sold from such stores;

(viii) any use which constitutes a public or private nuisance;

(ix) any use which produces any noxious odor which may be smelled outside any Building other than such odors as are typically incidental to first class retail operations;

(x) any use which produces any excessive quantity of litter, dust, dirt or ash;

(xi) any use involving unusual fire, explosive or other damaging or dangerous hazards (including the storage, display or sale of explosives or fireworks);

(xii) any operation for drilling for and/or removal of subsurface substances; or

(xiii) any operation involving dumping, disposal, incineration or reduction of garbage or refuse, other than in enclosed receptacles intended for such purposes.

Section 3.03 Omitted Nuisances and Noxious or Offensive Activities. No Owner or Occupant of any portion of the Project shall create a nuisance to all or any part of the Project or the surrounding properties. No rubbish or debris of any kind shall be placed or permitted to

accumulate upon any Lot (except trash awaiting regular removal and temporarily placed in approved trash receptacles) and no odors, vibrations or noises shall be permitted to arise therefrom so as to render any Lot or portion thereof unsanitary, unsightly, offensive or detrimental to any Lot in the vicinity thereof or to the Owners or Occupants thereof.

Section 3.04 Underground Utilities, Pipes, etc. All pipes, conduits, cables, lines and other equipment for water, gas, sewage, drainage, steam, electricity, or any other energy or service, shall be installed and maintained underground in accordance with and subject to applicable Laws.

Section 3.05 Signs. The location, size, design and construction of all Owner and Occupant signs shall be established and maintained in accordance with plans and specifications approved by the Consenting Owner pursuant to Article V below and consistent with the Signage Criteria, subject to applicable county and municipal codes.

Section 3.06 Fumes, Gases, Odors, etc. No fumes, odors, gases, vapors, acids or other substances shall be permitted to escape or be discharged or released into the atmosphere which are determined to be detrimental to the health, safety or welfare of Persons within the Project or surrounding properties, or which are harmful to property or vegetation. Without limiting the generality of any other provision hereof, all uses within the Project shall comply with all Laws, including without limitation all applicable county or municipal air pollution control standards.

Section 3.07 Maintenance of Lots. Subject to Section 7.01 below, the Owner of every Lot shall maintain the Building Area of its Lot (including without limitation all Structures thereon) in a safe, clean, neat and sanitary condition and in all respects in compliance with all Laws, including without limitation governmental zoning, health, fire and police requirements. Such maintenance shall, if applicable, include, without limitation the foregoing:

(i) Operating, maintaining, keeping in good condition and repair and replacing, as necessary, all lighting facilities attached to the Building on the Lot (and paying all electricity costs related thereto), as shall be reasonably required for the safe and attractive condition of the Lot;

(ii) Maintaining in good condition and repair and consistent with standards of a first- class retail and commercial center, and replacing, as necessary, all Structures located in the Building Area of the Lot, including without limitation, walls, roofs, HVAC systems, covered walkways, overhangs and patio areas;

(iii) Routinely painting (not less than once every ten (10) years) the exterior of all Structures located on the Lot in a color approved by the Consenting Owner;

(iv) Maintaining all Structures located on the Building Area of the Lot in compliance with applicable Laws, including without limitation all Accessibility Laws; and

(v) Maintaining, repairing and replacing, as necessary, all mechanical systems associated with the domestic water facilities which serve the Owner's Lot;

(vi) maintaining, repairing and replacing, as necessary, all exterior trash receptacles and trash enclosures (if any) applicable to the Building located on such Owner's Lot;

(vii) Watering all landscape areas located on the Lot in only the amount sufficient to sustain plant life; and

(viii) Maintaining in effect at all times, a contract with a third-party for the maintenance and off-site monitoring of the fire-safety systems, facilities and components on each Lot in compliance with the provisions of Section 3.16.

(ix) In the event that any portion of the Project and/or Building is damaged by an Owner, its agents, licensees, Occupants, servants, partners or employees, such Owner shall, at their cost to the extent the same is not covered by insurance, expeditiously repair and restore the damaged portion of the Project to a safe, clean, neat, and structurally sound condition.

Section 3.08 Construction Clean-Up. During construction or alteration of any Structure on any Lot, the Owner thereof shall keep the construction site free of accumulations of rubbish and scrap materials to the fullest extent practical. Construction materials, trailers and similar items employed in connection with such construction shall be kept within the property lines of the Lot and in a neat and orderly manner, and shall be removed promptly upon completion of construction. All construction activities shall be conducted in a manner so as not to unreasonably interfere with the business activities of any Owner or Occupant of a Lot.

Section 3.09 Animals. No livestock, poultry or other animals shall be kept on any Lot without the written consent of the Declarant or the Association.

Section 3.10 Dirt, Dust, and Waste Discharge. No use will be permitted which emits dust, sweepings, dirt or cinders into the atmosphere, or discharges liquid, solid wastes or other harmful matter into any runoff, irrigation or other water in violation of any Laws, or regulations of any public body having jurisdiction over the Project. No waste or any substance or materials of any kind shall be discharged into any public or private sewer serving the Project, or any part thereof, in violation of any Laws, or regulations of any public body having jurisdiction over the Project.

Section 3.11 Drainage. There shall be no interference with the established drainage pattern of the Project, without the prior written consent of the Association. Drainage patterns and easements will be designed so that no change in the locations of the building structures as shown on Exhibit B attached hereto will be required.

Section 3.12 Laws. All Owners and Occupants shall, at all times, comply with all Laws, including without limitation the covenants, conditions, obligations and restrictions contained in this Declaration.

Section 3.13 Enclosed Operations; Exterior Storage. Except for loading, unloading, parking, all operations and business activities on a Lot shall be carried on within fully enclosed buildings, and no other outside operations shall be permitted, except in accordance with the guidelines

adopted by the Consenting Owner. No equipment, machinery, products, materials, debris, or similar matters shall be placed, stored, or kept outside of any building in the Project, except in strict compliance with all Laws and with the approval of the Declarant and/or the Owners and in such event, the Owner shall store all such equipment, machinery, products, materials, debris, and similar matters in a neat, clean and attractive manner.

Section 3.14 Leafleting. No distribution, advertising, leafleting, broadcasting, posting or other dissemination of any handbills, streamers, circulars, flyers or other promotional or advertising materials whatsoever shall be permitted at any time in the Project.

Section 3.15 Off-street Parking. No parking shall be permitted on the landscape area, any street, lawn, median strip, public walkway, swales, berm or other unpaved area or at any place other than on paved and designated parking spaces.

Section 3.16 No Further Subdivision. No Lot may be divided into two or more parcels, nor may the property lines of any Lot be altered, whether by lot line adjustment, subdivision map, record of survey, parcel map or otherwise, without the prior written approval of (i) the Owners and, (ii) for so long as Declarant owns any interest in the Project, of Declarant.

Section 3.17 Fire-Safety Systems. Each Owner shall be responsible for the maintenance, repair and replacement, as necessary, of the sprinklers, alarms, smoke detectors and other fire-safety systems, facilities and components existing from time to time on, and/or servicing, its Lot and the Structures thereon. Furthermore, each Owner shall be required to separately secure the services of a third-party for the maintenance and off-site monitoring of all such fire-safety systems, facilities and components on, and/or servicing, each Lot.

ARTICLE IV PARKING

Section 4.01 Non-Exclusive Parking. All parking in the Project shall be reciprocal and for the non-exclusive use by all Owners of the Project and their Occupants and respective guests, employees, customers, agents and invitees. The Owners, Occupants, guests, employees, customers, agents and invitees of each Lot shall be entitled to use a reasonable number of the non-exclusive parking spaces in the Project, but in no event shall such use by the Owners, Occupants, guests, employees, customers, agents and invitees of a single Lot exceed the number of parking spaces that would otherwise be allocated to such Lot under applicable parking code.

Section 4.02 Additional Parking Restrictions. There shall be no parking of any kind allowed on any drive aisle, landscape area, lawn, median strip, walkway, any unpaved area or any other place other than on paved and designated parking space within the Project. No vehicle shall be parked in any parking areas of the Project for more than twelve (12) consecutive hours without the prior written consent of the Consenting Owner.

Section 4.03 Parking Enforcement. Any vehicles parked in the parking areas in violation of these terms may be towed away at the direction of the Consenting Owner (and/or the Lot Owner if such vehicle is parked in such Owner's Reserved Parking area), without imposing any liability on the Consenting Owner and/or the Lot Owner for such action, including without limitation, for any consequential damages, loss of property or loss of the use of the vehicle or

other property. Additionally, the Consenting Owner shall have the right to charge a fee not to exceed One Hundred Dollars (\$100.00) per over-parked vehicle per day, to any Owner whose Occupants, guests, employees, agents, customers or invitees are over-parking in violation of the terms of this Article IV.

ARTICLE V ARCHITECTURAL CONTROL

Section 5.01 Architectural Review. No construction activities shall commence on a Lot, nor shall any Structure be erected, placed, moved onto or permitted to remain on any Lot, nor shall any existing Structure upon any Lot be altered in any way which materially changes the exterior appearance thereof, unless plans and specifications (including without limitation a description of any proposed use) thereof shall have been submitted to and approved in writing by the Consenting Owner. Such submittals shall be in such form, and shall contained such information, as may be reasonably required by the Consenting Owner.

Section 5.02 The Consenting Owner shall have the right, without obligation to disapprove or request modifications of any plans and specifications submitted hereunder because of any of the following:

- (i) failure to comply with any provision of this Declaration or any Law;
- (ii) failure to include information in such plans and specifications as may have been reasonably requested by the Consenting Owner;
- (iii) incompatibility of any proposed Structure or use with existing Structures or uses upon other Lots or other properties in the vicinity;
- (iv) objection to the location of any proposed Structure upon any Lot or with reference to other Lots in the vicinity;
- (v) objection to the grading plan for any Lot;
- (vi) objection to the color scheme, finish, proportions, style of architecture, height, bulk or appropriateness of any Structure;
- (vii) objection to the design or location of Building Areas for any Lot; or
- (viii) any other matter which, in the reasonable judgment of the Consenting Owner, would render the proposed Structure or Structures or use inharmonious with the general plan of improvement of the Project or with Structures located upon other Lots.

In any case where the Consenting Owner shall disapprove any plans and specifications submitted hereunder, or shall approve the same only as modified or upon specified conditions, such disapproval or qualified approval shall be accompanied by a statement of the grounds upon which such action was based. In any such case the Consenting Owner shall, if requested, make reasonable efforts to assist and advise the applicant in order that an acceptable proposal can be prepared and submitted, or re-submitted, for approval.

of the arbitration. **THE DECISION OF THE ARBITRATOR SHALL BE FINAL AND BINDING.**

(iv) **Waiver of Jury Trial.** **DECLARANT, THE CONSENTING OWNER, AND, BY ACCEPTANCE OF A DEED TO A LOT, EACH OWNER, AND, BY ACCEPTANCE OF POSSESSION OF ALL OR PART OF THE LOT OR STRUCTURE, EACH OCCUPANT, FOR ITSELF AND ALL PERSONS CLAIMING BY, THROUGH OR UNDER SUCH OWNER OR OCCUPANT, SHALL CONCLUSIVELY BE DEEMED TO HAVE AGREED TO HAVE ANY DISPUTE DECIDED BY NEUTRAL ARBITRATION IN ACCORDANCE WITH THIS ARBITRATION AGREEMENT, AND SUCH PARTIES ARE GIVING UP ANY RIGHTS EACH MIGHT POSSESS TO HAVE THE DISPUTE LITIGATED IN A COURT OR JURY TRIAL, AND ARE GIVING UP THEIR RESPECTIVE JUDICIAL RIGHTS TO DISCOVERY AND APPEAL. IF THE DECLARANT, THE CONSENTING OWNER, ANY OWNER OR ANY OCCUPANT REFUSES TO SUBMIT TO ARBITRATION SUCH PARTY MAY BE COMPELLED TO ARBITRATE. THE PARTIES' AGREEMENT TO THIS ARBITRATION PROVISION IS VOLUNTARY.**

(v) **Confidentiality.** Declarant, the Consenting Owner, each Owner and each Occupant, whether or not a party to an arbitration under this Section 14.02, and each arbitrator, is expressly prohibited from disclosing the existence, content or results of any arbitration hereunder without the prior written consent of all parties to such arbitration.

ARTICLE XV GENERAL

Section 15.01 Interpretation. The provisions of this Declaration shall be liberally construed together, to effectuate the purpose of creating a uniform plan for the development and operation of the Project. All provisions shall be construed so as to be in conformance with, and shall be governed by, Idaho law.

Section 15.02 Severability. The determination by any court that any provision of this Declaration is unlawful, void or unenforceable shall not affect the validity of any other provision hereof; and no such determination that any provision hereof is inapplicable or unenforceable as to any particular Lot or Lots shall affect the applicability or enforceability of that provision or any other provision hereof to any other Lot or Lots.

Section 15.03 Waiver of Reversionary Right. This Declaration shall not be construed as conditions, or creating a possibility of reverter, and no provision hereof shall be deemed to vest in the Declarant or any other Person any reversionary interest with respect to any Lot. Any such reversionary right is hereby expressly waived.

Section 15.04 Effect of Headings. The headings of the Articles and Sections herein are for convenience only and shall not affect the meanings or interpretation of the contents thereof.

Section 15.05 Conflict with Applicable Laws. This Declaration shall not be taken as permitting any action or thing prohibited by the applicable zoning laws, or any other laws, codes,

With a copy to: Sylvester & Polednak, Ltd.
Attn: Jordan A. Doctors, Esq.
1731 Village Center Cir.
Las Vegas, NV 89134
jordan@sylvesterpolednak.com

If to any other Owner or Occupant: To such address as such Owner or Occupant shall designate in writing to the Consenting Owner, or to the Owners' or Occupant's address in the Project, if no other address is designated.

If to the Consenting Owner: To the address of the current principal office of the Consenting Owner.

Any party may change its address for purposes of this Section 15.10 by giving written notice as provided in this Section 15.10. All notices and demands delivered by a party's attorney on a party's behalf shall be deemed to have been delivered by said party. Notices shall be valid only if served in the manner provided in this Section 15.10.

Section 15.11 Declarant's Right to Deed Additional Property to the Project. Notwithstanding anything to the contrary contained herein, Declarant shall have the absolute right, at any time prior to or after the transfer of all of its interest in the Project to the Owners, and without the need for any approval or acceptance by the Consenting Owner or the Owners, or any other party, to deed to the Project, any real property then owned by Declarant or its affiliates, which real property is adjacent to or within the Project and which exclusively services the Project. In such event such real property shall constitute part of the Common Area and shall be maintained by the Consenting Owner, at the expense of the Owners, in accordance with the terms of this Declaration.

Section 15.12 Non-Discrimination. Each Owner by acceptance of a deed to a Lot, and each Owner and Occupant by accepting possession to all or any portion of a Lot, promises and agrees that there will be no discrimination against, or segregation of, any person or group of persons on the basis of race, color, sex, creed, national origin or ancestry in the leasing, subleasing, transferring, occupancy, tenure or use of the Project or any portion thereof.

Section 15.13 Approvals. No approval by the Declarant or the Consenting Owner under the provisions hereof shall be effective unless in writing, unless otherwise expressly provided herein.

Section 15.14 Third-Party Beneficiary; Successors and Assigns.

(i) **Third-Party Beneficiary.** This Declaration is an agreement solely for the benefit of the Owners (and their permitted successors and/or assigns). No other Person shall have any rights hereunder nor shall any other Person be entitled to rely on the terms, covenants, and provisions contained herein. The provisions of this Section 15.14 shall survive the termination of this Declaration or dissolution of the Declarant.

(ii) **Successors and Assigns.** This Declaration and all its covenants, terms, and provisions shall be binding on and inure to the benefit of each Party and its successors and assigns.

Section 15.15 Further Assurances. Each Owner agrees to do such things, perform such acts, and make, execute, acknowledge, and deliver such documents as may be reasonably necessary and customary to carry out the intent and purposes of this Declaration, so long as any of the foregoing do not materially increase any Owner's obligations hereunder or materially decrease any Owner's rights hereunder.

Section 15.16 Days; Performance on a Saturday, Sunday, or Holiday. Whenever the term "day" is used in this Declaration, it shall refer to a calendar day unless otherwise specified. Should this Declaration require an act to be performed or a notice to be given on a day other than a business day, the act shall be performed or notice given on the following business day.

IN WITNESS WHEREOF, Declarant has executed this Declaration the day and year first above written:

DECLARANT
CRMM, LLC
a Nevada limited liability company

By: _____
Name: _____
Its: _____

STATE OF NEVADA

COUNTY OF CLARK

On this _____ of _____, 2022, before me, _____, Notary Public, personally appeared _____ as _____ of CRMM, LLC, who proved to me on the basis of satisfactory evidence, to be the person(s) whose name(s) is/are subscribed to the written instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of Nevada that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

_____ (SEAL)
Notary Public Signature

Troy Behunin

From: Troy Behunin
Sent: Thursday, August 18, 2022 5:33 PM
To: 'Ada County Highway District'; 'Adam Ingram'; Bobby Withrow; 'Boise Project Board of Control'; 'Boise-Kuna Irri. Dist.'; 'Brent Moore (Ada County)'; Catherine Feistner; 'Central District Health Department'; 'Chief Fratusco'; 'Dennis Chan (Dennis.chan@usps.gov)'; 'DEQ'; 'Eric Adolfson'; 'Erika Olvera'; 'Idaho Power Easements'; 'Idaho Power Easements 2'; 'Intermountain Gas'; 'ITD'; 'J&M Sanitation'; 'Leon Letson (Ada County)'; 'Marc Boyer (Kuna Postmaster)'; 'Nampa Meridian Irrigation District'; 'New York Irrigation'; 'Paris Dickerson'; Paul Stevens; 'Public Works'; 'Robbie Reno'; 'Sara Arjonas ITD D3'; 'Scott Arellano (KRFD) (scott@fccnwi.com)'; 'Stacey Yarrington (Ada County)'; 'TJ Lawrence (Interim KRFD Chief)'; Danielle Horras; COMPASS; Boise-Kuna Irri. Dist.
Cc: Doug Hanson
Subject: Paul Bunyan Plaza Official Request for Agency Comments
Categories: Agency Comments

To view the transmittal packet, please use the link provided in the attachment

Agency Transmittal – August 17, 2022

Notice is hereby given by the City of Kuna the following actions are under consideration:

CASE NUMBER(S):	22-13-S (Pre Plat) and 22-30-DR (Design Review), for the Paul Bunyan Plaza.
PROJECT DESCRIPTION	Applicant requests Preliminary Plat approval in order to subdivide approximately 16.26 ac. into 12 commercial lots. The site was previously Annexed and Zoned as C-2 (Area Commercial). The Applicant is proposing a landscape buffer along Meridian and Deer Flat Roads, within a 20-foot easement. Site is within Section 13 Township 2 North, Range 1 West, Accessor Parcel Number S1313449910.
SITE LOCATION(S)	The site is located at the NWC of Meridian Road and Deer Flat Road, Kuna, Idaho 83634.
REPRESENTATIVE	Ben Thomas, Civil Innovations, PLLC 1043 E Park Blvd. Ste. 101 Boise, ID 83712 208.884.8181 ben@civil-innovations.com
SCHEDULED HEARING DATE	Tuesday, November 9, 2022 , at 6:00 PM, Kuna City Hall Council Chambers, 751 W 4 th Street, Kuna, ID 83634
STAFF CONTACT	Troy Behunin Planner III TBehunin@kunaid.gov

**PROJECT PACKET
LINK**

<http://kunacity.id.gov/DocumentCenter/View/8147/Paul-Bunyan-Plaza-22-13-S-22-30-DR>

CLICK (hold Ctrl), or *copy & paste* this link >>> <http://kunacity.id.gov/DocumentCenter/View/8147/Paul-Bunyan-Plaza-22-13-S-22-30-DR>

If you have question, please let us know.

Thank you,

Troy

Troy Behunin

Planner III

City of Kuna

751 W. 4th Street

Kuna, ID 83634

TBehunin@Kunald.Gov



CONFIDENTIALITY NOTICE

This e-mail and any attachments may contain confidential or privileged information. If you are not the intended recipient, you are not authorized to use or distribute any information included in this e-mail or its attachments. If you receive this e-mail in error, please delete it from your system and contact the sender.



CITY OF KUNA
P.O. BOX 13
KUNA, ID 83634
www.kunacity.id.gov

Catherine Feistner, E.I.T.
Assistant Kuna City Engineer

Brady Barroso
Engineering Technician I

MEMORANDUM

To: Doug Hanson - Planning and Zoning Director
From: Brady Barroso - Engineering Technician I
Catherine Feistner - Assistant City Engineer
Date: 31 October 2022
RE: Public Works Comments
Paul Bunyan Plaza, 22-13-S (Preliminary Plat), 22-30-DR (Design Review)

The Paul Bunyan Plaza, 22-06-S, 22-26-DR, preliminary plat and design review request dated 17 August 2022 has been reviewed. The applicant wishes to plat with a City of Kuna (City) C-2 (area commercial) zone. These comments apply to the application as they affect public works infrastructure. Review of civil design drawings is accomplished separately, when received.

This project is located within the Danskin lift station basin which currently does not have capacity to provide sewer service for Paul Bunyan Plaza. Sewer service for Paul Bunyan Plaza Phase 1 will be contingent on the successful completion of the 18" Danskin sewer force main project. Sewer capacity (equivalent dwelling units (EDU's)) that become available upon completion of the 18" Danskin force main will be distributed on a first come first serve basis. EDU's will be soft reserved once the civil construction drawings are received and issuance of the QLPE will hard reserve the EDU's needed for each phase. Public Works staff cannot support approval of this application until the 18" Danskin force main project is complete.

Comments may be expanded or refined in connection with the future land-use actions.

1) Inspection & Fees

- a) An inspection fee will apply to inspect the final construction of water, sewer, and irrigation facilities associated with this development.
- b) The developer shall retain a qualified responsible, Idaho registered professional engineer to provide sufficient inspection to certify to DEQ that the project was completed in accordance with approved plans and specifications and to provide accurate as-built drawings to the City.
- c) All applicable utility inspection and utility flow modeling fees shall be paid by the developer in accordance with City of Kuna Resolution R57-2021. *Payment is due and payable prior to the pre-construction meeting.*

- d) The Kuna Rural Fire District's fees can be found on their website. *Payment is due and payable prior to the preconstruction meeting.*

2) General

- a) The applicant requests to plat approximately 16 acres.
- b) Commercial Equivalent Dwelling Units (EDU's) will be determined at the time of building permit.
- c) Areas for outside activities are incorporated into the project. Connection to the City of Kuna Pathways Master Plan presents a long-term goal that should be considered.
- d) A construction drawing approval letter from the local irrigation district will be required if this project affects irrigation supply/delivery in any way.
- e) Elevations shall be actual NAVD 88 datum elevations. A localized elevation system is not acceptable.
- f) All positional information shall be from the most recent state plane coordinate system.
- g) Provide engineering certification on all final engineering drawings.
- h) The City of Kuna requires streetlights in all subdivisions. Streetlights are required along arterial roads bordering the subdivision, at the entrances of the subdivision, at intersections, and at every 250' interval. Streetlights should be coincident with Fire Hydrants whenever possible.
- i) Fire suppression shall be available and approved by KRFD.
- j) No building permits will be issued and no construction can begin without adequate fire protection.
- k) Fiber conduit shall be designed and constructed on all mile and mid-mile roads or as otherwise noted.

3) Right-of-Way

- a) Sufficient right-of-way for existing and future classified streets shall be provided pursuant to City & ACHD standards.
- b) Approaches onto classified streets must comply with ACHD approach policies.
- c) All street construction must meet or exceed City of Kuna and ACHD development standards.
- d) All City mainlines crossing proposed lots or located on the backs or sides of lots shall have easements that allow the City of Kuna to access and maintain the utilities.
- e) The KRFD Deputy Fire Marshal, or representative, must approve fire/public safety access to the subdivision.
- f) Roads must continue to and through to the next road connection to promote connectivity throughout the City.

4) Sanitary Sewer Connection

- a) The city is unable to service this development until capacity in the Danskin lift station is relieved by the operating 18" Danskin force main project.
- b) EDU's will be soft reserved once the civil construction drawings are received and issuance of the QLPE will hard reserve the EDU's needed for each phase.
- c) The applicant's property is not connected to City services. The closest possible connection to gravity sewer is located directly to the south of the proposed development in E Deer Flat Rd.
- d) City code 5-16-3-B.2 states public sewer utilities shall be extended to each parcel when sewer is available within three hundred (300) feet of the parcels.

- e) Existing sewage treatment facilities (septic tank and drain field) must be decommissioned in accordance with Idaho Department of Environmental Quality (DEQ) requirements. Documentation shall be provided to the City of Kuna.
- f) Sewer must provide connectivity for surrounding developments.
- g) No cleanouts are permitted at the end of runs in lieu of manholes per Kuna City Code 6-4-2-B.14.
- h) All sewer infrastructure must meet or exceed City of Kuna requirements.
- i) Sewer flow models will be required to verify and accommodate pipe sizes. The associated costs shall be paid by the developer.
- j) Sewer connection fees apply to each lot containing a home or other facility.
- k) This application shall conform to the sewer masterplan as applicable. The sewer master plan specifies minimum pipe sizes and supports the “to and through” utility policy.

5) Potable Water Connection

- a) The applicant’s property is not connected to City services. The closest possible connection to water is located directly to the south of the proposed development in E Deer Flat Rd.
- b) The applicant shall design and construct 12-in. water line along N Meridian Rd.
- c) The applicant may be required to bore across N Meridian Rd and the Kuna Canal.
- d) Water flow models will be required to verify and accommodate adequate water supply and fire suppression. The associated costs shall be paid by the developer.
- e) City code 5-16-3-B.2 states public water utilities shall be extended to each parcel when water is available within three hundred (300) feet of the parcels. It is expected the applicant will connect to City water services, in accordance with the City’s “to and through” policy in Kuna City Code 6-4-2.
- f) All existing wells shall be abandoned in accordance with Idaho Department of Water Resources (IDWR) requirements. Documentation shall be provided to the City of Kuna.
- g) All water infrastructure must meet or exceed City of Kuna requirements.
- h) Water connection fees apply to each lot containing a home or other facility.
- i) Fire hydrants are required in a layout acceptable to the KRFD.

6) Pressurized Irrigation

- a) The applicant’s property is not connected to City services. The closest possible connection to pressurized irrigation is located on the west and the south of the proposed development.
- b) The applicant shall design and construct 12-in. pressurized irrigation along N Meridian Rd and E Deer Flat Rd.
- c) The applicant may be required to bore across N Meridian Rd and the Kuna Canal.
- d) Relying on municipal drinking water for irrigation purposes is contrary to City Code 6-4-2-B.9.
- e) All pressurized irrigation infrastructure shall meet or exceed City of Kuna standards.
- f) Existing irrigation ditches (supply & drain) must be relocated as needed and as approved by the irrigation ditch company/users.
- g) Pressurized irrigation flow model will be required to verify and accommodate adequate pressurized irrigation supply. All associated costs shall be paid by the developer.
- h) Surface water rights shall be transferred to the City prior to the completion of the final plat.

