



**OFFICIALS**  
Joe Stear, Mayor  
Greg McPherson, Council President  
Chris Bruce, Council Member  
Vacant Position, Council Member  
John Laraway, Council Member

**CITY OF KUNA**  
**Kuna City Hall Council Chamber, 751 W 4th Street, Kuna, Idaho 83634**

**City Council Meeting**  
**AGENDA**  
**Tuesday, August 2, 2022**

**6:00 P.M. REGULAR CITY COUNCIL**

*For questions, please call the Kuna City Clerk’s Office at (208) 387-7726.*

ALL ITEMS ON THE KUNA CITY COUNCIL AGENDA ARE CONSIDERED ACTION ITEMS UNLESS OTHERWISE INSTRUCTED BY THE CITY COUNCIL.

**1. Call to Order and Roll Call**

**2. Invocation**

**3. Pledge of Allegiance: Mayor Stear**

**4. Consent Agenda: ACTION ITEMS**

*All items listed under the Consent Agenda are considered to be routine and are acted on with one motion by the City Council. There will be no separate discussion on these items unless the Mayor, Council Member, or City Staff requests an item to be removed from the Consent Agenda for discussion. Items removed from the Consent Agenda will be placed on the Regular Agenda under Business or as instructed by the City Council.*

- A.** Regular City Council Meeting Minutes Dated July 19, 2022
- B.** Accounts Payable Dated July 28, 2022, in the amount of \$525,797.91
- C.** Final Plats
  - 1. 22-05-FP (Final Plat) Madrone Heights No. 2
  - 2. 22-06-FP (Final Plat) Falcon Crest No. 4

- D.** Resolutions
  - 1. Resolution R48-2022

**A RESOLUTION OF THE CITY COUNCIL FOR KUNA, IDAHO AUTHORIZING THE MAYOR TO EXECUTE THE CONTRACT WITH THE ADA COUNTY PROSECUTING ATTORNEY TO PROVIDE PROSECUTORIAL SERVICES FOR CITY MISDEMEANORS FOR THE FISCAL YEAR 2022-2023.**

NOTICE: Copies of all agenda materials are available for public review in the Office of the City Clerk. Persons who have questions concerning any agenda item may call the City Clerk’s Office at (208) 387-7726. In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk at 387-7726 at least forty-eight (48) hours prior to the meeting to allow the City to make reasonable arrangements to ensure accessibility to this meeting.

## 5. External Reports:

- A. East Kuna Urban Renewal District Planning Update – JUB Engineers.

## 6. Public Hearings:

*Public Hearing Process: Items begin with the presentation of the project by staff for up to 15 minutes. The applicant is then allowed 10 minutes to present their project. Members of the public are allowed up to 3 minutes each, to address City Council with testimony restricted to the matter at hand. After all public testimony, the applicant is allowed 5 minutes for rebuttal.*

*City Council members may ask questions throughout the public hearing process.*

*Once the public hearing is closed, no further testimony or comments are heard.*

*City Council may move to continue the application to a future meeting or approve or deny the application.*

- A. *Tabled from July 5, 2022.* Case Nos. 20-01-PUD (Planned Unit Development), 20-06-ZC (Rezone), 20-08-S (Preliminary Plat), 22-01-V (Variance) & 20-01-DA (Development Agreement) for Merlin Cottages Subdivision – Doug Hansen, Planning & Zoning Director  
**ACTION ITEM**

A Team Boise, requests Planned Unit Development approval for an approximately 7.04-acres with C-1 (Neighborhood Commercial) & R-12 (High Density Residential) zones. In addition, Applicant requests Preliminary Plat approval to subdivide the parcel into 66 total lots (54 single family, 6 common & 6 commercial); a Variance is requested to reduce side property line setbacks. The subject site is located at 115 N Sailer Avenue, Kuna, ID, 83634, within Section 24, Township 2 North, Range 1 West; (APNs: R5672430020, R5672430040, R5672430060)

\*Note: The Public Hearing was closed on July 5, 2022; no new testimony will be received without hearing being reopened\*

<https://www.kunacity.id.gov/DocumentCenter/View/8111/Merlin-Cottages-CC-Packet-08022022-PDF>

*Reopen Public Hearing*

*Receive evidence*

*Consideration to close evidence presentation and proceed to deliberation*

- B. 2022 Comprehensive Plan Amendment (Maps) – The City of Kuna requests consideration from the City Council for an Amendment to the Comprehensive Plan Maps. *Staff requests that this public hearing item be remanded back to the Planning and Zoning Commission in order to review proposed adjustments to the industrial land use designations in east Kuna.* Doug Hanson, Planning and Zoning Director **ACTION ITEM**

*Reopen Public Hearing*

*Receive evidence*

*Consideration to close evidence presentation and proceed to deliberation*

**8. Business Items:**

**A.1.** Consideration to approve general fund contingency request for \$140,000 for Kay and Avalon traffic signal. Chris Engels, City Clerk **ACTION ITEM**

**A.2.** Consideration to approve Resolution R49-2022. Chris Engels, City Clerk **ACTION ITEM**

A RESOLUTION OF THE CITY COUNCIL OF KUNA, IDAHO AUTHORIZING THE MAYOR TO SIGN; AND AUTHORIZING THE MAYOR TO EXECUTE THE CHANGES TO THE SCOPE OF WORK, SCHEDULE, AND ENGINEERING FEE; AVALON AND KAY TRAFFIC SIGNAL WARRANT STUDY AND THE CITY CLERK TO ATTEST TO SAID SIGNATURE.

**9. Ordinances:**

**10. Executive Session:**

**10. Mayor/Council Announcements:**

**11. Adjournment:**



**OFFICIALS**  
Joe Stear, Mayor  
Greg McPherson, Council President  
Chris Bruce, Council Member  
Warren Christensen, Council Member  
John Laraway, Council Member

**CITY OF KUNA**  
**Kuna City Hall Council Chamber, 751 W 4th Street, Kuna, Idaho 83634**

**City Council Meeting**  
**MINUTES**  
**Tuesday, July 19, 2022**

**6:00 P.M. REGULAR CITY COUNCIL**

*For questions, please call the Kuna City Clerk's Office at (208) 387-7726.*

ALL ITEMS ON THE KUNA CITY COUNCIL AGENDA ARE CONSIDERED ACTION ITEMS UNLESS OTHERWISE INSTRUCTED BY THE CITY COUNCIL.

**1. Call to Order and Roll Call**

*(Timestamp 00:00:10)*

**COUNCIL MEMBERS PRESENT:**

- Mayor Joe Stear
- Council President McPherson
- Council Member Chris Bruce
- Council Member Warren Christensen
- Council Member John Laraway

**CITY STAFF PRESENT:**

- Marc Bybee, City Attorney
- Chris Engels, City Clerk
- Jared Empey, City Treasurer
- Mike Fratusco, Kuna Police Chief
- Doug Hanson, P & Z Director
- Nancy Stauffer, HR Director
- Bobby Withrow, Parks Director
- Paul Stevens, City Engineer

**2. Invocation**

**3. Pledge of Allegiance: Mayor Stear**

*(Timestamp 00:00:32)*

**4. Consent Agenda: ACTION ITEMS**

*All items listed under the Consent Agenda are considered to be routine and are acted on with one motion by the City Council. There will be no separate discussion on these items unless the Mayor, Council Member, or City Staff requests an item to be removed from the Consent Agenda for discussion. Items removed from the Consent Agenda will be placed on the Regular Agenda under Business or as instructed by the City Council.*

*(Timestamp 00:00:51)*

**A. Regular City Council Meeting Minutes Dated July 5, 2022**

NOTICE: Copies of all agenda materials are available for public review in the Office of the City Clerk. Persons who have questions concerning any agenda item may call the City Clerk's Office at (208) 387-7726. In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk at 387-7726 at least forty-eight (48) hours prior to the meeting to allow the City to make reasonable arrangements to ensure accessibility to this meeting.

**B.** Accounts Payable Dated July 14, 2022, in the amount of \$1,246,528.89

**C.** Resolutions

1. Resolution R47-2022

A RESOLUTION OF THE CITY COUNCIL FOR KUNA, IDAHO AUTHORIZING THE MAYOR TO EXECUTE THE REAL ESTATE LEASE AGREEMENT FOR THE LEASE OF THE CITY OF KUNA'S PROPERTY LOCATED AT 6950 N. TEN MILE ROAD, MERIDIAN ID.

**Motion To:** Approve the Consent Agenda

**Motion By:** Council President McPherson

**Motion Seconded:** Council Member Christensen

**Further Discussion:** None

**Approved by the Following Roll Call Vote:**

**Voting Aye:** Council Members Bruce, Christensen, Laraway, McPherson

**Voting No:** None

**Absent:** None

**Motion Passed:** 4-0-0

## 5. External Reports:

*(Timestamp 00:01:27)*

**A.** Ada County Prosecutors, Robert Bleazard.

Robert Bleazard, Deputy Prosecutor, Ada County Prosecutors reviewed the report from Ada County.

## 6. Public Hearings:

*Public Hearing Process: Items begin with the presentation of the project by staff for up to 15 minutes. The applicant is then allowed 10 minutes to present their project. Members of the public are allowed up to 3 minutes each, to address City Council with testimony restricted to the matter at hand. After all public testimony, the applicant is allowed 5 minutes for rebuttal.*

*City Council members may ask questions throughout the public hearing process.*

*Once the public hearing is closed, no further testimony or comments are heard.*

*City Council may move to continue the application to a future meeting or approve or deny the application.*

## 7. Business Items:

*(Timestamp 00:08:03)*

**A.** Consideration to approve contingency request for \$160,000 to purchase an additional service truck. Paul Stevens, Public Works Director **ACTION ITEM**

Paul Stevens, Public Works Director reviewed the request and stood for questions.

Marc Bybee, City Attorney, asked about procurement requirements.

Bobby Withrow, Parks/Facilities Director stated that this is the only truck available in the valley.

**Motion To:** Approve the contingency request for \$160,000 for purchase of additional service truck as long as it meets all procurement requirements.

**Motion By:** Council President McPherson

**Motion Seconded:** Council Member Christensen

**Voting No:** None

**Absent:** None

**Motion Passed:** 4-0-0

- B. Kuna City Council Seat – Discussion of vacant City Council seat and candidate’s interest. Mayor Stear **ACTION ITEM**  
(Timestamp 00:13:35)

Mayor Stear reviewed the reasoning for the vacant council seat, the two letters of interest and discussed the next steps with council.

Council Member Christensen gave his exit speech from council.

- C. Tentative Budget Review, Jared Empey, Treasurer **ACTION ITEM**  
(Timestamp 00:17:28)

Jared Empey, City Treasurer reviewed the tentative budget and stood for questions.

**Motion To:** Approve publication of the tentative budget

**Motion By:** Council President McPherson

**Motion Seconded:** Council Member Christensen

**Voting No:** None

**Absent:** None

**Motion Passed:** 4-0-0

**8. Ordinances:**  
(Timestamp 00:21:18)

- A. Consideration to approve Ordinance 2022-23 **ACTION ITEM**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF KUNA:

- MAKING CERTAIN FINDINGS; and
- ENLARGING THE BOUNDARIES OF THE KUNA MUNICIPAL IRRIGATION SYSTEM BY THE INCLUSION OF ADA COUNTY ASSESSOR’S CHALLENGER DEVELOPMENT INC; AND
- DECLARING WATER RIGHTS APPURTENANT THERETO ARE POOLED FOR DELIVERY PURPOSES; and
- DIRECTING THE CITY CLERK TO RECORD THIS ORDINANCE AS PROVIDED BY LAW; and

- DIRECTING THE CITY ENGINEER TO PROVIDE NOTICE OF THIS ORDINANCE TO THE BOISE~KUNA IRRIGATION DISTRICT, THE OWNERS AND UPDATE THE IRRIGATION SYSTEM MAP; and PROVIDING AN EFFECTIVE DATE.

*Consideration to waive three readings*  
*Consideration to approve Ordinance*

**Motion To:** Waive three readings of Ordinance 2022-23

**Motion By:** Council President McPherson

**Motion Seconded:** Council Member Christensen

**Further Discussion:** None

**Absent:** None

**Motion Passed:** 4-0-0

**Motion To:** Approve Ordinance 2022-23

**Motion By:** Council President McPherson

**Motion Seconded:** Council Member Christensen

**Approved by the Following Roll Call Vote:**

**Voting Aye:** Council Members, Bruce, Christensen, Laraway and McPherson

**Voting No:** None

**Absent:** None

**Motion Passed:** 4-0-0

**9. Executive Session:**

*(Timestamp 00:23:40)*

- A. Executive session to move forward with Mason Creek Line legal process pursuant to Idaho Code 74-206 (c) (f).

**Motion To:** Enter into executive session

**Motion By:** Council President McPherson

**Seconded By:** Council Member Christensen

**Voting No:** None

**Absent:** None

**Motion Passed:** 4-0-0

**10. Mayor/Council Announcements:**

**11. Adjournment: 6:40 P.M.**

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Joe L. Stear, Mayor

ATTEST:

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Chris Engels, City Clerk

*Minutes prepared by Nathan Stanley, Deputy City Clerk*  
*Date Approved: CCM 08.02.2022*

Report Criteria:  
 Detail report.  
 Invoices with totals above \$0.00 included.  
 Paid and unpaid invoices included.

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
<b>2M COMPANY, INC.</b>												
1461	2M COMPANY, INC.	204016101-00	13981	<u>SPRINKLER PARTS FOR BERNIE FISHER PARK J.MORFIN, JUL.'22</u>	07/12/2022	278.63	.00	01-6150 <u>MAINTENANCE &amp; REPAIRS - SYSTEM</u>	1004	7/22		
Total 204016101-00:						278.63	.00					
1461	2M COMPANY, INC.	204016117-00		<u>NOZZLES FOR SPRINKLER REPAIR AT BERNIE FISHER PARK, B. WITHROW, JULY.'22</u>	07/13/2022	87.45	.00	01-6150 <u>MAINTENANCE &amp; REPAIRS - SYSTEM</u>	1004	7/22		
Total 204016117-00:						87.45	.00					
1461	2M COMPANY, INC.	204016118-00		<u>RETURNED NOZZLES FOR SPRINKLER REPAIR AT BERNIE FISHER PARK, B. WITHROW, JULY.'22</u>	07/13/2022	-87.45	.00	01-6150 <u>MAINTENANCE &amp; REPAIRS - SYSTEM</u>	1004	7/22		
Total 204016118-00:						-87.45	.00					
1461	2M COMPANY, INC.	204016362-00	14018	<u>ELBOW CONNECTORS, J. MORFFIN JULY'22</u>	07/19/2022	17.69	.00	01-6150 <u>MAINTENANCE &amp; REPAIRS - SYSTEM</u>	1004	7/22		
Total 204016362-00:						17.69	.00					
1461	2M COMPANY, INC.	204016362-01	14018	<u>BOX OF SPRINKLERS, J. MORFFIN JULY'22</u>	07/20/2022	313.41	.00	01-6150 <u>MAINTENANCE &amp; REPAIRS - SYSTEM</u>	1004	7/22		
Total 204016362-01:						313.41	.00					
Total 2M COMPANY, INC.:						609.73	.00					

City of Kuna

Payment Approval Report - City Council Approval  
Report dates: 7/15/2022-7/28/2022

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Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
<b>ABC STAMP, SIGNS &amp; AWARDS</b>												
277	ABC STAMP, SIGNS & AWARDS	0561774	13831	<u>NAME PLATE FOR A. KAHL, KUNA IMPACT FEE COMMITTEE, N. STANLEY, JUNE. '22</u>	07/18/2022	20.87	.00	<u>01-6165 OFFICE SUPPLIES</u>	0	7/22		
Total 0561774:						20.87	.00					
Total ABC STAMP, SIGNS & AWARDS:						20.87	.00					
<b>ADA COUNTY PROSECUTING ATTORNE</b>												
176	ADA COUNTY PROSECUTING ATTORNE	07212022ACP		<u>PROSECUTORIAL SERVICES FOR AUGUST 2022</u>	07/21/2022	4,500.00	.00	<u>01-6203 PROSECUTORIAL SERVICES</u>	0	7/22		
Total 07212022ACPA:						4,500.00	.00					
Total ADA COUNTY PROSECUTING ATTORNE:						4,500.00	.00					
<b>ALLIANCE MEDICAL GROUP LLC</b>												
2072	ALLIANCE MEDICAL GROUP LLC	8773-063022		<u>NEW EMPLOYEE DRUG SCREEN, A.BILLINGS &amp; C.STRAKER, MAY'22 - PARKS</u>	07/18/2022	50.00	50.00	<u>01-5950 TEAM BUILDING, ONBOARDING</u>	0	7/22	07/22/2022	
2072	ALLIANCE MEDICAL GROUP LLC	8773-063022		<u>NEW EMPLOYEE DRUG SCREEN, M.WEBB, MAY'22 - WATER</u>	07/18/2022	10.50	10.50	<u>20-5950 TEAM BUILDING, ONBOARDING</u>	0	7/22	07/22/2022	
2072	ALLIANCE MEDICAL GROUP LLC	8773-063022		<u>NEW EMPLOYEE DRUG SCREEN, M.WEBB, MAY'22 - SEWER</u>	07/18/2022	10.50	10.50	<u>21-5950 TEAM BUILDING, ONBOARDING</u>	0	7/22	07/22/2022	
2072	ALLIANCE MEDICAL GROUP LLC	8773-063022		<u>NEW EMPLOYEE DRUG SCREEN, M.WEBB, MAY'22 - P.I</u>	07/18/2022	4.00	4.00	<u>25-5950 TEAM BUILDING, ONBOARDING</u>	0	7/22	07/22/2022	
Total 8773-063022:						75.00	75.00					
Total ALLIANCE MEDICAL GROUP LLC:						75.00	75.00					

**ALPINE OFFICE PRODUCTS**

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
2118	ALPINE OFFICE PRODUCTS	OE-14200-1	13587	<u>PAPER TOWELS FOR SENIOR CENTER, MAY'22</u>	05/05/2022	60.68	60.68	01-6025 JANITORIAL	1001	7/22	07/22/2022	
Total OE-14200-1:						60.68	60.68					
2118	ALPINE OFFICE PRODUCTS	OE-15657-1		<u>TOILET TISSUE AND PAPER TOWELS FOR CITY HALL, C.MERRITT, JUL.'22 - ADMIN</u>	07/20/2022	128.81	.00	01-6025 JANITORIAL	0	7/22		
2118	ALPINE OFFICE PRODUCTS	OE-15657-1		<u>TOILET TISSUE AND PAPER TOWELS FOR CITY HALL, C.MERRITT, JUL.'22 - WATER</u>	07/20/2022	88.14	.00	20-6025 JANITORIAL	0	7/22		
2118	ALPINE OFFICE PRODUCTS	OE-15657-1		<u>TOILET TISSUE AND PAPER TOWELS FOR CITY HALL, C.MERRITT, JUL.'22 - SEWER</u>	07/20/2022	88.14	.00	21-6025 JANITORIAL	0	7/22		
2118	ALPINE OFFICE PRODUCTS	OE-15657-1		<u>TOILET TISSUE AND PAPER TOWELS FOR CITY HALL, C.MERRITT, JUL.'22 - P.I</u>	07/20/2022	33.89	.00	25-6025 JANITORIAL	0	7/22		
Total OE-15657-1:						338.98	.00					
2118	ALPINE OFFICE PRODUCTS	WO-10252-1	13587	<u>TRASH CAN LINERS FOR SENIOR CENTER, MAY'22</u>	05/05/2022	53.24	53.24	01-6025 JANITORIAL	1001	7/22	07/22/2022	
2118	ALPINE OFFICE PRODUCTS	WO-10252-1	13587	<u>TRASH CAN LINERS, FOR CITY HALL, MAY'22</u>	05/05/2022	55.74	55.74	01-6025 JANITORIAL	0	7/22	07/22/2022	
2118	ALPINE OFFICE PRODUCTS	WO-10252-1	13587	<u>TRASH CAN LINERS FOR THE TREATMENT PLANT, MAY'22 - WATER</u>	05/05/2022	22.36	22.36	20-6025 JANITORIAL	0	7/22	07/22/2022	
2118	ALPINE OFFICE PRODUCTS	WO-10252-1	13587	<u>TRASH CAN LINERS FOR THE TREATMENT PLANT, MAY'22 - SEWER</u>	05/05/2022	22.36	22.36	21-6025 JANITORIAL	0	7/22	07/22/2022	
2118	ALPINE OFFICE PRODUCTS	WO-10252-1	13587	<u>TRASH CAN LINERS FOR THE TREATMENT PLANT, MAY'22 - P.I</u>	05/05/2022	8.52	8.52	25-6025 JANITORIAL	0	7/22	07/22/2022	
2118	ALPINE OFFICE PRODUCTS	WO-10252-1	13587	<u>HAND SANITIZER, PENS, CORRECTION TAPE, CITY HALL, MAY'22 - ADMIN</u>	05/05/2022	36.69	36.69	01-6165 OFFICE SUPPLIES	0	7/22	07/22/2022	

City of Kuna

 Payment Approval Report - City Council Approval  
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Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
2118	ALPINE OFFICE PRODUCTS	WO-10252-1	13587	HAND SANITIZER, PENS, CORRECTION TAPE, CITY HALL, MAY'22 - WATER	05/05/2022	25.10	25.10	20-6165 OFFICE SUPPLIES	0	7/22	07/22/2022	
2118	ALPINE OFFICE PRODUCTS	WO-10252-1	13587	HAND SANITIZER, PENS, CORRECTION TAPE, CITY HALL, MAY'22 - SEWER	05/05/2022	25.10	25.10	21-6165 OFFICE SUPPLIES	0	7/22	07/22/2022	
2118	ALPINE OFFICE PRODUCTS	WO-10252-1	13587	HAND SANITIZER, PENS, CORRECTION TAPE, CITY HALL, MAY'22 - P.I	05/05/2022	9.65	9.65	25-6165 OFFICE SUPPLIES	0	7/22	07/22/2022	
Total WO-10252-1:						258.76	258.76					
2118	ALPINE OFFICE PRODUCTS	WO-10546-2	13703	LEGAL PADS, CITY HALL, MAY'22	05/31/2022	7.86	7.86	01-6165 OFFICE SUPPLIES	0	7/22	07/22/2022	
Total WO-10546-2:						7.86	7.86					
2118	ALPINE OFFICE PRODUCTS	WO-10621-1	13741	4 BOTTLES SUN SCREEN, PARKS DEPT, JUN.'22	06/02/2022	59.48	59.48	01-6150 MAINTENANCE & REPAIRS - SYSTEM	1004	7/22	07/22/2022	
2118	ALPINE OFFICE PRODUCTS	WO-10621-1	13741	COPY PAPER, NOTEBOOKS, AND CAN LINERS, TREATMENT PLANT, JUN.'22 - WATER	06/02/2022	74.20	74.20	20-6165 OFFICE SUPPLIES	0	7/22	07/22/2022	
2118	ALPINE OFFICE PRODUCTS	WO-10621-1	13741	COPY PAPER, NOTEBOOKS, AND CAN LINERS, TREATMENT PLANT, JUN.'22 - SEWER	06/02/2022	74.20	74.20	21-6165 OFFICE SUPPLIES	0	7/22	07/22/2022	
2118	ALPINE OFFICE PRODUCTS	WO-10621-1	13741	COPY PAPER, NOTEBOOKS, AND CAN LINERS, TREATMENT PLANT, JUN.'22 - P.I	06/02/2022	28.27	28.27	25-6165 OFFICE SUPPLIES	0	7/22	07/22/2022	
Total WO-10621-1:						236.15	236.15					
2118	ALPINE OFFICE PRODUCTS	WO-11310-1	14037	2 EA BUSINESS CARD HOLDERS, 1 PKG LAMINATING POUCHES, 1 CASE KLEENEX, 1 BAG CANDY, CITY HALL, C.MERRITT, JUL.'22 - ADMIN	07/22/2022	37.94	.00	01-6165 OFFICE SUPPLIES	0	7/22		