7) Grading and Storm Drainage

- a) Provide a grading and drainage plan which supports and maintains all upstream drainage rights and all downstream irrigation delivery rights as they presently exist for this property.
- b) The City of Kuna relies on the ACHD Stormwater Policy Manual to establish the requirements for design of private storm water disposal systems.
- c) Verify that existing and proposed elevations match at property boundaries such that a slope burden is not imposed on adjacent properties. Slopes shall not be steeper than 3:1 on lots adjacent to a street or common lot and no steeper than 4:1 for lots with common rear lot lines.
- d) Runoff from public right-of-way is regulated by ACHD. On site storm water retention shall be reviewed in conjunction with the City's Civil Engineering Construction Improvements Review. Provide a storm water disposal & treatment plan which accounts for increased on-site storm water runoff volumes. Provide detailed drawings of drainage & treatment facilities with supporting calculations for review and approval.
- e) Sidewalks, curb and gutter, street widening and any related storm drainage facilities, consistent with city code and policies, shall be provided in connection with property development.

8) As-Built Drawings

- a) As-built (record) drawings are required at the conclusion of any public facility construction project and are the responsibility of the developer's engineer. The city may help track changes but will not be responsible for the finished product.
- b) *Correct and verified as-built (record drawings) drawings will be required before occupancy or final plat approval is granted.*

9) Exhibits

- a) No maps are included to support Public Works comments.



Mary May, President
Alexis Pickering, Vice-President
Jim D. Hansen, 2nd Vice President
Kent Goldthorpe, Commissioner
Dave McKinney, Commissioner

October 3rd, 2022

To: Bill Hicks
New Market Advisors
8942 Spanish Ridge Avenue
Las Vegas, NV 89145

Subject: KPP22-0016/ 22-13-S/ 22-30-DR
NWC Meridian Road and Deer Flat Road
Paul Bunyan Plaza

The applicant is requesting approval of a preliminary plat application to allow for the development of 12-commercial lots on 16.26 acres.

A. Traffic Findings for Consideration

1. Traffic Impact Study

Kittelson & Associates, Inc. prepared a traffic impact study for the proposed Beltzarock Subdivision, which originally included this site. An executive summary of the findings **as presented by Kittelson and Associates, Inc.** can be found in Attachment 3. The following executive summary is **not the opinion of ACHD staff**. ACHD has reviewed the submitted traffic impact study for consistency with ACHD policies and practices and may have additional requirements beyond what is noted in the summary. ACHD Staff comments on the submitted traffic impact study can be found below under staff comments.

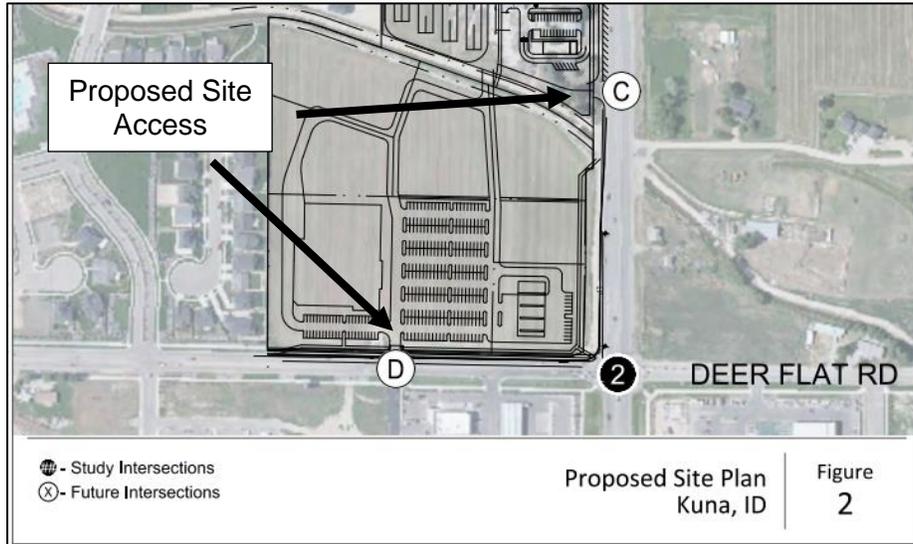
- 2. Staff Comments/Recommendations:** Staff has reviewed the submitted traffic impact study (TIS) and generally agrees with the findings and recommendations. The following sections list the recommended improvements required by ACHD with this development based on the study and District policy.

Deer Flat Road/ Meridian Road Intersection: The eastbound left turning movement for the Deer Flat Road/Meridian Road intersection is over capacity in both the AM and PM peak hours under existing traffic conditions. The TIS recommends the construction of an additional eastbound left-turn lane with 475-feet of storage at the Deer Flat Road/Meridian Road intersection to mitigate the existing traffic conditions.

This intersection is programmed and funded as part of ACHD's CIP to be constructed with a dedicated right-turn lane, one thru-lane, and dual dedicated left-turn lanes, therefore no mitigation is required consistent with District Policy 7106.7.3. Additionally, adding an additional eastbound left-turn lane would not be feasible at this intersection, as it would require additional improvements and right-of-way dedication for the intersection.

Staff recommends no mitigations be constructed with this development application for the Deer Flat Road/Meridian Road intersection.

Site Access D/ Ridley's Access /Deer Flat Road: The applicant has proposed to construct Site Access D on to Deer Flat Road located 618-feet west of Meridian Road and in alignment with the existing access to Ridley's on the south side of Deer Flat Road. District Policy 7205.4.4 indicates that trips on one access point must exceed 5,000 to warrant an additional access point on an arterial roadway. The TIS indicates that without Site Access D, daily trips on Site Access C would be in excess of 5,000, therefore not meeting District Policy 7205.4.4. Additionally, Site Access D is necessary to prevent cut-through traffic through the adjacent neighborhood to the west for vehicles exiting on the site on to Deer Flat Road.



Based on the information provided in the traffic impact study staff recommends approval of Site Access D, as it is needed to serve the site. The study recommends the construction of a dedicated right-turn lane at this driveway to serve the site, as there is already a center left turn lane in this location. Staff recommends this driveway be constructed as a temporary full-access driveway that would be restricted to right-in/right-out in the future as part of ACHD's future intersection widening project (Deer Flat/SH-69) or as traffic conditions warrant, as determined by ACHD.

B. Findings of Fact

1. SH-69/Meridian Road

SH-69/Meridian Road is under the jurisdiction of the Idaho Transportation Department (ITD). The applicant, City of Kuna, and ITD should work together to determine if additional right-of-way or improvements are necessary on SH-69/Meridian Road.

2. Deer Flat Road

- a. **Existing Conditions:** Deer Flat Road is improved with 3-travel lanes, vertical curb, gutter, and no sidewalk abutting the site. There is 102-feet of right-of-way for Deer Flat Road (52-feet from centerline).
- b. **Policy:**
Arterial Roadway Policy: District Policy 7205.2.1 states that the developer is responsible for improving all street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

Master Street Map and Typology Policy: District Policy 7205.5 states that the design of improvements for arterials shall be in accordance with District standards, including the Master Street Map and Livable Streets Design Guide. The developer or engineer should contact the District before starting any design.

Street Section and Right-of Way Width Policy: District Policy 7205.2.1 & 7205.5.2 states that the standard 3-lane street section shall be 46-feet (back-of-curb to back-of-curb) within 70 feet of right-of-way. This width typically accommodates a single travel lane in each direction, a continuous center left-turn lane, and bike lanes.

Sidewalk Policy: District Policy 7205.5.7 requires a concrete sidewalk at least 5-feet wide to be constructed on both sides of all arterial streets. A parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip. Sidewalks constructed next to the back-of-curb shall be a minimum of 7-feet wide.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

Minor Improvements Policy: District Policy 7203.3 states that minor improvements to existing streets adjacent to a proposed development may be required. These improvements are to correct deficiencies or replace deteriorated facilities. Included are sidewalk construction or replacement; curb and gutter construction or replacement; replacement of unused driveways with curb, gutter and sidewalk; installation or reconstruction of pedestrian ramps; pavement repairs; signs; traffic control devices; and other similar items.

ACHD Master Street Map: ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, arterial street requirements, and specific roadway features required through development. This segment of Deer Flat Road is designated in the MSM as a Residential Arterial with 5-lanes and on-street bike lanes, a 72-foot street section within 100-feet of right-of-way.

- c. **Applicant's Proposal:** The applicant has proposed to construct an 8-foot wide detached sidewalk located 44-feet from the centerline of Deer Flat Road.

Staff Comments/Recommendations: The applicant should be required to dedicated additional right-of-way to total 56-feet from centerline for Deer Flat Road to allow for the future Deer Flat/SH-69 Meridian Road intersection widening consistent with the CIP. Compensation will be provided for this right-of-way.

Consistent with the findings and recommendations of the TIS, the applicant should be required to construct a dedicated westbound right-turn lane at Site Access D, located 618-feet west of Meridian Road.

The applicant's proposal to construct 8-foot wide detached concrete sidewalks on Deer Flat Road exceeds District policy, which requires 5-foot wide detached sidewalks on arterial roadways and should be approved as proposed. The sidewalk should be located a minimum of 49-feet from the centerline of Deer Flat Road at

east property line and taper to 43-feet at the site's east property line to tie into the existing sidewalk constructed as part of Winfield Springs located directly west of the site.

3. Driveways – Deer Flat Road

a. **Existing Conditions:** There are no existing driveways from the site on to Deer Flat Road.

b. **Policy:**

Access Points Policy: District Policy 7205.4.1 states that all access points associated with development applications shall be determined in accordance with the policies in this section and Section 7202. Access points shall be reviewed only for a development application that is being considered by the lead land use agency. Approved access points may be relocated and/or restricted in the future if the land use intensifies, changes, or the property redevelops.

Access Policy: District policy 7205.4.6 states that direct access to minor arterials is typically prohibited. If a property has frontage on more than one street, access shall be taken from the street having the lesser functional classification. If it is necessary to take access to the higher classified street due to a lack of frontage, the minimum allowable spacing shall be based on Table 1a under District policy 7205.4.6, unless a waiver for the access point has been approved by the District Commission.

Driveway Location Policy: District policy 7205.4.5 requires driveways located on minor arterial roadways from a signalized intersection with a single left turn lane shall be located a minimum of 330-feet from the nearest intersection for a right-in/right-out only driveway and a minimum of 660-feet from the intersection for a full-movement driveway.

District policy 7205.4.5 requires driveways located on minor arterial roadways from a signalized intersection with a dual left turn lane shall be located a minimum of 330-feet from the nearest intersection for a right-in/right-out only driveway and a minimum of 710-feet from the intersection for a full-movement driveway.

Successive Driveways: District policy 7205.4.6 Table 1a, requires driveways located on minor arterial roadways with a speed limit of 45 MPH to align or offset a minimum of 380-feet from any existing or proposed driveway.

Driveway Width Policy: District policy 7205.4.8 restricts high-volume driveways (100 VTD or more) to a maximum width of 36-feet and low-volume driveways (less than 100 VTD) to a maximum width of 30-feet. Curb return type driveways with 30-foot radii will be required for high-volume driveways with 100 VTD or more. Curb return type driveways with 15-foot radii will be required for low-volume driveways with less than 100 VTD.

c. **Applicant's Proposal:** The applicant has proposed to construct a 30-foot wide curb-return type driveway from the site on to Deer Flat Road located 618-feet west of Meridian Road and in alignment with an existing driveway on the south side of Deer Flat Road.

Staff Comments/Recommendations: Staff recommends approval of this driveway based on the findings of traffic impact study. This driveway is approved as a temporary full-access driveway and will be restricted to right-in/right-out in the future as part of ACHD's intersection widening project (Deer Flat/SH-69) or as traffic conditions warrant, as determined by ACHD.

C. Site Specific Conditions of Approval

1. Dedicated additional right-of-way to total 56-feet from the centerline of Deer Flat Road, abutting the site. Compensation will be provided for this right-of-way.
2. Construct an 8-foot wide detached concrete sidewalk located 49-feet from the centerline of Deer Flat Road at east property line and taper to 43-feet from centerline at the site's west property line to tie into the existing sidewalk for Winfield Estates.
3. Construct a dedicated westbound right-turn lane on Deer Flat Road at the driveway located 618-feet west of Meridian Road.
4. Construct a 30-foot wide paved curb-return type driveway located 618-feet west of Meridian Road and in alignment with an existing driveway located on the south side of Deer Flat Road. This driveway is approved as temporary full-access and will be restricted to right-in/right-out only in the future.
5. A Traffic Impact Fee will be assessed by ACHD and will be due prior to issuance of a building permit. Please contact the ACHD Planner (see below) for information regarding impact fees.
6. Submit civil plans to ACHD Development Services for review and approval. The impact fee assessment will not be released until the civil plans are approved by ACHD.
7. Comply with the Standard Conditions of Approval as noted below.

D. Traffic Information

Trip Generation

The TIS was originally completed for this parcel and the parcel that is now Beltzarock Subdivision. This development, along with Beltzarock Subdivision, is estimated to generate 18,158 vehicle trips per day and 999 vehicle trips per hour in the PM peak hour, based on the traffic impact study.

Condition of Area Roadways: *Traffic Count is based on Vehicles per hour (VPH)*

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service
**SH-69/Meridian Road	600-feet	Principal Arterial	1,265	N/A
Deer Flat Road	878-feet	Minor Arterial	707	Better than "E"

* Acceptable level of service for a three-lane minor arterial is "E" (720 VPH)

** ACHD does not set level of service thresholds for State Highways.

Average Daily Traffic Count (VDT): *Average daily traffic counts are based on ACHD's most current traffic counts*

- The average daily traffic count for SH-69/Meridian Road south of Hubbard Road was 21,517 on 10/05/21.
- The average daily traffic count for Deer Flat Road west of SH-69/Meridian Road was 12,012 on 06/17/21.

E. Attachments

1. Vicinity Map
2. Site Plan
3. TIS Executive Summary
4. Standard Conditions of Approval
5. Appeal Guidelines

If you have any questions, please feel free to contact me at (208) 387-6132.

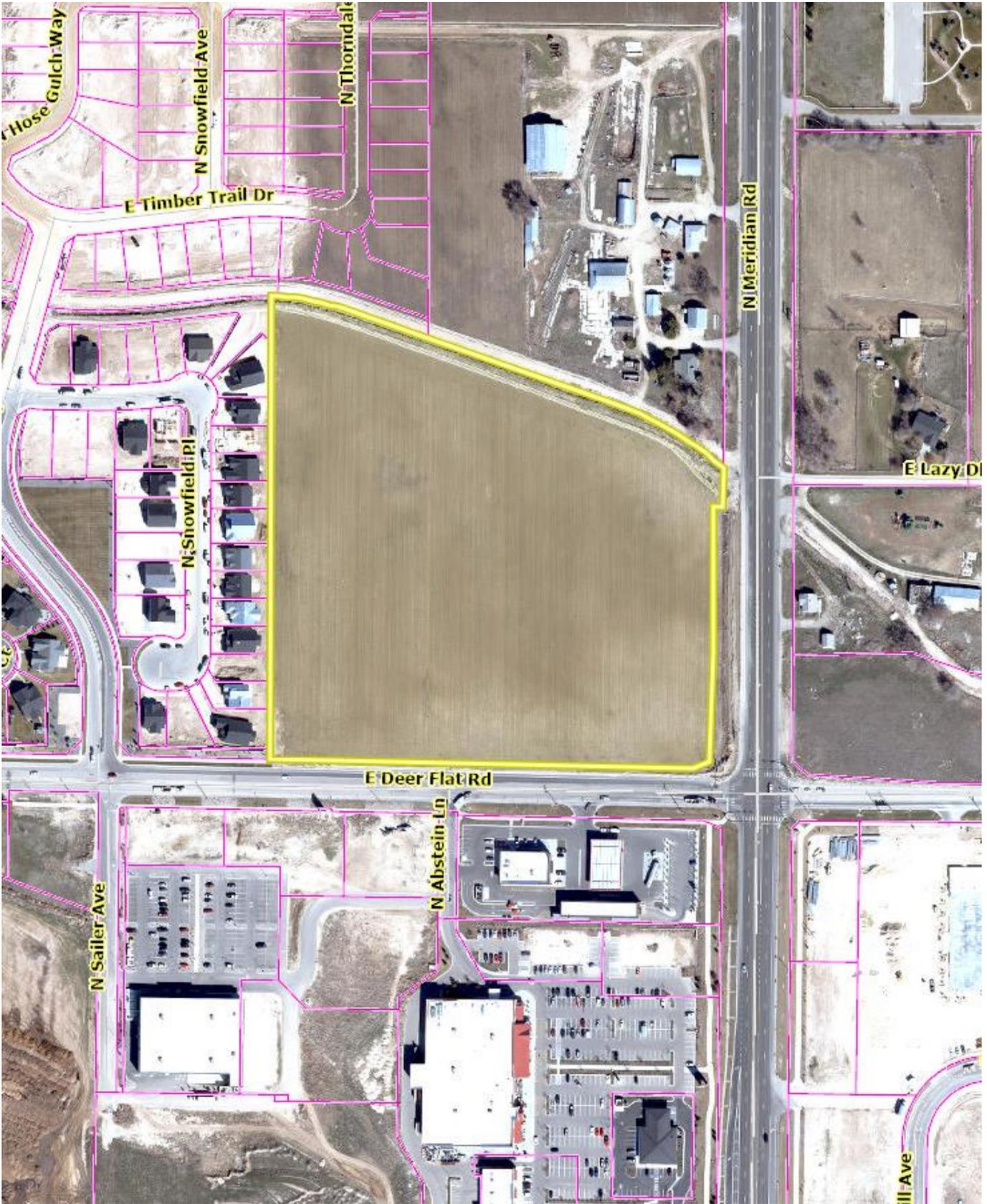
Sincerely,

A handwritten signature in black ink, appearing to read "Kelly Bruner". The signature is fluid and cursive, with a long horizontal flourish at the end.

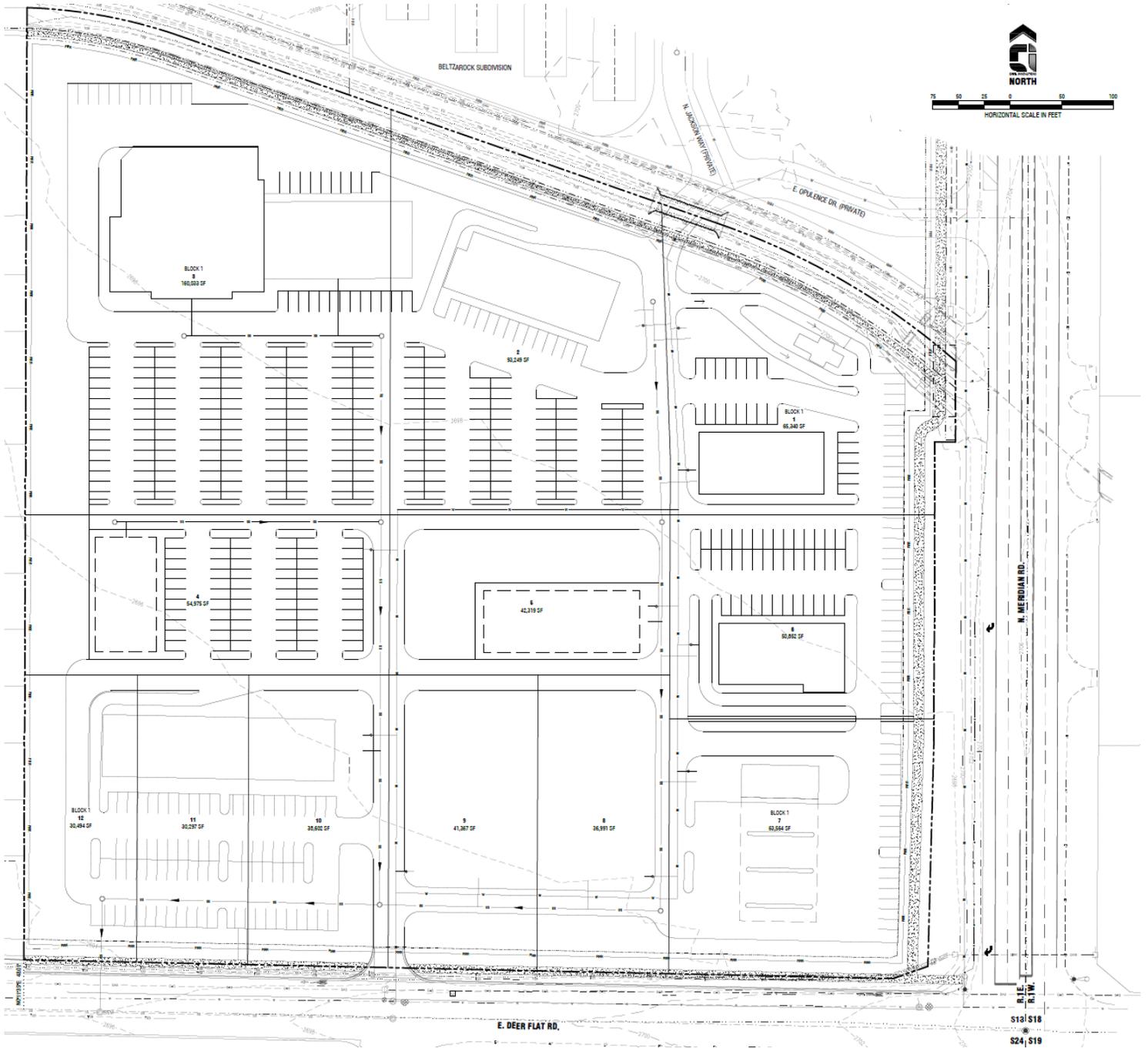
Kelly Bruner
Planner
Development Services

cc: City of Kuna (Troy Behunin, via email)

VICINITY MAP



SITE PLAN



TIS EXECUTIVE SUMMARY

EXECUTIVE SUMMARY

Kittelson & Associates, Inc. (Kittelson) has prepared a Transportation Impact Study (TIS) for the proposed Blackrock Marketplace and Village, located on the west side of Meridian Road (SH 69) north of Deer Flat Road, in Kuna, Idaho. The proposed development site is bounded on the west by existing development (the Winfield Springs Subdivision), on the north by Ardell Road, on the south by Deer Flat Road, and on the east by Meridian Road. Figure 1 shows the site vicinity.

The purpose of this study is to evaluate the impact of the proposed development on the transportation system. Kittelson prepared this TIS based on conversations with SH69 North, LLC (property developer), Ada County Highway District (ACHD), Idaho Transportation Department (ITD) and Ada County Highway District (ACHD), Community Planning Association of Southwest Idaho (COMPASS), City of Kuna, and our familiarity with the area and with ACHD, City and ITD policies. *Appendix A includes the scope of work and coordination emails with ACHD, ITD and COMPASS and the COMPASS area of influence model run.*

The information presented in this report was developed based on conversations with the developer, a due diligence investigation, and coordination with the Idaho Transportation Department (ITD) and Ada County Highway District (ACHD).

FINDINGS

Existing Conditions

The existing conditions analysis findings are summarized below:

- The study evaluated four existing intersections during the AM and PM peak hours of a typical weekday.
- All study intersections were found to operate at acceptable operating standards during the existing weekday AM and PM peak hours with the exception of:
 - **Deer Flat Road / Meridian Road:** The eastbound left-turn movement was found to be over capacity during both the AM and PM peak hours:
 - Mitigation to acceptable operating standards requires adding a second eastbound left-turn lane creating dual eastbound left-turn lanes.
 - Field observations during the weekday AM peak hour revealed that there is a significant peak in eastbound traffic between approximately 7:20 and 7:40 AM that causes significant eastbound queuing on Deer Flat Road that appears to be partially due to traffic from the nearby high school to the west on Deer Flat Road.
 - This intersection is identified in the ACHD CIP for expansion and reconstruction in the 2031-2035 timeframe.



- The two existing unsignalized intersections that will be across from two of the proposed site driveways have movements that operate at LOS D which ACHD policy requires evaluation of signal warrants. These include:
 - **Site Access B (Future)/ Rodeo Lane / Meridian Road:** The westbound movement operates at LOS D with a V/C ratio of 0.03 during the weekday PM peak hour. The westbound volume was only 1 vehicle in the peak hour and therefore would not meet signal warrants. This intersection is also not planned for a signal by ITD in the draft concepts for the ITD SH-69 corridor plan.
 - **Site Access D (Future) / Ridleys Access / Deer Flat Road:** The northbound movement operates at LOS D with a V/C ratio of 0.68 during the weekday PM peak hour, which meets ACHD V/C thresholds of ≤ 1.00 . Based on discussions with ACHD this intersection is planned to be converted to right-in, right-out (RIRO) and will not be considered for signalization. Therefore, traffic signal warrants were not evaluated. It should be noted that existing queues from Meridian Road currently extend to this intersection for brief periods under existing conditions, these events are not accounted for in the LOS procedures. Therefore, actual operations will be worse than reported during those periods.
- Intersection crash rates at the Ardell Road / Meridian Road intersection and Deer Flat Road / Meridian Road intersection did not indicate an abnormally high number of crashes. More detailed review of the crash characteristics identified the following:
 - **Deer Flat Road / Meridian Road:** A review of the crash data revealed a high percentage of the crashes were between eastbound left-turning traffic and westbound through traffic. This could indicate left-turn drivers may not be yielding to through traffic to the extent they should during the permissive left-turn signal phases.
- All ACHD study roadway segments are projected to operate at acceptable levels of service.

2030 Evaluation Findings

The evaluation included 2030 background and 2030 total traffic conditions. The 2030 findings are summarized below:

2030 Background Conditions

- Year 2030 background traffic volumes were forecasted using a 3.0 percent annual compounded growth rate to the existing traffic volumes for all roadways in the study area, except Ardell Road which a 2.0 percent annual compounded growth rate was applied to existing traffic volumes to account for regional growth in the site vicinity. Additionally,



forecasted trips from the Lee Hubble Development were added on Ardell Road based on the TIS for that development.

- The 2030 analysis evaluated two roadway network scenarios for Ardell Road:
 - **Scenario 1:** Ardell Road remains as in the existing conditions and does not extend across the canal to the west.
 - **Scenario 2:** Ardell Road is connected over the canal to the west by 2030 and provides access to Linder Road.
- The 2030 background traffic analysis (without inclusion of site-generated traffic) found that all study intersections are expected to operate at acceptable operating standards during the weekday AM and PM peak hours, with the exception of the following intersections:
 - **Ardell Road / Meridian Road:** Under Scenario 2 in the PM peak hour, the eastbound approach is over-capacity.
 - ITD has an ongoing corridor study looking at long-term improvements that proposes a Reduced Conflict U-Turn (RCUT) intersection at the Ardell Road / Meridian Road intersection. An RCUT or right-in/right-out/left-in (RIROLI) mitigate this intersection under 2030 background conditions.
 - Improvement of this intersection is projected to be needed in approximately 2025, when approximately 122 additional eastbound PM peak hour trips are added to Ardell Road.
 - **Deer Flat Road / Meridian Road:** In the AM peak hour, the overall intersection V/C exceeds 1.00. The eastbound left turn also exceeds 1.00 in the AM and PM peak hour and the northbound and westbound through movements exceed the ITD V/C ratio threshold of ≤ 0.90 during the AM peak hour.
 - Similar to existing conditions, mitigation requires adding a second eastbound left-turn lane. But without signal timing changes the eastbound left-turn and westbound through movements have V/C ratios that exceed the ITD threshold of ≤ 0.90 . To mitigate to the ITD V/C threshold requires the following additional improvement:
 - A third eastbound left-turn lane.
 - **Site Access D / Ridley's Access / Deer Flat Road:** The northbound movement exceeds capacity in the PM peak hour.
 - Mitigation requires restricting the intersection to RIROLI.
 - This mitigation is projected to be needed in approximately 2029 with approximately 384 additional PM peak hour trips added to the intersection above existing traffic volume levels.