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
2118	ALPINE OFFICE PRODUCTS	WO-11310-1	14037	2 EA BUSINESS CARD HOLDERS, 1 PKG LAMINATING POUCHES, 1 CASE KLEENEX, 1 BAG CANDY, CITY HALL, C.MERRITT, JUL.'22 - WATER	07/22/2022	25.96	.00	20-6165 OFFICE SUPPLIES	0	7/22		
2118	ALPINE OFFICE PRODUCTS	WO-11310-1	14037	2 EA BUSINESS CARD HOLDERS, 1 PKG LAMINATING POUCHES, 1 CASE KLEENEX, 1 BAG CANDY, CITY HALL, C.MERRITT, JUL.'22 - SEWER	07/22/2022	25.96	.00	21-6165 OFFICE SUPPLIES	0	7/22		
2118	ALPINE OFFICE PRODUCTS	WO-11310-1	14037	2 EA BUSINESS CARD HOLDERS, 1 PKG LAMINATING POUCHES, 1 CASE KLEENEX, 1 BAG CANDY, CITY HALL, C.MERRITT, JUL.'22 - P.I	07/22/2022	9.97	.00	25-6165 OFFICE SUPPLIES	0	7/22		
Total WO-11310-1:						99.83	.00					
Total ALPINE OFFICE PRODUCTS:						1,002.26	563.45					
<b>AUMA ACTUATORS INC</b>												
2021	AUMA ACTUATORS INC	6299651	13927	DISCHARGE VALVE ON ACTUATOR, M. NADEAU, JUNE' 22	07/13/2022	895.50	.00	21-6150 M & R - SYSTEM	0	7/22		
Total 6299651:						895.50	.00					
Total AUMA ACTUATORS INC:						895.50	.00					
<b>BIG SKY RENTALS LLC</b>												
1846	BIG SKY RENTALS LLC	10882	13794	PROPANE, M.NADEAU, JUNE, '22	06/08/2022	31.52	31.52	21-6305 VEHICLE MAINTENANCE & REPAIRS	0	7/22	07/22/2022	
Total 10882:						31.52	31.52					
1846	BIG SKY RENTALS LLC	10940	13849	TRENCHER FOR REPAIR OF SPRINKLERS FOR BERNIE FISHER PARK, J. MORFIN, JUNE'22	06/20/2022	110.00	110.00	01-6150 MAINTENANCE & REPAIRS - SYSTEM	1004	7/22	07/22/2022	

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total 10940:						110.00	110.00					
Total BIG SKY RENTALS LLC:						141.52	141.52					
<b>CENTURYLINK</b>												
62	CENTURYLINK	208922917954		<u>DEDICATED LANDLINE TO ELEVATOR AT CITY HALL,07/07-08/06/2022-ADMIN</u>	07/07/2022	16.07	16.07	<u>01-6255 TELEPHONE</u>	0	7/22	07/22/2022	
62	CENTURYLINK	208922917954		<u>DEDICATED LANDLINE TO ELEVATOR AT CITY HALL,07/07-08/06/2022-P&amp;Z</u>	07/07/2022	5.76	5.76	<u>01-6255 TELEPHONE</u>	1003	7/22	07/22/2022	
62	CENTURYLINK	208922917954		<u>DEDICATED LANDLINE TO ELEVATOR AT CITY HALL,07/07-08/06/2022-WATER</u>	07/07/2022	14.92	14.92	<u>20-6255 TELEPHONE EXPENSE</u>	0	7/22	07/22/2022	
62	CENTURYLINK	208922917954		<u>DEDICATED LANDLINE TO ELEVATOR AT CITY HALL,07/07-08/06/2022-SEWER</u>	07/07/2022	14.92	14.92	<u>21-6255 TELEPHONE EXPENSE</u>	0	7/22	07/22/2022	
62	CENTURYLINK	208922917954		<u>DEDICATED LANDLINE TO ELEVATOR AT CITY HALL,07/07-08/06/2022-PI</u>	07/07/2022	5.75	5.75	<u>25-6255 TELEPHONE EXPENSE</u>	0	7/22	07/22/2022	
Total 2089229179548B07072022:						57.42	57.42					
Total CENTURYLINK:						57.42	57.42					
<b>CITY OF BOISE</b>												
571	CITY OF BOISE	479		<u>JULY-SEPTEMBER 2022 CONTRIBUTION FOR ALLUMBAUGH HOUSE</u>	07/22/2022	3,316.33	.00	<u>01-6070 DONATIONS EXPENSE</u>	0	7/22		
Total 479:						3,316.33	.00					
Total CITY OF BOISE:						3,316.33	.00					
<b>CIVIL SURVEY CONSULTANTS INC</b>												
23	CIVIL SURVEY CONSULTANTS INC	21030-03		<u>CIP BUDGET LINDER REDESIGN, 06/01-06/30/2022-WATER</u>	07/07/2022	1,647.79	.00	<u>20-6020 CAPITAL IMPROVEMENTS</u>	1274	7/22		

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23	CIVIL SURVEY CONSULTANTS INC	21030-03		<u>CIP BUDGET LINDER REDESIGN, 06/01-06/30/2022- SEWER</u>	07/07/2022	549.26	.00	<u>21-6020 CAPITAL IMPROVEMENTS</u>	1274	7/22		
23	CIVIL SURVEY CONSULTANTS INC	21030-03		<u>CIP BUDGET LINDER REDESIGN, 06/01-06/30/2022-PI</u>	07/07/2022	8,788.26	.00	<u>25-6020 CAPITAL IMPROVEMENTS</u>	1274	7/22		
Total 21030-03:						10,985.31	.00					
Total CIVIL SURVEY CONSULTANTS INC:						10,985.31	.00					
<b>CORE &amp; MAIN LP</b>												
63	CORE & MAIN LP	Q518812		<u>BALL VALVES FOR STOCK, D. CROSSLEY, JULY, '22</u>	07/14/2022	1,622.76	.00	<u>25-6150 MAINT. &amp; REPAIRS - SYSTEM (PI)</u>	0	7/22		
Total Q518812:						1,622.76	.00					
63	CORE & MAIN LP	R098408	13990	<u>CABLE AND CONNECTORS FOR METERS, J.OSBORN, JUL.'22</u>	07/14/2022	523.96	.00	<u>20-6020 CAPITAL IMPROVEMENTS</u>	1089	7/22		
Total R098408:						523.96	.00					
63	CORE & MAIN LP	R111834	13990	<u>METER RINGS, J.OSBORN, JUL.'22</u>	07/14/2022	597.00	.00	<u>20-6020 CAPITAL IMPROVEMENTS</u>	1089	7/22		
Total R111834:						597.00	.00					
63	CORE & MAIN LP	R133277		<u>GATEWAY UPGRADE, 2ND TOWER, J. OSBORN, JULY, '22</u>	07/13/2022	12,600.00	.00	<u>20-6166 PP&amp;E PURCHASES OPERATIONS</u>	1294	7/22		
Total R133277:						12,600.00	.00					
63	CORE & MAIN LP	R227157	14004	<u>FIRE HYDRANT METERS, M.NADEAU, JUL.'22-WATER</u>	07/18/2022	3,883.72	.00	<u>20-6150 M &amp; R - SYSTEM</u>	0	7/22		

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Total R227157:						3,883.72	.00					
Total CORE & MAIN LP:						19,227.44	.00					
<b>CREATIVE WRAPS</b>												
1970	CREATIVE WRAPS	2757	14060	STICKERS FOR TOYOTA TACOMA, J. DURHAM, JULY. '22- PARKS	07/26/2022	80.00	.00	01-6305 VEHICLE MAINTENANCE & REPAIRS	1004	7/22		
1970	CREATIVE WRAPS	2757	14060	STICKERS FOR SEWER TRUCK, J. DURHAM, JULY. '22- SEWER	07/26/2022	80.00	.00	21-6305 VEHICLE MAINTENANCE & REPAIRS	0	7/22		
1970	CREATIVE WRAPS	2757	14060	STICKERS FOR FORD F150, J. DURHAM, JULY. '22-FLEET- ADMIN	07/26/2022	40.00	.00	01-6305 VEHICLE MAINTENANCE & REPAIRS	0	7/22		
1970	CREATIVE WRAPS	2757	14060	STICKERS FOR FORD F150, J. DURHAM, JULY. '22-FLEET- WATER	07/26/2022	16.00	.00	20-6305 VEHICLE MAINTENANCE & REPAIRS	0	7/22		
1970	CREATIVE WRAPS	2757	14060	STICKERS FOR FORD F150, J. DURHAM, JULY. '22-FLEET- SEWER	07/26/2022	16.00	.00	21-6305 VEHICLE MAINTENANCE & REPAIRS	0	7/22		
1970	CREATIVE WRAPS	2757	14060	STICKERS FOR FORD F150, J. DURHAM, JULY. '22-FLEET-PI	07/26/2022	8.00	.00	25-6305 VEHICLE MAINTENANCE & REPAIR	0	7/22		
Total 2757:						240.00	.00					
Total CREATIVE WRAPS:						240.00	.00					
<b>CUSTOM ELECTRIC, INC.</b>												
147	CUSTOM ELECTRIC, INC.	8891	13571	TROUBLESHOOT AND REPLACE CONTACTS IN GRIT PUMP STARTER, 3 POLE REPLACEMENT, T. SHAFFER, MAY. '22	05/02/2022	560.81	560.81	21-6150 M & R - SYSTEM	0	7/22	07/22/2022	
Total 8891:						560.81	560.81					

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147	CUSTOM ELECTRIC, INC.	8923	13973	<u>TROUBLESHOOT CONVEYOR IN HEADWORKS BUILDING, T. SHAFFER, JULY, '22</u>	07/10/2022	630.00	.00	<u>21-6150 M &amp; R - SYSTEM</u>	0	7/22		
Total 8923:						630.00	.00					
147	CUSTOM ELECTRIC, INC.	8933	14033	<u>PROGRAMMING FOR ARDELL AND CHAPAROSSA PI STATIONS, D. CROSSLEY, JULY, '22</u>	07/20/2022	420.00	.00	<u>25-6150 MAINT. &amp; REPAIRS - SYSTEM (PI)</u>	0	7/22		
Total 8933:						420.00	.00					
147	CUSTOM ELECTRIC, INC.	8937	14034	<u>WORK ON SPRINGHILL PI STATION, D. CROSSLEY, JULY, '22</u>	07/21/2022	315.00	.00	<u>25-6150 MAINT. &amp; REPAIRS - SYSTEM (PI)</u>	0	7/22		
Total 8937:						315.00	.00					
Total CUSTOM ELECTRIC, INC.:						1,925.81	560.81					
<b>D &amp; B SUPPLY</b>												
75	D & B SUPPLY	46668		<u>RETURN SPRINKLER PARTS, J. MORFIN, JULY, '22</u>	07/11/2022	-69.99	.00	<u>01-6150 MAINTENANCE &amp; REPAIRS - SYSTEM</u>	1004	7/22		
Total 46668:						-69.99	.00					
75	D & B SUPPLY	46961	13983	<u>9 VOLT BATTERIES FOR SPRINKLER CLOCK, R. WARWICK, JULY, '22</u>	07/13/2022	33.98	.00	<u>01-6150 MAINTENANCE &amp; REPAIRS - SYSTEM</u>	1004	7/22		
Total 46961:						33.98	.00					
75	D & B SUPPLY	48744	14052	<u>WEED EATER STRING, B. VILLANUEVA, JULY, '22</u>	07/25/2022	85.98	.00	<u>01-6142 MAINT. &amp; REPAIR - EQUIPMENT</u>	1004	7/22		

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Total 48744:						85.98	.00					
75	D & B SUPPLY	54285	13994	<u>EDGING &amp; ANCHOR KIT FOR BERNIE FISHER, J. PEREZ, JULY'22</u>	07/14/2022	17.37	.00	<u>01-6150 MAINTENANCE &amp; REPAIRS - SYSTEM</u>	1004	7/22		
Total 54285:						17.37	.00					
75	D & B SUPPLY	55365	14029	<u>PRUNER AND 2 CYCLE OIL, J. PEREZ, JUL.'22</u>	07/20/2022	30.93	.00	<u>01-6142 MAINT. &amp; REPAIR - EQUIPMENT</u>	1004	7/22		
Total 55365:						30.93	.00					
75	D & B SUPPLY	55416	14031	<u>BATTERIES FOR CITY HALL SYSTEM, S. HOWELL, JULY '22- ADMIN</u>	07/21/2022	22.02	.00	<u>01-6140 MAINT. &amp; REPAIR BUILDING</u>	0	7/22		
75	D & B SUPPLY	55416	14031	<u>BATTERIES FOR CITY HALL SYSTEM, S. HOWELL, JULY '22- WATER</u>	07/21/2022	15.07	.00	<u>20-6140 MAINT. &amp; REPAIR BUILDING</u>	0	7/22		
75	D & B SUPPLY	55416	14031	<u>BATTERIES FOR CITY HALL SYSTEM, S. HOWELL, JULY '22- SEWER</u>	07/21/2022	15.07	.00	<u>21-6140 MAINT &amp; REPAIR BUILDING</u>	0	7/22		
75	D & B SUPPLY	55416	14031	<u>BATTERIES FOR CITY HALL SYSTEM, S. HOWELL, JULY '22- PI</u>	07/21/2022	5.80	.00	<u>25-6140 MAINT &amp; REPAIR BUILDING</u>	0	7/22		
Total 55416:						57.96	.00					
75	D & B SUPPLY	56050	14044	<u>BAIT FOR FISHING DAY, RANGER PROGRAM, J. MOFRIN, JULY '22</u>	07/25/2022	32.52	.00	<u>01-6135 PUBLIC ENTERTAINMENT</u>	1004	7/22		
Total 56050:						32.52	.00					
75	D & B SUPPLY	56051	14045	<u>GLOVES WITH HAND PROTECTION, J. MORFIN, JULY '22</u>	07/25/2022	44.97	.00	<u>01-6230 SAFETY TRAINING &amp; EQUIPMENT</u>	1004	7/22		

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Total 56051:						44.97	.00					
75	D & B SUPPLY	56162	14054	<u>NIGHTCRAWLERS FOR BAIT FOR RANGERS FISHING DAY, J.MORFIN, JUL.'22</u>	07/26/2022	9.87	.00	01-6135 PUBLIC ENTERTAINMENT	1086	7/22		
Total 56162:						9.87	.00					
75	D & B SUPPLY	56163	14055	<u>HIGH PRESSURE PREFORMANCE PUMP FOR KUBOTA, R HENZE, JULY'22</u>	07/26/2022	194.01	.00	01-6142 MAINT. & REPAIR - EQUIPMENT	1004	7/22		
Total 56163:						194.01	.00					
75	D & B SUPPLY	79577		<u>SPRINKLER REPLACED, J. MORFIN, JULY.'22</u>	07/13/2022	69.99	.00	01-6150 MAINTENANCE & REPAIRS - SYSTEM	1004	7/22		
Total 79577:						69.99	.00					
Total D & B SUPPLY:						507.59	.00					
<b>DYNA PARTS LLC</b>												
2115	DYNA PARTS LLC	261019	13967	<u>BATTERIES FOR WHITE DUMP TRUCK, J. DURHAM, JULY.'22-ADMIN</u>	07/11/2022	134.84	.00	01-6305 VEHICLE MAINTENANCE & REPAIRS	0	7/22		
2115	DYNA PARTS LLC	261019	13967	<u>BATTERIES FOR WHITE DUMP TRUCK, J. DURHAM, JULY.'22-WATER</u>	07/11/2022	53.94	.00	20-6305 VEHICLE MAINTENANCE & REPAIRS	0	7/22		
2115	DYNA PARTS LLC	261019	13967	<u>BATTERIES FOR WHITE DUMP TRUCK, J. DURHAM, JULY.'22-SEWER</u>	07/11/2022	53.94	.00	21-6305 VEHICLE MAINTENANCE & REPAIRS	0	7/22		
2115	DYNA PARTS LLC	261019	13967	<u>BATTERIES FOR WHITE DUMP TRUCK, J. DURHAM, JULY.'22-PI</u>	07/11/2022	26.96	.00	25-6305 VEHICLE MAINTENANCE & REPAIR	0	7/22		

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Total 261019:						269.68	.00					
2115	DYNA PARTS LLC	261107	13976	<u>24 QT OIL ABSORBENT, J. PEREZ, JULY '22</u>	07/12/2022	42.24	.00	<u>01-6150 MAINTENANCE &amp; REPAIRS - SYSTEM</u>	1004	7/22		
Total 261107:						42.24	.00					
2115	DYNA PARTS LLC	261154	13985	<u>DOOR UPHOLSTERY TOOL, LOCK WASH, J. DURHAM, JULY 22- ADMIN</u>	07/13/2022	4.32	.00	<u>01-6305 VEHICLE MAINTENANCE &amp; REPAIRS</u>	0	7/22		
2115	DYNA PARTS LLC	261154	13985	<u>DOOR UPHOLSTERY TOOL, LOCK WASH, J. DURHAM, JULY 22- WATER</u>	07/13/2022	1.73	.00	<u>20-6305 VEHICLE MAINTENANCE &amp; REPAIRS</u>	0	7/22		
2115	DYNA PARTS LLC	261154	13985	<u>DOOR UPHOLSTERY TOOL, LOCK WASH, J. DURHAM, JULY 22- SEWER</u>	07/13/2022	1.73	.00	<u>21-6305 VEHICLE MAINTENANCE &amp; REPAIRS</u>	0	7/22		
2115	DYNA PARTS LLC	261154	13985	<u>DOOR UPHOLSTERY TOOL, LOCK WASH, J. DURHAM, JULY 22- PI</u>	07/13/2022	.86	.00	<u>25-6305 VEHICLE MAINTENANCE &amp; REPAIR</u>	0	7/22		
Total 261154:						8.64	.00					
2115	DYNA PARTS LLC	261487	14020	<u>2 TON TROLLEY JACK FOR PARKS SHOP, J. MORFIN, JULY '22</u>	07/19/2022	47.89	.00	<u>01-6175 SMALL TOOLS</u>	1004	7/22		
Total 261487:						47.89	.00					
2115	DYNA PARTS LLC	261603	14032	<u>ELECTRIC BATTERY FOR CITY HALL ALARM DETECTORS, S HOWELL, JULY '22- ADMIN</u>	07/21/2022	3.25	.00	<u>01-6140 MAINT. &amp; REPAIR BUILDING</u>	0	7/22		
2115	DYNA PARTS LLC	261603	14032	<u>ELECTRIC BATTERY FOR CITY HALL ALARM DETECTORS, S HOWELL, JULY '22- WATER</u>	07/21/2022	2.22	.00	<u>20-6140 MAINT. &amp; REPAIR BUILDING</u>	0	7/22		
2115	DYNA PARTS LLC	261603	14032	<u>ELECTRIC BATTERY FOR CITY HALL ALARM DETECTORS, S HOWELL, JULY '22- SEWER</u>	07/21/2022	2.22	.00	<u>21-6140 MAINT &amp; REPAIR BUILDING</u>	0	7/22		

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2115	DYNA PARTS LLC	261603	14032	<u>ELECTRIC BATTERY FOR CITY HALL ALARM DETECTORS, S HOWELL, JULY '22- PI</u>	07/21/2022	.85	.00	<u>25-6140 MAINT &amp; REPAIR BUILDING</u>	0	7/22		
Total 261603:						8.54	.00					
Total DYNA PARTS LLC:						376.99	.00					
<b>ED STAUB &amp; SONS PETROLEUM, INC</b>												
1731	ED STAUB & SONS PETROLEUM, INC	7855391		<u>33.60 PROPANE DELIVERED TO 201 AVE A, J. LORENTZ, JULY '22</u>	07/14/2022	73.53	73.53	<u>01-6290 UTILITIES</u>	1004	7/22	07/22/2022	
Total 7855391:						73.53	73.53					
Total ED STAUB & SONS PETROLEUM, INC:						73.53	73.53					
<b>EDGAR LARA</b>												
2149	EDGAR LARA	07222022EL		<u>PERFORMANCE FOR FREEDOM FIESTA, JULY, '22</u>	07/22/2022	100.00	100.00	<u>01-6135 PUBLIC ENTERTAINMENT</u>	1004	7/22	07/22/2022	
Total 07222022EL:						100.00	100.00					
Total EDGAR LARA:						100.00	100.00					
<b>ELAM &amp; BURKE</b>												
796	ELAM & BURKE	196798		<u>LEGAL SERVICES, GENERAL REPRESENTATION, URBAN RENEWAL, 06/27-06/30/2022</u>	06/30/2022	45.00	.00	<u>52-6202 PROFESSIONAL SERVICES</u>	0	7/22		
Total 196798:						45.00	.00					
796	ELAM & BURKE	196799		<u>PROFESSIONAL LEGAL SERVICES FOR 06/01-06/30/2022, URBAN RENEWAL, EAST KUNA PLAN</u>	06/30/2022	1,608.00	.00	<u>01-6202 PROFESSIONAL SERVICES</u>	4000	7/22		

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Total 196799:						1,608.00	.00					
Total ELAM & BURKE:						1,653.00	.00					
<b>FATBEAM LLC</b>												
1831	FATBEAM LLC	27668		<u>MONTHLY RECURRING CHARGE FOR INTERNET SERVICE FOR AUG. '22-ADMIN</u>	08/01/2022	95.00	.00	<u>01-6052 CONTRACT SERVICES</u>	0	7/22		
1831	FATBEAM LLC	27668		<u>MONTHLY RECURRING CHARGE FOR INTERNET SERVICE FOR AUG. '22-WATER</u>	08/01/2022	65.00	.00	<u>20-6052 CONTRACT SERVICES</u>	0	7/22		
1831	FATBEAM LLC	27668		<u>MONTHLY RECURRING CHARGE FOR INTERNET SERVICE FOR AUG. '22-SEWER</u>	08/01/2022	65.00	.00	<u>21-6052 CONTRACT SERVICES</u>	0	7/22		
1831	FATBEAM LLC	27668		<u>MONTHLY RECURRING CHARGE FOR INTERNET SERVICE FOR AUG. '22-PI</u>	08/01/2022	25.00	.00	<u>25-6052 CONTRACT SERVICES</u>	0	7/22		
Total 27668:						250.00	.00					
Total FATBEAM LLC:						250.00	.00					
<b>FERGUSON ENTERPRISES INC</b>												
219	FERGUSON ENTERPRISES INC	0825118		<u>STICK PUMP, J. WEBB, JULY, '22-WATER</u>	07/14/2022	159.20	.00	<u>20-6175 SMALL TOOLS</u>	0	7/22		
219	FERGUSON ENTERPRISES INC	0825118		<u>STICK PUMP, J. WEBB, JULY, '22-PI</u>	07/14/2022	39.80	.00	<u>25-6175 SMALL TOOLS</u>	0	7/22		
Total 0825118:						199.00	.00					
219	FERGUSON ENTERPRISES INC	0825157		<u>LEAK CLAMP &amp; PVC PIPE, JULY, '22</u>	07/13/2022	634.33	.00	<u>25-6150 MAINT. &amp; REPAIRS - SYSTEM (PI)</u>	0	7/22		
Total 0825157:						634.33	.00					