- Discussion with ACHD has indicated that in the long term, restriction of this intersection to RIRO is planned.
- All ACHD study roadway segments are projected to operate at acceptable levels of service with the exception of the following:
 - **Deer Flat Road (Site Frontage):** During the weekday AM peak hour, the single eastbound lane exceeds the ACHD segment threshold volume.
 - Mitigation requires adding a second eastbound through lane on Deer Flat Road.
 - This widening is projected to be needed in approximately 2024/2025 with approximately 70 additional eastbound trips on Deer Flat Road.
 - The ACHD CIP identifies widening of this section of Deer Flat Road in the 2031-2035 timeframe.

Trip Generation and Distribution

- The development is estimated to generate a total of approximately 18,158 daily trips, 778 weekday AM peak hour net new trips (440 inbound / 338 outbound) and 999 weekday PM peak hour net new trips (500 inbound / 499 outbound).
- The distribution pattern for site-generated trips was developed by reviewing the site plan and roadway system and evaluating a select zone analysis created by the COMPASS regional travel demand model.

2030 Total Traffic Conditions

- Year 2030 total traffic conditions found the same intersections not meeting ACHD and ITD requirements as under existing and 2030 background conditions which include the following:
 - **Ardell Road / Meridian Road:** Similar to 2030 background traffic conditions, the eastbound approach exceeds capacity during the weekday PM peak hour. With the site traffic, the intersection also exceeds capacity during the weekday AM peak hour under both Ardell Road scenarios.
 - Mitigation requires one of the following options:
 - **Option 1:** Signalized RCUT intersection
 - **Option 2:** Signalized RIROLI (similar to an RCUT operationally)
 - **Option 3:** Signalized full access with an eastbound left-turn lane.
 - Options 1 and 2 operate at acceptable levels of service and under capacity, but the V/C ratios for the eastbound right-turn and the southbound



- through movements exceed the ITD policy of ≤ 0.90 during the weekday PM peak hour.
- Option 3 (full access signalized intersection) is the only option that meets ITD District 3 operational policy for LOS D and movement V/C ratios < 0.90 .
 - The eastbound movement at the intersection is also projected to exceed capacity during the shoulder peak hour.
 - With development of the site, mitigation is projected to be needed in approximately 2023-2025 at which time approximately 27 percent (55,900 SF) and 21 percent (43,400 SF) of the development is estimated to be completed for Scenarios 1 and 2, respectively.
 - Approximately 122 additional eastbound PM peak hour trips, above existing conditions, can be added to the intersection prior to reaching capacity.
 - Site traffic accounts for approximately 18.8 and 19.8 percent of the total entering traffic during the AM and PM peak hours, respectively for Scenario 1 and 17.4 and 18.3 percent during the AM and PM peak hours, respectively for Scenario 2.
- **Deer Flat Road / Meridian Road:** Similar to 2030 background traffic conditions, the eastbound left turn and southbound right turn movements exceed capacity during the weekday AM and PM peak hours.
- Mitigation requires adding a second eastbound left-turn lane (same as existing and background conditions) to meet ACHD policy of LOS E and V/C ratios for movements of ≤ 1.00 .
 - Further mitigation would be needed to meet ITD policy of LOS D and V/C ratios for movements of ≤ 0.90 . Mitigation to ITD policy would require the following:
 - A third eastbound left-turn lane.
 - A third northbound and southbound through lane.
 - The median U-turn (MUT) intersection configuration identified in the draft SH-69 corridor plan was found to result operations that are under capacity, but some movements are projected to exceed the ITD V/C policy of ≤ 0.90 .
 - The eastbound left-turning movement is also projected to exceed capacity in the shoulder peak hours.
 - Site traffic accounts for approximately 13.5 percent of the total entering traffic during both the weekday AM and PM peak hours.
- **Site Access D / Ridley's Access / Deer Flat Road:** The northbound and southbound approaches at the intersection are projected to exceed capacity during both the



weekday AM and PM peak hours. Additionally, projected eastbound queues from the signal at Meridian Road were estimated to impact the ability to have a westbound left-turn lane into the Ridley's Access. The intersection could be mitigated with the following options:

- **Option 1 - Site Access D RIROLI (Ridley's RIRO):** This option operates acceptably but requires southbound left-turning traffic from the site to turn right and make a U-turn at a location to the west, such as Sailer Way, to go east on Deer Flat Road.
- **Option 2 - Site Access D RIRO (Ridley's RIRO):** This option operates acceptably but requires the same re-routing as Option 1, but also requires eastbound left-turns at Site Access D to make turns or left-turns at the Deer Flat Road / Meridian Road intersection to access the site. This option results in the most impact to operations at the Deer Flat Road / Meridian Road intersection. This option may require minor widening and signal modifications at the Deer Flat Road / Meridian Road intersection to accommodate eastbound U-turns.
- With development of the site, mitigation is projected to be needed in approximately 2022/2023 at when approximately 7 percent (14,500 SF) of the development is completed.
- Approximately 75 additional trips can be added to the intersection prior to reaching capacity with the north leg added to the intersection.
- Site traffic accounts for approximately 33.9 percent and 26.8 percent of the total entering traffic during the weekday AM and PM peak hours, respectively.
- All ACHD study roadway segments are projected to operate at acceptable levels of service with the exception of:
 - **Deer Flat Road (Site Frontage):** During the weekday AM peak hour, the single eastbound lane exceeds the ACHD segment threshold volume.
 - The segment meets the ACHD segment thresholds in the shoulder peak hour. Two potential alternative mitigations could include:
 - **Deer Flat Road Sidewalk or Pathway:** A sidewalk or pathway connection along the site frontage to connect to the signal at Meridian Road and the stubbed sidewalk on the west end of the site. This is anticipated to be required by the City but would improve connectivity to the signalized pedestrian crossing on Meridian Road.
 - **Kuna Canal Shared-Use Pathway:** A shared use pathway along the Kuna Canal would provide a convenient connection to the adjacent neighborhood and potentially serve longer trips once other sections are completed by residential subdivisions to the east.



- Mitigation requires adding a second eastbound through lane on Deer Flat Road.
- The ACHD CIP has widening of this section of Deer Flat Road identified for the 2031-2035 timeframe.
- This widening is projected to be needed in approximately 2024 with approximately 70 additional eastbound trips on Deer Flat Road.
- With development of the site, mitigation is projected to be needed in approximately 2024/2025 when approximately 28 percent (55,200 SF) of the development is completed.
- Site traffic accounts for approximately 6.6 percent of the eastbound segment volume during the critical weekday AM peak hour.

Site Access Evaluation

- The turn lane analysis using ACHD and ITD procedures resulted in turn lane warrants at the following external site access streets:
 - Site Access B / Meridian Road:
 - Southbound right-turn lane
 - Northbound left-turn lane (existing center-turn lane)
 - Site Access C / Meridian Road:
 - Southbound right-turn lane
 - Northbound left-turn lane (existing center-turn lane)
 - Site Access D / Ridley's Access / Deer Flat Road:
 - Westbound right-turn lane (RIRO or RIROLI)
 - Eastbound left-turn lane (if RIROLI)
- Impacts to the adjacent local streets where the two street stubs are proposed to be extended into the northern portion of the development are projected to be low and not result in significant cut-through traffic for the following reasons:
 - The two connections to the west at Fort Erie Street and Imlay Street are at the northern portion of the site and therefore are not convenient for a majority of site traffic that is associated with the commercial uses on the south portion of the site.
 - The northern portion of the site has less commercial development than the southern portion of the development.
 - Use of the neighborhood streets would result in significantly longer travel distances to get to both Ardell Road and Deer Flat Road than using the internal site roadways.



- Most of the traffic (approximately 80 percent) is projected to have origins and destinations to the north, south, and east and only approximately 20 percent of the site trips will have destinations to the west on Deer Flat Road and Ardell Road.
- The intersection sight distance review identified that intersection sight distance can be achieved at the site access intersections.
- Daily traffic volumes at the site access locations are projected to remain under 5,000 with the exception of the following:
 - **Site Access A:** Site access A is projected to have a daily volume of 5,010.
 - **Site Access D – RIRO or RIROLI:** Site access D is projected to have a daily volume of 6,680 as a RIROLI and 6,130 as a RIRO.
 - Due to the volumes on these driveways being relatively close to the ACHD 5,000 daily trip threshold, additional driveways were not determined to be needed.
- A review of the site access locations and spacings identified the following:
 - **Site Access A:** The location will meet ACHD access spacing for Ardell Road.
 - **Site Access B:** This driveway will be in place of deeded accesses for the site and will only allow RIROLI movements. This driveway will be approximately opposite Rodeo Lane. The spacing to the north and south exceed the ITD minimum spacing between driveways but is only 550 feet south of Ardell Road which is below the 660 feet required by ITD upstream of the public road intersection.
 - Moving the access south approximately 30 feet may be necessary to accommodate the minimum standard ITD right-turn lane design for 55 mph. Moving the driveway to be offset with Rodeo Lane should not be a significant issue due to the low traffic volumes on Rodeo Lane.

There are minor driveways on the east side of Meridian Road that will be in the influence area of the RIROLI channelization for this driveway that may be restricted to RIRO depending on the design of the access.

- **Site Access C:** This driveway will be in place of deeded accesses for the site and will only allow RIROLI movements. The spacing to the north and south exceed the ITD minimum spacing between driveways and spacing to Ardell Road and Deer Flat Road on the west side of Meridian Road. There are minor driveways on the east side of Meridian Road that will be in the influence area of the RIROLI channelization for this driveway that may be restricted to RIRO depending on the design of the access.
- **Site Access D:** If designed as a RIRO driveway, this access will be aligned with the existing Ridley's driveway and not impact the access spacing of Deer Flat Road. If designed as a RIROLI driveway, this access may need to be shifted west to provide for the taper/gap for the dual left-turn lanes at the Deer Flat Road / Meridian Road.



If such offset is required, it will not create conflicts due to the restricted left-turn movements at both driveways. Additionally, the ACHD access spacing minimums will be met to Meridian Road (assuming the right-in, right-out classification is applied for the distance from Meridian Road) to the east and Sailer Way to the west.

RECOMMENDATIONS

Based on the analyses and findings summarized in this report, the following are the recommendations for the development.

Existing Traffic Condition Mitigations (Without the Proposed Development)

The following mitigations are recommended to accommodate the existing traffic volume and meet ACHD and ITD policies.

- **Deer Flat Road / Meridian Road:** Add a second eastbound left-turn lane to create dual eastbound left-turn lanes. In order to accommodate future traffic growth and the proposed development, a left-turn storage distance of 475 feet is recommended.

Year 2030 Background Traffic Conditions Mitigations (Without the Proposed Development)

The following mitigations are recommended to accommodate the year 2030 background traffic volume and meet ACHD and ITD policies.

2030 Background Traffic – Intersection Improvements

- **Ardell Road / Meridian Road:** Once Ardell Road is connected over the canal to the west (Scenario 2), one of the following mitigations are recommended:
 - **Option 1:** Install an RCUT intersection per the ITD draft corridor plan.
 - **Option 2:** Restrict to RIROLI by closing the eastbound left-turn movement.
 - Signalization could also be considered but is not consistent with the ITD draft corridor plan (see 2030 Total Traffic conditions)
 - Mitigation is estimated to be needed in approximately 2025 once approximately 122 additional eastbound trips are added in the weekday PM peak hour.
- **Deer Flat Road / Meridian Road:** Same improvement identified under existing conditions. It should be noted that two movements will exceed the ITD V/C threshold of 0.90 even with this mitigation and signal timing changes are required for those movements to meet ITD policy.



- **Site Access D / Ridleys Access / Deer Flat Road:** Restrict the existing access to RIRO. RIROLI could be considered if the length of the eastbound left-turn storage at the Deer Flat Road / Meridian Road intersection is not extended as recommended in the existing conditions recommendations and the left-turn lanes can be accommodated back-to-back.
 - This mitigation is projected to be needed in approximately 2029 with approximately 384 additional PM peak hour trips added to the intersection.
 - It should be noted that existing queues from Meridian Road currently extend to this intersection for brief periods under existing conditions which is not accounted for in the LOS procedures. Therefore, actual operations will be worse during those periods.

2030 Background Traffic - Roadway Segment Improvements

- **Deer Flat Road (Site Frontage):** Add an additional eastbound through lane to create two eastbound through lanes.
 - This widening is projected to be needed in approximately 2024 with approximately 70 additional eastbound trips on Deer Flat Road.

Year 2030 Total Traffic Conditions Mitigations (With the Proposed Development)

The following mitigations are recommended to accommodate the year 2030 total traffic volumes and meet ACHD and ITD policies:

2030 Total Traffic - Intersection Improvements

- **Ardell Road / Meridian Road:** Three mitigation options were identified.
 - **Option 1:** Signalized RCUT intersection
 - **Option 2:** Signalized RIROLI (similar to an RCUT operationally)
 - **Option 3:** Signalized full access with an eastbound left-turn lane.
 - Improvement of this intersection is projected to be needed in approximately 2023-2025 at which time approximately 27 percent (55,900 SF) and 21 percent (43,400 SF) of the development is estimated to be completed for Scenarios 1 and 2, respectively.
 - Site traffic accounts for approximately 18.8 and 19.8 percent of the total entering traffic during the AM and PM peak hours, respectively for Scenario 1 and 17.4 and 18.3 percent during the AM and PM peak hours, respectively for Scenario 2.
- **Deer Flat Road / Meridian Road:** Same improvement identified under existing and background 2030 conditions. Queue storage of approximately 475 ft is recommended for the eastbound dual left-turn lanes.



- Site traffic accounts for approximately 13.5 percent of the total entering traffic during both the weekday AM and PM peak hours.
- **Site Access D / Ridley's Access / Deer Flat Road:** Two improvement options were identified, of which Option 1 provides the best operations with respect to the Deer Flat Road / Meridian Road intersection:
 - **Option 1 – Site Access D RIROLI (Ridley's RIRO):** Design the access at RIROLI for the north leg of the intersection a RIRO for the Ridley's Access in order to accommodate the eastbound left-turn queuing from the Deer Flat Road / Meridian Road intersection.
 - Install a westbound right-turn lane
 - Install an eastbound left-turn lane
 - Minor movement of Site Access D west may be needed depending on the design of the eastbound dual left-turn lanes.
 - **Option 2 – Site Access D RIRO (Ridley's RIRO):** Design the intersection as a RIRO for both the north and south legs of the intersection. This option results in the most impact to operations at the Deer Flat Road / Meridian Road intersection.
 - Install a westbound right-turn lane.
 - Review the northwest corner of the Deer Flat Road / Meridian Road intersection to determine if eastbound U-turns can be accommodated and modify the corner design if necessary.
 - Improvement of this intersection is projected to be needed in approximately 2022/2023 when approximately 7 percent (14,500 SF) of the development is completed.
 - Site traffic accounts for approximately 33.9 percent and 26.8 percent of the total entering traffic during the weekday AM and PM peak hours, respectively.

2030 Total Traffic - Roadway Improvements

- **Deer Flat Road (Site Frontage):** Same as background 2030 (add an additional eastbound lane to accommodate AM traffic volumes).
 - With development of the site, mitigation is projected to be needed in approximately 2024/2025 at which time approximately 28 percent (55,200 SF) of the development is completed.
 - Site traffic accounts for approximately 6.6 percent of the eastbound segment volume during the critical weekday AM peak hour.
 - The segment meets the ACHD segment thresholds in the shoulder peak hour. Two potential alternative mitigations could include:



- **Deer Flat Road Sidewalk or Pathway:** A sidewalk or pathway connection along the site frontage to connect to the signal at Meridian Road and the stubbed sidewalk on the west end of the site. This is anticipated to be required by the City but would improve connectivity to the signalized pedestrian crossing on Meridian Road.
- **Kuna Canal Shared Use Pathway:** A shared use pathway along the Kuna Canal would provide a convenient connection to the adjacent neighborhood and potentially serve longer trips once other sections are completed by residential subdivisions to the west.

Site Driveways

- Install the site access driveways with the following configurations:
 - **Site Access A:** Single lane northbound and southbound.
 - **Site Access B:** Channelized RIROLI that may require relocation approximately 30 feet (or more) south to accommodate the ITD right-turn lane design. The following turn lanes are recommended:
 - Northbound left-turn lane with 100 feet of vehicle storage (existing two-way-left-turn (TWLTL) can be used).
 - Southbound right-turn lane per ITD design requirements.
 - Minor movement of the site driveway south may be needed to accommodate the southbound right-turn lane design.
 - **Site Access C:** Channelized RIROLI. The following turn lanes are recommended:
 - Northbound left-turn lane with 100 feet of vehicle storage (existing two-way-left-turn (TWLTL) can be used).
 - Southbound right-turn lane per ITD design requirements.
 - **Site Access D:** Channelized RIROLI or RIRO. The following turn lanes are recommended:
 - RIROLI (provides best operations at Deer Flat Road / Meridian Road):
 - Eastbound left-turn lane with 100 feet of vehicle storage (existing two-way-left-turn (TWLTL) can be used).
 - Westbound right-turn lane with 100 feet of vehicle storage per ACHD requirements.
 - Movement of Site Access D slightly west may be required based on the design of the eastbound dual-left-turn lanes taper/gap for the Deer Flat Road / Meridian Road intersection.



- RIRO:
 - Westbound right-turn lane with 100 feet of vehicle storage.

The following recommendations have been identified to ensure adequate safety and sight distance is provided at the site access points, internal intersections, and roadways:

- Verify adequate intersection sight distance is available during the final design of the access driveways and internal intersections.
- Review placement of fences, walls, monument signs, street trees, and other features that may impact intersection sight distance.
- Site accesses should match the existing grade of the roadways.
- Shrubbery, weeds, and landscaping near the internal intersections and site access points should be maintained or modified to ensure adequate sight distance.
- If future widening occurs along adjacent roadways, care should be taken to ensure adequate intersection sight distance is maintained.



Standard Conditions of Approval

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).
2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
3. In accordance with District policy, 7203.6, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA) requirements. The applicant's engineer should provide documentation of ADA compliance to District Development Review staff for review.
4. Replace any existing damaged curb, gutter and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.
5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.
9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.
10. Construction, use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.
11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.
12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.

Request for Appeal of Staff Decision

1. **Appeal of Staff Decision:** The Commission shall hear and decide appeals by an applicant of the final decision made by the Development Services Manager when it is alleged that the Development Services Manager did not properly apply this section 7101.6, did not consider all of the relevant facts presented, made an error of fact or law, abused discretion or acted arbitrarily and capriciously in the interpretation or enforcement of the ACHD Policy Manual.
 - a. **Filing Fee:** The Commission may, from time to time, set reasonable fees to be charged the applicant for the processing of appeals, to cover administrative costs.
 - b. **Initiation:** An appeal is initiated by the filing of a written notice of appeal with the Secretary and Clerk of the District, which must be filed within ten (10) working days from the date of the decision that is the subject of the appeal. The notice of appeal shall refer to the decision being appealed, identify the appellant by name, address and telephone number and state the grounds for the appeal. The grounds shall include a written summary of the provisions of the policy relevant to the appeal and/or the facts and law relied upon and shall include a written argument in support of the appeal. The Commission shall not consider a notice of appeal that does not comply with the provisions of this subsection.
 - c. **Time to Reply:** The Development Services Manager shall have ten (10) working days from the date of the filing of the notice of appeal to reply to the notice of the appeal, and may during such time meet with the appellant to discuss the matter, and may also consider and/or modify the decision that is being appealed. A copy of the reply and any modifications to the decision being appealed will be provided to the appellant prior to the Commission hearing on the appeal.
 - d. **Notice of Hearing:** Unless otherwise agreed to by the appellant, the hearing of the appeal will be noticed and scheduled on the Commission agenda at a regular meeting to be held within thirty (30) days following the delivery to the appellant of the Development Services Manager's reply to the notice of appeal. A copy of the decision being appealed, the notice of appeal and the reply shall be delivered to the Commission at least one (1) week prior to the hearing.
 - e. **Action by Commission:** Following the hearing, the Commission shall either affirm or reverse, in whole or part, or otherwise modify, amend or supplement the decision being appealed, as such action is adequately supported by the law and evidence presented at the hearing.

DAVID REYNOLDS
CHAIRMAN OF THE BOARD

DONALD BARKSDALE
VICE CHAIRMAN OF THE BOARD

ROBERT D. CARTER
PROJECT MANAGER

THOMAS RITTHALER
ASSISTANT PROJECT MANAGER

APRYL GARDNER
SECRETARY-TREASURER

MARY SUE CHASE
ASSISTANT SECRETARY-
TREASURER

BOISE PROJECT BOARD OF CONTROL

(FORMERLY BOISE U.S. RECLAMATION PROJECT)

2465 OVERLAND ROAD
BOISE, IDAHO 83705-3155

RECEIVED
AUG 24 2022
CITY OF KUNA

OPERATING AGENCY FOR 167,000
ACRES FOR THE FOLLOWING
IRRIGATION DISTRICTS

NAMPA-MERIDIAN DISTRICT
BOISE-KUNA DISTRICT
WILDER DISTRICT
NEW YORK DISTRICT
BIG BEND DISTRICT

TEL: (208) 344-1141
FAX: (208) 344-1437

22 August 2022

City of Kuna
P.O. Box 13
Kuna, Idaho 83634

RE: Paul Bunyan Plaza, CRMM, LLC
N. Meridian Rd and Deer Flat Rd, Kuna, ID
Boise-Kuna Irrigation District
Kuna Canal 136+90
Sec. 13, T2N, R1W, BM.

22-13-S, 22-30-DR

BK-1231A

Troy Behunin:

The United States' Kuna Canal lies within the boundary of the above-mentioned location. The easement for this lateral is held in the name of the United States through the Bureau of Reclamation under the authority of the Act of August 30, 1890. (26 Stat. 391; 43 U.S.C. 945)

The Boise Project Board of Control is contracted to operate and maintain this lateral. We assert the **federal easement 38 feet northeasterly and 35 feet southwesterly** of the lateral's centerline. Whereas this area is for the operation and maintenance of our facility, no activity should hinder our ability to do so.

The Boise Project does not approve landscaping (other than grass or gravel) or pathways within its easements, as this will certainly increase our cost of maintenance. Easements must remain a flat drivable surface.

Fencing/pathways (as may be required) must be constructed just off the canal easement, to ensure public safety and prevent encroachments.

Please note the appropriate easements on all future preliminary/final plats.

Wording on the preliminary and final recorded plat needs to state that any proposed and/or future usage of the Boise Project Board of Control facilities are subject to Idaho Statutes, Title 42-1209.

Project facilities and/or easements that parallel, and are within and/or intended to be within road right-of-ways due to any development of this property must be relocated outside of road right-of-ways. The easements of Boise Project facilities will remain the same unless agreed upon and/or approved with written permission from Boise Project Board of Control.

The construction of any roadway crossings must be conducted only during the non-irrigation season when the lateral is dewatered. In any case no work shall take place within the easement before the proper crossing agreements have been secured through the Bureau of Reclamation and the Boise Project Board of Control.

Utilities planning to cross any project facility must do so in accordance with the master policies now held between the Bureau of Reclamation and most of the utilities. In any case, no work shall take place within the easement before proper crossing agreements have been secured through both the Bureau of Reclamation and the Boise Project Board of Control.

Parking lots, curbing, light poles, signs, etc. and the placing of asphalt and/or cement over Project facility easements must be approved by Boise Project Board of Control prior to construction.

Boise Project Board of Control must approve any requests and/or relocation of delivery points prior to construction.

Storm Drainage and/or Street Runoff must be retained on site.

NO DISCHARGE into any live irrigation system is permitted.

Per Idaho Statutes, Title 42, local irrigation/drainage ditches that cross this property, in order to serve neighboring properties, must remain unobstructed and protected by an appropriate easement by the landowner, developer and contractors.

This development is subject to Idaho Code 31-3805, in accordance, this office is requesting a hard copy of all plans including irrigation and drainage plans.

Whereas this property lies within the Boise-Kuna Irrigation District it is important that representatives of this development contact the BKID office as soon as possible to discuss the pressure system prior to any costly design work. If applicable, the irrigation system will have to be built to specific specifications as set by the District / Project.

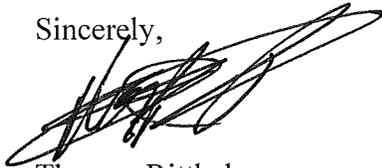
Boise Project Board of Control must receive a written response from the Boise-Kuna Irrigation District as to who will own and operate the pressure irrigation system prior to review and approval of an irrigation plan by Boise Project Board of Control.

Whereas this development is in its preliminary stages, Boise Project Board of Control reserves the right to review plans and require changes when our easements and/or facilities are affected by unknown factors even during the construction phase.

Prior to any construction being done next to or within the easements listed previously the contractor and/or developer must contact our Division 2 watermaster at 208-342-5086.

If you have any further questions or comments regarding this matter, please do not hesitate to contact me at (208) 344-1141.

Sincerely,



Thomas Ritthaler
Assistant Project Manager, BPBC

tbr/tr

cc: Clint McCormick Watermaster, Div; 2 BPBC
Alicia Flavel Secretary – Treasurer, BKID
File



Ada County Transmittal
Division of Community and Environmental Health

Return to:

- ACZ
- Boise
- Eagle
- Garden City
- Meridian
- Kuna
- Star

Rezone/OTD # 22-30-DR

Conditional/Accessory Use # _____

Preliminary / Final / Short Plat 22-13-S

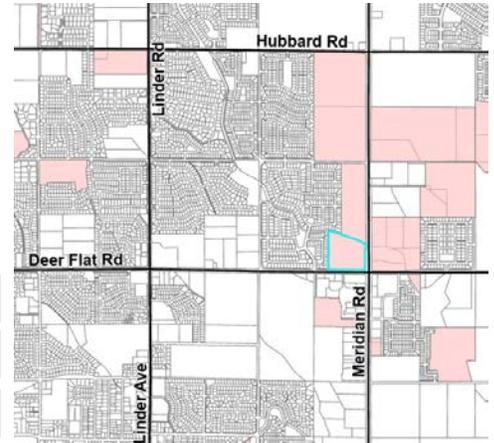
Development Name/Section Paul Bunyan Plaza

- 1. We have No Objections to this Proposal.
- 2. We recommend Denial of this Proposal.
- 3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
- 4. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
 - high seasonal ground water
 - waste flow characteristics
 - bedrock from original grade
 - other _____
- 5. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
- 6. After written approvals from appropriate entities are submitted, we can approve this proposal for:
 - central sewage
 - community sewage system
 - interim sewage
 - central water
 - individual sewage
 - individual water
 - community water well
- 7. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
 - central sewage
 - community sewage system
 - sewage dry lines
 - central water
 - community water
- 8. Infiltration beds for storm water disposal are considered shallow injection wells. If they are not in the City of Boise or ACHD right-of-way, an application and fee per well, vicinity map and construction plans must be submitted to CDH.
- 9. If restroom or plumbing facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
- 10. An accessory use application, fee, detailed site plan and floor plans must be submitted to CDH for review.
- 11. Land development application, fee per lot, test holes and full engineering report is required.
- 12. CDH makes no guarantee a septic permit will be issued on the split off lot. A speculative site evaluation is recommended.
- 13. We will require plans be submitted for a plan review for any:
 - food establishment
 - swimming pools or spas
 - beverage establishment
 - grocery store
 - child care center
- 14. _____

Reviewed By: Rowan Date: 9/1/22

Communities in Motion 2050 Development Checklist

The Community Planning Association of Southwest Idaho (COMPASS) is the metropolitan planning organization (MPO) for Ada and Canyon Counties. COMPASS has developed this review as a tool for local governments to evaluate whether land developments are consistent with the goals of Communities in Motion 2050 (CIM 2050), the regional long-range transportation plan for Ada and Canyon Counties. This checklist is not intended to be prescriptive, but rather a guidance document based on CIM 2050 goals.



Development Name: Paul Bunyan Plaza
CIM Vision Category: Existing Neighborhood **New Jobs:** ±1180
CIM Corridor: Deer Flat Road **New Households:** 0



Safety

Level of Stress measures how safe and comfortable a bicyclist or pedestrian would feel on a corridor and considers multimodal infrastructure number of vehicle lanes and travel speeds.

- Pedestrian level of stress
- Bicycle level of stress



Economic Vitality

These tools evaluate whether the location of the proposal supports economic vitality by growing near existing public services.

- Activity Center Access
- Farmland Preservation
- Net Fiscal Impact
- Within CIM Forecast



Convenience

Residents who live or work less than 1/2 mile from critical services have more transportation choices, especially for vulnerable populations.

- Nearest bus stop
- Nearest public school
- Nearest public park



Quality of Life

Checked boxes indicate that additional information is attached.

- Active Transportation
- Automobile Transportation
- Public Transportation
- Roadway Capacity



Improves performance



Does not improve or reduce performance



Reduces performance

Comments:

Ensure that pedestrians can safely move through the parking lot to businesses. Note the [Kuna Express Route](#), tentatively planned for late 2025, is within 0.5 miles of the site. In the future, consider working with partners such as ACHD Commuteride to set aside parking for a small park and ride facility.

Communities in Motion 2050
[2020 Change in Motion Report](#)
[Development Review Process](#)

Web: www.compassidaho.org
 Email: info@compassidaho.org



COMPASS
 COMMUNITY PLANNING ASSOCIATION
 of Southwest Idaho

Parking Management

Getting to the right balance of parking is important. Not enough parking means that parking spills into nearby areas, customers can't get to businesses, and safety is decreased due to illegal parking and increased traveling to find parking spaces.

However, an oversupply of parking can result in less land for businesses and diminished efforts to promote other modes.

Curb space is where people and vehicles intersect.

Increasingly the curb has become a key place to balance needs between conflicting users. While safety is paramount, demand from different users, different days of the week, and different times of the day creates challenges and opportunities.



Credit: Global Designing Cities Initiative

Several steps can be taken to make parking and curbside management work for communities:

Arrange parking near destinations to limit the amount of circling for nearby parking spaces and create multiple smaller parking lots rather than large parking lots.

- ✓ Provide shared parking between multiple users or destinations that have different peak periods. For example, office buildings traditionally need day-time parking while restaurants need space later in the evening.

Improve walking and cycling infrastructure to make them feasible alternatives to driving and parking.

- ✓ Add landscape islands and designated walking paths to enable the safe and comfortable paths to businesses.

Fiscal Impact Analysis Supplemental for the Development Review Checklist

The purpose of the fiscal impact analysis is to better estimate expected revenues and costs to local governments as a result of new development so that the public, stakeholders, and the decision-makers can better manage growth. Capital and operating expenditures are determined by various factors that determine service and infrastructure needs, including persons per household, student generation rates, lot sizes, street frontages, vehicle trip and trip adjustment factors, average trip lengths, construction values, income, discretionary spending, and employment densities.

The COMPASS Development Checklist considers the level of fiscal benefits, how many public agencies benefit or are burdened by additional growth, and how long the proposal will take to achieve a fiscal break-even point, if at all.

More information about the COMPASS Fiscal Impact Tool is available at:

www.compassidaho.org/prodserv/fiscalimpact.htm

Overall Net Fiscal Impact Net Fiscal Impact by Agency



City



County



Highway District



School District

Break Even: Doesn't Break Even



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AUG 29 2022

ORGANIZED 1904

CITY OF KUNA

Nampa & Meridian Irrigation District

1503 FIRST STREET SOUTH
FAX #208-463-0092

NAMPA, IDAHO 83651-4395
nmid.org

OFFICE: Nampa 208-466-7861
SHOP: Nampa 208-466-0663

August 23, 2022

Troy Behunin, Senior Planner
City of Kuna
751 W. 4th Street
Kuna, ID 83634

RE: 22-13-S, 22-30-DR/ Paul Bunyan Plaza; N. Meridian Road

To Whom It May Concern:

Nampa & Meridian Irrigation District (NMID) has no comment on the above referenced application as it lies outside of our district boundaries. Please contact Thomas Ritthaler, Boise Project- Board of Control, at 208-344-1141 or 2465 Overland Road Room 202 Boise, ID 83705-3173.

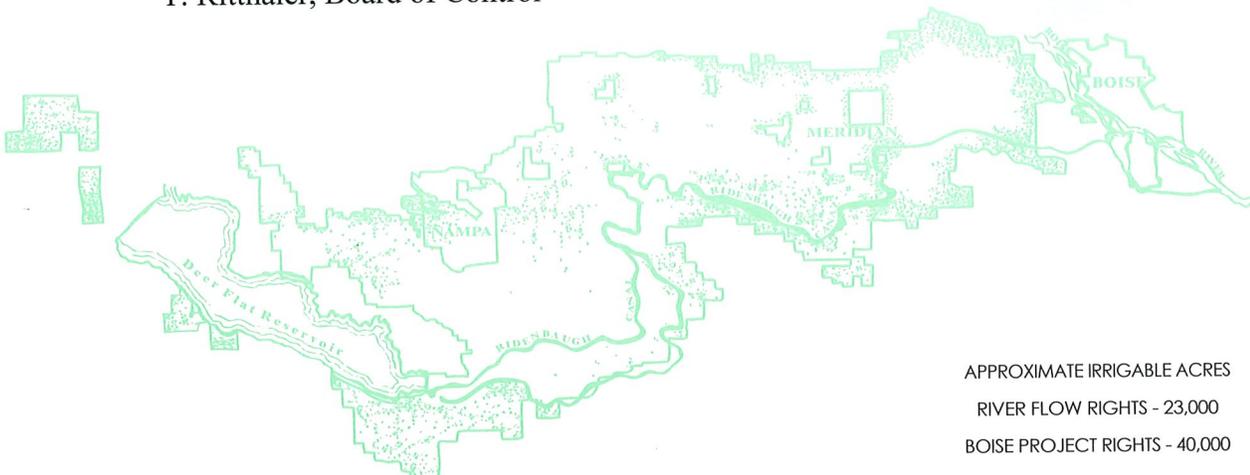
All private laterals and waste ways must be protected. All municipal surface drainage must be retained on-site. If any surface drainage leaves the site NMID must review drainage plans. Developers must comply with Idaho Code 31-3805.

Sincerely,

David T. Duvall
Asst. Water Superintendent
Nampa & Meridian Irrigation District
DTD/ eol

Cc:

Office/ file
T. Ritthaler, Board of Control



APPROXIMATE IRRIGABLE ACRES
RIVER FLOW RIGHTS - 23,000
BOISE PROJECT RIGHTS - 40,000



ADVERTISING PROOF

c/o ISj Payment Processing Center
 PO Box 1570,
 Pocatello, ID 83204
 Ph. (208) 465-8129 Fax: (907) 452-5054

BILLING DATE:	ACCOUNT NO:
10/14/22	21880

LEGAL NOTICE

**Case No. 22-13-S
 (Preliminary Plat) for
 Paul Bunyan Plaza**

1 KUNA, CITY OF
 P.O. BOX 13
 KUNA, ID 83634

NOTICE IS HEREBY GIVEN the P & Z Commission is scheduled to hold a public hearing on **Wednesday, November 9, 2022, at 6:00 PM**, (or as soon as can be heard); in City Hall Council Chambers, 751 W 4th Street, Kuna, ID, 83634, in connection with Paul Bunyan Plaza. Civil Innovations requests Preliminary Plat approval in order to subdivide a previously Annexed parcel, approximately 16.26 ac. in size, into 12 commercial lots. APN (S1313449910).

Please do not contact the Commission, City Council, or Mayor as this may jeopardize the public hearing process. The public is invited to provide written or oral testimony. If you require special accommodations, or would like additional information please contact P & Z Department prior to the meeting at (208) 922-5274.

Kuna P & Z Department

October 19, 2022 293947

AD #	DESCRIPTION	START	STOP	TIMES	AMOUNT
293947	22-13-s - paul bunya	10/19/22	10/19/22	1	\$37.38

Payments:

Date	Method	Card Type	Last 4 Digits	Check	Amount
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Discount:	\$0.00	Gross:	\$37.38
Surcharge:	\$0.00	Paid Amount:	\$0.00
Credits:	\$0.00		

Amount Due: \$37.38

We Appreciate Your Business!

Suggestions for Testifying at Public Hearings:

Be Informed...

Review the proposal, Staff Report, applicable Ordinance(s), Comprehensive Plan & Idaho Code §67-65. All items pertaining to the application can be found online the Friday prior to the hearing at www.kunacity.id.gov >City Government >Agendas & Minutes.

Be on time...

Although the item you are interested in may not be first on the agenda, you never know when it will be heard; the governing body has authority to adjust the schedule according to its discretion, thus, anticipate attending from the beginning.

Speak to the Point...

The governing body appreciates pertinent, well organized, factual & concise comments. The Developer or their Representative is given 10 minutes to present their project; 3 minutes per individual is provided for public testimony; neighborhood groups are encouraged to select a community representative & the representative is provided 10 minutes (please inform staff). The Developer/Representative is given additional time for rebuttal.

If you do not wish to speak, write...

Written testimony received by close of business the Wednesday before the hearing will be included in the meeting packet; late submissions will be provided to the governing body at time of hearing. As a reminder, it is unreasonable to submit extensive written comments/info at the hearing and expect it to be reviewed prior to a decision.

NEOPOST

FIRST-CLASS MAIL

10/19/2022

US POSTAGE \$000.00⁰⁰



PO BOX 13
Kuna, ID 83634



ZIP 83634
041M11460992

Proof of LEGAL
Notice MAILED
TB - 10.19.22
JR 10.19.22

Dear Property Owner: NOTICE IS HEREBY GIVEN the **Planning & Zoning Commission** is scheduled to hold a Public Hearing on **Wednesday, November 9, 2022, at 6:00 PM** (or as soon as can be heard), in City Hall Council Chambers, 751 W 4th Street, Kuna, ID, 83634, on the following case:

**Case No. 22-13-S (Preliminary Plat)
Paul Bunyan Plaza.**

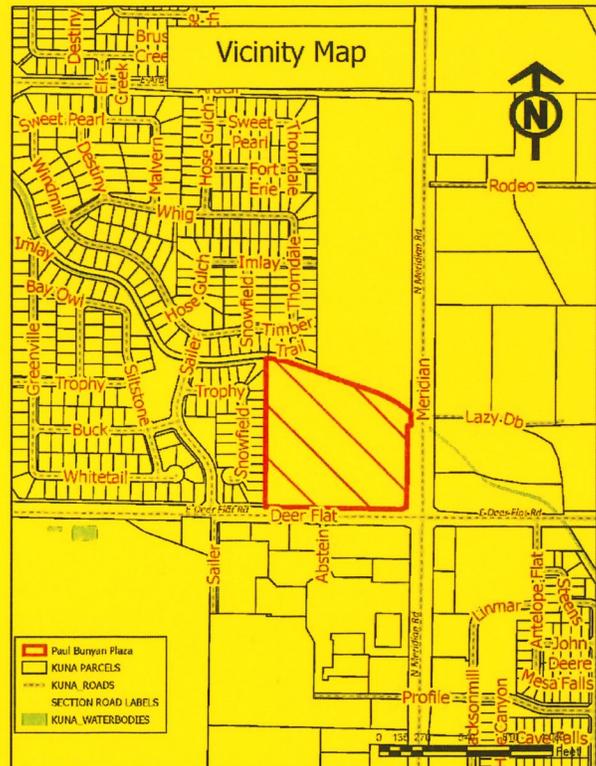
Civil Innovations requests Preliminary Plat approval in order to subdivide a previously Annexed parcel, approximately 16.26 ac. in size, into 12 commercial lots. APN (S1313449910).

The public is invited to provide written or oral testimony; the City of Kuna is providing alternative ways for the community to submit comments at a Public Hearing if they do not wish to testify in person or will not be able to attend. Please contact the Kuna Planning & Zoning Department at 208.922.5274.

Written testimony received by close of business on **November 3, 2022**, will be included with the packet distributed to the governing body prior to the hearing.

MAILED 10.18.2022

LEGAL NOTICE



Review the proposal, Staff Report, applicable Ordinance(s), Comprehensive Plan & Idaho Code §67-65. All items pertaining to the application can be found online the Friday prior to the hearing at www.kunacity.id.gov >City Government >Agendas & Minutes.



ZIP 83634
041M11460992

PO BOX 13
Kuna, ID 83634

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BAUER SHELLY L
1948 N THORNDALE AVE
KUNA, ID 83634-0000

(please inform staff). The Developer/Representative is given additional time for rebuttal.

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FRICKEY ROBIN
1890 N HOSE GULCH WAY
KUNA, ID 83634-0000

(please inform staff). The Developer/Representative is given additional time for rebuttal.

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MOYLE JANET L TRUST 8/23/91
MOYLE JANET L TRUSTEE
1726 N SNOWFIELD PL
KUNA, ID 83634-0000

If you do not wish to speak, write...

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MILLER KELLY D
1248 E TROPHY ST
KUNA, ID 83634-0000

If you do not wish to speak, write...

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MAST STEPHANIE MICHELLE
1209 E TIMBER TRAIL DR
KUNA, ID 83634-0000



City of Kuna PROOF OF PROPERTY POSTING

City of Kuna
P.O. Box 13
Kuna, Idaho 83634
Phone: (208) 922-5274
Fax: (208) 922-5989
Web: www.kunacity.id.gov

This notice shall confirm that the Public Hearing Notice for Paul Bunyan Plaza (NAME OF SUBDIVISION OR ADDRESS) was posted as required per Kuna City Ordinance 5-1A-8. Sign posted Thursday, October 27, 2022 (DAY OF THE WEEK, MONTH, DATE AND YEAR). This form is required to be returned three (3) calendar days subsequent to posting and signs are to be removed from the site three (3) calendar days after the hearing.

DATED this 27th day of October, 2022

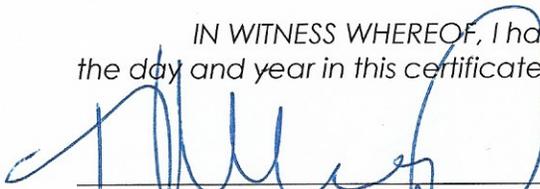
Signature,

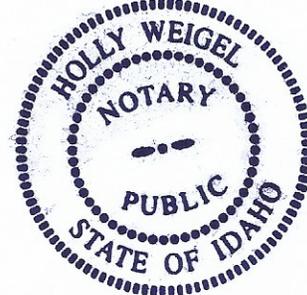

Owner/Developer

STATE OF IDAHO)
County of Ada) : ss

On this 27th day of October, 2022 before me the undersigned, a Notary Public in and for said State, personally appeared before me (Owner, Developer).

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.


Notary Public
Residing at Estate Dr. Boise ID.
Commission Expires 4/5/2027



CITY OF KUNA PUBLIC HEARING NOTICE

**Before the Kuna Planning and Zoning
Commission**

**THE CITY OF KUNA will hold a public hearing
on November 9, 2022 at 6:00 PM, at
Kuna City Hall**

**PURPOSE: Paul Bunyan Plaza - Preliminary Plat, consisting of
12 commercial lots on 16.26 Acres.**

**PROPERTY LOCATION: The property is located on the NW Corner of
Meridian Road and Deer Flat Road.**

APPLICATION BY: CRMM, LLC

CONTACT: Planner - Troy Behunin at 208-922-5274

**POSTED 10/27/2022
-MERIDIAN ROAD
SIGN #1A**

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APPLICATION BY: CRMM, LLC

CONTACT: Planner - Troy Behunin at 208-922-5274

HOUSE 23A
**POSTED 10/27/2022 -
MERIDIAN ROAD
#1B SIGN**

CITY OF KUNA PUBLIC HEARING NOTICE

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APPLICATION BY: CRMM, LLC

CONTACT: Planner - Troy Behunin at 208-922-5274

**POSTED 10/27/2022 -
DEER FLAT ROAD
#2A SIGN**

CITY OF KUNA PUBLIC HEARING NOTICE

**Before the Kuna Planning and Zoning
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CONTACT: Planner - Troy Behunin at 208-922-5274

**POSTED 10/27/2022 -
DEER FLAT RD
#2B SIGN**

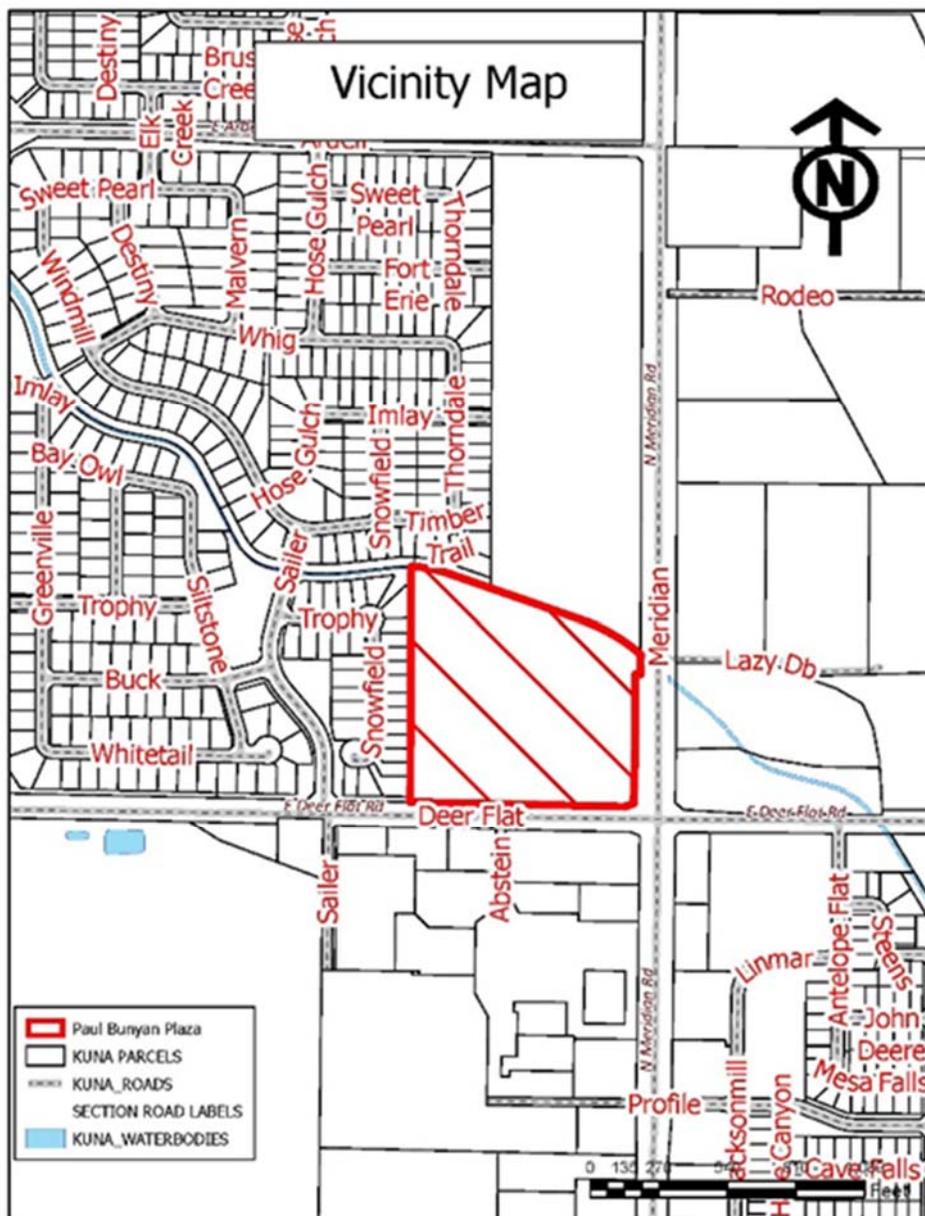
CITY OF KUNA
PO Box 13 - Kuna, ID 83634
Phone: 208.922.5274 - Fax: 208.922.5989

**Case No. 22-13-S (Preliminary Plat) for
Paul Bunyan Plaza**

NOTICE IS HEREBY GIVEN the P & Z Commission is scheduled to hold a public hearing on **WEDNESDAY** (Elections), **November 9, 2022, at 6:00 PM**, (or as soon as can be heard); in City Hall Council Chambers, 751 W 4th Street, Kuna, ID, 83634, in connection with Paul Bunyan Plaza. Civil Innovations requests Preliminary Plat approval in order to subdivide a previously Annexed parcel, approximately 16.26 ac. in size, into 12 commercial lots. APN (S1313449910).

Please do not contact the Commission, City Council, or Mayor as this may jeopardize the public hearing process. The public is invited to provide written or oral testimony. If you require special accommodations, or would like additional information please contact P & Z Department prior to the meeting at (208) 922-5274

Kuna Planning & Zoning Department



**BEFORE THE PLANNING AND ZONING COMMISSION
OF THE CITY OF KUNA**

IN THE MATTER OF THE APPLICATION OF) **Case No. 22-41-DR (DESIGN REVIEW)**
)
IDAHO POWER COMPANY)
)
)
For a Design Review for 15450 S Cloverdale) **STAFF REPORT FOR DESIGN**
Road.) **REVIEW APPLICATION**

TABLE OF CONTENTS

1. Exhibit List
2. Process and Noticing
3. Applicants Request
4. General Project Facts
5. Transportation and Connectivity
6. Staff Analysis
7. Proposed Findings of Fact and Conclusions of Law
8. Commission’s Proposed Decision



**I
EXHIBIT LIST**

The exhibits of the above-referenced matter consist of the following, to-wit:

1.1 Exhibits:

<i>DESCRIPTION OF EVIDENCE</i>		Withdrawn	Refused	Admitted
1.1	Staff Report			X
2.1	P&Z Application Coversheet			X
2.2	Design Review Application			X
2.3	Narrative			X
2.4	Vicinity Map			X

2.5	Aerial Map			X
2.6	Warranty Deed			X
2.7	Landscape Plan			X
2.8	Fence Plan			X
2.9	Landscape Rendering			X
2.10	Civil Plans			X
2.11	Agency Transmittal			X
2.12	Public Works			X

**II
PROCESS AND NOTICING**

2.1 In accordance with Kuna City Code (KCC) 5-4-2: Design Review; all new projects, landscaping, and other various amenities are required to submit an application for review by the Planning and Zoning Commission. As a Public Meeting item, this action requires no formal public noticing.

2.2 Notifications

2.2.1 Agency Notifications: October 25, 2022

2.2.2 Agenda: November 9, 2022

**III
APPLICANTS REQUEST**

3.1 Idaho Power Company requests Design Review approval to for the Hawk Substation site design, fence and landscaping. The subject site is located at 15450 S Cloverdale Road, Kuna ID, 83634 (APN: S1434336150) within Section 34, Township 2 North, Range 1 East.

**IV
GENERAL PROJECT FACTS**

4.1 Site History

4.1.1 The subject site has historically served as farmland. A Special Use Permit approval was granted by the Planning and Zoning Commission on September 27, 2022 in order to operate a power substation.

4.2 Surrounding Land Uses

North	RR	Rural Residential – Ada County
South	RR	Rural Residential – Ada County
East	A	Agriculture – Kuna City
West	RR	Rural Residential – Ada County

4.3 Parcel Number, Owner, Size and Zoning

- 4.3.1** S1434336150
 - 4.3.1.1** Idaho Power Company
 - 4.3.1.2** 3.11 acres
 - 4.3.1.3** A (Agriculture)

4.4 Services

Sanitary Sewer – Private System
Potable Water – Private System
Fire Protection – Kuna Rural Fire District
Police Protection – Kuna Police (Ada County Sheriff’s Office)
Sanitation Services – J&M Sanitation

4.5 Existing Structures, Vegetation, and Natural Features

4.5.1 The subject site contains no structures. The site has an estimated average slope of 0% to 2%, and according to the USDA Soil Survey for Ada County, bedrock depth is estimated to be greater than 60 inches.

4.6 Environmental Issues

4.6.1 Staff is not aware of any other environmental issues, health or safety conflicts.

4.7 Comprehensive Plan Future Land Use Map

4.7.1 The Future Land Use Map (FLUM) is intended to serve as a guide for the decision-making body of the city and indicates land use designations generally speaking. The FLUM identifies the approximately 3.11-acre site as Mixed Use.

4.8 Agency Responses

Agency	Exhibit No.
Public Works	2.12

**V
TRANSPORTATION AND CONNECTIVITY**

5.1 The Applicant is not proposing any improvements to Cloverdale Road abutting the site. The City will require the Applicant to dedicate additional right-of-way to total 50 feet from centerline of Cloverdale Road.

The Ada County Highway District (ACHD) reviewed the subject site as a part of Case No. 22-09-SUP (Special Use Permit)/ KUNA22-0019. ACHD determined that the Applicant’s proposal does not meet Ada County Highway Districts’ successive driveways policy which requires driveways located on minor arterials, with a speed limit of 50 mph, to align or offset a minimum of 425-feet; however, due to the driveways serving an electrical substation with minimal traffic volumes, ACHD recommends the driveways be approved as proposed. The City agrees with this recommendation.

Per Case No. 22-09-SUP, Idaho Transportation Department (ITD) does not anticipate any significant traffic impact to the State Highway system from this development and has no objections to the proposed development.

VI STAFF ANALYSIS

- 6.1** Idaho Power Company requests Design Review approval to for the 3.11-acre substation site design, fence and landscaping.

The subject site is not located within the City's irrigation surface area; the landscaping on site is proposed to use native drought resistant plantings. Some adapted species, such as select tree plantings will be incorporated into the overall design. KCC 5-17-12 permits water conservative landscaping design. Staff has determined the proposed landscaping is in compliance with the landscaping requirements of KCC and should be approved as proposed.

Due to the nature of the area, the Applicant has proposed to defer the development of sidewalk along the site's frontage. Staff would support this deferment and recommend the condition that the Applicant install sidewalk at such point in time that sidewalk is available for connection from adjacent parcels.

72-inch chain-link fence with site obscuring slats will be utilized with 12-inches of barb wire added to the top of the fence for additional security. The fencing complies with KCC 5-5-5 and should be approved as proposed.

Per Exhibit 2.12, Public Works staff can support approval for this design review. The Applicant does not propose construction or connection of any public works infrastructure.

Upon complete review, staff finds the application generally complies with Title 5 of Kuna City Code; Comprehensive Plan Future Land Use Map (FLUM); and Idaho Code. Staff would recommend the Planning and Zoning Commission Approve Case No. 22-41-DR, with the Applicant being subject to the recommended Conditions of Approval listed in Section VIII (8) of this report.