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Total FERGUSON ENTERPRISES INC:						833.33	.00					
<b>FLUID CONNECTOR PRODUCTS, INC.</b>												
1083	FLUID CONNECTOR PRODUCTS, INC.	8387949	14003	<u>TWO FIRE GATE VALVES, M. NADEAU, JULY'22-WATER</u>	07/15/2022	367.99	.00	20-6150 M & R - SYSTEM	0	7/22		
1083	FLUID CONNECTOR PRODUCTS, INC.	8387949	14003	<u>TWO FIRE GATE VALVES, M. NADEAU, JULY'22-SEWER</u>	07/15/2022	367.99	.00	21-6150 M & R - SYSTEM	0	7/22		
1083	FLUID CONNECTOR PRODUCTS, INC.	8387949	14003	<u>TWO FIRE GATE VALVES, M. NADEAU, JULY'22-PI</u>	07/15/2022	140.19	.00	25-6150 MAINT. & REPAIRS - SYSTEM (PI)	0	7/22		
Total 8387949:						876.17	.00					
1083	FLUID CONNECTOR PRODUCTS, INC.	8391402		<u>CM, PO# 14003, RETURN FIRE GATE VALVE, M. NADUEAU, JULY. '22-WATER</u>	07/19/2022	-367.99	.00	20-6150 M & R - SYSTEM	0	7/22		
1083	FLUID CONNECTOR PRODUCTS, INC.	8391402		<u>CM, PO# 14003, RETURN FIRE GATE VALVE, M. NADUEAU, JULY. '22-SEWER</u>	07/19/2022	-367.99	.00	21-6150 M & R - SYSTEM	0	7/22		
1083	FLUID CONNECTOR PRODUCTS, INC.	8391402		<u>CM, PO# 14003, RETURN FIRE GATE VALVE, M. NADUEAU, JULY. '22-PI</u>	07/19/2022	-140.19	.00	25-6150 MAINT. & REPAIRS - SYSTEM (PI)	0	7/22		
Total 8391402:						-876.17	.00					
1083	FLUID CONNECTOR PRODUCTS, INC.	8391410	14022	<u>2 METER GATE VALVES, M NADEAU, JULY'22-WATER</u>	07/19/2022	110.06	.00	20-6150 M & R - SYSTEM	0	7/22		
1083	FLUID CONNECTOR PRODUCTS, INC.	8391410	14022	<u>2 METER GATE VALVES, M NADEAU, JULY'22-SEWER</u>	07/19/2022	110.06	.00	21-6150 M & R - SYSTEM	0	7/22		
1083	FLUID CONNECTOR PRODUCTS, INC.	8391410	14022	<u>2 METER GATE VALVES, M NADEAU, JULY'22-PI</u>	07/19/2022	41.95	.00	25-6150 MAINT. & REPAIRS - SYSTEM (PI)	0	7/22		
Total 8391410:						262.07	.00					
Total FLUID CONNECTOR PRODUCTS, INC.:						262.07	.00					

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<b>FREUND PROPERTIES LLC</b>												
2014	FREUND PROPERTIES LLC	4901		<u>IT TICKET SUPPORT FOR JUNE, '22-ADMIN</u>	07/18/2022	45.00	45.00	<u>01-6140 MAINT. &amp; REPAIR BUILDING</u>	0	7/22	07/22/2022	
2014	FREUND PROPERTIES LLC	4901		<u>IT TICKET SUPPORT FOR JUNE, '22-WATER</u>	07/18/2022	59.40	59.40	<u>20-6140 MAINT. &amp; REPAIR BUILDING</u>	0	7/22	07/22/2022	
2014	FREUND PROPERTIES LLC	4901		<u>IT TICKET SUPPORT FOR JUNE, '22-SEWER</u>	07/18/2022	59.40	59.40	<u>21-6140 MAINT &amp; REPAIR BUILDING</u>	0	7/22	07/22/2022	
2014	FREUND PROPERTIES LLC	4901		<u>IT TICKET SUPPORT FOR JUNE, '22-PI</u>	07/18/2022	16.20	16.20	<u>25-6140 MAINT &amp; REPAIR BUILDING</u>	0	7/22	07/22/2022	
Total 4901:						180.00	180.00					
Total FREUND PROPERTIES LLC:						180.00	180.00					
<b>GREEN'S SAND &amp; GRAVEL</b>												
536	GREEN'S SAND & GRAVEL	6783	13982	<u>15 YARDS TOP SOIL FOR BERNIE FISHER, R. WARWICK, JULY, '22</u>	07/13/2022	375.00	.00	<u>01-6150 MAINTENANCE &amp; REPAIRS - SYSTEM</u>	1004	7/22		
Total 6783:						375.00	.00					
Total GREEN'S SAND & GRAVEL:						375.00	.00					
<b>HOLLADAY ENGINEERING CO</b>												
1990	HOLLADAY ENGINEERING CO	47710		<u>PROFESSIONAL SERVICES THROUGH 06/30/2022, WELL 6 RESERVOIR &amp; BOOSTER STATION PROJECT, KU22-0308</u>	07/18/2022	31,260.00	.00	<u>20-6020 CAPITAL IMPROVEMENTS</u>	1277	7/22		
Total 47710:						31,260.00	.00					
1990	HOLLADAY ENGINEERING CO	47711		<u>PROFESSIONAL SERVICES &amp; OUTSIDE SERVICES THROUGH 06/30/2022, PEREGRINE PROJECT</u>	07/18/2022	14,205.70	.00	<u>01-6202 PROFESSIONAL SERVICES</u>	0	7/22		
Total 47711:						14,205.70	.00					

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Total HOLLADAY ENGINEERING CO:						45,465.70	.00					
<b>IDAHO PRESS TRIBUNE, LLC</b>												
1802	IDAHO PRESS TRIBUNE, LLC	23760	13875	<u>AD#252150, LEGAL PUBLIC NOTICE, REQUEST FOR PROFESSIONAL QUALIFICATIONS, N. STANLEY, JUNE, '22-ADMIN</u>	07/06/2022	190.60	.00	<u>01-6125 LEGAL PUBLICATIONS</u>	0	7/22		
1802	IDAHO PRESS TRIBUNE, LLC	23760		<u>AD#252150, LEGAL PUBLIC NOTICE, REQUEST FOR PROFESSIONAL QUALIFICATIONS, N. STANLEY, JUNE, '22-WATER</u>	07/06/2022	76.24	.00	<u>20-6125 LEGAL PUBLICATIONS</u>	0	7/22		
1802	IDAHO PRESS TRIBUNE, LLC	23760		<u>AD#252150, LEGAL PUBLIC NOTICE, REQUEST FOR PROFESSIONAL QUALIFICATIONS, N. STANLEY, JUNE, '22-SEWER</u>	07/06/2022	76.24	.00	<u>21-6125 LEGAL PUBLICATIONS EXPENSE</u>	0	7/22		
1802	IDAHO PRESS TRIBUNE, LLC	23760		<u>AD#252150, LEGAL PUBLIC NOTICE, REQUEST FOR PROFESSIONAL QUALIFICATIONS, N. STANLEY, JUNE, '22-PI</u>	07/06/2022	38.13	.00	<u>25-6125 LEGAL PUBLICATIONS</u>	0	7/22		
Total 23760:						381.21	.00					
1802	IDAHO PRESS TRIBUNE, LLC	23761	13928	<u>AD#256065, LEGAL PUBLIC NOTICE FOR BRAEBURN SUBDIVISON, T BEHUNIN, JULY,22</u>	07/06/2022	52.92	.00	<u>01-6125 LEGAL PUBLICATIONS</u>	1003	7/22		
Total 23761:						52.92	.00					
1802	IDAHO PRESS TRIBUNE, LLC	23866	13870	<u>AD#252147, LEGAL PUBLIC NOTICE, COMPREHENSIVE PLAN MAP, N. STANLEY, JULY, '22</u>	07/13/2022	67.96	.00	<u>01-6125 LEGAL PUBLICATIONS</u>	1003	7/22		
Total 23866:						67.96	.00					

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1802	IDAHO PRESS TRIBUNE, LLC	23867	13949	<u>AD# 258149. LEGAL PUBLIC NOTICE. KUNA LUTHERAN CHURCH, N. STANLEY, JUL '22</u>	07/13/2022	456.56	.00	<u>01-6125 LEGAL PUBLICATIONS</u>	1003	7/22		
Total 23867:						456.56	.00					
1802	IDAHO PRESS TRIBUNE, LLC	24015	13987	<u>AD# 261560. LEGAL PUBLIC NOTICE. FALCON CREST SOUTH, J. REID, JULY '22</u>	07/20/2022	57.36	.00	<u>01-6125 LEGAL PUBLICATIONS</u>	1003	7/22		
Total 24015:						57.36	.00					
1802	IDAHO PRESS TRIBUNE, LLC	24016	13987	<u>AD# 261573. LEGAL PUBLIC NOTICE. ON PUBLIC HEARING, RIVERTON SUBDIVISION, J. REID, JULY '22</u>	07/20/2022	56.62	.00	<u>01-6125 LEGAL PUBLICATIONS</u>	1003	7/22		
Total 24016:						56.62	.00					
1802	IDAHO PRESS TRIBUNE, LLC	24017	14009	<u>AD# 261578. LEGAL PUBLIC NOTICE. 790 W NANNYBERRY IN-HOME GROUP DAYCARE, J. REID, JULY '22</u>	07/20/2022	54.40	.00	<u>01-6125 LEGAL PUBLICATIONS</u>	1003	7/22		
Total 24017:						54.40	.00					
Total IDAHO PRESS TRIBUNE, LLC:						1,127.03	.00					
<b>IDAHO STATE POLICE</b>												
1509	IDAHO STATE POLICE	07252022IDSP		<u>NEW EMPLOYEE FINGERPRINTING, D. MCLEARY, S22127723</u>	07/25/2022	10.00	.00	<u>01-5950 TEAM BUILDING, ONBOARDING</u>	0	7/22		
1509	IDAHO STATE POLICE	07252022IDSP		<u>SOLICITOR BACKGROUND CHECK, S22128999, S22128648, S22131639, S22129000</u>	07/25/2022	133.00	.00	<u>01-2075 UNEARNED REVENUE</u>	0	7/22		
Total 07252022IDSP:						143.00	.00					

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Total IDAHO STATE POLICE:						143.00	.00					
<b>J &amp; M SANITATION, INC.</b>												
230	J & M SANITATION, INC.	07082022-071		<u>SANITATION RECEIPT TRANSFER, 7/8-14/2022</u>	07/15/2022	111,754.62	111,754.62	26-7000 SOLID WASTE SERVICE FEES	0	7/22	07/15/2022	
230	J & M SANITATION, INC.	07082022-071		<u>SANITATION RECEIPT TRANSFER, LESS FRANCHISE FEES, 7/8-14/2022</u>	07/15/2022	-11,041.36	-11,041.36	01-4170 FRANCHISE FEES	0	7/22	07/15/2022	
Total 07082022-07142022:						100,713.26	100,713.26					
230	J & M SANITATION, INC.	07152022-072		<u>SANITATION RECEIPT TRANSFER, 07/15-07/21/2022</u>	07/22/2022	84,413.57	84,413.57	26-7000 SOLID WASTE SERVICE FEES	0	7/22	07/22/2022	
230	J & M SANITATION, INC.	07152022-072		<u>SANITATION RECEIPT TRANSFER, LESS FRANCHISE FEES, 07/15-07/21/2022</u>	07/22/2022	-8,340.06	-8,340.06	01-4170 FRANCHISE FEES	0	7/22	07/22/2022	
Total 07152022-07212022:						76,073.51	76,073.51					
Total J & M SANITATION, INC.:						176,786.77	176,786.77					
<b>JACK HENRY &amp; ASSOCIATES, INC.</b>												
1328	JACK HENRY & ASSOCIATES, INC.	4027835		<u>ACH PAYMENT PROCESS-ADMIN</u>	07/01/2022	42.46	.00	01-6505 BANK FEES	0	7/22		
1328	JACK HENRY & ASSOCIATES, INC.	4027835		<u>ACH PAYMENT PROCESS-WATER</u>	07/01/2022	29.05	.00	20-6505 BANK FEES	0	7/22		
1328	JACK HENRY & ASSOCIATES, INC.	4027835		<u>ACH PAYMENT PROCESS-SEWER</u>	07/01/2022	29.05	.00	21-6505 BANK FEES	0	7/22		
1328	JACK HENRY & ASSOCIATES, INC.	4027835		<u>ACH PAYMENT PROCESS-PI</u>	07/01/2022	11.19	.00	25-6505 BANK FEES	0	7/22		
Total 4027835:						111.75	.00					
Total JACK HENRY & ASSOCIATES, INC.:						111.75	.00					

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<b>JANET CALDERON</b>												
2150	JANET CALDERON	07222022JC		<u>PERFORMANCE FOR FREEDOM FIESTA, JULY, '22</u>	07/22/2022	500.00	500.00	<u>01-6135 PUBLIC ENTERTAINMENT</u>	1004	7/22	07/22/2022	
Total 07222022JC:						500.00	500.00					
Total JANET CALDERON:						500.00	500.00					
<b>J-U-B ENGINEERS, INC.</b>												
1236	J-U-B ENGINEERS, INC.	0154429		<u>PROFESSIONAL SERVICES FOR CITY OF KUNA, PARKING LOT DESIGN, 97% COMPLETE, 05/29-07/02/2022-PARKS OFFICE</u>	07/14/2022	1,200.00	.00	<u>40-6020 CAPITAL IMPROVEMENTS</u>	1173	7/22		
Total 0154429:						1,200.00	.00					
Total J-U-B ENGINEERS, INC.:						1,200.00	.00					
<b>KELLER ASSOCIATES, INC.</b>												
429	KELLER ASSOCIATES, INC.	0220166		<u>PROFESSIONAL SERVICES FROM 01/01-01/31/2022-KUNA- AVENUE B SIDEWALK IMPROVEMENTS</u>	02/10/2022	1,000.00	1,000.00	<u>40-6020 CAPITAL IMPROVEMENTS</u>	1126	7/22	07/22/2022	
Total 0220166:						1,000.00	1,000.00					
429	KELLER ASSOCIATES, INC.	0220492		<u>PROFESSIONAL SERVICES FROM 02/01-02/28/2022-KUNA- AVENUE B SIDEWALK IMPROVEMENTS</u>	03/09/2022	2,850.00	2,850.00	<u>40-6020 CAPITAL IMPROVEMENTS</u>	1126	7/22	07/22/2022	
Total 0220492:						2,850.00	2,850.00					
429	KELLER ASSOCIATES, INC.	0221965		<u>PROFESSIONAL SERVICES FROM 06/01-06/30/2022-META DEVELOPMENT WATER &amp; WASTEWATER USER RATE &amp; CONNECTION FEE STUDY- WATER</u>	07/14/2022	480.00	.00	<u>20-6202 PROFESSIONAL SERVICES</u>	0	7/22		

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429	KELLER ASSOCIATES, INC.	0221965		<u>PROFESSIONAL SERVICES FROM 06/01-06/30/2022-META DEVELOPMENT WATER &amp; WASTEWATER USER RATE &amp; CONNECTION FEE STUDY-SEWER</u>	07/14/2022	480.00	.00	<u>21-6202 PROFESSIONAL SERVICES</u>	0	7/22		
Total 0221965:						960.00	.00					
Total KELLER ASSOCIATES, INC.:						4,810.00	3,850.00					
<b>KUNA LUMBER</b>												
499	KUNA LUMBER	A130535	14005	<u>ZIP TIES AND GARDEN STAKES FOR FREEDOM FIESTA, S JONES, JULY'22</u>	07/15/2022	59.53	.00	<u>01-6135 PUBLIC ENTERTAINMENT</u>	1004	7/22		
Total A130535:						59.53	.00					
499	KUNA LUMBER	A130673	14042	<u>SHRINK WRAP FILM FOR RESERVATIONS SIGNS, R. WARWICK, JULY. '22</u>	07/22/2022	11.24	.00	<u>01-6150 MAINTENANCE &amp; REPAIRS - SYSTEM</u>	1004	7/22		
Total A130673:						11.24	.00					
499	KUNA LUMBER	B163729	13951	<u>FOUR PRESSURE GAUGES, M. DAVILA, JULY'22</u>	07/07/2022	38.66	.00	<u>25-6150 MAINT. &amp; REPAIRS - SYSTEM (PI)</u>	0	7/22		
Total B163729:						38.66	.00					
499	KUNA LUMBER	B163762	13960	<u>GALVANIZED PARTS FOR CHAPAROSSA PI FLUSH LINE, M.DAVILA, JUL. '22</u>	07/08/2022	49.10	.00	<u>25-6150 MAINT. &amp; REPAIRS - SYSTEM (PI)</u>	0	7/22		
Total B163762:						49.10	.00					
499	KUNA LUMBER	B163766	13961	<u>1 GALVANIZED NIPPLE FOR CHAPAROSSA PI FLUSH LINE, M. DAVILA, JULY. '22</u>	07/08/2022	8.99	.00	<u>25-6150 MAINT. &amp; REPAIRS - SYSTEM (PI)</u>	0	7/22		

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Total B163766:						8.99	.00					
499	KUNA LUMBER	B163856	13975	<u>FUNNEL AND SUPER GLUE FOR BERNIE FISHER PLAYGROUND REPAIR, J.MORFIN, JUL '22</u>	07/12/2022	8.17	.00	<u>01-6150 MAINTENANCE &amp; REPAIRS - SYSTEM</u>	1004	7/22		
Total B163856:						8.17	.00					
499	KUNA LUMBER	B163857		<u>8" PORTABLE BATHROOM FAN, J. MORFIN, JULY '22</u>	07/12/2022	18.79	.00	<u>01-6140 MAINT. &amp; REPAIR BUILDING</u>	1004	7/22		
Total B163857:						18.79	.00					
499	KUNA LUMBER	B164113	14016	<u>MISC IRRIGATION SPRINKLER PARTS, D. ABBOTT, JULY'22</u>	07/19/2022	33.24	.00	<u>01-6150 MAINTENANCE &amp; REPAIRS - SYSTEM</u>	1004	7/22		
Total B164113:						33.24	.00					
499	KUNA LUMBER	B164129	14023	<u>BLACK VISQUEEN, BOISE BOARD OF CONTROL, J. OSBORNE, JULY '22</u>	07/19/2022	11.24	.00	<u>25-6150 MAINT. &amp; REPAIRS - SYSTEM (PI)</u>	0	7/22		
Total B164129:						11.24	.00					
Total KUNA LUMBER:						238.96	.00					
<b>LEGACY TRAILERS LLC</b>												
2153	LEGACY TRAILERS LLC	07252022LT	14050	<u>TRAILER FOR JOBS, 2022 CRITERION TRAILER, MODEL#CT71403E, VIN#7HVCBEC26NA006265, J. ADAMS, JULY '22</u>	07/25/2022	8,838.00	.00	<u>40-6166 PP&amp;E PURCHASES OPERATIONS</u>	1292	7/22		
Total 07252022LT:						8,838.00	.00					

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Total LEGACY TRAILERS LLC:						8,838.00	.00					
<b>LES SCHWAB TIRES</b>												
221	LES SCHWAB TIRES	12800562889	13984	<u>TILT DECK TRAILER TIRES FOR PARKS, J. DURHAM, JULY, '22</u>	07/13/2022	1,103.04	.00	<u>01-6142 MAINT. &amp; REPAIR - EQUIPMENT</u>	1004	7/22		
Total 12800562889:						1,103.04	.00					
Total LES SCHWAB TIRES:						1,103.04	.00					
<b>LOCAHAN LLC</b>												
1619	LOCAHAN LLC	AR1082105		<u>CONTRACT LEASE CHARGE, MODEL# MPC307SPF &amp; SERIAL# C509P900318</u>	07/20/2022	47.49	.00	<u>01-6212 RENT- EQUIPMENT</u>	0	7/22		
1619	LOCAHAN LLC	AR1082105		<u>CONTRACT OVERAGE CHARGE, 06/01-06/30/2022, MODEL# MPC307SPF &amp; SERIAL# C509P900318-ADMIN</u>	07/20/2022	22.23	.00	<u>01-6142 MAINT. &amp; REPAIR - EQUIPMENT</u>	0	7/22		
1619	LOCAHAN LLC	AR1082105		<u>CONTRACT OVERAGE CHARGE, 06/01-06/30/2022, MODEL# MPC307SPF &amp; SERIAL# C509P900318-WATER</u>	07/20/2022	20.64	.00	<u>20-6142 MAINT. &amp; REPAIRS - EQUIPMENT</u>	0	7/22		
1619	LOCAHAN LLC	AR1082105		<u>CONTRACT OVERAGE CHARGE, 06/01-06/30/2022, MODEL# MPC307SPF &amp; SERIAL# C509P900318-PI</u>	07/20/2022	7.95	.00	<u>25-6142 MAINT. &amp; REPAIRS - EQUIPMENT</u>	0	7/22		
1619	LOCAHAN LLC	AR1082105		<u>CONTRACT OVERAGE CHARGE, 06/01-06/30/2022, MODEL# MPC307SPF &amp; SERIAL# C509P900318-SEWER</u>	07/20/2022	20.64	.00	<u>21-6142 MAINT. &amp; REPAIRS - EQUIPMENT</u>	0	7/22		
1619	LOCAHAN LLC	AR1082105		<u>CONTRACT OVERAGE CHARGE, 06/01-06/30/2022, MODEL# MPC307SPF &amp; SERIAL# C509P900318-P&amp;Z</u>	07/20/2022	7.95	.00	<u>01-6142 MAINT. &amp; REPAIR - EQUIPMENT</u>	1003	7/22		

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Total AR1082105:						126.90	.00					
1619	LOCAHAN LLC	AR1082106		<u>CONTRACT OVERAGE CHARGE FOR 06/01-06/30/2022, MODEL #MX2651, SERIAL# 03012172-WATER</u>	07/20/2022	37.90	.00	20-6142 MAINT. & REPAIRS-EQUIPMENT	0	7/22		
1619	LOCAHAN LLC	AR1082106		<u>CONTRACT OVERAGE CHARGE FOR 06/01-06/30/2022, MODEL #MX2651, SERIAL# 03012172-SEWER</u>	07/20/2022	37.90	.00	21-6142 MAINT. & REPAIRS - EQUIPMENT	0	7/22		
1619	LOCAHAN LLC	AR1082106		<u>CONTRACT OVERAGE CHARGE FOR 06/01-06/30/2022, MODEL #MX2651, SERIAL# 03012172-PI</u>	07/20/2022	14.45	.00	25-6142 MAINT. & REPAIRS - EQUIPMENT	0	7/22		
1619	LOCAHAN LLC	AR1082106		<u>CONTRACT LEASE CHARGE, MODEL #MX2651, SERIAL# 03012172</u>	07/20/2022	95.55	.00	20-6212 RENT - EQUIPMENT	0	7/22		
Total AR1082106:						185.80	.00					
Total LOCAHAN LLC:						312.70	.00					
<b>M&amp;M J&amp;E ENTERPRISE LLC</b>												
2152	M&M J&E ENTERPRISE LLC	07152022EC	14010	<u>PURCHASE OF ELECTRIC VEHICLE FOR POLICE DEPT, 2022 BLACK 4 DOOR LA, VIN#R35140413M1000793, GRANT, C. ENGELS, JULY, '22</u>	07/15/2022	17,000.00	.00	03-6160 MISCELLANEOUS EXPENSES	0	7/22		
Total 07152022EC:						17,000.00	.00					
2152	M&M J&E ENTERPRISE LLC	07152022ECO	14010	<u>PURCHASE OF ELECTRIC VEHICLE FOR POLICE DEPT, 2022 SILVER CLASSIC 4 PRO, VIN# 202227048, GRANT, C. ENGELS, JULY, '22</u>	07/15/2022	8,500.00	.00	03-6160 MISCELLANEOUS EXPENSES	0	7/22		
Total 07152022ECO:						8,500.00	.00					

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Total M&M J&E ENTERPRISE LLC:						25,500.00	.00					
<b>MAV EVENT SERVICES</b>												
2086	MAV EVENT SERVICES	5133		<u>SECURTIY FOR FREEDOM FIESTA, S. JONES, JULY. '22</u>	07/22/2022	1,809.50	.00	<u>01-6135 PUBLIC ENTERTAINMENT</u>	1004	7/22		
Total 5133:						1,809.50	.00					
Total MAV EVENT SERVICES:						1,809.50	.00					
<b>METROQUIP, INC.</b>												
196	METROQUIP, INC.	P16628	14038	<u>TWO INCH BRASS FITTINGS, R DAVILA, JULY' 22-WATER</u>	07/21/2022	43.89	.00	<u>20-6150 M &amp; R - SYSTEM</u>	0	7/22		
196	METROQUIP, INC.	P16628	14038	<u>TWO INCH BRASS FITTINGS, R DAVILA, JULY' 22-SEWER</u>	07/21/2022	43.89	.00	<u>21-6150 M &amp; R - SYSTEM</u>	0	7/22		
196	METROQUIP, INC.	P16628	14038	<u>TWO INCH BRASS FITTINGS, R DAVILA, JULY' 22-PI</u>	07/21/2022	16.72	.00	<u>25-6150 MAINT. &amp; REPAIRS - SYSTEM (PI)</u>	0	7/22		
Total P16628:						104.50	.00					
Total METROQUIP, INC.:						104.50	.00					
<b>MONIQUE N MICHEL-DUARTE</b>												
2151	MONIQUE N MICHEL-DUARTE	07222022ML		<u>PERFORMANCE FOR FREEDOM FIESTA, JULY. '22</u>	07/22/2022	600.00	600.00	<u>01-6135 PUBLIC ENTERTAINMENT</u>	1004	7/22	07/22/2022	
Total 07222022ML:						600.00	600.00					
Total MONIQUE N MICHEL-DUARTE:						600.00	600.00					
<b>NORTHWEST TRAFFIC SERVICES, LLC</b>												
1808	NORTHWEST TRAFFIC SERVICES, LLC	00001060	13783	<u>TRAFFIC CONTROL SERVICES FOR FREEDOM FIESTA, S. JONES. '22</u>	07/20/2022	614.00	.00	<u>01-6135 PUBLIC ENTERTAINMENT</u>	1004	7/22		
Total 00001060:						614.00	.00					

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1808	NORTHWEST TRAFFIC SERVICES, LLC	00001061	14017	<u>TRAFFIC CONTROL FOR MERIDIAN AND LINDER EMERGENCY SEWER BREAK, T FLEMING, JULY'22</u>	07/20/2022	3,320.00	.00	21-6150 M & R - SYSTEM	0	7/22		
Total 00001061:						3,320.00	.00					
Total NORTHWEST TRAFFIC SERVICES, LLC:						3,934.00	.00					
<b>PEAK ALARM COMPANY, INC</b>												
1021	PEAK ALARM COMPANY, INC	07122022PA		<u>CREDIT ON INVOICE #1209479 DOUBLE PAID, JUL.'22 - WATER</u>	07/12/2022	-15.75	.00	20-6140 MAINT. & REPAIR BUILDING	0	7/22		
1021	PEAK ALARM COMPANY, INC	07122022PA		<u>CREDIT ON INVOICE #1209479 DOUBLE PAID, JUL.'22 - SEWER</u>	07/12/2022	-15.75	.00	21-6140 MAINT. & REPAIR BUILDING	0	7/22		
1021	PEAK ALARM COMPANY, INC	07122022PA		<u>CREDIT ON INVOICE #1209479 DOUBLE PAID, JUL.'22 - P.I</u>	07/12/2022	-6.00	.00	25-6140 MAINT. & REPAIR BUILDING	0	7/22		
Total 07122022PA:						-37.50	.00					
1021	PEAK ALARM COMPANY, INC	1220198		<u>ALARM MONITOR FOR WELLS (SNOWHAWK, CEDAR, DANSKIN, BEST BATH, EL CAJON, BUTLER, &amp; SEGO PRAIRIE) 8/1-31/2022 - WATER</u>	08/01/2022	221.41	.00	20-6140 MAINT. & REPAIR BUILDING	0	7/22		
1021	PEAK ALARM COMPANY, INC	1220198		<u>ALARM MONITOR FOR WELLS (SNOWHAWK, CEDAR, DANSKIN, BEST BATH, EL CAJON, BUTLER, &amp; SEGO PRAIRIE) 8/1-31/2022 - P.I</u>	08/01/2022	55.35	.00	25-6140 MAINT. & REPAIR BUILDING	0	7/22		
Total 1220198:						276.76	.00					
Total PEAK ALARM COMPANY, INC:						239.26	.00					
<b>PRECISION PUMPING SYSTEMS</b>												
952	PRECISION PUMPING SYSTEMS	2444	14021	<u>4 EA DIAPHRAGM VALVES, M.DAVILA, JUN.'22 - WATER</u>	06/10/2022	720.00	.00	20-6150 M & R - SYSTEM	0	7/22		
952	PRECISION PUMPING SYSTEMS	2444	14021	<u>4 EA DIAPHRAGM VALVES, M.DAVILA, JUN.'22 - P.I</u>	06/10/2022	180.00	.00	25-6150 MAINT. & REPAIRS - SYSTEM				

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								(PI)	0	7/22		
Total 2444:						900.00	.00					
Total PRECISION PUMPING SYSTEMS:						900.00	.00					
<b>RECREATION TODAY OF IDAHO LLC</b>												
1837	RECREATION TODAY OF IDAHO LLC	REC-220162		<u>CONCRETE PUMP TRUCK RENTAL FOR CURBING AT BERNIE FISHER PARK, B. WITHROW, JULY'22</u>	07/22/2022	1,500.00	.00	40-6020 CAPITAL IMPROVEMENTS	1242	7/22		
Total REC-220162:						1,500.00	.00					
Total RECREATION TODAY OF IDAHO LLC:						1,500.00	.00					
<b>RICOH USA, INC. (MAINTENANCE)</b>												
1422	RICOH USA, INC. (MAINTENANCE)	5065004642		<u>COPY CHARGES, MODEL #IMC2000, SERIAL #C86262110, 06/01-06/30/2022</u>	07/11/2022	17.97	.00	01-6142 MAINT. & REPAIR - EQUIPMENT	1004	7/22		
Total 5065004642:						17.97	.00					
Total RICOH USA, INC. (MAINTENANCE):						17.97	.00					
<b>SALUTE VENTURES INC</b>												
1880	SALUTE VENTURES INC	94805124680	13992	<u>PARKS AND RECREATION SHIRTS J. LORENTZ, JULY. '22</u>	07/14/2022	436.65	.00	01-6285 UNIFORMS	1004	7/22		
Total 94805124680:						436.65	.00					
Total SALUTE VENTURES INC:						436.65	.00					
<b>SMITH'S LAWNMOWER SALES</b>												
58	SMITH'S LAWNMOWER SALES	234107		<u>REPAIR NEW WALKER MOWER- J. MORFFIN, JULY'22</u>	07/21/2022	99.00	.00	01-6142 MAINT. & REPAIR - EQUIPMENT	1004	7/22		

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Total 234107:						99.00	.00					
Total SMITH'S LAWNMOWER SALES:						99.00	.00					
<b>STEWART TITLE COMPANY</b>												
1065	STEWART TITLE COMPANY	475735		<u>TITLE REPORT FOR DURRANT HOME PLACE LLC, JUL.'22</u>	07/20/2022	250.00	250.00	21-6202 PROFESSIONAL SERVICES	0	7/22	07/22/2022	
Total 475735:						250.00	250.00					
Total STEWART TITLE COMPANY:						250.00	250.00					
<b>SWANK MOTION PICTURES INC</b>												
1877	SWANK MOTION PICTURES INC	DB 3214062	13099	<u>MOVIES IN THE PARK, A.PETERSON, FEB.'22- ALEXANDER AND THE TERRIBLE, HORRIBLE, NO GOOD, VERY BAD DAY 07-15/07 -15-22</u>	07/13/2022	435.00	.00	01-6135 PUBLIC ENTERTAINMENT	1004	7/22		
Total DB 3214062:						435.00	.00					
1877	SWANK MOTION PICTURES INC	DB 3219308	13099	<u>MOVIES IN THE PARK, A.PETERSON, FEB.'22- CLIFFORD THE BIG RED DOG 7 -22/7-22-22</u>	07/20/2022	465.00	.00	01-6135 PUBLIC ENTERTAINMENT	1004	7/22		
Total DB 3219308:						465.00	.00					
Total SWANK MOTION PICTURES INC:						900.00	.00					
<b>TAYLOR CORPORATION</b>												
1435	TAYLOR CORPORATION	223148848	13997	<u>BUSINESS CARDS FOR J COX, J WEBB, R JONES, J OSBORN, M DAVILA, JULY'22- WATER</u>	07/19/2022	111.47	.00	20-6165 OFFICE SUPPLIES	0	7/22		
1435	TAYLOR CORPORATION	223148848	13997	<u>BUSINESS CARDS FOR J COX, J WEBB, R JONES, J OSBORN, M DAVILA, JULY'22-PI</u>	07/19/2022	27.84	.00	25-6165 OFFICE SUPPLIES	0	7/22		

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1435	TAYLOR CORPORATION	223148848	13997	<u>BUSINESS CARDS, P STEVENS, JULY' 22- WATER</u>	07/19/2022	10.13	.00	<u>20-6165 OFFICE SUPPLIES</u>	0	7/22		
1435	TAYLOR CORPORATION	223148848	13997	<u>BUSINESS CARDS, P STEVENS, JULY' 22-SEWER</u>	07/19/2022	10.13	.00	<u>21-6165 OFFICE SUPPLIES</u>	0	7/22		
1435	TAYLOR CORPORATION	223148848		<u>BUSINESS CARDS, P STEVENS, JULY' 22-PI</u>	07/19/2022	3.86	.00	<u>25-6165 OFFICE SUPPLIES</u>	0	7/22		
Total 223148848:						163.43	.00					
Total TAYLOR CORPORATION:						163.43	.00					
<b>TEANCUM LLC</b>												
1959	TEANCUM LLC	07222022PD		<u>2022 RAM 5500 CHASSIS, TRADESMAN/SLT 4, STOCK# 622657, VIN#3C7WRNBLONG224511</u>	07/22/2022	159,660.00	159,660.00	<u>21-6045 CONTINGENCY</u>	1295	7/22	07/22/2022	
Total 07222022PD:						159,660.00	159,660.00					
Total TEANCUM LLC:						159,660.00	159,660.00					
<b>TECHNOLOGY SOLUTIONS LLC</b>												
1823	TECHNOLOGY SOLUTIONS LLC	4425		<u>REPLACED 3G SIGNAL CELL PHONE CARD IN ALARM PANEL WITH LTE-L3V, CITY HALL, JUL.'22 - ADMIN</u>	07/19/2022	134.18	.00	<u>01-6140 MAINT. &amp; REPAIR BUILDING</u>	0	7/22		
1823	TECHNOLOGY SOLUTIONS LLC	4425		<u>REPLACED 3G SIGNAL CELL PHONE CARD IN ALARM PANEL WITH LTE-L3V, CITY HALL, JUL.'22 - WATER</u>	07/19/2022	91.81	.00	<u>20-6140 MAINT. &amp; REPAIR BUILDING</u>	0	7/22		
1823	TECHNOLOGY SOLUTIONS LLC	4425		<u>REPLACED 3G SIGNAL CELL PHONE CARD IN ALARM PANEL WITH LTE-L3V, CITY HALL, JUL.'22 - SEWER</u>	07/19/2022	91.81	.00	<u>21-6140 MAINT &amp; REPAIR BUILDING</u>	0	7/22		
1823	TECHNOLOGY SOLUTIONS LLC	4425		<u>REPLACED 3G SIGNAL CELL PHONE CARD IN ALARM PANEL WITH LTE-L3V, CITY HALL, JUL.'22 - PI</u>	07/19/2022	35.31	.00	<u>25-6140 MAINT &amp; REPAIR BUILDING</u>	0	7/22		

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Total 4425:						353.11	.00					
1823	TECHNOLOGY SOLUTIONS LLC	4430		<u>LIFT STATIONS CAMERA SYSTEMS, 50% DEPOSIT JUL.'22</u>	07/25/2022	6,934.96	.00	<u>21-6020 CAPITAL IMPROVEMENTS</u>	1057	7/22		
Total 4430:						6,934.96	.00					
1823	TECHNOLOGY SOLUTIONS LLC	4431		<u>RESOLVED DOOR ALARMS AT CITY HALL, JUL.'22 - ADMIN</u>	07/26/2022	74.07	.00	<u>01-6140 MAINT. &amp; REPAIR BUILDING</u>	0	7/22		
1823	TECHNOLOGY SOLUTIONS LLC	4431		<u>RESOLVED DOOR ALARMS AT CITY HALL, JUL.'22 - WATER</u>	07/26/2022	50.68	.00	<u>20-6140 MAINT. &amp; REPAIR BUILDING</u>	0	7/22		
1823	TECHNOLOGY SOLUTIONS LLC	4431		<u>RESOLVED DOOR ALARMS AT CITY HALL, JUL.'22 - SEWER</u>	07/26/2022	50.68	.00	<u>21-6140 MAINT &amp; REPAIR BUILDING</u>	0	7/22		
1823	TECHNOLOGY SOLUTIONS LLC	4431		<u>RESOLVED DOOR ALARMS AT CITY HALL, JUL.'22 - P.I</u>	07/26/2022	19.48	.00	<u>25-6140 MAINT &amp; REPAIR BUILDING</u>	0	7/22		
Total 4431:						194.91	.00					
Total TECHNOLOGY SOLUTIONS LLC:						7,482.98	.00					
<b>THE FENCE STORE LLC</b>												
2135	THE FENCE STORE LLC	1126	14024	<u>FENCE FOR BERNIE FISHER, J.ADAMS, JUL.'22</u>	07/19/2022	807.89	.00	<u>01-6150 MAINTENANCE &amp; REPAIRS - SYSTEM</u>	1004	7/22		
Total 1126:						807.89	.00					
Total THE FENCE STORE LLC:						807.89	.00					
<b>TIMOTHY Q EBY DBA TROPHY HOUSE PROS</b>												
2104	TIMOTHY Q EBY DBA TROPHY HOUSE PROS	M6486027	14025	<u>PLAQUE FOR W.CHRISTENSEN, N.STAUFFER, JUL.'22</u>	07/15/2022	63.95	.00	<u>01-5950 TEAM BUILDING, ONBOARDING</u>	0	7/22		

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Total M6486027:						63.95	.00					
Total TIMOTHY Q EBY DBA TROPHY HOUSE PROS:						63.95	.00					
<b>TREASURE VALLEY COFFEE</b>												
992	TREASURE VALLEY COFFEE	2160:08331989	14006	4 EA 5-GALLON WATER BOTTLES, MAINTENANCE SHOP, JUL.'22	07/15/2022	26.80	.00	01-6165 OFFICE SUPPLIES	1004	7/22		
Total 2160:08331989:						26.80	.00					
992	TREASURE VALLEY COFFEE	2160:08332021	14002	WATER AND COFFEE PRODUCTS FOR THE TREATMENT PLANT, M.WEBB-WATER	07/15/2022	29.23	.00	20-6165 OFFICE SUPPLIES	0	7/22		
992	TREASURE VALLEY COFFEE	2160:08332021	14002	WATER AND COFFEE PRODUCTS FOR THE TREATMENT PLANT, M.WEBB, JUL.'22-SEWER	07/15/2022	29.23	.00	21-6165 OFFICE SUPPLIES	0	7/22		
992	TREASURE VALLEY COFFEE	2160:08332021	14002	WATER AND COFFEE PRODUCTS FOR THE TREATMENT PLANT, M.WEBB, JUL.'22-PI	07/15/2022	11.14	.00	25-6165 OFFICE SUPPLIES	0	7/22		
Total 2160:08332021:						69.60	.00					
992	TREASURE VALLEY COFFEE	2160:08332023	14006	4 EA 5-GALLON WATER BOTTLES, CITY HALL, JUL.'22	07/15/2022	26.80	.00	01-6165 OFFICE SUPPLIES	0	7/22		
Total 2160:08332023:						26.80	.00					
Total TREASURE VALLEY COFFEE:						123.20	.00					
<b>TURF EQUIPMENT &amp; IRRIGATION INC</b>												
1969	TURF EQUIPMENT & IRRIGATION INC	762989-01		FREIGHT CHARGES FOR THE BELT PURCHASED ON INVOICE #762989-00	07/25/2022	14.88	.00	01-6142 MAINT. & REPAIR - EQUIPMENT	1004	7/22		

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Total 762989-01:						14.88	.00					
Total TURF EQUIPMENT & IRRIGATION INC:						14.88	.00					
<b>U.S. BANK NATIONAL ASSOC (EQUIP FINANCE)</b>												
1891	U.S. BANK NATIONAL ASSOC (EQUIP FINANCE)	477933543		<u>COPIER CONTRACT #500-0519539-000, MODEL #MPC4504EX, SERIAL # C737M540938 &amp; C737M540155, CITY HALL</u>	07/18/2022	412.85	.00	<u>01-6212 RENT-EQUIPMENT</u>	0	7/22		
Total 477933543:						412.85	.00					
Total U.S. BANK NATIONAL ASSOC (EQUIP FINANCE):						412.85	.00					
<b>UNITED SITE SERVICES OF NEVADA INC</b>												
2124	UNITED SITE SERVICES OF NEVADA INC	114-13244364		<u>ADA WHEELCHAIR ACCESSIBLE AND DELUXE PORTABLE RESTROOM RENTALS FOR THE FIESTA EVENT PLUS DELIVERY/SET UP, J.LORENTZ, JUL.'22</u>	07/19/2022	465.00	.00	<u>01-6135 PUBLIC ENTERTAINMENT</u>	0	7/22		
Total 114-13244364:						465.00	.00					
Total UNITED SITE SERVICES OF NEVADA INC:						465.00	.00					
<b>UNIVAR SOLUTIONS USA, INC.</b>												
1410	UNIVAR SOLUTIONS USA, INC.	50397874	13859	<u>ALUMINUM SULFATE, T. SHAFFER, JUNE, '22</u>	07/01/2022	11,741.90	.00	<u>21-6151 M &amp; R - PROCESS CHEMICALS</u>	0	7/22		
Total 50397874:						11,741.90	.00					
Total UNIVAR SOLUTIONS USA, INC.:						11,741.90	.00					
<b>UTILITY REFUND #14</b>												
2130	UTILITY REFUND #14	121715.03A		<u>OPENDOOR PROPERTY TRUST I, 1892 W SEGO PRARIE ST, UTILITY REFUND</u>	07/21/2022	94.94	.00	<u>20-4500 METERED WATER SALES</u>	0	7/22		

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Total 121715.03A:						94.94	.00					
2130	UTILITY REFUND #14	160400.02A		<u>KYLE T NEAL, 1251 N CHALMERS AVE, UTILITY REFUND</u>	07/21/2022	92.45	.00	<u>20-4500 METERED WATER SALES</u>	0	7/22		
Total 160400.02A:						92.45	.00					
2130	UTILITY REFUND #14	170100.01		<u>JEFFREY PATON, 772 W YUKON DR, UTILITY REFUND</u>	07/14/2022	706.86	.00	<u>20-4500 METERED WATER SALES</u>	0	7/22		
2130	UTILITY REFUND #14	170100.01		<u>JEFFREY PATON, 772 W YUKON DR, UTILITY REFUND</u>	07/14/2022	18.14	.00	<u>21-4600 SEWER USER FEES</u>	0	7/22		
Total 170100.01:						725.00	.00					
2130	UTILITY REFUND #14	182080.04A		<u>OPENDOOR PROPERTY J LLC, 1499 W CRENSHAW ST, UTILITY REFUND</u>	07/21/2022	95.74	.00	<u>20-4500 METERED WATER SALES</u>	0	7/22		
Total 182080.04A:						95.74	.00					
2130	UTILITY REFUND #14	182850.03		<u>VERNESA HATIC, 1579 N AVAIN AVE, UTILITY REFUND</u>	07/19/2022	35.42	.00	<u>20-4500 METERED WATER SALES</u>	0	7/22		
2130	UTILITY REFUND #14	182850.03		<u>VERNESA HATIC, 1579 N AVAIN AVE, UTILITY REFUND</u>	07/19/2022	42.16	.00	<u>21-4600 SEWER USER FEES</u>	0	7/22		
2130	UTILITY REFUND #14	182850.03		<u>VERNESA HATIC, 1579 N AVAIN AVE, UTILITY REFUND</u>	07/19/2022	33.13	.00	<u>26-4975 SOLID WASTE USER FEES</u>	0	7/22		
Total 182850.03:						110.71	.00					
2130	UTILITY REFUND #14	254015.03		<u>KENNETH RODGERS, 1061 S PENCIL AVE, UTILITY REFUND</u>	07/18/2022	5.95	.00	<u>20-4500 METERED WATER SALES</u>	0	7/22		
2130	UTILITY REFUND #14	254015.03		<u>KENNETH RODGERS, 1061 S PENCIL AVE, UTILITY REFUND</u>	07/18/2022	3.47	.00	<u>21-4600 SEWER USER FEES</u>	0	7/22		

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2130	UTILITY REFUND #14	254015.03		<u>KENNETH RODGERS, 1061 S PENCIL AVE, UTILITY REFUND</u>	07/18/2022	3.32	.00	<u>26-4975 SOLID WASTE USER FEES</u>	0	7/22		
Total 254015.03:						12.74	.00					
2130	UTILITY REFUND #14	255025.03		<u>TAYLOR ROESER, 732 W SANDBOX ST, UTILITY REFUND</u>	07/19/2022	32.59	.00	<u>20-4500 METERED WATER SALES</u>	0	7/22		
2130	UTILITY REFUND #14	255025.03		<u>TAYLOR ROESER, 732 W SANDBOX ST, UTILITY REFUND</u>	07/19/2022	37.96	.00	<u>21-4600 SEWER USER FEES</u>	0	7/22		
2130	UTILITY REFUND #14	255025.03		<u>TAYLOR ROESER, 732 W SANDBOX ST, UTILITY REFUND</u>	07/19/2022	31.68	.00	<u>26-4975 SOLID WASTE USER FEES</u>	0	7/22		
Total 255025.03:						102.23	.00					
2130	UTILITY REFUND #14	274105.03		<u>GREGORY SPEED, 132 W SILVERDALE CT, UTILITY REFUND</u>	07/15/2022	53.86	.00	<u>20-4500 METERED WATER SALES</u>	0	7/22		
2130	UTILITY REFUND #14	274105.03		<u>GREGORY SPEED, 132 W SILVERDALE CT, UTILITY REFUND</u>	07/15/2022	60.12	.00	<u>21-4600 SEWER USER FEES</u>	0	7/22		
2130	UTILITY REFUND #14	274105.03		<u>GREGORY SPEED, 132 W SILVERDALE CT, UTILITY REFUND</u>	07/15/2022	49.90	.00	<u>26-4975 SOLID WASTE USER FEES</u>	0	7/22		
Total 274105.03:						163.88	.00					
2130	UTILITY REFUND #14	280545.03		<u>MARK J FELDHUSEN, 2161 N FIRE OPAL AVE, UTILITY REFUND</u>	07/18/2022	36.59	.00	<u>20-4500 METERED WATER SALES</u>	0	7/22		
2130	UTILITY REFUND #14	280545.03		<u>MARK J FELDHUSEN, 2161 N FIRE OPAL AVE, UTILITY REFUND</u>	07/18/2022	43.09	.00	<u>21-4600 SEWER USER FEES</u>	0	7/22		
2130	UTILITY REFUND #14	280545.03		<u>MARK J FELDHUSEN, 2161 N FIRE OPAL AVE, UTILITY REFUND</u>	07/18/2022	29.71	.00	<u>26-4975 SOLID WASTE USER FEES</u>	0	7/22		