6.2 Applicable Standards

- 6.2.1** City of Kuna Zoning Ordinance, Title 5
- 6.2.2** City of Kuna Comprehensive Plan FLUM
- 6.2.3** Idaho Code, Title 67, Chapter 65 – Local Land Use Planning Act

VII PROPOSED FINDINGS OF FACT

Based upon the record contained in Case No. 22-41-DR (Design Review), including the Comprehensive Plan, Kuna City Code, Staff's Memorandums, exhibits and discussion at the public meeting; the Kuna Planning and Zoning Commission hereby ***Approves/Conditionally Approves/Denies*** these Findings of Fact and Conclusions of Law, and Conditions of Approval.

If the Planning and Zoning Commission wishes to Approve, Deny or modify specific parts of the Findings of Fact and Conclusions of Law as detailed below, those changes must be specified.

- 7.1** The contents of the proposed Design Review application *does/does not* contain all of the necessary requirements as listed in KCC 5-4-9: Design Review Application Required.

Staff Finding: *The Applicant has submitted a complete application, and following staff review for technical compliance, the application appears to be in general compliance with the design requirements listed in Kuna City Code Title 5.*

- 7.2 Based on the evidence contained in Case No. 22-41-DR, this proposal *does/does not* generally comply with the Comprehensive Plan.

Staff Finding: *The current zone for the subject site is A (Agriculture), the Comprehensive Plan Future Land Use Map designates the subject site as Mixed-Use. The Hawk Substation would connect to the existing electrical grid and provide increased capacity and reliability to existing and new customers in east Kuna increasing the viability for new land uses.*

- 7.3 The overall proposed project *is/is not* appropriate for the proposed site selection.

Staff Finding: *Upon review, staff finds the proposed project is an appropriate fit for the proposed location.*

- 7.5 The orientation of the structures and the site design *does/does not* minimize the impact on adjacent properties.

Staff Finding: *The placement and orientation of the structures, proposed landscaping and fencing appear to offer a cohesive design and provides adequate screening between the subject sites and neighboring properties.*

- 7.7 The availability of existing and proposed public services and infrastructure *can/cannot* accommodate the proposed development.

Staff Finding: *Based on comments provided by ACHD and ITD as a part of Case No. 22-09-SUP (Special Use Permit)/ KUNA22-0019, the existing infrastructure can support the proposed development; the Public Works Department in Exhibit 2.12 states the applicant does not propose construction or connection of any public works infrastructure.*

VIII COMMISSIONS ORDER OF DECISION

Note: The motion is for the Approval, Conditional Approval, or Denial of the Design Review application. However, if the Planning and Zoning Commission wishes to Approve/Deny specific parts of the requests as detailed in the report, those changes must be specified.

Based on the facts outlined in staff's report, Case File, and discussion at the public meeting, the Planning and Zoning Commission of Kuna, Idaho (acting as Design Review Committee), hereby *Approves/Conditionally Approves/Denies* Case No. 22-41-DR (Design Review), subject to the following Conditions of Approval:

- 8.1 The Applicant shall follow all requirements for sanitary sewer, potable water and pressurized irrigation connections, and all other requirements of the Kuna Public Works Department. Potable/drinking water shall not be used for irrigation purposes per Kuna City Code 6-4-2(B)(9).
- 8.2 The Applicant shall obtain written approval of the construction plans from the agencies noted below; the approval may be either on agency letterhead referring to the approved use, or may be written or stamped upon a copy of the approved plans. All site improvements are prohibited prior to approval of these agencies and the issuance of a building permit:
- 8.2.1 No construction, grading, filling, clearing or excavation of any kind shall be initiated until the Applicant has received approval of the Civil Plan.
- 8.2.2 The Kuna Rural Fire District shall approve fire flow requirements and/or building plans.

Installation of fire protection facilities as required by the Kuna Rural Fire District is required.

- 8.2.3** The city shall approve any modifications to the existing water, sewer or irrigation system.
- 8.2.4** Approval from Ada County Highway District (impact fees), if any, shall be paid *prior to issuance* of building permits.
- 8.3** Developer/Owner/Applicant shall provide engineering certification on all final engineering drawings, as applicable.
- 8.4** Developer/Owner/Applicant shall submit civil plans to pwoffice@kunaid.gov for review, and receive formal Civil plan approvals, *prior* to construction or Building Permit application.
- 8.5** On-site stormwater retention shall be reviewed in conjunction with this Design Review and Applicant/Developer shall be required to provide a stormwater disposal and treatment plan which accounts for increased on-site storm water runoff volumes; detailed drawings of drainage and treatment facilities with supporting calculations for review and approval.
- 8.6** If applicable, Fire Suppression shall be shown on all plans and approved by the Kuna Rural Fire District (KRFD).
- 8.7** The Kuna Rural Fire District (KRFD), or KRFD representative, must approve fire access to the project before, during, and after construction.
- 8.8** Developer/Owner/Applicant shall verify that existing and proposed elevations match at property boundaries such that a slope burden is not imposed on adjacent properties; slopes shall not be steeper than 3:1 on lots adjacent to a street or common lot, and no steeper than 4:1 for lots with common rear lot lines.
- 8.9** This development is subject to Landscape compliance Design Review inspections *prior* to receiving a Certificate of Occupancy. (Landscape inspection fee paid October 25, 2022)
- 8.10** The Developer/Owner/Applicant, and any future assigns having an interest in the subject property, shall fully comply with all Conditions of development as approved by the Planning and Zoning Commission, or seek amending them through the Design Review process.
- 8.11** All required landscaping shall be permanently maintained in healthy growing condition. The property owner shall remove and replace unhealthy or dead plant material within three (3) days or as the planting season permits, as required to meet the standards of these requirements. Maintenance and planting within public rights-of-way shall be with approval from the public entities owning the property.
- 8.12** Landscaping shall not be placed within 10 feet of any and all meter pits, pressurized irrigation valves and/or ACHD underground facilities, and must honor all vision triangles. All rope, twine, burlap and wire cages shall be removed half way down the rootball.
- 8.13** As-built drawings are required at the conclusion of any public facility construction project and are the responsibility of the Applicants Engineer.
- 8.14** Developer/Owner/Applicant is hereby notified of Kuna's weed control policies and requirements (KCC 8-1-3). Weeds, grasses, vines or other growth which endanger property or are over 12-inches in height shall be continuously cut down, weeded out, sprayed, burned, removed or

destroyed throughout the seasons.

- 8.15** Developer/Owner/Applicant is hereby notified of Kuna's working hours. Construction of any kind shall only be conducted between 7:00 AM to 11:00 PM; noises and other public nuisances/distractions outside of this time frame are subject to lawful penalties.
- 8.16** Developer/Owner/Applicant shall follow staff, City Engineer and other agency recommended requirements, as applicable.
- 8.17** Developer/Owner/Applicant shall install sidewalk at such point in time that sidewalk is available for connection from adjacent parcels.

DATED this 9th day of November, 2022.

Planning & Zoning Application Coversheet

PO Box 13 | 751 W 4th Street | Kuna, ID 83634
(208) 922-5274 | www.KunaCity.ID.gov



****Office Use Only****

File No.(s): 22-41-DR

Project Name: Hawk Substation

Date Received: 10-12-2022

Date Accepted as Complete: 10-25-2022

Type of review requested (check all that apply):

	Annexation & Zoning		Appeal
	Comp. Plan Map Amendment		Combination Pre & Final Plat
X	Design Review		Development Agreement
	Final Planned Unit Development		Final Plat
	Lot Line Adjustment		Lot Split
	Ordinance Amendment		Planned Unit Development
	Preliminary Plat		Rezone
	Special Use Permit		Temporary Business
	Vacation		Variance

Owner of Record

Name: Idaho Power Company

Address: PO BOX 70, Boise, ID 83707

Phone: 208-388-2402

Email: jmaffuccio@idahopower.com

Applicant (Developer) Information

Name: Idaho Power Company, attn: Jeff Maffuccio

Address: PO BOX 70, Boise, Idaho 8370

Phone: 208-388-2402

Email: jeffmaffuccio@idahopower.com

Engineer/Representative Information

Name: HDR, Attn: Makary Hutson

Address: 412 E. Parkcenter Blvd, Suite 100, Boise, ID 83706

Phone: 208-387-7000, m. 509-981-7542 Email: makary.hutson@hdrinc.com

Subject Property Information

Site Address: 15450 South Cloverdale Road, Kuna, Idaho 83634

Nearest Major Cross Streets: South Cloverdale Road and East Kuna Mora Road

Parcel No.(s): S1434336150

Section, Township, Range: 04 0 10 V k 12 " U

Property Size: 3.11 acres

Current Land Use: _____ Proposed Land Use: h o 7

Current Zoning: _____ Proposed Zoning: _____

Project Description

Project Name: @ h = o

General Description of Project: A new substation to serve customers in east Kuna and surrounding Ada County area.

Type of proposed use (check all that apply and provide specific density/zoning):

Residential: R-2 R-4 R-6 R-8 R-12 R-20 Commercial: C-1 C-2 C-3 CBD

Office Industrial: M-1 M-2 Other: h o 7

Type(s) of amenities provided with development: _____

o nd

Residential Project Summary (If Applicable) - Not Applicable

Are there existing buildings? YES NOX

If YES, please describe:

_ Will any existing buildings remain? YES NO

No. of Residential Units: _____ No. of Building Lots:

_____ No. of Common Lots: _____ No. of Other Lots:

Single-Family Townhomes Duplexes Multi-Family

Other: _____ Type of dwelling(s) proposed (check all that apply): _____

Minimum square footage of structure(s): _____

Gross Density (Dwelling Units ÷ Total Acreage): _____

Net Density (Dwelling Units ÷ Total Acreage not including Roads): _____

Percentage of Open Space provided: _____ Acreage of Open Space: _____

Type of Open Space provided (i.e. public, common, landscaping): _____

Non-Residential Project Summary (If Applicable)

Number of building lots: no building lots Other lots: Public Service Facility and existing Ag

Gross floor area square footage: _____ Existing (if applicable): _____

Building height: _____ Hours of Operation: _____

Total No. of Employees: _____ Max No. of Employees at one time: _____

No. of and ages of students: _____ Seating capacity: _____

Proposed Parking - no parking

ADA accessible spaces: _____ Dimensions: _____

Regular parking spaces: _____ Dimensions: _____

Width of driveway aisle: _____

Proposed lighting: downward facing security lighting, triggered by motion detection, may be considered.

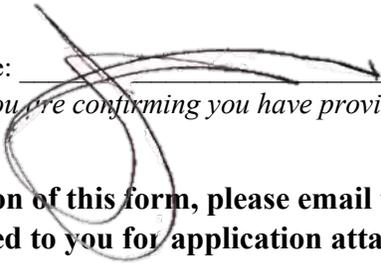
Is lighting "Dark Sky" compliant? YES NO

Proposed landscaping (i.e. berms, buffers, entrances, parking areas, etc.):

Site-obscuring fencing inlieu of landscaping at request of original owner, and to keep water

usage by Idaho Power as low as possible. Per the Hawk Substation site plan,

gate entrances and parking within the station fence will be for operational needs only.

Applicant Signature:  _____ Date: 10/12/2022
By signing, you are confirming you have provided all required items listed on this application.

Upon completion of this form, please email to pzapplications@kunaaid.gov. A link will be provided to you for application attachments to be uploaded to the cloud.

DESIGN REVIEW APPLICATION

PO Box 13 | 751 W 4th Street | Kuna, ID 83634
(208) 922-5274 | www.KunaCity.ID.gov



Office Use Only	
Case No(s):	22-41-DR
Project Name:	Hawk Substation
Date of Pre-Application Meeting:	<u>Valid for three (3) months, unless otherwise determined by Staff</u>
Date Received:	10-12-2022
Date Accepted as Complete:	10-25-2022

The City of Kuna has adopted a Design Review Overlay District whose purpose is to make Kuna a pleasant and comfortable place to live and work. This Design Review process is based on standards and guidelines found in Kuna City Code 5-4. The Design Overlay District includes all of Kuna City Limits.

Design Review includes, but is not limited to:

- | | |
|---------------------------------|---|
| • Commercial | • Industrial |
| • Institutional | • Office |
| • Multifamily Residential | • Common Areas/Landscaping |
| • Proposed Conversions | • Proposed Changes in Land and/or building use |
| • Exterior Remodel//Restoration | • Enlargement or Expansion of existing buildings or sites |

Application shall contain one (1) copy of the following (digital documents preferred):

- Complete Planning & Zoning Application Coversheet
- Complete Design Review Application (*It is the Applicant's responsibility to use the most current application.*)
- Detailed narrative or justification for the application, describing the project, design elements and how the project complies with Design Review standards.
- Vicinity Map: 8.5" x 11" at 1" = 300' scale (or similar). Label the location of the property and adjacent streets.
- Aerial Map: 8.5" x 11" color photo depicting proposed site, street names, and surrounding area within 500'.
- Recorded Warranty Deed
- Affidavit of Legal Interest if the individual submitting the application is not the property owner. (*One Affidavit required for each party involved. Originals must be submitted to the Planning & Zoning Department.*)
- Elevations for each structure & color rendering with material sample(s) specifically noting where each color and material is to be located on the structure. (*PDF or photo of materials acceptable.*)
- Site, Lighting, Landscape & Drainage Plans
- Construction Drawings/Civil Plans

Detailed Site Plan Requirements

- Name of plan preparer with contact information
- Name of project and date
- North arrow
- Property Lines
- Existing structures – Identify those which are relocated or removed
- On-site and adjoining streets, alleys, private drives and rights-of-way
- Drainage location and method of on-site retention/detention
- Location of public restrooms, if applicable
- Existing and/or proposed utility services; any above ground utility structures and provide their location
- Location and width of easements, canals and drainage ditches
- Location and dimensions of off-street parking
- Location and size of any loading areas, docks, ramps and vehicle storage or service areas
- Location of trash storage areas and exterior mechanical equipment; provide proposed method of screening
- Sign locations (*A separate Sign Application must be submitted; this is a Staff level review.*)
- On-site transportation circulation plan for motor vehicles, pedestrians and bicycles
- Locations and uses of all Open Spaces (*if applicable*)
- Location, types and sizes of sound and visual buffers (*all buffers must be located outside the public rights-of-way.*)
- Parking layout including spaces, driveways, curbs, cuts, circulation patterns, pedestrian walks and vision triangles
- Location and designation of subdivision lines (*if applicable*), property lines, and rights-of-way
- Location of walls and fences; provide their height and material of construction
- Roofline and foundation plan of building and location onsite

Landscape Plan

The Landscape Plan need to be drawn by the Project Architect, Professional Landscape Architect, Landscape Designer, or qualified Nurseryman for developments possessing more than twelve thousand (12,000) square feet of private land. The Landscape Plan must be colored and drawn to a scale no smaller than 1" = 30', unless otherwise approved. The Planning & Zoning Director may require the preparation of a landscape plan for smaller developments by one of the noted individuals, if the lot(s) have unique attributes. (*See Kuna City Code 5-17 Landscaping Requirements*)

- Name of plan preparer with contact information
- Name of project and date
- North arrow
- Boundaries, property lines and dimensions
- Location and design of areas to be landscaped
- Location and labels for all proposed plants
- Existing vegetation identified by species & sizes, and if they are proposed to be relocated or removed (*Retention of existing trees required, see Kuna City Code 5-17-4*)
- Plant lists or schedules with the botanical common name, quantity, and spacing as well as the size of all proposed landscape materials at time of planting
- Location of automatic, underground irrigation systems (*See Kuna City Code 5-17-11*)
- Clearly identify pressurized irrigation lines and underground water storage
- Location, description, materials, and cross-sections of special features, including berming, retaining walls, hedges, fencings, fountains, street/pathway furniture, etc.

- Sign locations (a separate sign application must be submitted)
- Locations of open spaces (*if applicable*)
- Parking areas
- Location and designations of all sidewalks
- Engineered Grading and Drainage Plans: A generalized drainage plan showing direction drainage with proposed on-site retention. Upon submission of building/construction plans for an approved Design Review application, a detailed site grading and drainage plan prepared by a registered professional engineer (PE), shall be submitted to the City for review and approval by the City Engineer.

Building Elevations

- Detailed elevation plans, in color, of each side of any proposed building(s) or addition(s). Label associated elevations with North, South, East, West
- Color renderings of all proposed building materials and indication where each material and color application are to be located, in PDF or JPEG format.
- Screening of mechanical equipment
- Provide a cross-section of the building showing any rooftop mechanical units and their roof placement
- Detailed trash enclosure elevation plans showing the materials to be used in construction

Lighting Plan

- Exterior lighting, including detailed cut sheets and photometric plan (*pedestrian, vehicle, security, decoration, etc.*)
- Types and wattage of all light fixtures. (*NOTE: Lighting fixtures shall comply with “Dark Sky” policies.*)
- Placement of all light fixtures shown on elevations and landscaping plans

Owner Information

Name: Idaho Power Company

Address: PO Box 70, Boise, ID 83707

Phone: 208-388-2402 Email: _____

Applicant Information

Name: Idaho Power Company, Attn: Jeff Maffuccio

Address: PO Box 70, Boise, ID 83707

Phone: 208-388-2402 Email: jmaffuccio@idahopower.com

Engineer/Representative

Name: HDR, Attn: Makary Hutson

Address: 412 E. Parkcenter Blvd, Suite 100, Boise, ID 83706

Phone: 208-387-7000 Email: makary.hutson@hdrinc.com

Exterior Building Materials and Colors

	Material	Color
Roof:		
Walls: (include percentage of wall coverage of each material)	Not Applicable	
% of Wood Application:		
% EIFS: (Exterior Insulation Finish System)		
% Masonry:		
% Face Block:		
% Stucco:		
Other:		
Windows/Doors:		
Soffits and Fascia:		
Trim, etc.:		

Mechanical Units

Please identify mechanical unit(s) size and placement: Electrical yard equipment only

Proposed screening method? Not applicable

Trash Enclosures

Please identify trash enclosure location, size, and construction materials: Not applicable

Irrigation Ditches/Canals

Are there any irrigation ditches/canals on or adjacent to the property? YES NO

If Yes, what is the name of the irrigation/drainage provider? N/A

What is the proposed method of on-site drainage retention/detention? _____

Fencing

Is there any existing fencing that will remain?

If Yes, what is the fencing material, size and location? It is a new site, no existing fence.

See attached Hawk Station Fence plan.

What is the fencing material for all new fencing? 6' galvanized chain link fence with tan privacy slats.
The City has regulations for fences, walls, and hedges (see Kuna City Code 5-5-5). A fence permit must be acquired prior to installation of any fencing; a permit cannot be acquired until Design Review application Approval/Conditional Approval/Denial.

Building Coverage

% of site devoted to building coverage?	0.7%	
% of site devoted to landscaping? (Include landscaped rights-of-way)	52.7%	Square Footage: 63,673 sq ft
% of site that is hard surface? (paving, driveways, walkways)	46.6%	Square Footage: 56,262 sq ft
% of site devoted to other uses:	N/A	Describe:

Landscaping

Please provide dimensions of landscaped areas within public rights-of-way: _____
 13' x 340' (4,420 sq ft) of grass exists within the existing ROW. After the access drives are constructed,
 the grass landscape in the public ROW will be reduced to 3,240 sq ft total.

Are there any existing trees of 4" or greater in caliper on the property? YES NO
 If Yes, what type, size and general location? (Please indicate location on site plan. NOTE: It is the city's goal to preserve such trees.)

Dock Loading Facilities

Will there be any dock loading facilities? YES NO (If Yes, please continue; if No, please skip this section.)
 No. of dock loading facilities and their location: _____

What is the proposed method of screening? _____

Pedestrian Amenities

Are there any proposed pedestrian amenities? (i.e. bike racks, trash receptacles, drinking fountains, benches, etc.) YES NO
 If Yes, please indicate type, number of each type: _____

Parking

Total number of parking spaces? N/A Dimensions? _____
 Total number of ADA accessible spaces? _____ Dimensions? _____
 Total number of compact spaces (8' x 17')? _____

Miscellaneous

Will you be proposing setbacks different than those found in KCC 5-3-3? YES NO

If YES, please provide setbacks below, in feet:

Front: _____ Rear: _____ Side: _____ Side: _____

Is any portion of the property subject to flooding conditions? YES NO

The Ada County Highway District (ACHD) may also conduct a public meeting regarding this application. If you have questions about the meeting date, the traffic that this development may generate or the impact of that traffic on streets in the area, please contact ACHD at (208) 387-6170. In order to expedite your request, please have ready the file number indicated.

Applicant Signature: Jeffrey Maffuccio

Digitally signed by Jeffrey Maffuccio
Date: 2022.10.12 08:09:12 -06'00'

Date: 10/12/2022

Additional Information

Please indicate/explain/provide any additional information deemed relevant to this application:

Application Narrative

Design Review: Hawk Substation Project

Idaho Power is pleased to file this narrative for a Design Review (DR) intended to complete the request to construct, maintain, and operate an electrical substation in Kuna. The Substation is located at 15450 South Cloverdale Road, just north of Kuna-Mora Road. The proposed use is in accordance with the objectives and goals found the Kuna City Code. Beyond the graveled station yard, Idaho Power has applied the Design Review standards found in Kuna City Code 6-3 and the Landscaping Requirements in Kuna City Code 5-17.

Applicable standards for this site include dedication of additional right-of-way along South Cloverdale Road, which allow for future sidewalk expansion. With these setbacks, the station still has room for an approximately 4-foot-tall perimeter berm that consists of weed barriers and covered with 5-inch washed rock. The station fence will be a 6-foot-tall site-obscuring slatted chain link panels, with slats in a “tan” color.

Idaho Power has chosen to use native, or drought-tolerant, plant species due to the property being outside Kuna’s irrigation service area and within the region’s high desert climate. These plants include the following:

- 19 Rocky Mountain Maples along the road frontage
- 227 Bluebunch Wheatgrass along the perimeter berm
- 6 (six) Big Sagebrush along the road frontage
- 6 (six) Silver Sagebrush along the road frontage

Along with the attachments found in this application, Idaho Power has produced the rendering below of a similar sized substation with the previously mentioned site-obscuring measures of fencing and landscaping.



Vicinity Map



Cloverdale

Kuna Mora



Legend

-  Subject Site
-  Parcels
-  Roads
-  Kuna City Limits
-  Waterways

Aerial Map



Cloverdale

Kuna Mora



Legend

- Subject Site
- Parcels
- Roads
- Kuna City Limits
- Waterways

AFTER RECORDING MAIL TO:

Idaho Power Company
Corporate Real Estate
Plaza II
P.O. Box 70
Boise, ID 83707

AT-597648

Space above for Recorder's use, only.

WARRANTY DEED

For Value Received, **Layne Thornton and Lori Thornton, husband and wife**, hereinafter referred to as Grantor, does hereby grant, bargain, sell and convey unto **Idaho Power Company, an Idaho corporation**, hereinafter referred to as Grantee, whose current address is 1221 W. Idaho St., Boise, Idaho, 83702, the following described premises, situated in **Ada County, Idaho**, to-wit:

LEGAL DESCRIPTION: Real property in the County of Ada, State of Idaho, described in **Exhibit A**, attached hereto and made a part hereof:

TO HAVE AND TO HOLD said premises, with all appurtenances thereto, including without limitation all water rights, unto said Grantee, and to the Grantee's heirs and assigns, forever. Grantor does hereby covenant to and with Grantee that Grantor is the owner in fee simple of said premises, that said premises are free from all encumbrances except current year's taxes, levies and assessments, and those exceptions to title insurance listed on **Exhibit B** attached hereto and made a part hereof, and that Grantor will warrant and defend the same from all claims whatsoever.

[Signatures appear on next page.]

Exhibit A to Warranty Deed

Description of the Property

Parcel B

A parcel of land situated in a portion of the Southwest One Quarter of Section 34, Township 2 North, Range 1 East, Boise Meridian, Ada County, Idaho, being more particularly described as follows:

Commencing at the Southwest Corner of said Section 34, thence following the westerly line of said Section 34, North 0°19'24" East a distance of 428.00 feet to the POINT OF BEGINNING.

Thence following said westerly line, North 0°19'24" East a distance of 340.87 feet;

Thence leaving said westerly line, South 89°23'28" East a distance of 397.09 feet;

Thence South 0°19'24" West a distance of 340.87 feet;

Thence North 89°23'28" West a distance of 397.09 feet to the POINT OF BEGINNING.

Exhibit B to Warranty Deed

Exceptions to Title



WESTCOR
LAND TITLE INSURANCE COMPANY

**SCHEDULE B - SECTION II
EXCEPTIONS**

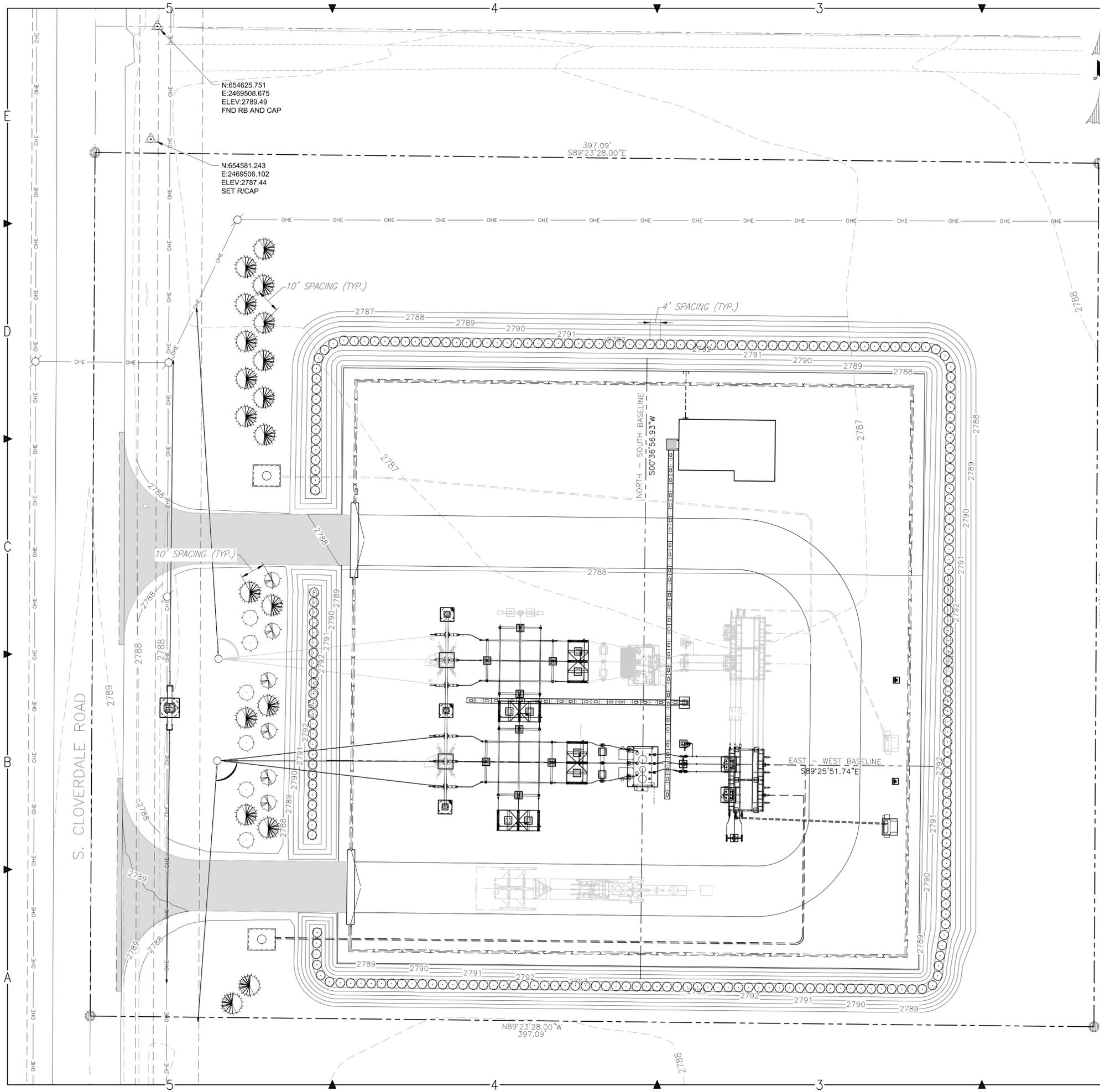
THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I—Requirements are met.
2. Rights or claims of parties in possession not shown by the public records.
3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land.
4. Easements, or claims of easements, not shown by the public records.
5. Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
6. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights or easements appurtenant to water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the public records.
7. Taxes or special assessments which are not shown as existing liens by the public records of any taxing authority that levies taxes or assessments on real property or by the public records. Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the public records.
8. Taxes, including any assessments collected therewith, for the year 2022 which are a lien not yet due and payable.
9. Special assessments, if any, for the City of Kuna.
10. Levies and assessments of the Boise Kuna Irrigation District, and the rights, powers and easements of said district as by law provided.
11. Right of way for ditches, tunnels, telephone and distribution lines constructed by authority of the United States, as granted to the United States under the provisions of Section 58-604 Idaho Code.
12. Intentionally deleted.
13. Right, title and interest of the public in and to those portions of the Land lying within roads or highways.
14. Right-of-way for North Indian Creek and the rights of access thereto for maintenance of said creek.