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total 280545.03:						109.39	.00					
2130	UTILITY REFUND #14	281514.00		<u>HALLMARK HOMES, 1393 W FLUORITE ST, UTILITY REFUND</u>	06/30/2022	124.85	.00	<u>20-4500 METERED WATER SALES</u>	0	7/22		
2130	UTILITY REFUND #14	281514.00		<u>HALLMARK HOMES, 1393 W FLUORITE ST, UTILITY REFUND</u>	06/30/2022	34.84	.00	<u>21-4600 SEWER USER FEES</u>	0	7/22		
Total 281514.00:						159.69	.00					
2130	UTILITY REFUND #14	302528.01		<u>HOMER D WOODS, 936 E OSORNO DR, UTILITY REFUND</u>	07/19/2022	40.09	.00	<u>20-4500 METERED WATER SALES</u>	0	7/22		
2130	UTILITY REFUND #14	302528.01		<u>HOMER D WOODS, 936 E OSORNO DR, UTILITY REFUND</u>	07/19/2022	41.61	.00	<u>21-4600 SEWER USER FEES</u>	0	7/22		
2130	UTILITY REFUND #14	302528.01		<u>HOMER D WOODS, 936 E OSORNO DR, UTILITY REFUND</u>	07/19/2022	26.48	.00	<u>26-4975 SOLID WASTE USER FEES</u>	0	7/22		
Total 302528.01:						108.18	.00					
2130	UTILITY REFUND #14	303009.02		<u>DREW LONG, 1129 E SHADY RIDGE DR, UTILITY REFUND</u>	07/15/2022	32.55	.00	<u>20-4500 METERED WATER SALES</u>	0	7/22		
2130	UTILITY REFUND #14	303009.02		<u>DREW LONG, 1129 E SHADY RIDGE DR, UTILITY REFUND</u>	07/15/2022	41.00	.00	<u>21-4600 SEWER USER FEES</u>	0	7/22		
2130	UTILITY REFUND #14	303009.02		<u>DREW LONG, 1129 E SHADY RIDGE DR, UTILITY REFUND</u>	07/15/2022	31.68	.00	<u>26-4975 SOLID WASTE USER FEES</u>	0	7/22		
Total 303009.02:						105.23	.00					
2130	UTILITY REFUND #14	303290.01		<u>LINDA C POGUE, 983 E BRUSH CREEK ST, UTILITY REFUND</u>	07/18/2022	28.48	.00	<u>20-4500 METERED WATER SALES</u>	0	7/22		
2130	UTILITY REFUND #14	303290.01		<u>LINDA C POGUE, 983 E BRUSH CREEK ST, UTILITY REFUND</u>	07/18/2022	33.91	.00	<u>21-4600 SEWER USER FEES</u>	0	7/22		

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
2130	UTILITY REFUND #14	303290.01		<u>LINDA C POGUE, 983 E BRUSH CREEK ST, UTILITY REFUND</u>	07/18/2022	25.06	.00	<u>26-4975 SOLID WASTE USER FEES</u>	0	7/22		
Total 303290.01:						87.45	.00					
2130	UTILITY REFUND #14	310058.02		<u>LESLEE T LOEBER, 1164 W SELDOVIA DR, UTILITY REFUND</u>	07/20/2022	22.31	.00	<u>20-4500 METERED WATER SALES</u>	0	7/22		
2130	UTILITY REFUND #14	310058.02		<u>LESLEE T LOEBER, 1164 W SELDOVIA DR, UTILITY REFUND</u>	07/20/2022	25.22	.00	<u>21-4600 SEWER USER FEES</u>	0	7/22		
2130	UTILITY REFUND #14	310058.02		<u>LESLEE T LOEBER, 1164 W SELDOVIA DR, UTILITY REFUND</u>	07/20/2022	19.68	.00	<u>26-4975 SOLID WASTE USER FEES</u>	0	7/22		
Total 310058.02:						67.21	.00					
2130	UTILITY REFUND #14	310226.02		<u>TIFFANY KELAIDS, 1493 W SOLDOTNA DR, UTILITY REFUND</u>	07/19/2022	64.70	.00	<u>20-4500 METERED WATER SALES</u>	0	7/22		
2130	UTILITY REFUND #14	310226.02		<u>TIFFANY KELAIDS, 1493 W SOLDOTNA DR, UTILITY REFUND</u>	07/19/2022	80.33	.00	<u>21-4600 SEWER USER FEES</u>	0	7/22		
2130	UTILITY REFUND #14	310226.02		<u>TIFFANY KELAIDS, 1493 W SOLDOTNA DR, UTILITY REFUND</u>	07/19/2022	61.74	.00	<u>26-4975 SOLID WASTE USER FEES</u>	0	7/22		
Total 310226.02:						206.77	.00					
Total UTILITY REFUND #14:						2,241.61	.00					
<b>UTILITY REFUND #9</b>												
2004	UTILITY REFUND #9	221904.00		<u>HUBBLE HOMES, 866 E GREAT BEAR ST, UTILITY REFUND</u>	06/30/2022	96.20	.00	<u>20-4500 METERED WATER SALES</u>	0	7/22		
2004	UTILITY REFUND #9	221904.00		<u>HUBBLE HOMES, 866 E GREAT BEAR ST, UTILITY REFUND</u>	06/30/2022	14.60	.00	<u>21-4600 SEWER USER FEES</u>	0	7/22		

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total 221904.00:						110.80	.00					
2004	UTILITY REFUND #9	221906.00		<u>HUBBLE HOMES, 898 E GREAT BEAR ST, UTILITY REFUND</u>	06/30/2022	91.98	.00	<u>20-4500 METERED WATER SALES</u>	0	7/22		
2004	UTILITY REFUND #9	221906.00		<u>HUBBLE HOMES, 898 E GREAT BEAR ST, UTILITY REFUND</u>	06/30/2022	13.31	.00	<u>21-4600 SEWER USER FEES</u>	0	7/22		
Total 221906.00:						105.29	.00					
2004	UTILITY REFUND #9	221907.00		<u>HUBBLE HOMES, 1180 S THREAVE AVE, UTILITY REFUND</u>	07/05/2022	95.18	.00	<u>20-4500 METERED WATER SALES</u>	0	7/22		
2004	UTILITY REFUND #9	221907.00		<u>HUBBLE HOMES, 1180 S THREAVE AVE, UTILITY REFUND</u>	07/05/2022	27.66	.00	<u>21-4600 SEWER USER FEES</u>	0	7/22		
Total 221907.00:						122.84	.00					
2004	UTILITY REFUND #9	221915.00		<u>HUBBLE HOMES, 1346 S THREAVE AVE, UTILITY REFUND</u>	07/05/2022	109.29	.00	<u>20-4500 METERED WATER SALES</u>	0	7/22		
2004	UTILITY REFUND #9	221915.00		<u>HUBBLE HOMES, 1346 S THREAVE AVE, UTILITY REFUND</u>	07/05/2022	35.10	.00	<u>21-4600 SEWER USER FEES</u>	0	7/22		
Total 221915.00:						144.39	.00					
2004	UTILITY REFUND #9	261533.00		<u>CBH, 2961 W DARK SKY ST, UTILITY REFUND</u>	07/08/2022	107.42	.00	<u>20-4500 METERED WATER SALES</u>	0	7/22		
2004	UTILITY REFUND #9	261533.00		<u>CBH, 2961 W DARK SKY ST, UTILITY REFUND</u>	07/08/2022	36.97	.00	<u>21-4600 SEWER USER FEES</u>	0	7/22		
Total 261533.00:						144.39	.00					
2004	UTILITY REFUND #9	302588.00		<u>RIVERWOOD HOMES, 834 E TUCMAN ST, UTILITY REFUND</u>	07/05/2022	103.58	.00	<u>20-4500 METERED WATER SALES</u>	0	7/22		

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Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
2004	UTILITY REFUND #9	302588.00		<u>RIVERWOOD HOMES, 834 E TUCMAN ST. UTILITY REFUND</u>	07/05/2022	33.81	.00	<u>21-4600 SEWER USER FEES</u>	0	7/22		
Total 302588.00:						137.39	.00					
2004	UTILITY REFUND #9	302600.00		<u>STACY CONSTRUCTION, 1098 E TUCMAN ST. UTILITY REFUND</u>	07/08/2022	74.53	.00	<u>20-4500 METERED WATER SALES</u>	0	7/22		
2004	UTILITY REFUND #9	302600.00		<u>STACY CONSTRUCTION, 1098 E TUCMAN ST. UTILITY REFUND</u>	07/08/2022	4.06	.00	<u>21-4600 SEWER USER FEES</u>	0	7/22		
Total 302600.00:						78.59	.00					
2004	UTILITY REFUND #9	303676.00		<u>HUBBLE HOMES, 644 E WARRIOR BASIN ST. UTILITY REFUND</u>	07/05/2022	105.60	.00	<u>20-4500 METERED WATER SALES</u>	0	7/22		
2004	UTILITY REFUND #9	303676.00		<u>HUBBLE HOMES, 644 E WARRIOR BASIN ST. UTILITY REFUND</u>	07/05/2022	31.79	.00	<u>21-4600 SEWER USER FEES</u>	0	7/22		
Total 303676.00:						137.39	.00					
2004	UTILITY REFUND #9	320217.00		<u>HAYDEN HOMES, 2007 E TUGELA FALLS ST. UTILITY REFUND</u>	07/05/2022	71.96	.00	<u>20-4500 METERED WATER SALES</u>	0	7/22		
2004	UTILITY REFUND #9	320217.00		<u>HAYDEN HOMES, 2007 E TUGELA FALLS ST. UTILITY REFUND</u>	07/05/2022	1.25	.00	<u>21-4600 SEWER USER FEES</u>	0	7/22		
Total 320217.00:						73.21	.00					
2004	UTILITY REFUND #9	320219.00		<u>HAYDEN HOMES, 919 N RYDE AVE. UTILITY REFUND</u>	07/08/2022	82.37	.00	<u>20-4500 METERED WATER SALES</u>	0	7/22		
2004	UTILITY REFUND #9	320219.00		<u>HAYDEN HOMES, 919 N RYDE AVE. UTILITY REFUND</u>	07/08/2022	9.45	.00	<u>21-4600 SEWER USER FEES</u>	0	7/22		

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Total 320219.00:						91.82	.00					
2004	UTILITY REFUND #9	320223.00		<u>HAYDEN HOMES, 975 N RYDE AVE, UTILITY REFUND</u>	07/08/2022	74.91	.00	<u>20-4500 METERED WATER SALES</u>	0	7/22		
2004	UTILITY REFUND #9	320223.00		<u>HAYDEN HOMES, 975 N RYDE AVE, UTILITY REFUND</u>	07/08/2022	3.55	.00	<u>21-4600 SEWER USER FEES</u>	0	7/22		
Total 320223.00:						78.46	.00					
2004	UTILITY REFUND #9	320233.00		<u>HAYDEN HOMES, 1095 N RYDE AVE, UTILITY REFUND</u>	07/08/2022	14.67	.00	<u>20-4500 METERED WATER SALES</u>	0	7/22		
2004	UTILITY REFUND #9	320233.00		<u>HAYDEN HOMES, 1095 N RYDE AVE, UTILITY REFUND</u>	07/08/2022	9.46	.00	<u>21-4600 SEWER USER FEES</u>	0	7/22		
Total 320233.00:						24.13	.00					
2004	UTILITY REFUND #9	320239.00		<u>HAYDEN HOMES, 2028 E CAVE FALLS ST, UTILITY REFUND</u>	07/08/2022	91.18	.00	<u>20-4500 METERED WATER SALES</u>	0	7/22		
2004	UTILITY REFUND #9	320239.00		<u>HAYDEN HOMES, 2028 E CAVE FALLS ST, UTILITY REFUND</u>	07/08/2022	14.90	.00	<u>21-4600 SEWER USER FEES</u>	0	7/22		
Total 320239.00:						106.08	.00					
Total UTILITY REFUND #9:						1,354.78	.00					
<b>WESTERN STATES EQUIPMENT CO.</b>												
98	WESTERN STATES EQUIPMENT CO.	CM00130772		<u>RETURN/CREDIT HYDRAULIC HOSE PURCHASED ON INVOICE #IN002076351, J.DURHAM, JUL.'22</u>	07/12/2022	-50.69	.00	<u>01-6142 MAINT. &amp; REPAIR - EQUIPMENT</u>	1004	7/22		
Total CM00130772:						-50.69	.00					
98	WESTERN STATES EQUIPMENT CO.	IN002076351		<u>HYDRAULIC HOSE FOR THE JACOBSON MOWER, J.DURHAM, JUL.'22</u>	07/12/2022	50.69	.00	<u>01-6142 MAINT. &amp; REPAIR - EQUIPMENT</u>	1004	7/22		

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total IN002076351:						50.69	.00					
98	WESTERN STATES EQUIPMENT CO.	IN002076374	13977	<u>HYDRAULIC HOSE FOR THE JACOBSON MOWER, J.DURHAM, JUL.'22</u>	07/12/2022	50.69	.00	<u>01-6142 MAINT. &amp; REPAIR - EQUIPMENT</u>	1004	7/22		
Total IN002076374:						50.69	.00					
Total WESTERN STATES EQUIPMENT CO.:						50.69	.00					
<b>WHITE, PETERSON, GIGRAY, &amp; NICHOLS P.A.</b>												
1958	WHITE, PETERSON, GIGRAY, & NICHOLS P.A.	06302022WPG		<u>LEGAL FEES AND EXPENSES FOR JUNE, '22-ADMIN</u>	06/30/2022	6,603.28	.00	<u>01-6202 PROFESSIONAL SERVICES</u>	0	7/22		
1958	WHITE, PETERSON, GIGRAY, & NICHOLS P.A.	06302022WPG		<u>LEGAL FEES AND EXPENSES FOR JUNE, '22-P&amp;Z</u>	06/30/2022	4,806.00	.00	<u>01-6202 PROFESSIONAL SERVICES</u>	1003	7/22		
1958	WHITE, PETERSON, GIGRAY, & NICHOLS P.A.	06302022WPG		<u>LEGAL FEES AND EXPENSES FOR JUNE, '22-SEWER</u>	06/30/2022	1,206.00	.00	<u>21-6202 PROFESSIONAL SERVICES</u>	0	7/22		
1958	WHITE, PETERSON, GIGRAY, & NICHOLS P.A.	06302022WPG		<u>LEGAL FEES AND EXPENSES FOR JUNE, '22-PI</u>	06/30/2022	558.00	.00	<u>25-6202 PROFESSIONAL SERVICES</u>	0	7/22		
1958	WHITE, PETERSON, GIGRAY, & NICHOLS P.A.	06302022WPG		<u>LEGAL FEES AND EXPENSES FOR JUNE, '22-ECONOMIC DEVELOPMENT</u>	06/30/2022	910.50	.00	<u>01-6202 PROFESSIONAL SERVICES</u>	4000	7/22		
Total 06302022WPGN:						14,083.78	.00					
Total WHITE, PETERSON, GIGRAY, & NICHOLS P.A.:						14,083.78	.00					
<b>ZW USA INC</b>												
2123	ZW USA INC	497393	14067	<u>10 EA DOG WASTE STATIONS, J. LORENTZ, JULY, '22</u>	07/27/2022	2,594.44	.00	<u>01-6150 MAINTENANCE &amp; REPAIRS - SYSTEM</u>	1004	7/22		

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Total 497393:						2,594.44	.00					
Total ZW USA INC:						2,594.44	.00					
Grand Totals:						525,797.91	343,398.50					

Dated: \_\_\_\_\_

Mayor: \_\_\_\_\_

City Council: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

City Treasurer: \_\_\_\_\_

Report Criteria:

Detail report.

Invoices with totals above \$0.00 included.

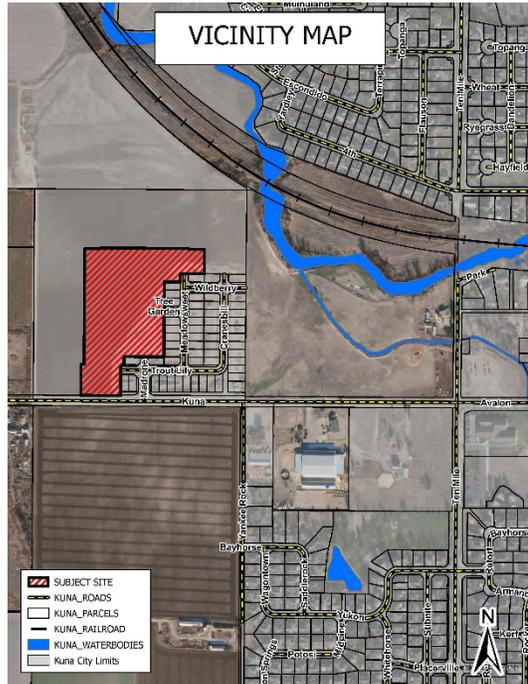
Paid and unpaid invoices included.

**BEFORE THE CITY COUNCIL  
OF THE CITY OF KUNA**

IN THE MATTER OF THE APPLICATION OF ) **Case No. 22-05-FP (FINAL PLAT)**  
 )  
**DB DEVELOPMENT, LLC** )  
 )  
*For the Madrone Heights Subdivision* ) **STAFF MEMO FOR FINAL PLAT**  
*No. 2 Final Plat.* ) **APPLICATION.**

**TABLE OF CONTENTS**

- 1. Exhibit List
- 2. General Project Facts
- 3. Staff Analysis
- 4. Applicable Standards
- 5. Conditions of Approval



**I  
EXHIBIT LIST**

The exhibits of the above-referenced matter consist of the following, to-wit:

**1.1 Exhibits:**

<i>DESCRIPTION OF EVIDENCE</i>		Withdrawn	Refused	Admitted
<b>1.1</b>	Staff Memo			X
<b>2.1</b>	Planning & Zoning Application Coversheet			X
<b>2.2</b>	Final Plat Application			X
<b>2.3</b>	Final Plat			X

2.4	Original Findings – Approved 01.15.2019			X
2.5	Statement of Conformance			X
2.7	Common Area Maintenance Agreement			X
2.9	Central District Health Department			X
2.10	Boise Project Board of Control			X
2.11	Public Works Memo			X

**II  
GENERAL PROJECT FACTS**

2.1 KM Engineering requests Final Plat approval for Madrone Heights Subdivision No. 2, an approximately 10.21-acre project with 64 total lots (54 buildable, 12 common), zoned R-6 (Medium Density Residential), located at 2030 W Kuna Road (APN: S1322438420); Section 22, Township 2 North, Range 1 West.

**III  
STAFF ANALYSIS**

3.1 In accordance with Kuna City Code Title 6, Subdivision Regulations, the application seeks Final Plat approval for Madrone Heights Subdivision No. 2.

In Exhibit 2.9, the Central District Health Department has approved the Final Plat for central water and sewer facilities and has lifted the sanitary restrictions.

Boise Project Board of Control, in Exhibit 2.10, verified that there are no Boise Project or Boise-Kuna Irrigation District facilities located on site.

Based on comments provided in the Public Works Memo (Exhibit 2.8), Public Works can support approval of the Final Plat as it has previously reserved capacity within the Ten Mile Lift Station; the project is in agreement with Water, Sewer and Pressurized Irrigation Master Plans.

Staff has determined the proposed Final Plat for Madrone Heights Subdivision No. 2, appears to be in substantial conformance with the previously approved Preliminary Plat (January 15, 2019).

**IV  
APPLICABLE STANDARDS**

- 4.1 Kuna City Code Title 6, Subdivision Regulations
- 4.2 Kuna Comprehensive Plan and Future Land Use Map
- 4.3 Idaho Code Title 50, Chapter 13, Plats

**V  
CONDITIONS OF APPROVAL**

5.1 Developer/Owner/Applicant/Contractors shall abide by the City of Kuna’s quiet hours. No construction of any kind shall occur after 11:00 PM one day and 7:00 AM the next day per Kuna City Code 10-6-3; this includes the warming up of and/or operation of equipment. Dust shall be abated and a water truck shall be on site at all times. Noises and other nuisances and/or distractions outside of this timeframe are subject to lawful penalties.

- 5.2** Developer/Owner/Applicant is hereby notified of Kuna’s weed control policies and requirements (Kuna City Code 8-1-3). Weeds, grasses, vines or other growth which endanger property or are over twelve (12) inches in height shall be continuously cut down, weeded out, sprayed, burned, removed or destroyed throughout all seasons.
- 5.3** If applicable, Water Rights associated with property shall be transferred to the City of Kuna at time of connection (development) by deed and “Change of Ownership” form from IDWR (Idaho Department of Water Resources).
- 5.4** All required landscaping shall be permanently maintained in healthy growing condition. The property Owner shall remove and replace unhealthy or dead plant material within three (3) days or as the planting season permits, as required to meet the standards of these requirements. Maintenance and planting within public rights-of-way shall be approved from the public entities owning the property.
- 5.5** Applicant shall correct any technical items and make any requested changes to bring the Final Plat into conformance, as recommended by Kuna Public Works Staff.
- 5.6** Verification that existing and proposed elevations match at property boundaries such that a slope burden is not imposed on adjacent properties shall be made within the final inspection process. Final inspection shall verify that slopes are not steeper than 3:1 on lot interiors and not steeper than 4:1 on the exterior or lots.
- 5.7** Runoff from public right-of-way is regulated by the Ada County Highway District; satisfaction of this requirement shall be verified before final project acceptance.
- 5.8** Upon project completion, the Final Plat shall be compared with the record construction drawings; all lot line adjustments, easements and/or similar items must be recorded on the Final Plat such that an accurate and truthful document results.
- 5.9** Upon City Council’s approval, no revisions shall be made to the Final Plat. If revisions are desired, the Applicant shall bring a copy of the changes to Planning and Zoning staff to determine if a new approval is required via the Public Hearing process.
- 5.10** Applicant shall secure all signatures on the Final Plat Memorandum prior to requesting the City Engineer’s signature on the Final Plat Mylar.
- 5.11** Correct and verified as-built (record drawings) drawings shall be required before occupancy or Final Plat approval by City Engineer is granted.

**DATED** this 2<sup>nd</sup> day of August, 2022.



# Planning & Zoning Application Coversheet

PO Box 13 | 751 W 4<sup>th</sup> Street | Kuna, ID 83634  
(208) 922-5274 | [www.KunaCity.ID.gov](http://www.KunaCity.ID.gov)



**\*\*Office Use Only\*\***

**File No.(s):** 22-05-FP

**Project Name:** Madrone Heights No. 2

**Date Received:** Coversheet 05.11.2022, Remaining Docs 05.16.2022

**Date Accepted as Complete:** 07.11.2022

Type of review requested (check all that apply):

<input type="checkbox"/>	Annexation & Zoning	<input type="checkbox"/>	Appeal
<input type="checkbox"/>	Comp. Plan Map Amendment	<input type="checkbox"/>	Combination Pre & Final Plat
<input type="checkbox"/>	Design Review	<input type="checkbox"/>	Development Agreement
<input type="checkbox"/>	Final Planned Unit Development	<input checked="" type="checkbox"/>	Final Plat
<input type="checkbox"/>	Lot Line Adjustment	<input type="checkbox"/>	Lot Split
<input type="checkbox"/>	Ordinance Amendment	<input type="checkbox"/>	Planned Unit Development
<input type="checkbox"/>	Preliminary Plat	<input type="checkbox"/>	Rezone
<input type="checkbox"/>	Special Use Permit	<input type="checkbox"/>	Temporary Business
<input type="checkbox"/>	Vacation	<input type="checkbox"/>	Variance

### Owner of Record

Name: DB Development, LLC

Address: 6152 West Half Moon Lane, Eagle ID 83616

Phone: \_\_\_\_\_ Email: c/o awiemiller@kmengllp.com

### Applicant (Developer) Information

Name: Same as owner

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

### Engineer/Representative Information

Name: KM Engineering, LLP

Address: 5725 N Discovery Way, Boise ID 83713

Phone: \_\_\_\_\_ Email: awiemiller@kmengllp.com

### Subject Property Information

Site Address: 2030 W. Kuna Rd., Kuna ID

Nearest Major Cross Streets: W Kuna Rd & N Ten Mile Rd

Parcel No.(s): ~~S1322438420~~ S1322438430

Section, Township, Range: Sec 22, T2N, R1W

Property Size: 10.214

Current Land Use: AG Proposed Land Use: SFR

Current Zoning: R6 Proposed Zoning: R6

**Project Description**

Project Name: Madrone Heights Subdivision No. 2

General Description of Project: Final plat for single-family residential subdivision  
comprised of 52 buildable lots & 12 common lots - 64 lots total

Type of proposed use (check all that apply and provide specific density/zoning):

- Residential: R-2 R-4  R-6 R-8 R-12 R-20  Commercial: C-1 C-2 C-3  CBD
- Office  Industrial: M-1 M-2  Other: \_\_\_\_\_

Type(s) of amenities provided with development: landscape buffers

**Residential Project Summary (If Applicable)**

Are there existing buildings? YES  NO

If YES, please describe: \_\_\_\_\_

Will any existing buildings remain? YES  NO

No. of Residential Units: 52 No. of Building Lots: 52

No. of Common Lots: 12 No. of Other Lots: 0

Type of dwelling(s) proposed (check all that apply):

- Single-Family  Townhomes  Duplexes  Multi-Family
- Other: \_\_\_\_\_

Minimum square footage of structure(s): TBD

Gross Density (Dwelling Units ÷ Total Acreage): 5.077 du/ac

Net Density (Dwelling Units ÷ Total Acreage not including Roads): 7.01 du/ac

Percentage of Open Space provided: 14% Acreage of Open Space: 1.38

Type of Open Space provided (i.e. public, common, landscaping): landscape

\_\_\_\_\_  
\_\_\_\_\_

**Non-Residential Project Summary (If Applicable)**

Number of building lots: \_\_\_\_\_ Other lots: \_\_\_\_\_

Gross floor area square footage: \_\_\_\_\_ Existing (if applicable): \_\_\_\_\_

Building height: \_\_\_\_\_ Hours of Operation: \_\_\_\_\_

Total No. of Employees: \_\_\_\_\_ Max No. of Employees at one time: \_\_\_\_\_

No. of and ages of students: \_\_\_\_\_ Seating capacity: \_\_\_\_\_

**Proposed Parking**

ADA accessible spaces: \_\_\_\_\_ Dimensions: \_\_\_\_\_

Regular parking spaces: \_\_\_\_\_ Dimensions: \_\_\_\_\_

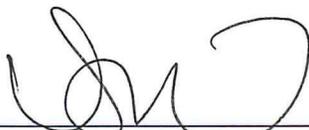
Width of driveway aisle: \_\_\_\_\_

Proposed lighting: \_\_\_\_\_

Is lighting "Dark Sky" compliant? YES NO

Proposed landscaping (i.e. berms, buffers, entrances, parking areas, etc.):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Applicant Signature:  Date: 6/12/22

*By signing, you are confirming you have provided all required items listed on this application.*

**Upon completion of this form, please email to [pzapplications@kunaid.gov](mailto:pzapplications@kunaid.gov). A link will be provided to you for application attachments to be uploaded to the cloud.**



**Final Plat Application**  
PO Box 13 | 751 W 4<sup>th</sup> Street | Kuna, ID 83634  
(208) 922-5274 | [www.KunaCity.ID.gov](http://www.KunaCity.ID.gov)



**A Final Plat application does NOT require a Public Hearing. It will be placed on the City Council agenda as a regular agenda item.**

<b>**Office Use Only**</b>	
<b>Case No(s):</b>	<u>22-05-FP</u>
<b>Project Name:</b>	<u>Madrone Heights No. 2</u>
<b>Date Received:</b>	<u>Coversheet 05.11.2022, Remaining Docs 05.16.2022</u>
<b>Date Accepted as Complete:</b>	<u>07.11.2022</u>

**Application shall contain one (1) copy of the following:**

- Complete Planning & Zoning Application Coversheet.
- All pages of the proposed Final Plat.
- Approved final engineering construction drawings for streets, water, sewer, sidewalks, pressure irrigation & other public improvements.
- Approved & signed Findings of Fact and Conclusions of Law for Preliminary Plat.
- Such other information as deemed necessary to establish whether or not all proper parties have signed and/or approved Final Plat.
- Statement of Conformance with the following: Preliminary Plat meets all requirements or conditions; and Preliminary Plat meets acceptable engineering practices and local standards.
- Any proposed restrictive covenants and/or deed restrictions, and Homeowners Association documents.

***The Final Plat shall include and be in compliance with all items required Under Idaho Code §50-13.***

*This application shall not be considered complete (nor will it be added to a City Council agenda) until Staff has received all required information. Once the application is deemed complete, Staff will notify the Applicant of the scheduled date, fees due, and any additional items via a Letter of Completeness.*

**Information to Note:**

The date of application acceptance shall be the date the applicant submits the final required information to the Planning & Zoning Department, including the application fee (KCC 5-1A-2C).

Complete applications shall be reviewed within sixty (60) days of date of acceptance (KCC 5-1A-5A).

Applicant Signature:  Date: 6/16/22

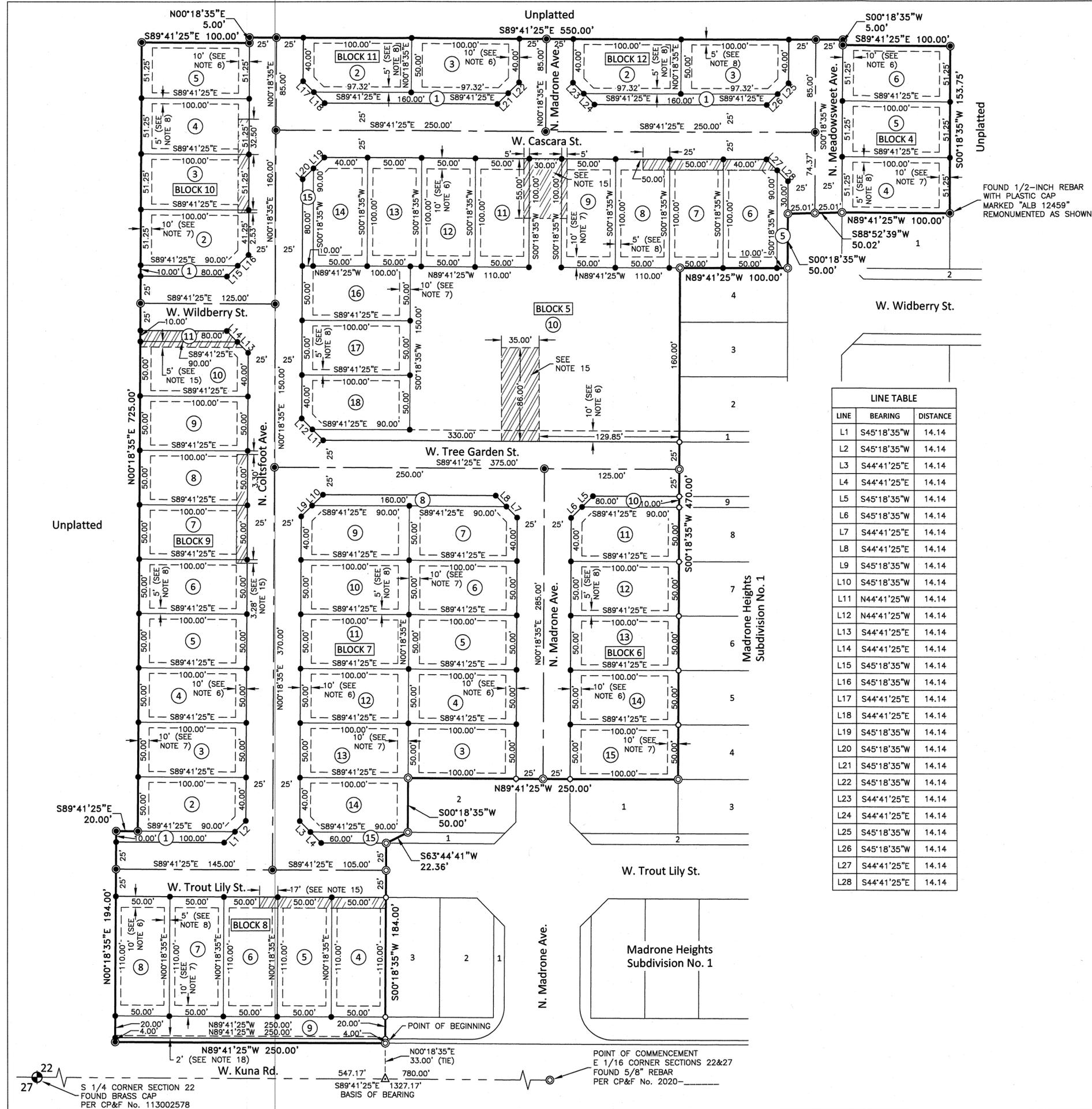
*By signing, you are confirming you have provided all required items listed on this application.*

# PLAT OF Madrone Heights Subdivision No. 2

A PARCEL OF LAND SITUATED IN A PORTION OF  
THE SW 1/4 OF THE SE 1/4 OF SECTION 22,  
TOWNSHIP 2 NORTH, RANGE 1 WEST, B.M.,  
CITY OF KUNA, ADA COUNTY, IDAHO  
2022



0 60 120 180  
Plan Scale: 1" = 60'



FOUND 1/2-INCH REBAR WITH PLASTIC CAP MARKED "ALB 12459" REMONUMENTED AS SHOWN

LINE	BEARING	DISTANCE
L1	S45°18'35"W	14.14
L2	S45°18'35"W	14.14
L3	S44°41'25"E	14.14
L4	S44°41'25"E	14.14
L5	S45°18'35"W	14.14
L6	S45°18'35"W	14.14
L7	S44°41'25"E	14.14
L8	S44°41'25"E	14.14
L9	S45°18'35"W	14.14
L10	S45°18'35"W	14.14
L11	N44°41'25"W	14.14
L12	N44°41'25"W	14.14
L13	S44°41'25"E	14.14
L14	S44°41'25"E	14.14
L15	S45°18'35"W	14.14
L16	S45°18'35"W	14.14
L17	S44°41'25"E	14.14
L18	S44°41'25"E	14.14
L19	S45°18'35"W	14.14
L20	S45°18'35"W	14.14
L21	S45°18'35"W	14.14
L22	S45°18'35"W	14.14
L23	S44°41'25"E	14.14
L24	S44°41'25"E	14.14
L25	S45°18'35"W	14.14
L26	S45°18'35"W	14.14
L27	S44°41'25"E	14.14
L28	S44°41'25"E	14.14

### SHEET INDEX

- SHEET 1 - OVERALL SUBDIVISION MAP AND LEGEND
- SHEET 2 - NOTES AND CERTIFICATE OF OWNERS
- SHEET 3 - CERTIFICATES AND APPROVALS

### REFERENCES

- R1. RECORD OF SURVEY No. 1945, RECORDS OF ADA COUNTY, IDAHO.
- R2. RECORD OF SURVEY No. 3006, RECORDS OF ADA COUNTY, IDAHO.
- R3. RECORD OF SURVEY No. 3476, RECORDS OF ADA COUNTY, IDAHO.
- R4. RECORD OF SURVEY No. 7092, RECORDS OF ADA COUNTY, IDAHO.
- R5. WARRANTY DEED PER INSTRUMENT No. 2017-017610, RECORDS OF ADA COUNTY, IDAHO.
- R6. PLAT OF MADRONE HEIGHTS SUBDIVISION No. 1, BOOK \_\_\_\_ OF PLATS AT PAGES \_\_\_\_\_, RECORDS OF ADA COUNTY, IDAHO.

### LEGEND

- FOUND BRASS CAP AS NOTED
- FOUND 5/8-INCH REBAR WITH PLASTIC CAP MARKED "ALB 12459", UNLESS NOTED OTHERWISE
- FOUND 1/2-INCH REBAR WITH PLASTIC CAP MARKED "ALB 12459", UNLESS NOTED OTHERWISE
- SET 5/8-INCH REBAR WITH PLASTIC CAP MARKED "ALB 12459"
- SET 1/2-INCH REBAR WITH PLASTIC CAP MARKED "ALB 12459"
- CALCULATED POINT
- LOT NUMBER
- SUBDIVISION BOUNDARY LINE
- LOT LINE
- ADJACENT LOT LINE
- SECTION LINE
- ROAD CENTERLINE
- EASEMENT LINE
- ACHD EASEMENT (SEE NOTE 15)

### SURVEY NARRATIVE

THE PURPOSE OF THIS SURVEY IS TO SUBDIVIDE THE LAND SHOWN HEREON. THE SURVEY IS BASED UPON THE RETRACEMENT OF PLATS, SURVEYS AND DEEDS LISTED IN THE REFERENCES HEREON AND A FIELD SURVEY OF EXISTING MONUMENTATION. MONUMENTATION RECOVERED WAS FOUND TO BE IN SUBSTANTIAL CONFORMANCE WITH THE REFERENCES LISTED HEREON. ALL PROPERTY CORNERS WHERE MONUMENTS OF RECORD WERE NOT FOUND WERE SET/RESET AS SHOWN HEREON.



1-12-2022

DEVELOPER  
**DB Development, LLC**  
MERIDIAN, IDAHO



JOB NO. 19-194

SHEET 1 OF 3

# PLAT OF Madrone Heights Subdivision No. 2

### CERTIFICATE OF OWNERS

KNOW ALL MEN/WOMEN BY THESE PRESENTS: THAT THE UNDERSIGNED IS THE OWNER OF THE REAL PROPERTY HEREAFTER DESCRIBED.

A PARCEL OF SITUATED IN A PORTION OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWNSHIP 2 NORTH, RANGE 1 WEST, B.M., CITY OF KUNA, ADA COUNTY, IDAHO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 5/8-INCH REBAR MARKING THE EAST 1/16 CORNER OF SECTION 27 AND SAID SECTION 22, WHICH BEARS S89°41'25"E A DISTANCE OF 1,327.17 FEET FROM A BRASS CAP MARKING THE SOUTH 1/4 CORNER OF SAID SECTION 22, THENCE FOLLOWING THE SOUTHERLY LINE OF SAID SOUTHWEST 1/4 OF THE SOUTHEAST 1/4, N89°41'25"W A DISTANCE OF 780.00 FEET; THENCE LEAVING SAID SOUTHERLY LINE, N00°18'35"E A DISTANCE OF 33.00 FEET TO A 5/8-INCH REBAR ON THE BOUNDARY OF MADRONE HEIGHTS SUBDIVISION NO. 1 (BOOK \_\_\_ OF PLATS AT PAGE \_\_\_\_\_, RECORDS OF ADA COUNTY, IDAHO) AND THE NORTHERLY RIGHT-OF-WAY LINE OF WEST KUNA ROAD AND BEING THE POINT OF BEGINNING.

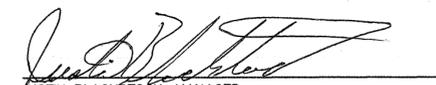
THENCE FOLLOWING SAID NORTHERLY RIGHT-OF-WAY LINE, N89°41'25"W A DISTANCE OF 250.00 FEET TO A SET 5/8-INCH REBAR; THENCE LEAVING SAID NORTHERLY RIGHT-OF-WAY LINE, N00°18'35"E A DISTANCE OF 194.00 FEET TO A SET 5/8-INCH REBAR; THENCE S89°41'25"E A DISTANCE OF 20.00 FEET TO A SET 5/8-INCH REBAR; THENCE N00°18'35"E A DISTANCE OF 725.00 FEET TO A SET 5/8-INCH REBAR; THENCE S89°41'25"E A DISTANCE OF 100.00 FEET TO A SET 5/8-INCH REBAR; THENCE N00°18'35"E A DISTANCE OF 5.00 FEET TO A SET 5/8-INCH REBAR; THENCE S89°41'25"E A DISTANCE OF 550.00 FEET TO A SET 5/8-INCH REBAR; THENCE S00°18'35"W A DISTANCE OF 5.00 FEET TO A SET 5/8-INCH REBAR; THENCE S89°41'25"E A DISTANCE OF 100.00 FEET TO A SET 5/8-INCH REBAR; THENCE S00°18'35"W A DISTANCE OF 153.75 FEET TO A SET 5/8-INCH REBAR ON THE BOUNDARY OF SAID MADRONE HEIGHTS SUBDIVISION NO. 1;

THENCE FOLLOWING SAID BOUNDARY THE FOLLOWING NINE (9) COURSES:

1. N89°41'25"W A DISTANCE OF 100.00 FEET TO A 5/8-INCH REBAR;
2. S88°52'39"W A DISTANCE OF 50.02 FEET TO A 5/8-INCH REBAR;
3. S00°18'35"W A DISTANCE OF 50.00 FEET TO A 5/8-INCH REBAR;
4. N89°41'25"W A DISTANCE OF 100.00 FEET TO A 5/8-INCH REBAR;
5. S00°18'35"W A DISTANCE OF 470.00 FEET TO A 5/8-INCH REBAR;
6. N89°41'25"W A DISTANCE OF 250.00 FEET TO A 5/8-INCH REBAR;
7. S00°18'35"W A DISTANCE OF 50.00 FEET TO A 5/8-INCH REBAR;
8. S63°44'41"W A DISTANCE OF 22.36 FEET TO A 5/8-INCH REBAR;
9. S00°18'35"W A DISTANCE OF 184.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS A TOTAL OF 10.214 ACRES, MORE OR LESS, AND IS SUBJECT TO ALL EXISTING EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD OR IMPLIED.

IT IS THE INTENTION OF THE UNDERSIGNED TO HEREBY INCLUDE SAID LAND IN THIS PLAT. THE EASEMENTS SHOWN ON THIS PLAT ARE NOT DEDICATED TO THE PUBLIC BUT THE RIGHTS TO USE SAID EASEMENTS ARE HEREBY PERPETUALLY RESERVED FOR PUBLIC UTILITIES AND SUCH OTHER USES AS SHOWN ON THIS PLAT. NO STRUCTURES OTHER THAN FOR SUCH UTILITY AND OTHER DESIGNATED PUBLIC USES ARE TO BE ERRECTED WITHIN THE LIMITS OF SAID EASEMENTS UNLESS NOTED OTHERWISE ON THIS PLAT. THE UNDERSIGNED, BY THESE PRESENTS, DEDICATES TO THE PUBLIC ALL PUBLIC STREETS AS SHOWN ON THIS PLAT. ALL LOTS WITHIN THIS PLAT WILL RECEIVE WATER SERVICE FROM THE CITY OF KUNA AND THE CITY OF KUNA HAS AGREED IN WRITING TO SERVE ALL OF THESE LOTS.

  
JUSTIN BLACKSTOCK, MANAGER  
DB DEVELOPMENT, LLC

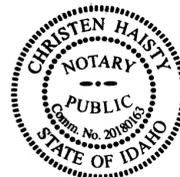
### ACKNOWLEDGMENT

STATE OF IDAHO )  
ADA COUNTY ) SS

THIS RECORD WAS ACKNOWLEDGED BEFORE ME ON January 13, 2022 BY JUSTIN BLACKSTOCK, AS MANAGER OF DB DEVELOPMENT, LLC.

  
SIGNATURE OF NOTARY PUBLIC

MY COMMISSION EXPIRES 1-29-24



### CERTIFICATE OF SURVEYOR

I, AARON L. BALLARD, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR LICENSED BY THE STATE OF IDAHO, AND THAT THIS PLAT OF MADRONE HEIGHTS SUBDIVISION No. 2 AS DESCRIBED IN THE "CERTIFICATE OF OWNERS" AND AS SHOWN ON THE ATTACHED PLAT, WAS DRAWN FROM AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY DIRECT SUPERVISION AND ACCURATELY REPRESENTS THE POINTS PLATTED THEREON, AND IS IN CONFORMITY WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.