15. Reservations and exceptions in the United States Patent, and in the act authorizing the issuance thereof.
Recorded: October 26, 1927.
Book: 6 at Page: 347.
Official Records: Ada County.
16. Intentionally deleted.
17. Intentionally deleted.
18. An easement for the purpose shown below and rights incidental thereto as set forth in document:
Granted To: Idaho Power Company
Purpose: Public Utilities
Recorded: April 24, 1974
Instrument No.: 882836
19. Easements reservations and dedications, as shown on record of survey.
Recorded: January 30, 2004
Instrument No.: 104011306
20. Easements reservations and dedications, as shown on record of survey.
Recorded: February 2, 2007
Instrument No.: 107015987
21. Terms, provisions, covenants, conditions, definitions, options, obligations and restrictions, contained in a document
Purpose: Development Agreement
Recorded: July 24, 2008
Instrument No.: 108084427
22. Easements reservations and dedications, as shown on record of survey.
Recorded: August 22, 2008
Instrument No.: 108095734
23. Intentionally deleted.
24. Unrecorded leaseholds, if any, and the rights of vendors and holders of security interest in personal property of tenants to remove said personal property at the expiration of the term.
25. Any Loss or Claim arising out of an Illegal Subdivision of the Land.
26. Rights, interests, or claims which may exist or arise by reason of the following fact(s) shown on a survey plat entitled Idaho Power Company U.S Survey
Dated: August 8, 2022
Prepared by: Idaho Power Company
Recorded: August 11, 2022
Instrument No.: 2022-071007
Fact(s): Lot Split
27. Rights, interests or claims which may exist or arise by reason of the following fact(s) shown on a survey plat entitled ALTA/NSPS Land Title Survey for Idaho Power
Dated: August 25, 2022
Prepared by: Parametrix
Job No.: 317-2264-014
Fact(s): The fact that an underground power line runs along the Northerly boundary of the land to serve a well / pump house located Easterly of the Land

END OF SCHEDULE B



PLANTING SCHEDULE				
SYMBOL	SPECIES	QUAN	SIZE	MATURE HEIGHT
	ROCKY MOUNTAIN MAPLE ACER GLABRUM	19	2" CAL	5' - 6.5'
	BLUEBUNCH WHEATGRASS PSEUDOROEGNERIA SPICATA	227	2 GALLON	1' - 2.5'
	BID SAGEBRUSH ARTEMISIA TRIDENTATA	6	2 GALLON	2' - 4'
	SILVER SAGEBRUSH ARTEMISIA CANA	6	2 GALLON	1.5' - 3.5'

NOTE: ALL LANDSCAPE BERMS TO BE COVERED WITH WEED BARRIER
ALL LANDSCAPE BERMS TO BE COVERED WITH 5" WASHED ROCK

REVISION
10-05-2022 NEW STATION LAYOUT. PROJ. ID. HAWK220001 W.O. 27599612

GENERAL NOTES

- IMMEDIATELY AFTER AWARD OF CONTRACT, NOTIFY THE ARCHITECT OF AVAILABILITY OF SPECIFIED PLAN MATERIAL FROM COMMERCIAL NURSERIES. IF A SPECIFIED PLANT IS NOT AVAILABLE, THE ARCHITECT WILL PROVIDE ALTERNATIVE PLANT MATERIAL SELECTIONS. SUCH CHANGES SHALL NOT ALTER THE ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.
- VERIFY LOCATIONS OF ALL EXISTING UNDERGROUND UTILITY SYSTEMS PRIOR TO BEGINNING ANY PHASE OF CONSTRUCTION THAT MAY CAUSE DAMAGE TO SUCH SYSTEMS. REPAIR / REPLACE DAMAGED UTILITIES TO THE SATISFACTION OF THE OWNER OR GOVERNING AGENCY, AND AT NO ADDITIONAL COST TO THE OWNER OR INCREASE IN BID AMOUNT.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING ALL PLANTED AREAS. ALL DELETERIOUS MATERIAL SUCH AS ROCK, TRASH, CONSTRUCTION DEBRIS, AGGREGATE BASE MATERIAL, ASPHALT, ETC., SHALL BE REMOVED PRIOR TO ANY FILL OPERATIONS. RIP SUB GRADE AS PER SPECIFICATIONS, FILL ALL PLANTING AREAS WITH CLEAN EARTHEN FILL, AS PER SPECIFICATIONS. SOIL SHALL BE FREE OF HEAVY, STIFF CLAY AND ANY DELETERIOUS MATERIAL OVER ONE INCH IN SIZE. THE TOP REQUIRED IN THE SPECIFICATIONS. CLEAN TOPSOIL STRIPPED FROM SITE MAY BE UTILIZED FOR PLANTER OR TOPSOIL FILL IF PRIOR APPROVAL HAS BEEN OBTAINED FROM THE ARCHITECT.
- EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS (WHEN FULLY FLOODED WITH WATER) SHALL DRAIN WITHIN 1 HOUR OF FILLING. ENSURE THAT ALL PLANT PITS HAVE POSITIVE DRAINAGE.
- PROVIDE REQUIRED SOIL EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE CONTRACT PERIOD. SHOULD THERE BE EXISTING SOIL EROSION CONDITIONS THAT REQUIRE MITIGATION, NOTIFY THE ARCHITECT IMMEDIATELY.
- ALL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE. PRE-EMERGENT HERBICIDE SHALL BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS AND SHALL OCCUR AFTER TOPSOIL PLACEMENT AND PRIOR TO INSTALLATION OF PLANT MATERIALS AND MULCH.
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL QUANTITIES PROVIDED ON ALL PLANS. IF QUANTITIES LISTED DO NOT CORRELATE WITH WHAT IS SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL GOVERN. THIS INCLUDES BUT IS NOT LIMITED TO TREE, SHRUB, ROCK, TOPSOIL, MULCH, SEED OR SOD, EDGING, AND DRIP LINE QUANTITIES.
- LANDSCAPE BERMS ON ALL SIDES OF STATION TO HAVE 1 FT WIDE EARTHEN PLANTING BERMS. TOP OF BERMS TO VARY IN HEIGHT.

REFERENCE DRAWINGS	
21D-77184-1	SURVEY PLOT PLAN
21D-77184-2	SITE PLAN OVERALL VIEW
21D-77184-3	SITE PLAN
21D-77184-4	GRADING PLAN
21D-77184-5	GRADING SECTIONS
21D-77184-6	DETAILS

**HAWK STATION
LANDSCAPE PLAN**

LANDSCAPE DRAWING
IDAHO POWER COMPANY BOISE, IDAHO

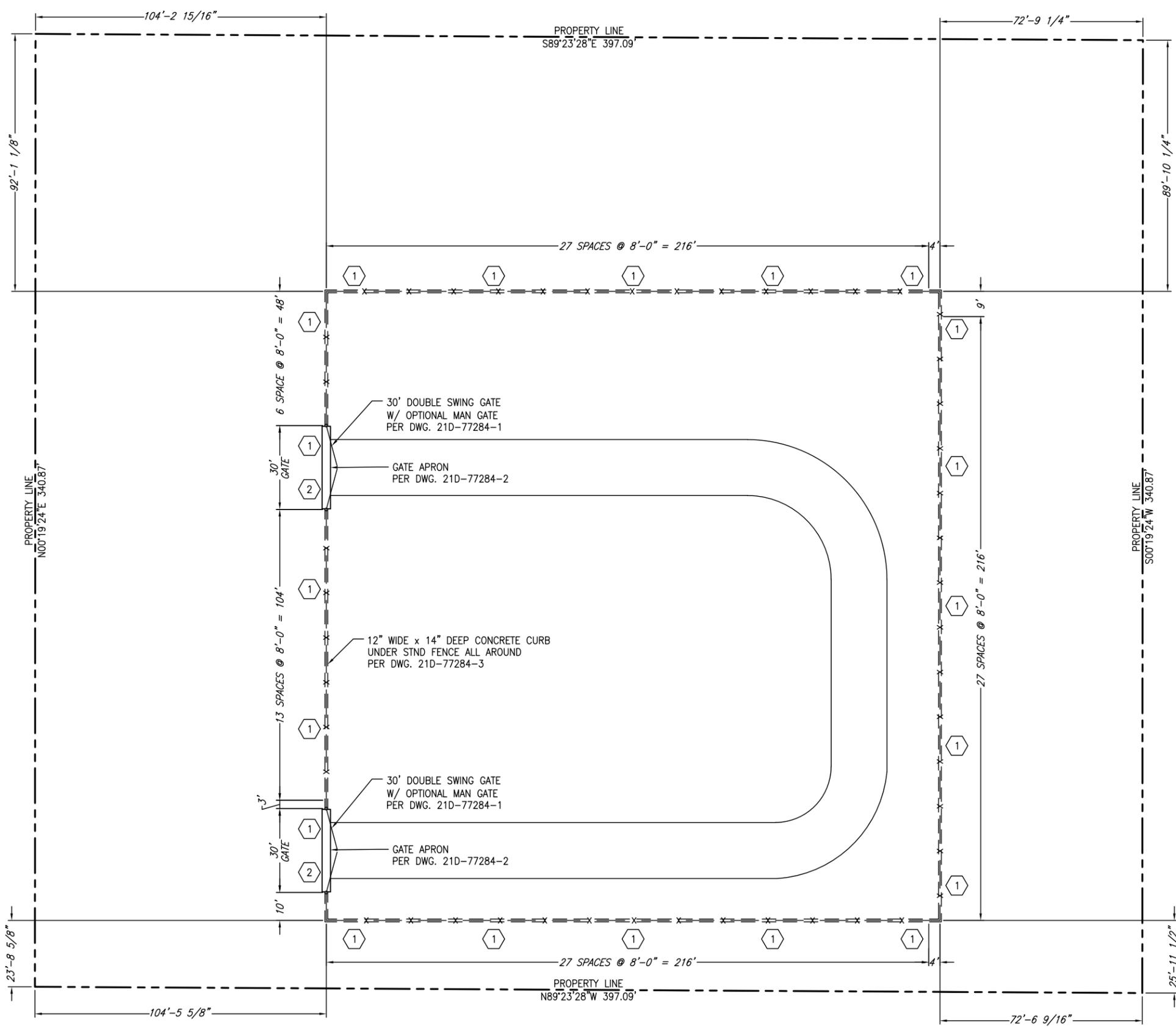
SCALE: 1"=20'-0" DATE: 10/05/2022

DS. HDR	21 D- 77184-7
DR. HDR	
CH. HDR	

SHT.

VAULT NO. 21D-77184-7

REVISION	
05-11-2022	NEW DRAWING CREATED FOR NEW STATION
	PROJ ID. HAWK220001
	W.O. #27599612
	TJW/SPN/HDR



QUANTITIES:

84" FABRIC W/ BARBED WIRE-----	830 LF
(includes gate fabric)	
CORNER POSTS-----	4 EA
GATE POSTS-----	4 EA
LINE POSTS-----	99 EA
30FT. DOUBLE SWING GATE-----	2 EA
(WITH OPTIONAL MAN GATE)	
CONCRETE APRON -----	2 EA
CONCRETE CURB-----	34 C.Y.
3/4" MINUS CLEAN FRACTURED GRAVEL-----	26 C.Y.
(under fence curb)	
① WARNING HAZARDOUS VOLTAGE SIGN (CID# 49593)-	20 EA
② STATION NAME SIGN "HAWK STATION"-----	2 EA
① ② SIGNS PROVIDED BY IPCo	

NOTES:

- FENCE, CURBING, AND FENCE GROUNDING SHALL BE INSTALLED PER IPC SPECIFICATIONS.
- REFER TO TO FENCE GROUNDING DETAIL DRAWING.
- WARNING/STATION IDENTIFICATION SIGNS SHALL BE MOUNTED WITH TOP OF SIGN AT 5'-0" ABOVE FINISH GRADE.
- WARNING/STATION IDENTIFICATION SIGNS SHALL BE FURNISHED BY OWNER AND INSTALLED BY CONTRACTOR.
- PRIVACY SLATS ARE REQUIRED.
- (2) 30' GATES W/ OPTIONAL MAN GATE.

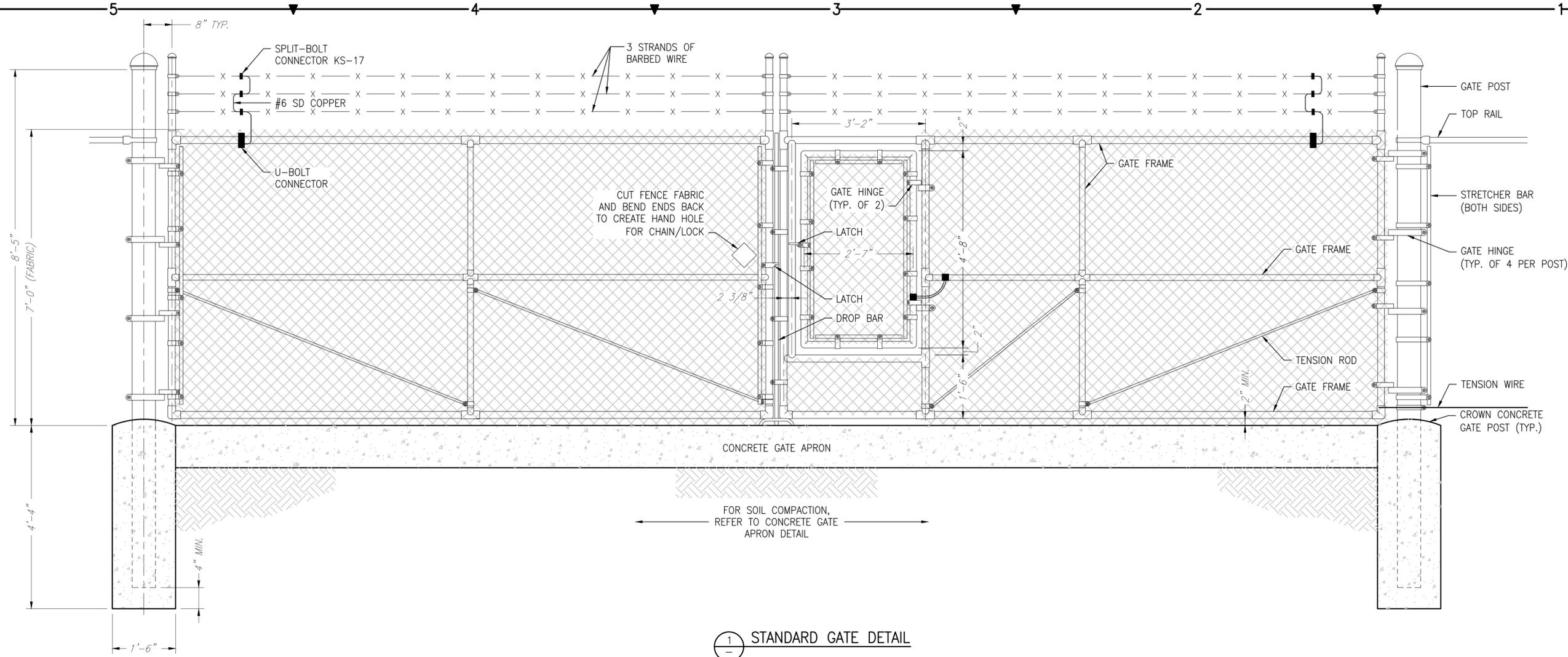
LEGEND:

- ① WARNING HAZARDOUS VOLTAGE SIGN
- ② STATION NAME SIGN

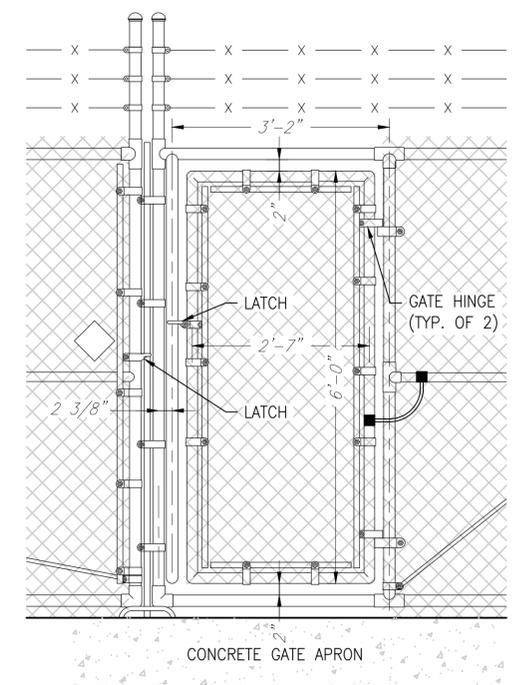
REFERENCE DRAWINGS	
21D-76605-1	YARD PLAN
21D-76605-3	GROUNDING PLAN
21D-76605-4	CABLE & CONDUIT PLAN
21D-76605-5	FOUNDATION PLAN
21D-77284-1	30' DOUBLE SWING GATE DETAIL
21D-77284-2	GATE APRON DETAIL
21D-77284-3	FENCE DETAILS

HAWK STATION		MULTI NO. 21D-76605-2
FENCE PLAN		
IDAHO POWER COMPANY BOISE, IDAHO		
SCALE: 1" = 20'-0"	DATE: 05-11-2022	
DR. SPN	APPROVED	21D-76605
DR. HDR		SHT. 2
REV. CH.		62

REVISION	
06-13-2022	NEW DRAWING COPIED FROM STATION STANDARD DRAWING 21D-73030-1. FOR NEW HAWK STATION PROJ ID. HAWK220001 W.O. #27599612
TJW/SPN/HDR	



1 STANDARD GATE DETAIL



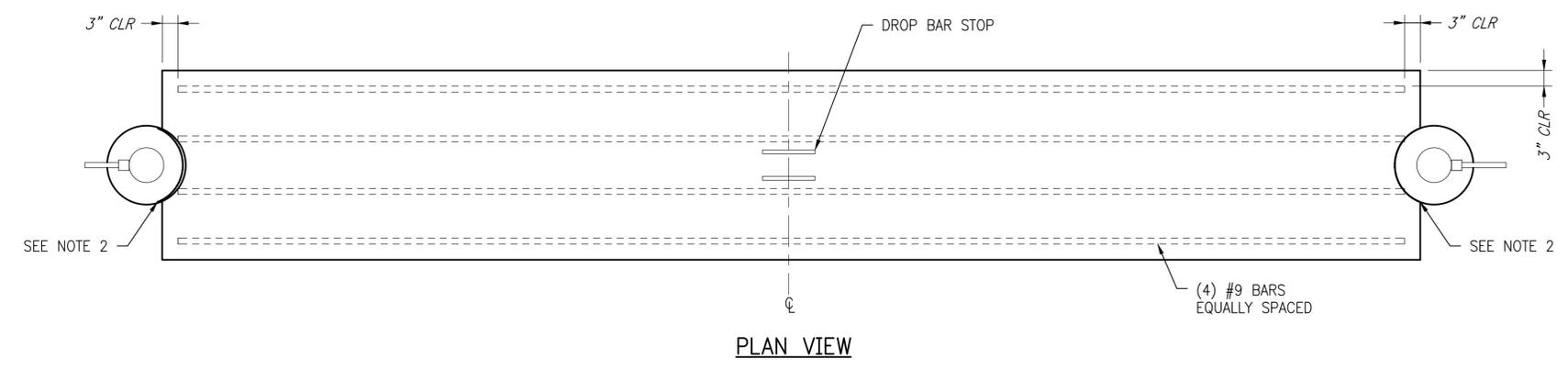
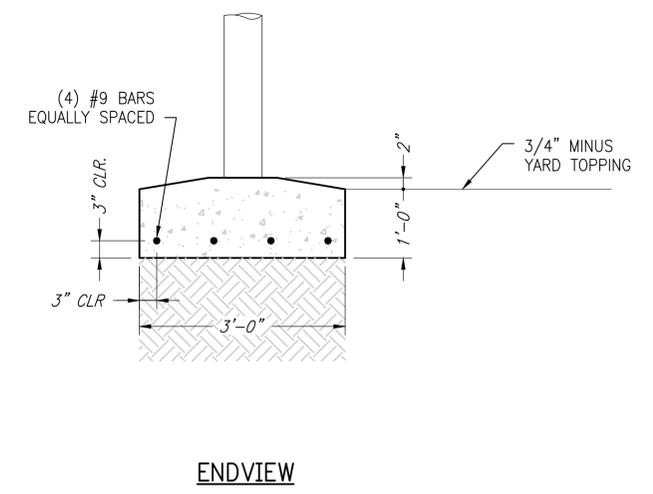
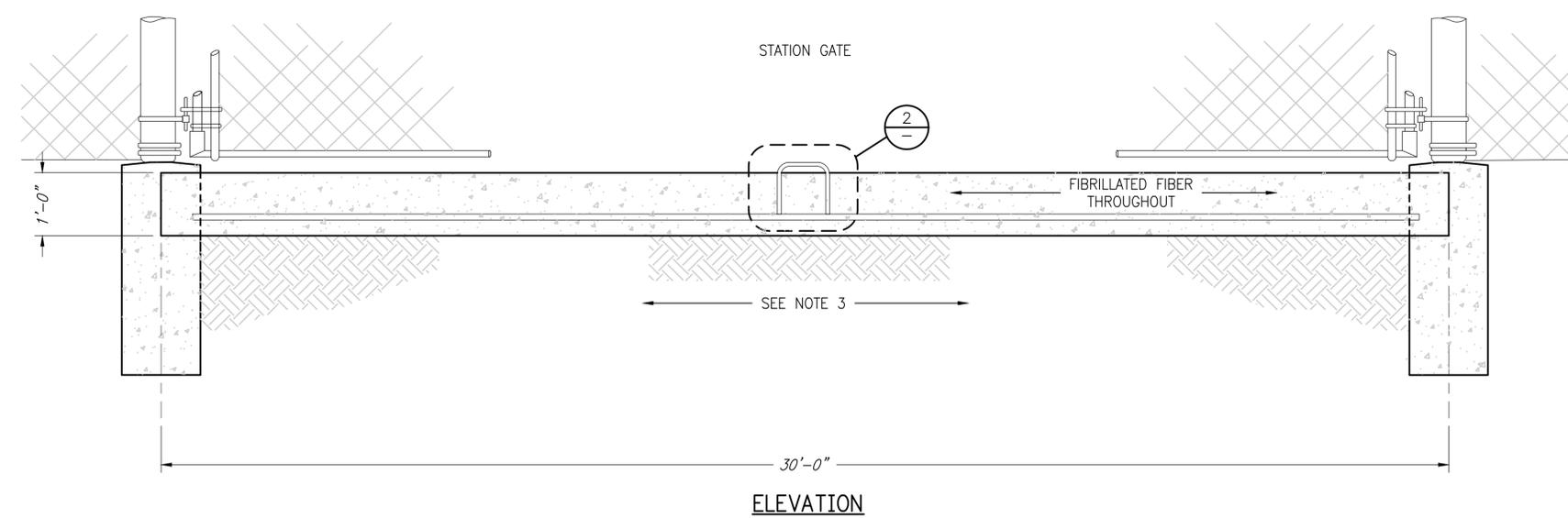
2 OPTIONAL MAN GATE

REFERENCE DRAWINGS	
21D-77284-2	CONCRETE GATE APRON
21D-77284-3	FENCE DETAILS
21D-76605-2	FENCE PLAN
HAWK STATION	
30'	
DOUBLE-SWING GATE	
FENCE DETAIL	
IDAHO POWER COMPANY BOISE, IDAHO	
SCALE: 3/4" = 1'-0" DATE: 06-13-2022	
DS. SPN	APPROVED
DR. HDR	21D-77284
REV. CH.	SHT. 1 73

VAULT NO. 21D-77284-1

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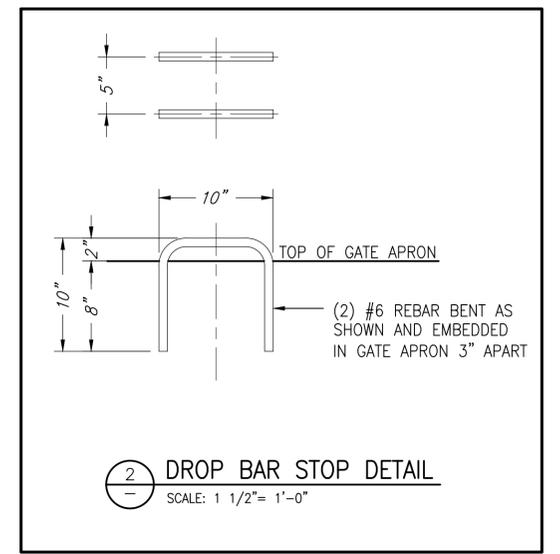
REVISION	
06-13-2022	NEW DRAWING COPIED FROM STATION STANDARD DRAWING 21D-73030-2 FOR NEW HAWK STATION PROJ ID: HAWK220001 W.O. #27599612
TJW/SPN/HDR	



GENERAL NOTES:

1. ALL CONCRETE TO MEET IDAHO POWER SPECIFICATION 95-125.
2. CONCRETE WILL BE FORMED & POURED PAST THE INSIDE FACE OF GATE POST FOUNDATIONS AS SHOWN. A 1/4" EXPANSION JOINT MUST BE PROVIDED.
3. COMPACT 18" MIN. STRUCTURAL FILL TO 95% OF MAX. PROCTOR (MODIFIED) DRY DENSITY. SEE IPCO SPECIFICATIONS 95-116 & 95-125.