AARON L. BALLARD, P.L.S. 12459



### NOTES

1. MINIMUM BUILDING SETBACK LINES SHALL BE IN ACCORDANCE WITH THE CITY OF KUNA ZONING ORDINANCE AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT. ALL LOT, PARCEL AND TRACT SIZES SHALL MEET THE MINIMAL DIMENSIONAL STANDARDS AS REQUIRED IN THE CITY OF KUNA ZONING ORDINANCE.
2. ANY RESUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS OF THE CITY OF KUNA IN EFFECT AT THE TIME OF RESUBDIVISION.
3. IRRIGATION WATER HAS BEEN PROVIDED FROM KUNA MUNICIPAL IRRIGATION SYSTEM IN COMPLIANCE WITH IDAHO CODE SECTION 31-3805(1)(b). LOTS WITHIN THIS SUBDIVISION WILL BE ENTITLED TO IRRIGATION WATER RIGHTS AND WILL BE OBLIGATED FOR ASSESSMENTS FROM KUNA MUNICIPAL IRRIGATION SYSTEM.
4. THIS DEVELOPMENT RECOGNIZES SECTION 22-4503 OF THE IDAHO CODE, RIGHT TO FARM ACT, WHICH STATES: "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION, FACILITY OR EXPANSION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF".
5. LOTS 5, 10 AND 15, BLOCK 5, LOT 10, BLOCK 6, LOTS 8 AND 15, BLOCK 7, LOT 9, BLOCK 8, LOTS 1 AND 11, BLOCK 9, LOT 1, BLOCK 10, LOT 1, BLOCK 11 AND LOT 1, BLOCK 12 ARE COMMON LOTS AND SHALL BE OWNED AND MAINTAINED BY THE MADRONE HEIGHTS SUBDIVISION HOMEOWNER'S ASSOCIATION, INC., OR ASSIGNS. THESE COMMON LOTS ARE SUBJECT TO BLANKET EASEMENTS FOR PUBLIC UTILITIES AND KUNA MUNICIPAL IRRIGATION SYSTEM PRESSURE IRRIGATION.
6. ALL FRONT LOT LINES AND ALL LOT LINES COMMON TO THE PUBLIC RIGHT-OF-WAYS CONTAIN A 10.00 FOOT WIDE EASEMENT FOR PUBLIC UTILITIES, CITY OF KUNA STREET LIGHTS, KUNA MUNICIPAL IRRIGATION SYSTEM PRESSURE IRRIGATION AND LOT DRAINAGE. THIS EASEMENT SHALL NOT PRECLUDE THE CONSTRUCTION OF DRIVEWAYS AND SIDEWALKS TO EACH LOT.
7. UNLESS OTHERWISE DIMENSIONED, ALL REAR LOT LINES CONTAIN A 10.00 FOOT WIDE EASEMENT FOR KUNA MUNICIPAL IRRIGATION SYSTEM PRESSURE IRRIGATION AND LOT DRAINAGE.
8. UNLESS OTHERWISE DIMENSIONED, ALL INTERIOR LOT LINES CONTAIN A 5.00 FOOT WIDE EASEMENT, EACH SIDE, FOR KUNA MUNICIPAL IRRIGATION SYSTEM PRESSURE IRRIGATION AND LOT DRAINAGE.
9. LOTS SHALL NOT BE REDUCED IN SIZE WITHOUT PRIOR APPROVAL FROM THE HEALTH AUTHORITY AND THE CITY OF KUNA.
10. NO ADDITIONAL DOMESTIC WATER SUPPLIES SHALL BE INSTALLED BEYOND THE WATER SYSTEM APPROVED IN THE SANITARY RESTRICTION RELEASE.
11. THIS SUBDIVISION IS LOCATED WITHIN ZONE X AS SHOWN ON THE FIRM PANEL 400 OF 875, ADA COUNTY, IDAHO AND INCORPORATED AREAS. A BUILDING PERMIT SHALL NOT BE ISSUED FOR ANY LOT THAT IS LOCATED WITHIN THE MAPPED FLOODPLAIN UNTIL A FLOOD PLAIN DEVELOPMENT PERMIT IS OBTAINED FOR THE INDIVIDUAL LOT. EACH LOT WITHIN THE MAPPED FLOODPLAIN SHALL REQUIRE AN INDIVIDUAL FLOOD PLAIN DEVELOPMENT PERMIT.
12. DIRECT LOT OR PARCEL ACCESS TO W. KUNA ROAD IS PROHIBITED.
13. THIS PLAT IS SUBJECT TO AN ACHD LANDSCAPE LICENSE AGREEMENT PER INSTRUMENT No. 2020-008545.
14. THIS SUBDIVISION IS SUBJECT TO THE COVENANTS, CONDITIONS AND RESTRICTIONS THAT ARE TO BE FILED FOR RECORD AT THE ADA COUNTY RECORDER'S OFFICE, AND MAY BE AMENDED FROM TIME TO TIME.
15. AS SHOWN HEREON, PORTIONS OF LOTS 6-11, BLOCK 5, LOTS 4-6, BLOCK 8 AND LOTS 6, 7, 8, 10 & 11, BLOCK 9 ARE SERVIENT TO AND CONTAIN THE ACHD STORM WATER DRAINAGE SYSTEM. THESE LOTS ARE ENCUMBERED BY THAT CERTAIN FIRST AMENDED MASTER PERPETUAL STORM WATER DRAINAGE EASEMENT RECORDED ON NOVEMBER 10, 2015 AS INSTRUMENT No. 2015-103256, OFFICIAL RECORDS OF ADA COUNTY, AND INCORPORATED HEREIN BY THIS REFERENCE AS IF SET FORTH IN FULL (THE "MASTER EASEMENT"). THE MASTER EASEMENT IS FOR THE OPERATION AND MAINTENANCE OF THE STORM WATER DRAINAGE SYSTEM.
16. THE HOMEOWNERS' ASSOCIATION (HOA), IT'S OWNERSHIP AND MAINTENANCE COMMITMENTS CANNOT BE DISSOLVED WITHOUT THE EXPRESS WRITTEN CONSENT OF THE CITY OF KUNA, IDAHO. ALL IMPROVED INDIVIDUAL LOTS ARE SUBJECT TO A FRACTIONAL SHARE OF THE IRRIGATION ASSESSMENT FOR EACH HOA COMMON LOT(S) THAT RECEIVE(S) MUNICIPAL IRRIGATION. IF THE ASSESSMENT IS NOT PAID BY THE HOA, THE INDIVIDUAL IMPROVED LOTS ARE SUBJECT TO A LIEN FOR NON-PAYMENT.
17. MAINTENANCE OF ANY IRRIGATION AND DRAINAGE PIPES OR DITCHES CROSSING A LOT IS THE RESPONSIBILITY OF THE LOT OWNER UNLESS SUCH RESPONSIBILITY IS ASSUMED BY AN IRRIGATION/DRAINAGE ENTITY. SUCH LOTS MUST REMAIN FREE OF ENCROACHMENTS AND OBSTRUCTIONS TO SAID IRRIGATION/DRAINAGE FACILITIES.

DEVELOPER  
**DB Development, LLC**  
MERIDIAN, IDAHO



# PLAT OF Madrone Heights Subdivision No. 2

### ADA COUNTY HIGHWAY DISTRICT COMMISSIONERS

THE FOREGOING PLAT WAS ACCEPTED AND APPROVED BY THE BOARD OF ADA COUNTY HIGHWAY DISTRICT COMMISSIONERS ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
PRESIDENT  
ADA COUNTY HIGHWAY DISTRICT

### APPROVAL OF CITY ENGINEER

I, THE UNDERSIGNED, CITY ENGINEER IN AND FOR THE CITY OF KUNA, ADA COUNTY, IDAHO, HEREBY STATE THAT THE RECOMMENDED CONDITIONS OF APPROVAL HAVE BEEN SATISFIED.

\_\_\_\_\_  
CITY OF KUNA ENGINEER, P.E. No. \_\_\_\_\_

\_\_\_\_\_  
DATE

### APPROVAL OF CITY COUNCIL

I, THE UNDERSIGNED, CITY CLERK IN AND FOR THE CITY OF KUNA, ADA COUNTY, IDAHO, DO HEREBY CERTIFY THAT AT A REGULAR MEETING OF THE CITY COUNCIL HELD ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_, THIS PLAT WAS DULY ACCEPTED AND APPROVED.

\_\_\_\_\_  
CITY CLERK  
KUNA, IDAHO

### CERTIFICATE OF COUNTY SURVEYOR

I, THE UNDERSIGNED, PROFESSIONAL LAND SURVEYOR FOR ADA COUNTY, IDAHO, HEREBY CERTIFY THAT I HAVE CHECKED THIS PLAT AND FIND THAT IT COMPLIES WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.

\_\_\_\_\_  
ADA COUNTY SURVEYOR

\_\_\_\_\_  
DATE

### HEALTH CERTIFICATE

SANITARY RESTRICTIONS AS REQUIRED BY IDAHO CODE, TITLE 50, CHAPTER 13 HAVE BEEN SATISFIED ACCORDING TO THE LETTER TO BE READ ON FILE WITH THE COUNTY RECORDER OR HIS AGENT LISTING THE CONDITIONS OF APPROVAL. SANITARY RESTRICTIONS MAY BE REIMPOSED, IN ACCORDANCE WITH SECTION 50-1326, IDAHO CODE, BY THE ISSUANCE OF A CERTIFICATE OF DISAPPROVAL.

*[Signature]*  
HEALTH OFFICER



1.19.2022  
DATE

### CERTIFICATE OF ADA COUNTY TREASURER

I, THE UNDERSIGNED, COUNTY TREASURER IN AND FOR THE COUNTY OF ADA, STATE OF IDAHO, PER THE REQUIREMENTS OF I.C. 50-1308, DO HEREBY CERTIFY THAT ANY AND ALL CURRENT AND OR DELINQUENT COUNTY PROPERTY TAXES FOR THE PROPERTY INCLUDED IN THIS SUBDIVISION HAVE BEEN PAID IN FULL. THIS CERTIFICATION IS VALID FOR THE NEXT THIRTY (30) DAYS ONLY.

\_\_\_\_\_  
COUNTY TREASURER

\_\_\_\_\_  
DATE

### CERTIFICATE OF COUNTY RECORDER

STATE OF IDAHO }  
ADA COUNTY } SS

I HEREBY CERTIFY THAT THIS PLAT OF MADRONE HEIGHTS SUBDIVISION No. 2 WAS FILED AT THE REQUEST OF \_\_\_\_\_ AT \_\_\_\_\_ MINUTES PAST \_\_\_\_\_ O'CLOCK \_\_M., THIS \_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_ A.D., IN MY OFFICE AND WAS DULY RECORDED AS BOOK \_\_\_\_\_ OF PLATS AT PAGES \_\_\_\_\_ THRU \_\_\_\_\_.

INSTRUMENT NUMBER \_\_\_\_\_

\_\_\_\_\_  
DEPUTY

\_\_\_\_\_  
EX-OFFICIO RECORDER

FEE:



1.14.2022

DEVELOPER

DB Development, LLC  
MERIDIAN, IDAHO

**km**  
ENGINEERING  
5725 NORTH DISCOVERY WAY  
BOISE, IDAHO 83713  
PHONE (208) 639-6939  
kmengllp.com



# City of Kuna

## Council Findings of Fact & Conclusions of Law

P.O. Box 13  
 Phone: (208) 922-5274  
 Fax: (208) 922-5989  
[www.Kunacity.id.gov](http://www.Kunacity.id.gov)

**To:** City Council

**Case Numbers:** 18-02-S (Pre Plat)  
**Madrone Heights**

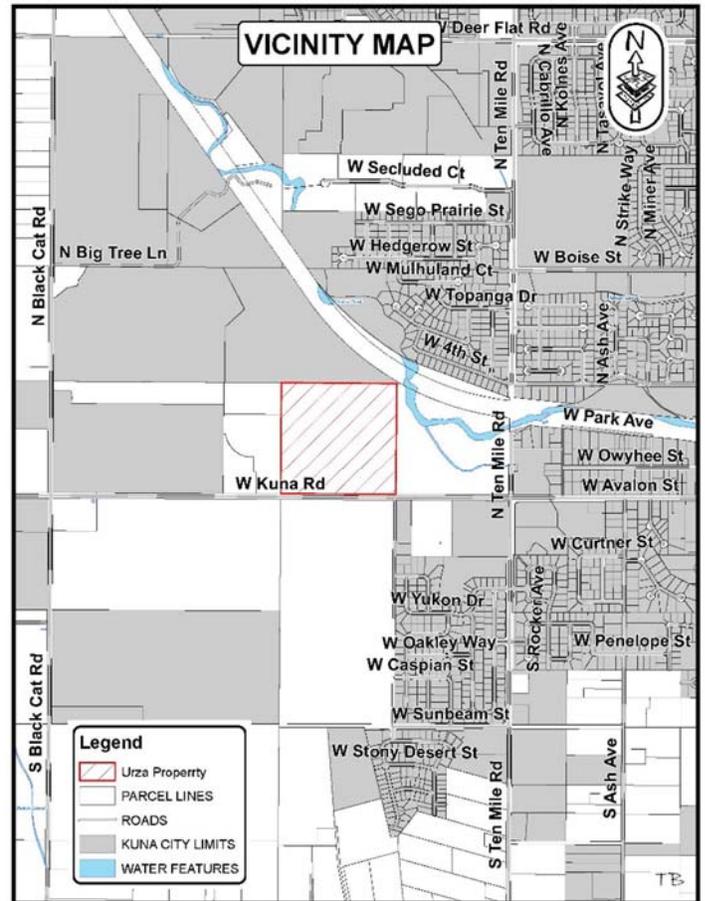
**Location:** Near the northwest corner of Ten Mile and Kuna Roads, Kuna, Idaho 83642

**Planner:** Troy Behunin, Planner III

**Hearing Date:** Nov. 7, 2018 (Elections)  
 Tabled until: November 20, 2018  
 Tabled until: January 15, 2019  
**Findings of Fact:** **February 5, 2019**

**Engineer:** KM Engineering  
 Kirsti Grabo  
 9233 W. State St,  
 Boise, ID 83714  
 208.639.6930  
[KGrabo@kmengllp.com](mailto:KGrabo@kmengllp.com)

**Owner:** N Star Farm, LLC  
 Tim Eck  
 6152 W. Half Moon Ln.  
 Eagle, ID, 83616



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- |                          |                                     |
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| B. Applicants Request    | J. Findings of Fact                 |
| C. Aerial map            | K. Comprehensive Plan Analysis      |
| D. Site History          | L. Idaho Code Analysis              |
| E. General Project Facts | M. Conclusions of Law               |
| F. Staff Analysis        | N. Recommendation of the Commission |
| G. Applicable Standards  | O. Councils Order of Decision       |
| H. Procedural Background |                                     |

**A. Process and Noticing:**

1. Kuna City Code (KCC), Title 1, Chapter 14, Section 3, states that annexations are designated as public hearings, with the P & Z Commission as a recommending body and City Council as the decision making body. These land use applications were given proper public notice and followed the requirements set forth in Idaho Code, Chapter 65, Local Planning Act.

**a. Notifications**

- |                                  |   |
|----------------------------------|---|
| i. Neighborhood Meeting          | April 11, 2018 (seven persons attended) |
| ii. Agency Comment Request       | June 26, 2018                           |
| iii. 375' Property Owners Notice | October 29, 2018                        |
| iv. Kuna, Melba Newspaper        | October 3, 2018                         |
| v. Site Posted                   | October 9, 2018                         |

**B. Applicant's Request:**

On behalf of N Star Farm, LLC (the applicant), KM Engineering, requests approval to subdivide approximately 39.50 acres (previously zoned R-6) into 206 single home lots, an additional 27 common lots, and one shared driveway. A Design Review application for the landscaping for the 27 common lots accompanies this application. The address is 2030 W. Kuna Road, Kuna Idaho, and is located near the NWC of Ten Mile and Kuna Roads, in Section 22, T 2N, R 1W, APN #: S1322438400. This project is known as Madrone Heights Subdivision.

**C. Aerial Map:**



*©Copyrighted*

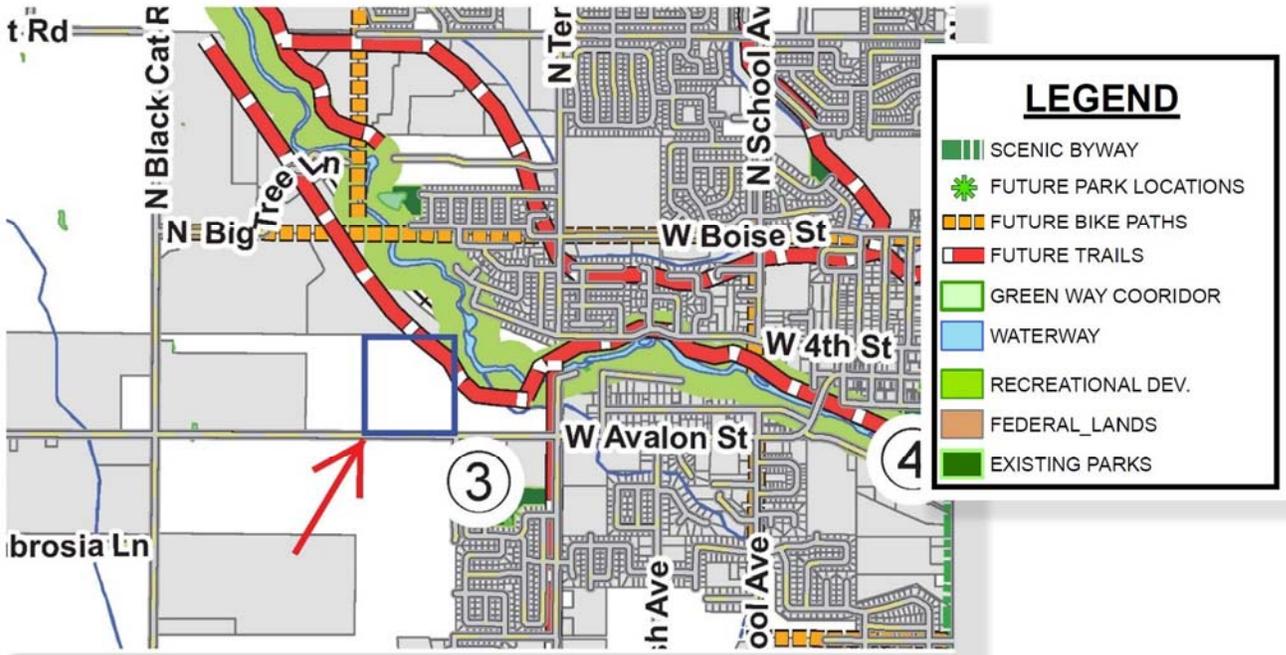
**D. Site History:**

This parcel is in the City of Kuna limits, with varying historical uses, ranging from residential to farming and is currently zoned R-6 (Medium Density Residential).

**E. General Project Facts:**

1. **Comprehensive Plan Map:** The Future Land Use Map (Comp Plan Map) is intended to serve as a *guide* for the decision making body for the City. The Comp Plan map indicates land use designations generally speaking, it is not the actual zone. The Comp Plan Map calls for Medium Density Residential for this parcel.
2. **Recreation and Pathways Map:** The Recreation and Pathways Master Plan Map indicates a future trail near the NEC of the site, situated along Indian Creek. Accordingly, it is the City's goal and desire to increase the

number of trails and pathways in Kuna. It is necessary for each parcel to develop trails and pathways along their frontages of creeks, canals and ditches to comply with the Master Plan’s goals by either starting a pathway, or extending one in that area at time of development.



**3. Surrounding Land Uses:**

<b>North</b>	A	Agriculture – Kuna City
<b>South</b>	RUT	Rural Urban Transition – Ada County
<b>East</b>	RUT	Rural Urban Transition – Ada County
<b>West</b>	RR	Rural Residential – Ada County

**4. Parcel Sizes, Current Zoning, Parcel Numbers:**

Property Owner	Parcel Size (Approximately)	Current Zone: (R-6) Medium Density Resident	Parcel Number
<i>N Star Farm, LLC</i>	39.48 acres	R-6	S1322438400

**5. Services:**

- Sanitary Sewer– City of Kuna
- Potable Water – City of Kuna
- Irrigation District – Boise-Kuna Irrigation Dist.
- Pressurized Irrigation – City of Kuna (KMID)
- Fire Protection – Kuna Rural Fire District
- Police Protection – Kuna Police (Ada County Sheriff)
- Sanitation Services – J & M Sanitation

**6. Existing Structures, Vegetation and Natural Features:**

The majority of this land is being used for agricultural purposes, a small part of the land was used for residential purposes (Approx. 1.5 ac.) Applicant anticipates that the land will continue the historic agricultural uses on the lands until development occurs. There are no outbuildings on site, or any other structures.

**7. Transportation / Connectivity:**

All access points will need to follow design standards according to City and ACHD (Ada County Highway Dist.) codes. Applicant proposes ingress/egress on Kuna Road near the middle of the site, and a new segment of a mid-mile collector on the west property line. In accordance with City Code, the applicant proposes two (2)

additional connection to properties to the east and north for future connection. Current legal points of access being used at this time may remain until development requires a change.

**8. Environmental Issues:**

Beyond being within the nitrate priority area, staff is not aware of any environmental, health or safety conflicts.

**9. Agency Responses:** The following responding agency comments are included as exhibits with this case file:

- Kuna City Engineer (Paul Stevens) – Exhibit B-1 [*This report will be late, due to his recent hiring*].
- Ada County Highway District (ACHD – Austin Miller) – Exhibit B-2
- Boise-Kuna Irrigation District (Lauren Boehlke) – Exhibit B-3
- Cable One TV (Brett Pike) – Exhibit B-4
- Community Planning Association of Southwest Idaho (COMPASS – Carl Miller) – Exhibit B-5

**F. Staff Analysis:**

The applicant previously annexed the land as part of the former Urza property application and now submits an application for preliminary plat and subdivision design review approvals and entitlements.

This parcel was annexed into Kuna City limits last spring with a R-6 (Medium Density) zoning. During the public hearings for said annexation there were certain density conditions approved by the Commission and City Council. Staff finds that this proposal conforms to the condition as outlined in the Findings of Fact and Conclusions of law.

All major public utilities are approximately 1,325 feet east, at Ten Mile and Kuna Roads. Applicant has been made aware that development of this parcel will require extension of, and connection to city services. Connection fees will be required for those utilities at time a building permit is issued. It is anticipated that development will require four phases for complete build-out. Staff concurs with ACHD's recommendation (for the north-south mid-mile collector on the west side of the project) for construction of the proposed mid-mile up to the north property line. Staff concurs that all required improvements shall be installed along with a barricade to be constructed and placed just beyond the W. Park Street intersection; if development has not occurred when phase four begins (ACHD Condition 9 in section D: Site Specific Conditions of Approval).

Staff has reviewed Kuna's Comprehensive Plan (Comp Plan), and found the Comp Plan encourages a variety of housing types for all income levels numerous times throughout the document. Pertinent sections of the Comp Plan that address housing types are included below, in Section K (Comp Plan Analysis) of this report. The City attempts to balance all housing types within the City. Staff would recommend that the applicant work with Kuna City, ACHD, and Kuna Rural Fire District (KRFD) to conform to each agency's requirements.

In the northeast corner of the site is a pocket park on lot 12, block 2. The Kuna Recreation and Pathway Map indicates a trail in this area. Staff recommends that the applicant provide a public easement for a future greenbelt/pathway to be built in the future by the H.O.A. if development occurs on the east or north. While this is a very small pinch point, it could become a pivotal piece in the future. Staff recommends that plantings be arranged so that a blockade is not formed accidentally.

Staff has determined that this application complies with Title 5 of the Kuna City Code; Idaho Statute § 67-6511; as well as the Kuna Comprehensive Plan document; and forwards a recommendation of approval for Case No. 18-02-S subject to any conditions of approval outlined by Kuna's City Council.

**G. Applicable Standards:**

1. City of Kuna Zoning Ordinance Title 5, Chapter 13.
2. City of Kuna Comprehensive Plan, adopted September 1, 2009.

3. Idaho Code, Title 67, Chapter 65- the Local Land Use Planning Act.

**H. Procedural Background:**

On January 15, 2019, the Council considered the case, including the application, agency comments, staff's memo, the application exhibits and public testimony presented or given.

**I. Factual Summary:**

This parcel is located near the northwest corners of Ten Mile and Kuna Roads. The project consists of 39.48 (approx.) acres and is in Kuna City limits and zoned R-6 (Medium Density Residential). Applicant requests preliminary plat approval to subdivide said property in 206 homes, 27 common lots and one shared driveway. This parcel is adjacent to Kuna Road; a principle arterial.

**J. Findings of Fact:**

Based upon the record contained in Case No. 18-02-S, including the Comprehensive Plan, Kuna City Code, staff's memorandums, including the exhibits, and the testimony during the public hearing, the Kuna Council hereby approves the Findings of Fact and Conclusions of Law, and the conditions of approval for Case No. 18-02-S, a request for preliminary plat approval, according to the following:

*The Council concludes that the applications comply with the City of Kuna's Zoning regulations (Title 5) of KCC and/or the Subdivision regulations outlined in title 6 of KCC.*

1. The Kuna Council accepts the facts as outlined in the staff memo, the public testimony and the supporting evidence list presented.

**Comment:** *The Kuna Council held a public hearing on the subject applications on January 15, 2019, to hear from City staff, the applicant and to accept public testimony. The decision by the Council is based on the application, staff report and public testimony, both oral and written.*

2. Based on the evidence contained in Case No. 18-02-S, this proposal appears to *generally* comply with the Comprehensive Plan.