1 CONCRETE GATE APRON DETAIL
SCALE: 3/4" = 1'-0"



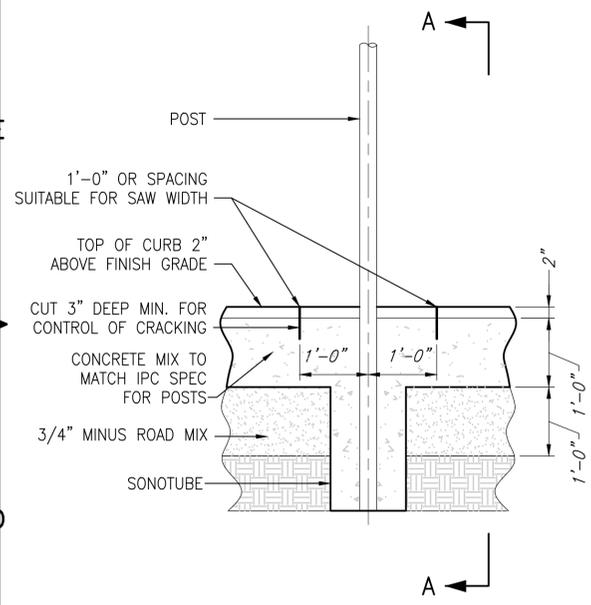
REFERENCE DRAWINGS	
21D-77284-1	30' DOUBLE-SWING GATE DETAIL
21D-77284-3	FENCE DETAILS
21D-76605-2	FENCE PLAN

HAWK STATION	
CONCRETE GATE APRON FENCE DETAIL	
IDAHO POWER COMPANY BOISE, IDAHO	
SCALE: AS NOTED	DATE: 06-13-2022
DR. SPN	APPROVED
DR. HDR	21D-77284
REV. CH.	SHT. 2
	73

VAULT NO. 21D-77284-2

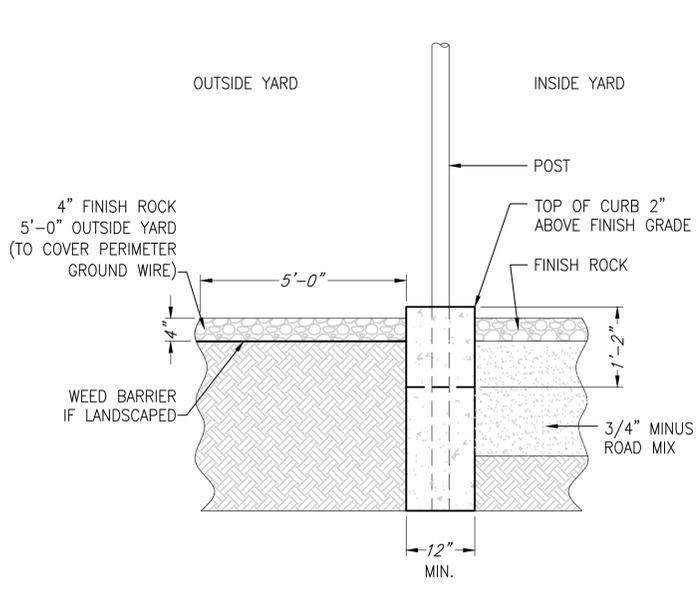
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REVISION	
06-13-2022	NEW DRAWING COPIED FROM STATION STANDARD DRAWING 21D-73030-3. FOR NEW HAWK STATION PROJ ID. HAWK220001 W.O. #27599612
TJW/SPN/HDR	

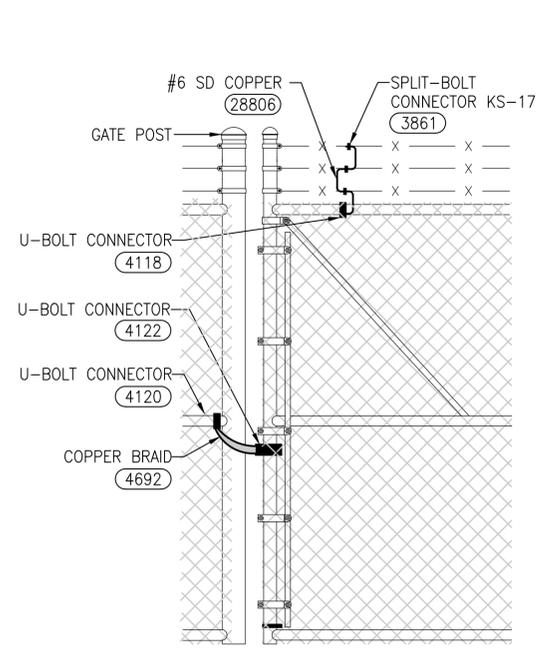


CONCRETE CURBING

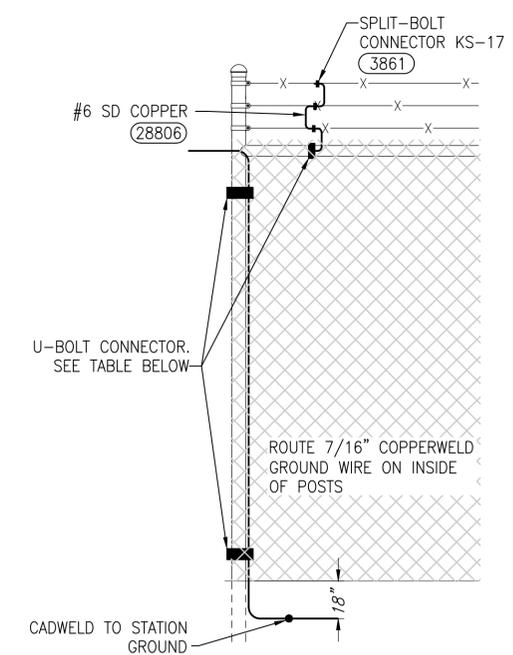
1 CONCRETE FENCE CURBING DETAIL
SCALE: 3/4"=1'-0"



SECTION A-A



2 GATE GROUNDING DETAIL
NTS



CONNECTOR DESCRIPTION	BURNDY CAT. NO.	CID NO.
GAR 1626	TOP RAIL	(4118)
GAR 1826	LINE POST	(4120)
GAR 1926	CORNER POST	(4121)
GAR 2126	3-1/2" GATE POST	(4122)
GAR 3906	6" GATE POST	(43515)

3 FENCE GROUNDING DETAIL
NTS

REFERENCE DRAWINGS	
21D-77284-1	30' DOUBLE-SWING GATE DETAIL
21D-77284-2	CONCRETE GATE APRON
21D-76605-2	FENCE PLAN
HAWK STATION	
FENCE DETAILS	
IDAHO POWER COMPANY BOISE, IDAHO	
SCALE: AS NOTED DATE: 06-13-2022	
DS. SPN	APPROVED
DR. HDR	21D-77284
REV. CH.	SHT. 3 73

VAULT NO. 21D-77284-3

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REVISION	
05-20-2022	NEW STATION LAYOUT. PROJ. ID. HAWK220001 W.O. 27599612

ADA COUNTY, IDAHO
SECTION 34, T2N R1E, B.M.

- GENERAL NOTES:**
- CONTOURS REPRESENT EXISTING GRADE ELEVATIONS AT ONE FOOT INTERVALS.
 - CONTRACTOR SHALL ESTABLISH CONTROL BASED ON EXISTING CONTROL POINTS.
 - CONTROL POINTS ARE STAKED REBAR OR 60D PENNY NAILS AS SHOWN ON DRAWING.
 - CONTRACTOR RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS VIA ONE CALL OF
 - ELEVATIONS SHOWN ARE BASED ON VERTICAL DATUM:
NAVD '88 IDAHO.
 - BEARINGS SHOWN HEREON ARE BASED ON HORIZONTAL DATUM:
IDAHO STATE PLANE COORDINATE SYSTEM
NAD '83- WEST ZONE, U.S. SURVEY FOOT.

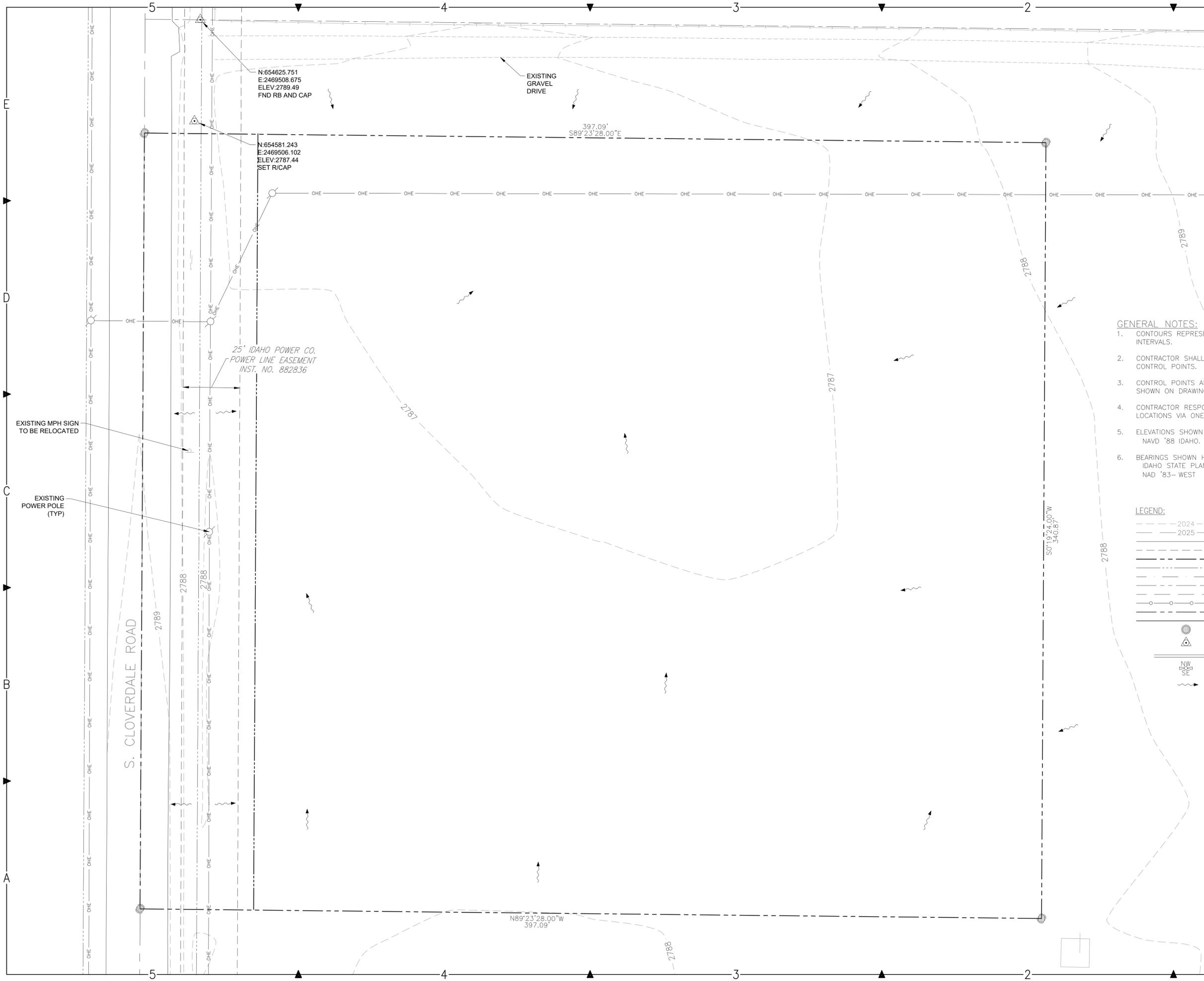
LEGEND:

---2024---	CONTOUR-EXISTING-MINOR
---2025---	CONTOUR-EXISTING-MAJOR
---	EDGE OF ASPHALT ROAD-EXISTING
---	IRRIGATION EASEMENT LINE
---	PROPERTY LINE
---	ROW LINE
---	SECTION QUARTER LINE
---	SECTION LINE
---	ACCESS EASEMENT
---	SUBSTATION CHAINLINK FENCE
---	BASE LINE
---	EDGE OF PAD
---	PROPERTY CORNER
---	CONTROL POINT
---	EXISTING CULVERT
---	SECTION MARKER
---	FLOW DIRECTION

REFERENCE DRAWINGS

21D-76605-1	YARD PLAN
21D-77184-2	SITE PLAN OVERALL VIEW
21D-77184-3	SITE PLAN
21D-77184-4	GRADING PLAN

HAWK STATION SURVEY PLOT PLAN		VAULT NO.: 21D-77184-1
LAND DETAIL DRAWING		
IDAHO POWER COMPANY BOISE, IDAHO		
SCALE: 1"=20'-0" DATE: 07/08/2022		
DS. HDR	APPROVED	21 D- 77184
DR. HDR		
REV. CH. HDR		SHT. 1 91



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REVISION	
05-20-2022	NEW STATION LAYOUT. PROJ. ID. HAWK220001 W.O. 27599612

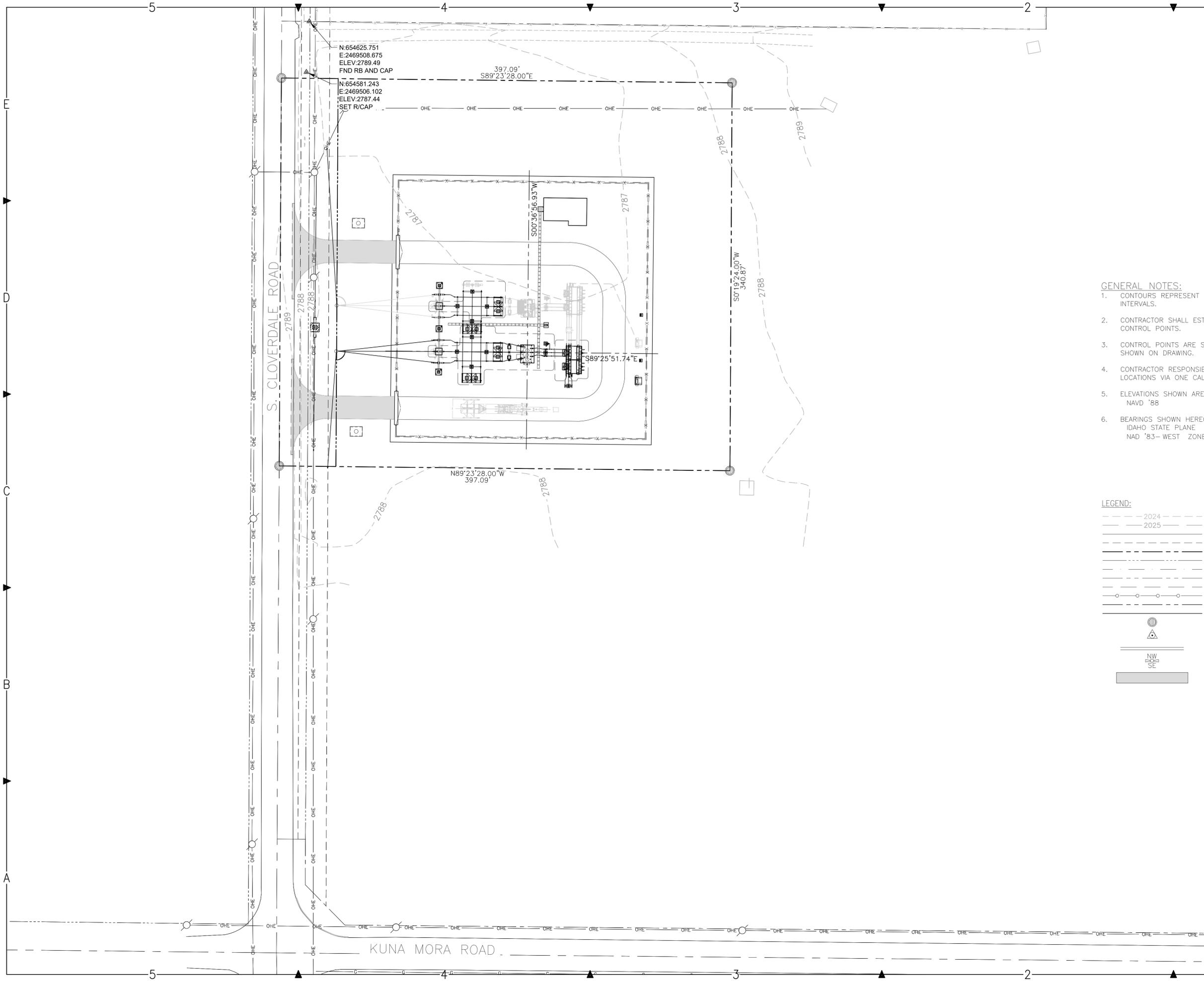
ADA COUNTY, IDAHO
SECTION 34, T2N R1E, B.M.

- GENERAL NOTES:**
- CONTOURS REPRESENT EXISTING GRADE ELEVATIONS AT ONE FOOT INTERVALS.
 - CONTRACTOR SHALL ESTABLISH CONTROL BASED ON EXISTING CONTROL POINTS.
 - CONTROL POINTS ARE STAKED REBAR OR 60D PENNY NAILS AS SHOWN ON DRAWING.
 - CONTRACTOR RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS VIA ONE CALL OF IDAHO.
 - ELEVATIONS SHOWN ARE BASED ON VERTICAL DATUM:
NAVD '88
 - BEARINGS SHOWN HEREON ARE BASED ON HORIZONTAL DATUM:
IDAHO STATE PLANE COORDINATE SYSTEM
NAD '83- WEST ZONE, U.S. SURVEY FOOT.

LEGEND:

	2024	CONTOUR-EXISTING-MINOR
	2025	CONTOUR-EXISTING-MAJOR
		EDGE OF ASPHALT ROAD-EXISTING
		IRRIGATION EASEMENT LINE
		PROPERTY LINE
		ROW LINE
		SECTION QUARTER LINE
		SECTION LINE
		ACCESS EASEMENT
		SUBSTATION CHAINLINK FENCE
		BASE LINE
		EDGE OF PAD
		PROPERTY CORNER
		CONTROL POINT
		EXISTING CULVERT
		SECTION MARKER
		PAVED APRON

REFERENCE DRAWINGS	
21D-77184-1	SURVEY PLOT PLAN
21D-77184-3	SITE PLAN
21D-77184-4	GRADING PLAN
HAWK STATION SITE PLAN OVERALL VIEW LAND DETAIL DRAWING	
IDAHO POWER COMPANY BOISE, IDAHO	
SCALE: 1"=40'-0"	DATE: 07/08/2022
DS. HDR	21 D- 77184
DR. HDR	SHT. 2
CH. HDR	91



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ADA COUNTY, IDAHO
 SECTION 34, T2N R1E, B.M.

- GENERAL NOTES:**
1. CONTOURS REPRESENT EXISTING GRADE ELEVATIONS AT ONE FOOT INTERVALS.
 2. CONTRACTOR SHALL ESTABLISH CONTROL BASED ON EXISTING CONTROL POINTS.
 3. CONTROL POINTS ARE STAKED REBAR OR 60D PENNY NAILS AS SHOWN ON DRAWING.
 4. CONTRACTOR RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS VIA ONE CALL OF IDAHO.
 5. ELEVATIONS SHOWN ARE BASED ON VERTICAL DATUM: NAVD '88 IDAHO.
 6. BEARINGS SHOWN HEREON ARE BASED ON HORIZONTAL DATUM: IDAHO STATE PLANE COORDINATE SYSTEM NAD '83- WEST ZONE, U.S. SURVEY FOOT.
 7. USE 2" (MIN) SAWCUT INTO COVERDALE ROAD FOR ACCESS ROAD ASPHALT. REFER TO ISPWC DETAILS SD-301, SD-303, AND SD-806.

- LEGEND:**
- 2024 --- CONTOUR-EXISTING-MINOR
 - 2025 --- CONTOUR-EXISTING-MAJOR
 - EDGE OF ASPHALT ROAD-EXISTING
 - IRRIGATION EASEMENT LINE
 - PROPERTY LINE
 - ROW LINE
 - SECTION QUARTER LINE
 - SECTION LINE
 - ACCESS EASEMENT
 - SUBSTATION CHAINLINK FENCE
 - BASE LINE
 - EDGE OF PAD
 - PROPERTY CORNER
 - CONTROL POINT
 - EXISTING CULVERT
 - SECTION MARKER
 - PAVED APRON

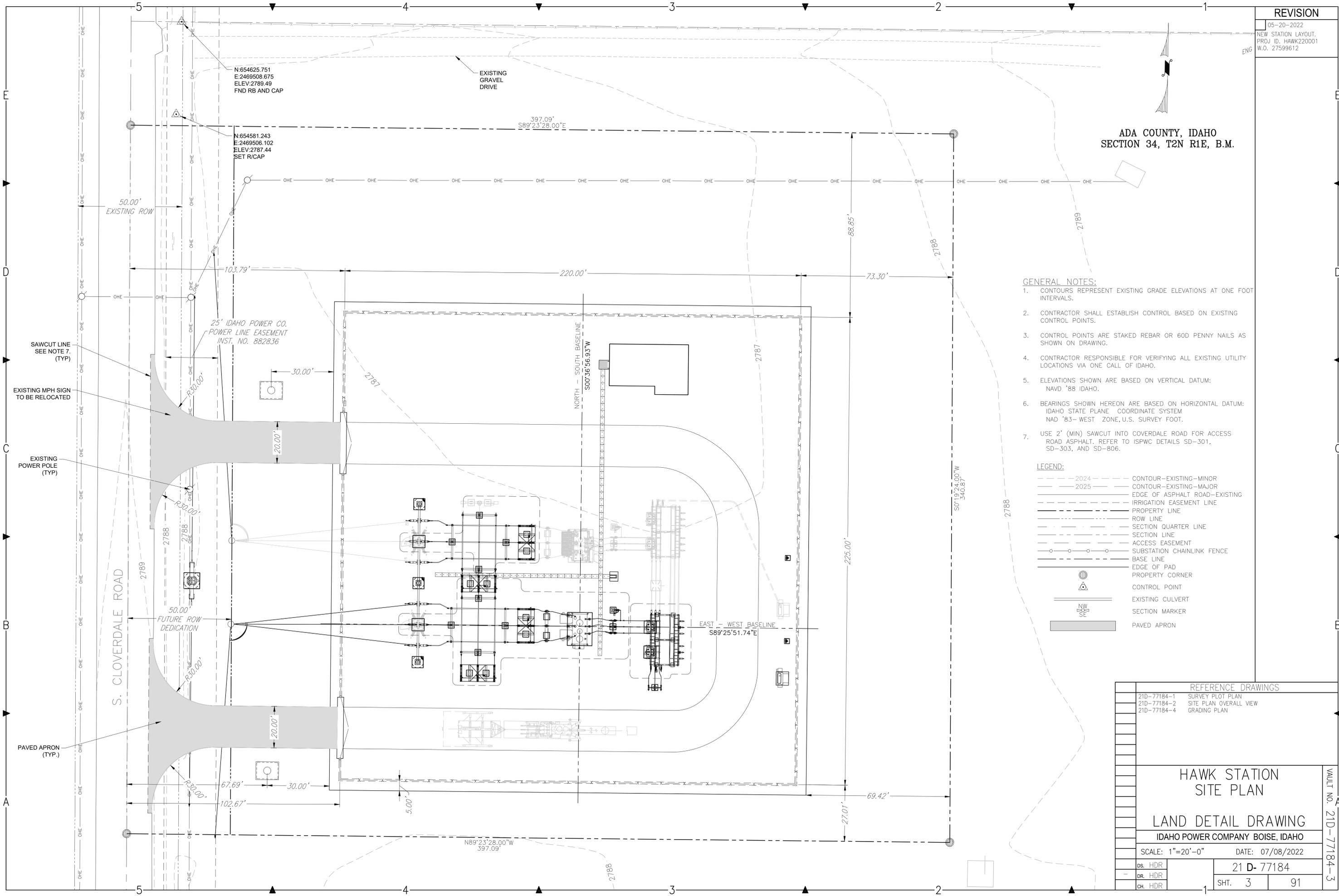
REFERENCE DRAWINGS	
21D-77184-1	SURVEY PLOT PLAN
21D-77184-2	SITE PLAN OVERALL VIEW
21D-77184-4	GRADING PLAN

HAWK STATION
 SITE PLAN
 LAND DETAIL DRAWING
 IDAHO POWER COMPANY BOISE, IDAHO

SCALE: 1"=20'-0" DATE: 07/08/2022

DS. HDR	21 D- 77184	SHT. 3	91
DR. HDR			
CH. HDR			

Vault No. 21D-77184-3



- GENERAL NOTES:**
- CONTOURS REPRESENT ROUGH AND EXISTING GRADE ELEVATIONS AT ONE FOOT INTERVALS.
 - ROUGH GRADE CONTOURS REPRESENT TOP AGGREGATE BASE MATERIAL INSIDE SUBSTATION PAD/ACCESS ROAD PRIOR TO CRUSHED ROCK INSTALLATION. ALL ROUGH GRADE CONTOURS OUTSIDE OF SUBSTATION PAD/ACCESS ROAD REPRESENT CUT AND NATIVE/IMPORTED FILL SLOPES PRIOR TO TOPSOIL DISPERSION.
 - AFTER REMOVAL OF UNSUITABLE MATERIAL, THE EXPOSED SUBGRADE SHOULD BE COMPACTED IN ACCORDANCE WITH IPC SPECIFICATION 95-116.
 - ALL NATIVE FILL SHALL CONSIST OF NATIVE SOILS EXCLUDING ORGANIC CLAYS, PEAT, TOPSOIL AND OTHER DELETERIOUS MATERIAL.
 - ALL STRUCTURAL FILL MUST BE PLACED IN ACCORDANCE WITH IPC SPECIFICATION 95-116. ANY IMPORTED STRUCTURAL FILL MUST BE MOISTURE-CONDITIONED TO NEAR OPTIMUM MOISTURE CONTENT AND PLACED IN MAXIMUM 8-INCH-THICK, LOOSE LIFTS. IF SMALLER OR LIGHTER COMPACTION EQUIPMENT IS USED, THE LIFT THICKNESS SHOULD BE REDUCED TO MEET THE COMPACTION REQUIREMENTS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR LEGALLY DISPOSING ALL EXCESS MATERIAL OFF SITE INCLUDING TOP SOIL.
 - CONTRACTOR SHALL ESTABLISH CONTROL BASED ON PROVIDED CONTROL POINTS. SEE SURVEY PLOT PLAN FOR DATUM AND CONTROL.
 - CONTRACTOR RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS VIA ONE CALL OF IDAHO.
 - CONTRACTOR RESPONSIBLE FOR CONTACTING TESTING AGENCY 7 DAYS PRIOR TO COMPACTION TESTING OF NATIVE FILL AND AGGREGATE BASE MATERIAL. RESULTS MUST BE SENT TO ENGINEER.
 - ALL GRADING (CUT/FILL) AND CULVERT INSTALLATION SHALL BE STABILIZED WITHIN 24 HRS OF COMPLETION.
 - EXCESS TOPSOIL TO BE USED TO CREATE AN EARTHEN LANDSCAPING BERM ALONG ALL SIDES OF THE SUBSTATION PAD. LANDSCAPING BERM TO BE APPROXIMATELY 5' TALL BY 1' WIDE WITH SIDE SLOPES NO GREATER THAN 1' VERTICAL TO 1.5' HORIZONTAL. COVER BERMS WITH 5" DIAMETER ROCKS.
 - ALL RE-USED TOPSOIL SHALL BE FREE OF TRASH.
 - TOPSOIL DEPTHS ARE ESTIMATED BASED ON A NEARBY SITE AND ARE TO BE VERIFIED WITH A FUTURE GEOTECHNICAL REPORT.

LEGEND:

- 2024 --- CONTOUR-EXISTING-MINOR
- 2025 --- CONTOUR-EXISTING-MAJOR
- 2024 --- CONTOUR-NEW-MINOR
- 2025 --- CONTOUR-NEW-MAJOR
- OHE --- EDGE OF ASPHALT ROAD-EXISTING
- OHE --- EXISTING OVERHEAD ELECTRICAL LINE
- --- PROPERTY LINE
- --- ROW LINE
- --- SECTION LINE
- --- SUBSTATION CHAINLINK FENCE
- --- EDGE OF PAD
- --- SILT FENCE
- --- POWER POLE
- --- GUY WIRE
- --- PROPERTY CORNER
- --- CONTROL POINT
- --- NEW CULVERT W/ FES
- --- EXISTING SIGN
- --- SECTION CORNER
- --- MULCH & SEED
- --- CRUSHED ROCK LIMITS
- --- PAVED APRON

***ESTIMATE OF QUANTITIES**

RAW CUT:	0 CY
RAW FILL:	3,200 CY
BALANCE:	3,200 CY (FILL)
AGGREGATE BASE MATERIAL:	2,200 CY
CRUSHED ROCK SURFACING MATERIAL:	665 CY
TOPSOIL STRIPPING:	2,750 CY (12" THICK)
SEED AND MULCH:	11,000 SF
SILT FENCE:	1,100 LF

* QUANTITIES ARE ASSUMED COMPACTED AND IN PLACE. TOPSOIL DEPTHS ARE ESTIMATED BASED ON A NEARBY SITE AND ARE TO BE VERIFIED WITH A FUTURE GEOTECHNICAL REPORT.

REFERENCE DRAWINGS

21D-77184-1	SURVEY PLOT PLAN
21D-77184-2	SITE PLAN OVERALL VIEW
21D-77184-3	SITE PLAN
21D-77184-5	GRADING SECTIONS
21D-77184-6	DETAILS

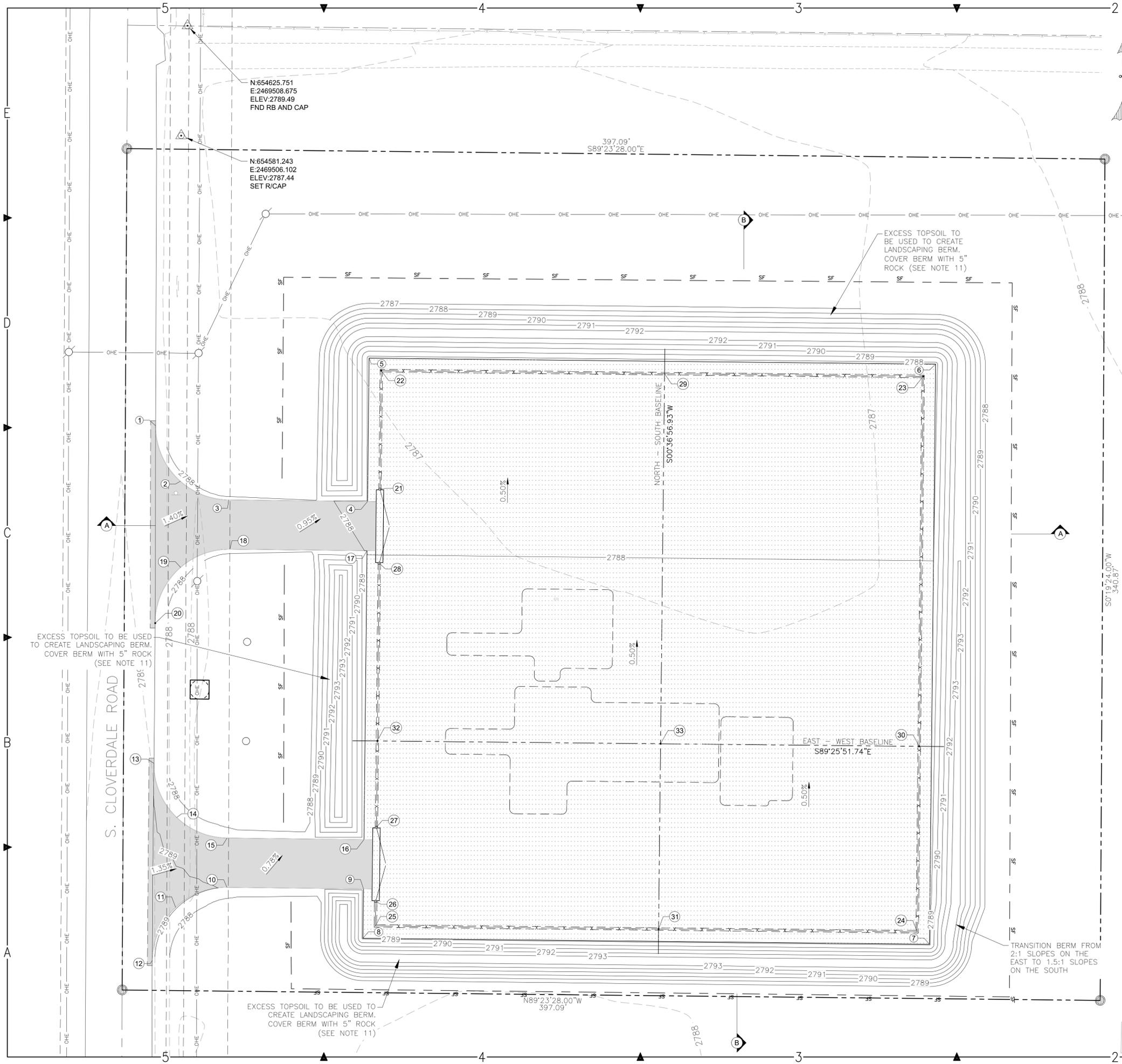
HAWK STATION GRADING PLAN
LAND DETAIL DRAWING
 IDAHO POWER COMPANY BOISE, IDAHO

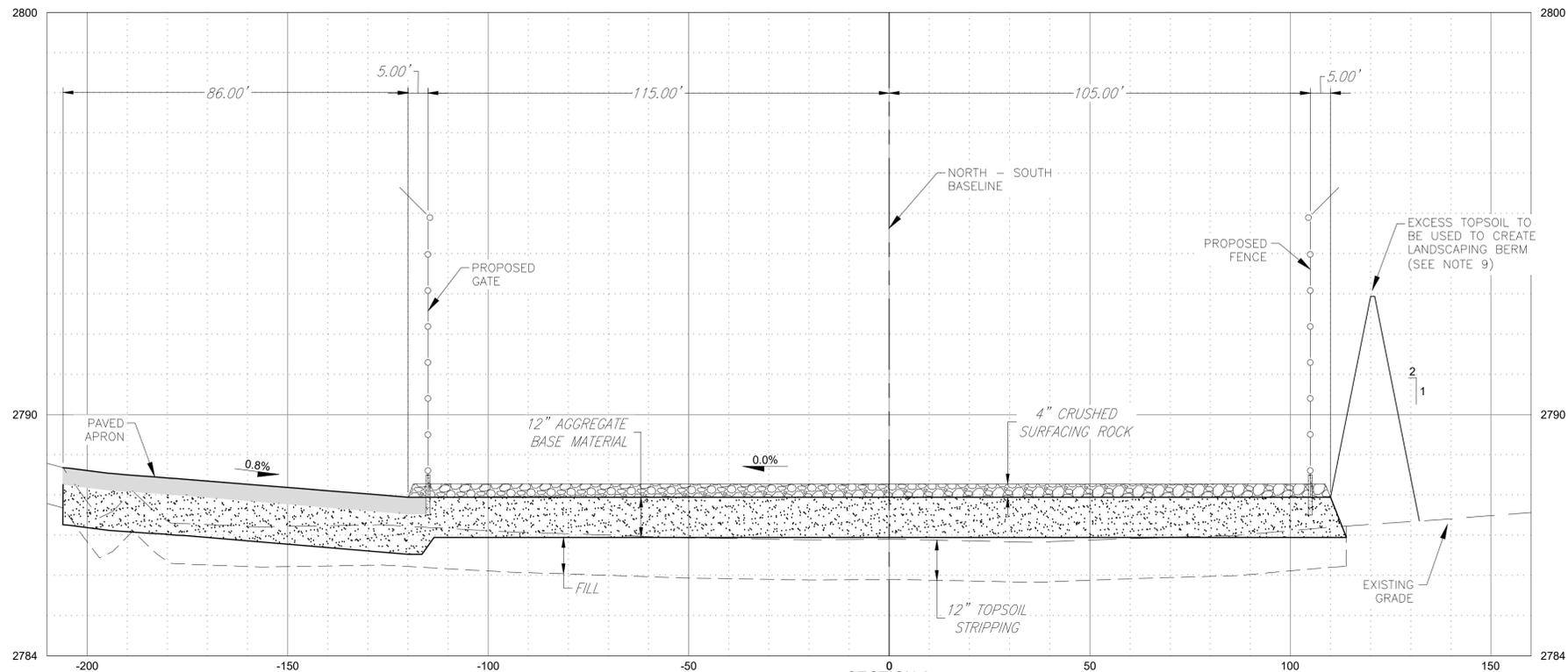
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DS. HDR	21 D- 77184
DR. HDR	
Ch. HDR	

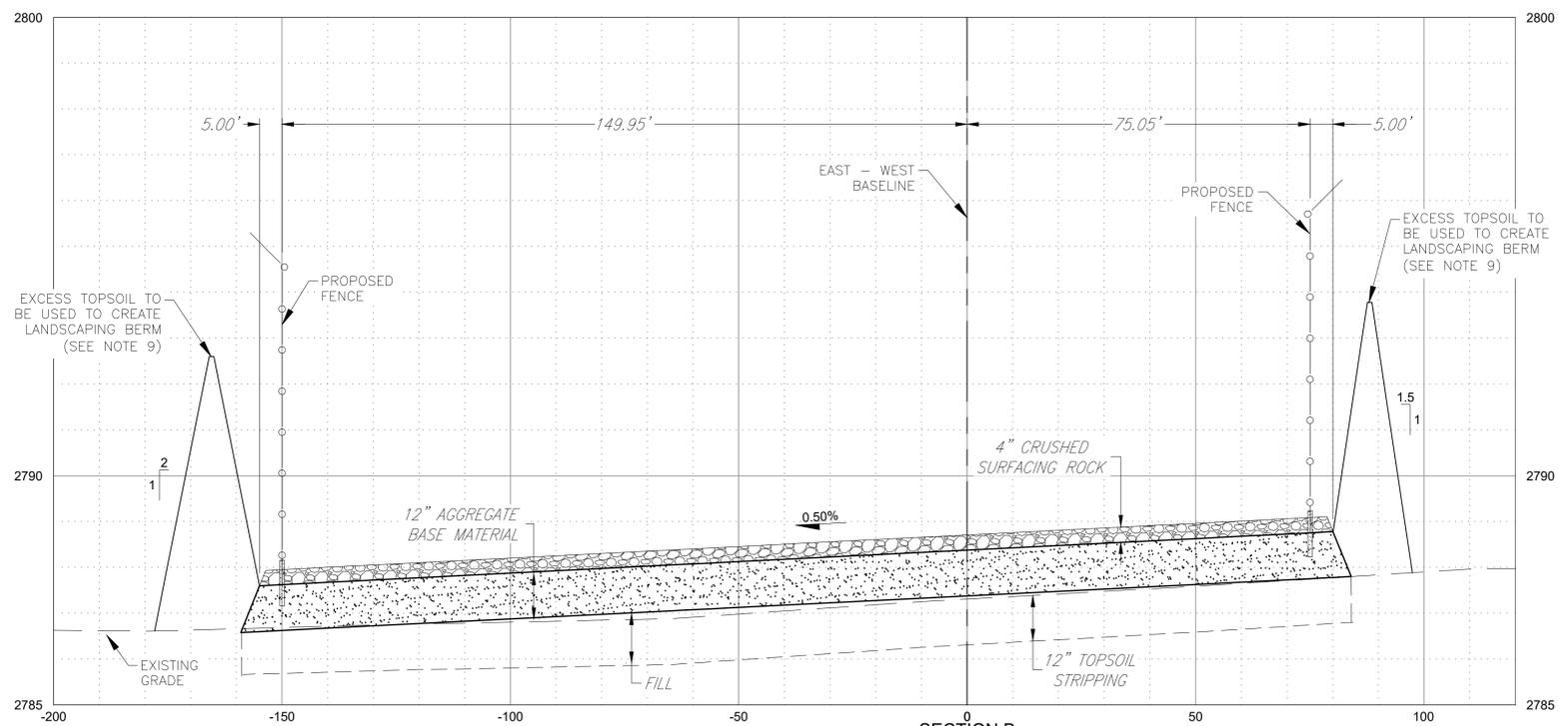
SHT. 4 91

Vault No. 21D-77184-4





SECTION A
 H SCALE: 1"=20.00'
 V SCALE: 1"=2.00'



SECTION B
 H SCALE: 1"=20.00'
 V SCALE: 1"=2.00'

POINT TABLE				
POINT NUMBER	NORTHING	EASTING	ROUGH ELEVATION	DESCRIPTION
1	654463.722	2469495.700	2788.59	MATCH EXISTING
2	654441.240	2469505.785	2788.45	EDGE OF PAD
3	654433.678	2469525.381	2788.36	EDGE OF PAD
4	654433.049	2469581.768	2787.89	EDGE OF PAD
5	654491.076	2469582.384	2787.60	EDGE OF PAD
6	654488.631	2469812.371	2786.60	EDGE OF PAD
7	654253.644	2469809.874	2787.78	EDGE OF PAD
8	654256.089	2469579.887	2787.78	EDGE OF PAD
9	654276.088	2469580.100	2788.68	EDGE OF PAD
10	654276.677	2469524.679	2788.94	EDGE OF PAD
11	654268.580	2469503.857	2789.03	EDGE OF PAD
12	654247.034	2469494.360	2789.17	MATCH EXISTING
13	654326.931	2469495.037	2788.97	MATCH EXISTING
14	654305.026	2469504.270	2788.95	EDGE OF PAD
15	654296.679	2469524.713	2788.91	EDGE OF PAD
16	654296.082	2469580.312	2788.58	EDGE OF PAD
17	654413.080	2469581.556	2787.99	EDGE OF PAD
18	654413.671	2469525.883	2788.46	EDGE OF PAD
19	654406.313	2469505.877	2788.65	EDGE OF PAD
20	654383.743	2469495.560	2788.78	MATCH EXISTING
21	654438.028	2469586.822	2786.86	GATE
22	654486.025	2469587.332	2786.62	FENCE CORNER
23	654483.685	2469807.320	2786.63	FENCE CORNER
24	654258.700	2469804.929	2787.75	FENCE CORNER
25	654261.038	2469584.941	2787.75	FENCE CORNER
26	654271.037	2469585.048	2787.70	GATE
27	654301.036	2469585.367	2787.55	GATE
28	654408.030	2469586.504	2787.02	GATE
29	654484.803	2469702.334	N/A	*NORTH BASELINE - 150'
30	654333.833	2469805.727	N/A	*EAST BASELINE - 105'
31	654259.808	2469699.915	N/A	*SOUTH BASELINE - 75'
32	654336.017	2469585.738	N/A	*WEST BASELINE - 115'
33	654334.889	2469700.722	N/A	BASELINE INTERSECT

*DISTANCE FROM BASELINE INTERSECTION

GENERAL NOTES:

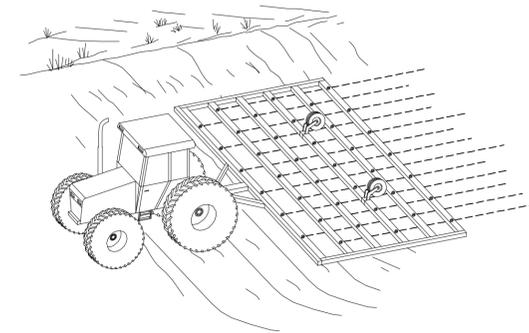
- PROFILES DISPLAY A VERTICAL EXAGGERATION OF 10:1.
- TOP OF ROUGH GRADE ELEVATION REPRESENTS THE PROPOSED CONTOURS AS SHOWN IN GRADING PLAN DRAWING. SEE REFERENCE DRAWINGS.
- ROUGH GRADE INCLUDES THE TOP AGGREGATE BASE MATERIAL, AND ALL NATIVE OR IMPORTED MATERIAL OUTSIDE OF THE SUBSTATION PAD.
- AFTER REMOVAL OF UNSUITABLE MATERIAL, THE EXPOSED SUBGRADE SHOULD BE COMPACTED IN ACCORDANCE WITH IPC SPECIFICATION 95-116.
- ALL NATIVE FILL SHALL CONSIST OF NATIVE SOILS EXCLUDING ORGANIC CLAYS, PEAT, TOPSOIL AND OTHER DELETERIOUS MATERIAL.
- ALL STRUCTURAL FILL MUST BE PLACED IN ACCORDANCE WITH IPC SPECIFICATION 95-116. ANY IMPORTED STRUCTURAL FILL MUST BE MOISTURE-CONDITIONED TO NEAR OPTIMUM MOISTURE CONTENT AND PLACED IN MAXIMUM 8-INCH-THICK, LOOSE LIFTS. IF SMALLER OR LIGHTER COMPACTION EQUIPMENT IS USED, THE LIFT THICKNESS SHOULD BE REDUCED TO MEET THE COMPACTION REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING ROUTINE TESTING OF COMPACTION FOR NATIVE, IMPORTED FILL AND AGGREGATE BASE MATERIAL BY AN INDEPENDENT TESTING AGENCY DESIGNATED BY THE OWNER/ENGINEER. CONTRACTOR SHALL PROVIDE A 7 DAY NOTICE FOR TESTING SCHEDULING.
- AFTER SUB-GRADE IS SATISFACTORILY ESTABLISHED AND COMPACTED, STOCKPILED TOPSOIL SHALL BE EVENLY SPREAD OVER ALL DISTURBED AREAS OUTSIDE THE AREA TO BE GRAVELED, TO ESTABLISH A SUITABLE SEED BED FOR PLANTING GRASS.
- EXCESS TOPSOIL TO BE USED TO CREATE AN EARTHEN LANDSCAPING BERM ALONG THE ALL SIDES OF THE SUBSTATION PAD. LANDSCAPING BERM IS TO BE APPROXIMATELY 5' TALL BY 1' WIDE WITH SIDE SLOPES NO GREATER THAN 1' VERTICAL TO 1.5' HORIZONTAL. COVER BERMS WITH 8"-10" DIAMETER ROCKS.

REFERENCE DRAWINGS	
21D-77184-4	GRADING PLAN
HAWK STATION GRADING SECTIONS	
LAND DETAIL DRAWING IDAHO POWER COMPANY BOISE, IDAHO	
SCALE: AS SHOWN	DATE: 07/08/2022
DS. HDR	21 D- 77184
DR. HDR	SHT. 5
CH. HDR	91

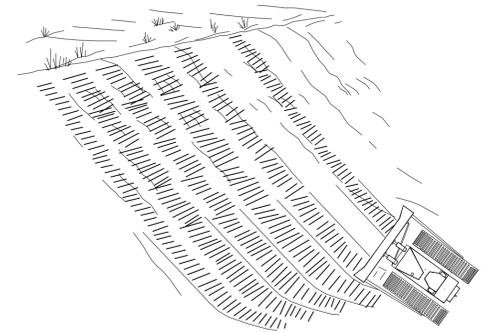
VAULT NO. 21D-77184-5

SLOPE ROUGHENING IS A VERY ROUGH SOIL SURFACE ON SLOPES RESULTING FROM CONSTRUCTION ACTIVITIES OR THE SYSTEMATIC ROUGHENING USING HEAVY EQUIPMENT TO CREATE RIDGES OR FURROWS PERPENDICULAR TO THE SLOPE. THE RIDGES OR FURROWS ARE TO BE EQUAL TO OR GREATER THAN 2" IN HEIGHT AND NO FURTHER THAN TWICE THE HEIGHT OF THE RIDGE OR FURROW APART. SLOPE ROUGHENING IS A GOOD FIRST LINE OF DEFENSE TO CONTROL EROSION AND SEDIMENT RUNOFF. DEGREE OF SLOPE ROUGHENING IS DEPENDENT ON THE GRADES AND PROXIMITY TO WATER RESOURCES.

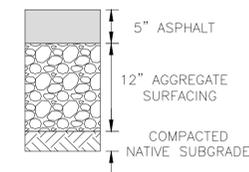
ALL SLOPES STEEPER THAN 3:1 AND GREATER THAN 5 VERTICAL FEET REQUIRE SLOPE ROUGHENING, EXCLUDING ROCK SLOPES THAT CANNOT BE EXCAVATED BY RIPPING. ROUGHEN DISTURBED SLOPES OR LEAVE IN A ROUGHENED CONDITION. APPROPRIATE SUPPLEMENTS INCLUDE SOIL STABILIZATION BMP'S SUCH AS TEMPORARY SEEDING OR EROSION SEEDING. WHEN FILL SLOPES ARE WITHIN 50 FT OR SURFACE WATER, EARTH DIKES/DRAINAGE SWALES & LINED DITCHES AND/OR A SEDIMENT CONTROL BMP ARE REQUIRED.



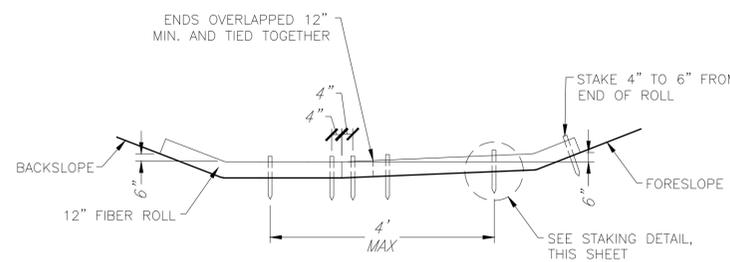
ROUGHEN SLOPES WITH HEAVY EQUIPMENT OR LEAVE IN ROUGHENED CONDITION



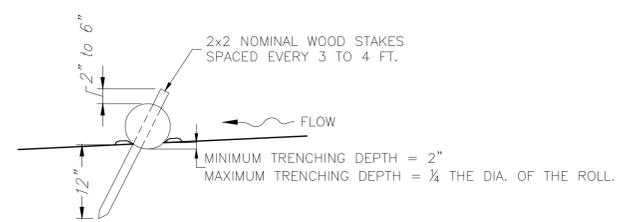
SLOPE ROUGHENING DETAIL
N.T.S.



PAVED APRON SURFACING
N.T.S.

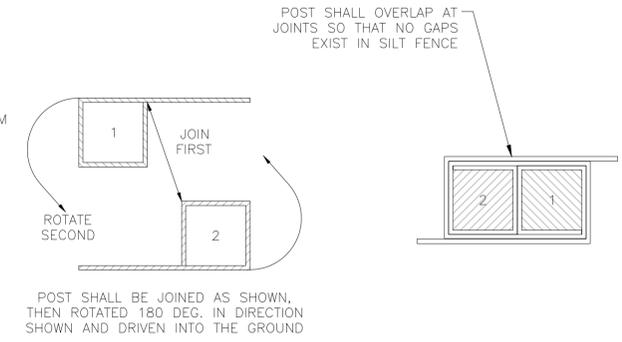


12" FIBER ROLL DITCH BOTTOM DETAIL
N.T.S.



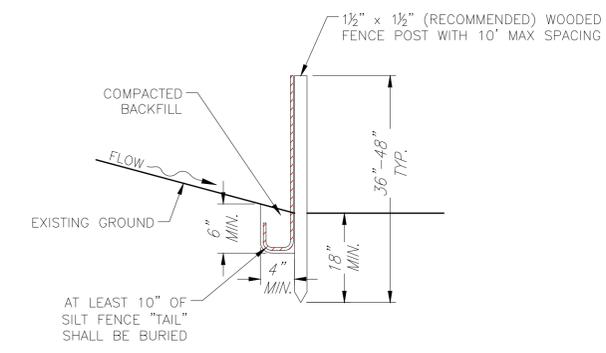
NOTE:
 1. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.

12" FIBER ROLL STAKING DETAIL
N.T.S.



POST SHALL BE JOINED AS SHOWN, THEN ROTATED 180 DEG. IN DIRECTION SHOWN AND DRIVEN INTO THE GROUND

SILT FENCE JOINT DETAIL
N.T.S.



SILT FENCE DETAIL
N.T.S.

REFERENCE DRAWINGS		VAULT NO. 21D-77184-6
21D-77184-4	GRADING PLAN	
HAWK STATION DETAILS		
LAND DETAIL DRAWING		
IDAHO POWER COMPANY BOISE, IDAHO		
SCALE: AS SHOWN	DATE: 07/08/2022	
DS. HDR	21 D- 77184	
DR. HDR	SHT. 6	
CH. HDR	91	

Doug Hanson

From: Doug Hanson
Sent: Tuesday, October 25, 2022 10:20 AM
To: PWorkoffice; Catherine Feistner; Brady Barroso; Scott Arellano (KRFD); TJ Lawrence (Interim KRFD Chief); Chief Fratusco KPD
Cc: Paul Stevens
Subject: 22-41-DR (Design Review) City of Kuna Request for Comment
Attachments: 22-41-DR (Design Review) Agency Transmittal Packet.pdf

Agency Transmittal – October 25, 2022

Notice is hereby given by the City of Kuna the following actions are under consideration:

FILE NUMBER:	22-41-DR (Design Review) Hawk Substation
PROJECT DESCRIPTION	Idaho Power request Design Review approval for the site design, fence, and landscaping for the Hawk Substation (APN: S1434336150).
SITE LOCATION	15450 S Cloverdale Road Kuna, ID 83634
REPRESENTATIVE	Jeff Maffuccio, Idaho Power 208-388-2402 jmaffuccio@idahopower.com
SCHEDULED HEARING DATE	Wednesday, November 9, 2022 at 6:00 PM, Kuna City Hall Council Chambers, 751 W 4 th Street, Kuna, ID 83634
STAFF CONTACT	Doug Hanson 208.287.1771 dhanson@kunaid.gov
The hearing is scheduled to begin at 6:00 p.m. or as soon as it may be heard. Kuna City Hall is located at 751 W. 4th Street, Kuna, ID 83634. If your agency needs different plans or paper copies to review, notify our office know and we will send them. Please notify our office who future packets should be sent to, including their email address. If your agency needs additional time for review, please let our office know ASAP.	

Best,

Doug Hanson
Planning and Zoning Director
City of Kuna
751 W 4th St
Kuna, ID 83634
dhanson@kunaid.gov
208.287.1771





CITY OF KUNA
P.O. BOX 13
KUNA, ID 83634
www.kunacity.id.gov

Catherine Feistner, E.I.T.
Assistant Kuna City Engineer

Brady Barroso
Engineering Technician I

MEMORANDUM

To: Doug Hanson - Planning and Zoning Director
From: Brady Barroso - Engineering Technician I
Catherine Feistner - Assistant City Engineer
Date: 31 October 2022
RE: Public Works Comments
Idaho Power Hawk Substation – 22-41-DR (Design Review)

The Idaho Power Hawk Substation property, 22-41-DR, design review request dated 25 October 2022 has been reviewed. These comments apply to the application as they affect public works infrastructure. Review of civil design drawings is accomplished separately, when received by PWoffice@kunaid.gov.

Public Works staff can support approval for this design review. The applicant does not propose construction or connection of any public works infrastructure.

Comments may be expanded or refined in connection with the future land-use actions.