**Comment:** *The Comp Plan has listed numerous goals for providing single-family housing in Kuna. The Comp Plan describes this property as Medium Density. As this project proposes to accommodate single-family residential uses, the project follows the goals of the Comp Plan.*

3. The Kuna Council has the authority to approve the preliminary plat application.

**Comment:** *On January 15, 2019, Council will decide to vote for an approval for Case No. 18-02-S.*

4. The public notice requirements were met and the public hearing was conducted within the guidelines of applicable Idaho Code and City Ordinances.

**Comment:** *As noted in the process and noticing sections, notice requirements were met to hold a public hearing on January 15, 2019.*

**K. Proposed Comprehensive Plan Analysis:**

Council determines the proposed preliminary plat and design review requests for the *site are* consistent with the following Comp Plan components:

Housing:

Residents expressed interest in a mix of residential type dwellings applications; including a variety of housing. They were receptive to a greater mix of lot sizes and house price to appeal to a variety of people. A goal expressed by many was the preservation of large lots and rural cluster development in appropriate balance with a complement of other types of residential development (Page 21 Comprehensive Plan [CP]).

**Comment:** *The Comp Plan provides for a mix of residential uses. This project has proposed a zone that provides an opportunity for a variety of densities, therefore it generally conforms to the Comp Plan goals and policies.*

Private Property Rights Goals and Objectives - Section 2 - Summary:

Ensure the City land use policies, restrictions, conditions and fees do not violate private property rights and ensure that land use actions, decisions, and regulations do not effectively eliminate all economic value of the subject property. Ensure that City land use actions, decisions, and regulations do not prevent a private property owner from taking advantage of a fundamental property right and staff shall evaluate with guidance from the City's attorney; the Idaho Attorney General's six criterion established to determine the potential for property taking.

**Comment:** *Utilizing the Idaho Attorney General's criteria, and a review by the City Attorney, the proposed project does not constitute a "takings" and the Economic value is intact.*

Economic Development Goals and Objectives - Section 5 - Summary:

Promote and ensure an adequate supply of housing for all income levels and facilitate pedestrian connections, both visually and physically, to enhance pedestrian movement (Pg. 42 – 1.5 and Pg. 43 – 3.1 [CP]).

**Comment:** *The Comp Plan encourages an adequate mix of housing for all income levels and calls for increasing pedestrian connections. The requested zoning for this project provides an opportunity for a number of additional housing types to Kuna's inventory and quality housing. At time of development, this project should be conditioned to add to the City's pedestrian network for non-motorized transportation, by proposing pathway connections for future development to connect to in the future.*

Land Use Goals and Objectives - Section 6 - Summary:

Adopt a future land use plan and map that includes natural and developed open spaces, while providing a variety of housing densities and types to accommodate various lifestyles, ages and economic groups. Protect existing neighborhoods and ensure new development is sustainable and keeps Kuna desirable. Develop cohesive neighborhoods with character and quality while incorporating a variety of densities and styles (Pg. 64 – 3.1 & Goal 3, and Pg. 65 – 4.3 [CP]).

**Comment:** *The requested zoning provides an opportunity for quality housing opportunities and multiple housing varieties to the City's inventory for all types of lifestyles, ages and economic groups.*

Housing Goals and Objectives - Section 12 - Summary:

Encourage developers to provide high-quality development with a variety of lot sizes, dwelling types, densities and price points to meet the needs of current and future population while creating safe and aesthetically-pleasing neighborhoods. Ensure housing is available throughout the community for all income levels and those with special needs. Encourage logical and orderly development while discouraging development of land divisions greater than one-half acre because large lot subdivisions increase municipal costs, require public subsidy and create sprawl (Pg. 155 – Obj. 1.1, Pg. 163 12.4 and Pg. 165 – 2.1 [CP]).

**Comment:** *With the requested zoning, applicant proposes a future high quality development with a variety of dwelling types, densities, and price points for all income levels Kuna as encouraged by the Comp Plan. In the future, this project will add to the City's overall network of, utilities, sidewalks and roadways, therefore it complies with logical, orderly development and discourages land divisions and development greater than one half acre, and could avoid increased municipal services costs and sprawl.*

Community Design Goals and Objectives - Section 13 - Summary:

Strengthen Kuna's Image through good community and urban design principles that create well planned neighborhoods. Foster good community design concepts that incorporate landscape features to serve as buffers between incompatible uses while reducing scale and creates a sense of place (Pg.167 – Goal 1 and Pg. 168 – 1.2 and 2.1[CP]).

**Comment:** Applicant should be conditioned to offer good community and urban design principles through creation of greenspaces, add to the pedestrian pathway network and add to the City's sidewalk network. Applicant has proposed and shall improve classified roadways, which add to the roadway system thereby complying with the adopted Master Street Plan of Kuna (Functional Classified Road Map). Applicant has proposed and should be conditioned to incorporate landscape buffers creating a sense of place for citizens. Applicant has proposed and should be conditioned to follow sound community design concepts and comply with the Comp Plan goals and help strengthen Kuna's image.

**L. Idaho State Code Analysis:**

1. **IC §67-6511 (2) C** requires that the Council analyze the proposed changes to zoning ordinances to ensure that they are not in conflict with the policies of the adopted comprehensive plan. If the request is found by the governing board to be in conflict with the adopted plan, **or** would result in demonstrable adverse impacts upon the delivery of services by any political subdivision providing public services, including school districts, within the planning jurisdiction.
2. **IC §67-6513** provides that the City provide for mitigation of the effects of subdivision development on the ability of political subdivisions of the state, including school districts, to deliver services without compromising quality of service delivery to current residents or imposing substantial additional costs upon current residents to accommodate the proposed subdivision.
3. Through discussions and comments submitted by public service providers, the project would not create demonstrable adverse impact to quality of emergency service and/or delivery of said services, or impose substantial additional costs to current residents.

**M. Council's Conclusions of Law:**

The public notice requirements have been met and the neighborhood meeting was conducted within the guidelines of applicable Idaho Code and City Ordinances.

1. The Council feels the site *is* physically suitable for development in the future.

**Comment:** *The 39.48 acre (approximate) proposal appears to be suitable for a subdivision, as proposed.*

2. The subdivision request *is not* likely to cause substantial environmental damage or avoidable injury to wildlife or their habitat.

**Comment:** *The land to be developed is not used as wildlife habitat. Roads, driveways, family units and open spaces are planned for construction according the City and ACHD requirements and best practices and will therefore not cause environmental damage or loss of habitat.*

3. The preliminary plat application *is not* likely to cause adverse public health problems.

**Comment:** *As proposed, the preliminary plat generally complies with the Comp Plan. The project will connect to public sewer and potable water systems, therefore eliminating the occurrence of adverse public health problems.*

4. The application appears to avoid detriment to the present and potential surrounding uses; to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing adjacent uses.

**Comment:** *Through correspondence with public service providers and application evaluation, this subdivision request appears to avoid detriment to surrounding uses. Council did consider the subdivision and landscaping and the location of the property with adjacent uses.*

5. The existing and proposed street and utility services in proximity to the site *are* suitable or adequate for future residential purposes.

**Comment:** *Correspondence from ACHD and Kuna Public Works confirms that the streets and utility services (existing and proposed) are suitable and adequate for this subdivision, or will be as conditioned.*

6. Based on the evidence contained in Case No's 18-02-S, Council finds Case No. 18-02-S adequately complies with Kuna City Code.
7. Based on the evidence contained in Case No. 18-02-S, Council finds Case No. 18-02-S generally complies with Kuna's Zoning Code.

#### **N. Recommendation of the Commission:**

Based upon the facts outlined in staff's memo, the Comp Plan, City Code, the record before the Commission, the applicant's presentation, public testimony and discussion during the September 11, 2018, public hearing, the Kuna Commission votes to *recommend approval* for Case No. 18-02-S to Council with the following conditions of approval:

##### Preliminary Play Specific Conditions:

- Applicant shall follow *conditions as outlined in the staff report with a revision to No. 13, a condition that the applicant shall provide a perimeter pathway around Lot 12, Block 2 (similar to the central park) in the northeast corner for future connectivity to the city greenbelt,*
- *Applicant shall install solid vinyl fencing across both stub streets at Park and Madrone Avenue to seal off the streets with the future signage as recommended in the ACHD report,*
- *Applicant shall install barricades north of the Park Street and Beadlily intersection to restrict access for the road to the north property line.*
- *Applicant shall install solid vinyl fencing across both stub streets at Park and Madrone Avenue,*
- *Applicant shall install barricades north of Park Street and along Beadlily,*

#### **O. Council's Order of Decision:**

**18-02-S (Preliminary Plat), Note:** On January 15, 2019, the Council voted to approve Case No. 18-02-S (Madrone Heights), based upon the facts outlined in staff's memo, the Comp Plan, City Code, the record before the Council, the applicant's presentation, public testimony and discussion during the January 15, 2019, public hearing. Therefore, the Kuna Council votes to *approve* Case No. 18-02-S, with the following conditions of approval,

- Applicant shall follow all conditions as outlined in the staff Memo.
1. The applicant and/or owner shall obtain written approval on letterhead or may be written/stamped on the approved plans of the construction plans from the agencies noted below. All submittals are required to include the lighting, landscaping, drainage, and development plans. All site improvements are prohibited prior to approval of the following agencies:
    - a. The City Engineer shall approve the sewer hook-ups.
    - b. The City Engineer shall approve the drainage and grading plans. Central District Health Department recommends the plan be designed and constructed in conformance with standards

contained in, "Catalog for Best Management Practices for Idaho Cities and Counties". No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of the drainage plan.

- c. The Kuna Fire District shall approve fire flow requirements and/or building plans. Installation of fire protection facilities as required by Kuna Fire District is required.
  - d. The Boise-Kuna Irrigation District shall approval any modifications to the existing irrigation system.
  - e. Approval from Ada County Highway District (ACHD) shall be obtained and Impact Fees must be paid prior to *issuance* of any building permit(s).
2. All public rights-of-way shall be dedicated and constructed to standards of the City, Ada County Highway District and Idaho Transportation Department. No public street construction may commence without the approval and permit from Ada County Highway District and/or Idaho Transportation Department.
    - 2.1- With development and as necessary, dedicate right-of-way in sufficient amounts to follow City and ACHD standards and widths.
  3. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground, see KCC 6-4-2-W.
  4. Compliance with Idaho Code, Section §31-3805 pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site. Compliance with the requirements of the Boise Project Board of Control is required.
  5. When required, submit a petition to the City (as necessary, confirmed with the City engineer) consenting to the pooling of irrigation surface water rights for delivery purposes and request to annex the irrigation surface water rights appurtenant to the property over to the Kuna Municipal Pressure Irrigation system of the City (KMID).
  6. Street lights and parking lights for the site shall be LED lighting and must comply with Kuna City Code and established Dark Skies practices.
  7. Parking within the site shall comply with Kuna City Code. (Unless specifically approved otherwise).
  8. Fencing within and around the site shall comply with Kuna City Code (Unless specifically approved otherwise and permitted). Perimeter fencing (and permit) is required prior to requesting final plat signatures from Kuna City Clerk and Engineer.
  9. All signage/monuments within/for the project shall comply with Kuna City Code and shall be approved through the design review process with all subdivisions.
  10. All required landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace unhealthy or dead plant material within 3 days or as the planting season permits as required to meet the standards of these requirements. Maintenance and planting within public rights-of-way shall be with approval from the public entities owning the property.
  11. Developer shall provide a perimeter pathway in Block 2 in the northwest corner for future connectivity to the city greenbelt
  12. The land owner/applicant/developer, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the City Council, or seek amending them through public hearing processes.
  13. Applicant shall follow staff, City engineers and other agency recommended requirements as applicable.
  14. Developer/owner/applicant shall comply with all local, state and federal laws.

DATED: this 5th day, of February, 2019.

ATTEST:

Chris Engels, Kuna City Clerk

*Chris Engels*



*Joe Stear*

Joe Stear, Mayor, Kuna City



May 12, 2022  
Project No. 19-194

Planning & Zoning Department  
City of Kuna  
751 West 4<sup>th</sup> Street  
Kuna, ID 83634

**RE: Madrone Heights Subdivision No. 2 – Kuna, ID  
Final Plat Application**

Dear City of Kuna:

On behalf of DB Development, LLC, we are pleased to submit the attached application and required supplements for the final plat of Madrone Heights Subdivision No. 2.

The final plat for this phase encompasses approximately 10.214 acres of the overall site and includes 52 buildable single-family residential lots and 12 common lots for a total of 64 lots. Access for this phase is proposed via stub streets within Madrone Heights Subdivision No. 1.

To our knowledge, the final plat for Madrone Heights Subdivision No. 2 is in conformance with the approved preliminary plat and meets the requirements and conditions of approval thereof. The construction plans for Madrone Heights Subdivision No. 2 have been approved by the regulatory agencies.

Should you have questions or require further information in order to process this application, please feel free to contact me.

Sincerely,  
**KM Engineering, LLP**

A handwritten signature in black ink, appearing to read 'AW', written over the company name.

Amanda Wiemiller  
Development Coordinator

cc: DB Development, LLC

Property that it owns to any city, county, the State of Idaho, the United States of America, or any political subdivision of any of the foregoing. The Board shall also have the power to receive a conveyance of any property interest from the above-referenced entities, or any other individual or entity, and to hold such property interest as Common Area.

5.5.2 Duties. In addition to duties necessary and proper to carry out the power delegated to the Association by this Declaration, and the Articles and Bylaws, without limiting the generality thereof, the Association or its agents, if any, shall have the authority and the obligation to conduct all business affairs of the Association and to perform, without limitation, each of the following duties:

**5.5.2.1 Operation and Maintenance of the Common Area.**

Operate, maintain, and otherwise manage, or provide for the operation, maintenance, and management of, the Common Area. Such properties may include those lands intended for open space uses and which may be referred to as “non-buildable” lots per the Plat. Without limiting the generality of the foregoing, the Association shall perform the following:

5.5.2.1.1 Maintain, repair, or replace all school bus staging areas;

5.5.2.1.2 Maintain the integrity of the vision triangles as required by the Plat Conditions;

5.5.2.1.3 Maintain the development’s Common Area landscaping and open spaces, including temporary irrigation and furnishings located in all public rights-of-way;

5.5.2.1.4 Maintain the Subdivision’s non-publically dedicated park and pathway areas;

5.5.2.1.5 Participate in a Road Improvement District or utility local improvement district as the need for these improvements arise;

5.5.2.1.6 Provide for snow removal along pathways in the Common Areas so they are pedestrian accessible within 24 hours of a snow event;

5.5.2.1.7 If the Subdivision becomes part of a transit route(s), provide residents of the Subdivision with transit street furnishings; and

**5.5.2.1.8 Repair and replacement of property damaged or destroyed by casualty loss.**

**Additionally, the Association may, in its discretion, limit or restrict the access and use of the Common Area to any Owner or Owners, other than Grantor, residing in the Subdivision. The Association shall establish rules and regulations regarding the Owners' use of Common Areas and Improvements located thereon.**

5.5.2.2 Reserve Account. Establish and fund a reserve account with a reputable banking institution or savings and loan association or title insurance company authorized to do business in the State of Idaho, which reserve account shall be dedicated to the costs of repair, replacement, maintenance and improvement of the Common Area.

5.5.2.3 Maintenance of Berms Retaining Walls and Fences. Maintain the berms, retaining walls, fences, and water amenities within and abutting the Common Area and Landscape Easement areas.

5.5.2.4 Taxes and Assessments. Pay all real and personal property taxes and assessments separately levied against the Common Area or against the Subdivision, the Association, and/or any other property owned by the Association. Such taxes and assessments may be contested or compromised by the Association, provided, however, that such taxes and assessments are paid or a bond insuring payment is posted prior to the sale or disposition of any property to satisfy the payment of such taxes and assessments. In addition, the Association shall pay all other federal, state, or local taxes, including income or corporate taxes levied against the Association, in the event that the Association is denied the status of a tax exempt corporation.

5.5.2.5 Water and Other Utilities. Acquire, provide, and/or pay for water, sewer, garbage disposal, refuse and rubbish collection, electrical, telephone, and gas, and other necessary services, for the Common Area, and manage for the benefit of the Subdivision all domestic, irrigation, and amenity water rights and rights to receive water held by the Association, whether such rights are evidenced by license, permit, claim, stock ownership, or otherwise. The Association shall maintain, repair, and operate any sewer lift stations located on the Property and shall comply with all of the terms and conditions of the Stormwater Plan. All responsibility for payment of fees related to the provision of utilities, and other similar fees, including, without limitation, impact fees, sewer treatment connection fees, sewer interceptor fees, water connection fees, pressure irrigation connection fees, and related inspections fees, shall belongs to the Owner of each Building Lot at the

File Number: 5702

January 19, 2022

Ada County Recorder  
Attn: Phil McGrane  
200 West Front Street  
Boise, ID 83702

RE: Madrone Heights Subdivision No. 2

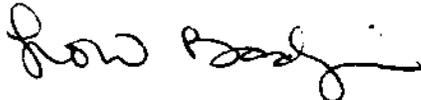
Dear Mr. McGrane:

Central District Health has reviewed and does approve the final plat for this subdivision for central water and central sewer facilities. Final approval was given January 19, 2022.

Sanitary restrictions as required by Idaho Code, Title 50, Chapter 13 have been satisfied based on a review by a Qualified Licensed Professional Engineer (QLPE) representing the City of Kuna and the QLPE approval of the design plans and specifications and the conditions imposed on the developer for continued satisfaction of the sanitary restrictions. Buyer is cautioned that at the time of this approval, no drinking water extensions or sewer extensions were constructed. Building construction can be allowed with appropriate building permits if drinking water extensions or sewer extensions have since been constructed or if the developer is simultaneously constructing those facilities. If the developer fails to construct facilities then sanitary restrictions may be reimposed, in accordance with Section 50-1326, Idaho Code, by the issuance of a certificate of disapproval, and no construction of any building or shelter requiring drinking water or sewer/septic facilities shall be allowed.

If you have any questions, please call 208-327-8517.

Sincerely,



Lori Badigian, R.E.H.S.  
Senior Environmental Health Specialist

cc: DB Development, LLC  
KM Engineering, LLP  
City of Kuna

LB:bk

DAVID REYNOLDS  
CHAIRMAN OF THE BOARD

DONALD BARKSDALE  
VICE CHAIRMAN OF THE BOARD

ROBERT D. CARTER  
PROJECT MANAGER

THOMAS RITTHALER  
ASSISTANT PROJECT MANAGER

APRYL GARDNER  
SECRETARY-TREASURER

MARY SUE CHASE  
ASSISTANT SECRETARY-TREASURER

# BOISE PROJECT BOARD OF CONTROL

(FORMERLY BOISE U.S. RECLAMATION PROJECT)

2465 OVERLAND ROAD  
BOISE, IDAHO 83705-3155

OPERATING AGENCY FOR 167,000  
ACRES FOR THE FOLLOWING  
IRRIGATION DISTRICTS

NAMPA-MERIDIAN DISTRICT  
BOISE-KUNA DISTRICT  
WILDER DISTRICT  
NEW YORK DISTRICT  
BIG BEND DISTRICT

TEL: (208) 344-1141  
FAX: (208) 344-1437

RECEIVED  
JUL 14 2022  
CITY OF KUNA

12 July 2022

City of Kuna  
751 W. 4th St.  
Kuna, Idaho 83634

RE: Amanda Wiemiller, Madrone Heights No. 2      **22-05-FP**  
2030 W Kuna Rd. Kuna 83634  
Boise-Kuna Irrigation District      BK-361  
Leonard Lateral 69+30  
Sec. 22, T2N, R1W, BM.

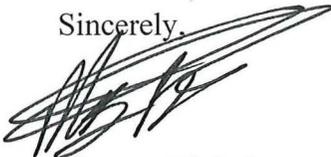
Jessica Reid, Planner:

There are no Boise Project or Boise-Kuna Irrigation District facilities located on the above-mentioned property, however it does in fact possess a valid water right.

Per Idaho Statutes, Title 42, local irrigation/drainage ditches that cross this property, in order to serve neighboring properties, must remain unobstructed and protected by an appropriate easement by the landowner, developer and contractors.

If you have any further questions or comments regarding this matter, please do not hesitate to contact me at (208) 344-1141.

Sincerely,



Thomas Ritthaler  
Assistant Project Manager, BPBC

tbr/tr

cc: Clint McCormick  
Alicia Flavel  
File

Watermaster, Div.; 2 BPBC  
Secretary – Treasurer, BKID



CITY OF KUNA  
P.O. BOX 13  
KUNA, ID 83634  
[www.kunacity.id.gov](http://www.kunacity.id.gov)

Catherine Feistner, E.I.T.  
Assistant Kuna City Engineer

Brady Barroso  
Engineering Technician I

FINAL PLAT MEMORANDUM

**To:** Doug Hanson - Planning and Zoning Director  
**From:** Brady Barroso - Engineering Technician I  
Catherine Feistner - Assistant City Engineer  
**Date:** 25 July 2022  
**RE:** Public Works Comments  
Madrone Heights Subdivision No. 2 – 22-05-FP (Final Plat)

---

The Madrone Heights Subdivision No. 2, 22-05-FP, Final Plat request dated 11 July 2022 has been reviewed. This review is based on land use as allowed or permitted in a “R-6” zone. This application encompasses approximately 10 acres. This application contains a total of 52 single-family residential lots, and 12 common lots.

Public Works staff supports approval of this final plat. The plat may be officially approved after all conditions are met.

Comments may be expanded or refined in connection with the future land-use actions.

**1) Inspection & Fees**

- a) The responsible engineer of record shall provide record drawings upon completion.
- b) The inspection fees for City inspection of the construction of public water, sewer and irrigation facilities associated with this development have been paid.

**2) General**

- a) Madrone Heights Subdivision No. 2, 22-05-FP will increase demand on constructed facilities and on water rights provided by others.
- b) The applicant provided engineering certification on all final engineering drawings/record drawings.
- c) Provide final plat showing all modifications stemming from construction.

**3) Sanitary Sewer Connection**

- a) This project is in agreement with the sewer master plans.
- b) This project has previously reserved capacity in the Ten Mile Lift Station.

**4) Potable Water Connection**

- a) This project is in agreement with the water master plans.

**5) Pressurized Irrigation**

- a) This project is in agreement with the PI master plan.

**6) Grading and Storm Drainage**

- a) Grading and drainage plans have been provided as part of the construction drawings.
- b) Verification that existing and proposed elevations match at property boundaries such that a slope burden is not imposed on adjacent properties will be made within the final inspection process.
- c) The final inspection shall verify that slopes are not steeper than 3:1 on lot interiors and not steeper than 4:1 on the exterior or lots.
- d) Runoff from public right-of-way is regulated by ACHD. Satisfaction of this requirement shall be verified before final project acceptance.

**7) Final Plat**

- a) Comments may result from the final construction review.
  - (1) The final plat appears complete.
  - (2) Upon project completion, the final plat must be compared with the record construction drawings. All lot line adjustments, easements and similar items must be recorded on the final plat such that an accurate and truthful document results.

**8) As-Built Drawings**

- a) As-built (record) drawings are required at the conclusion of any public facility construction project and are the responsibility of the developer's engineer. The city may help track changes but will not be responsible for the finished product.
- b) *Correct and verified as-built (record drawings) drawings will be required before occupancy or final plat approval is granted.*

**9) Exhibits**

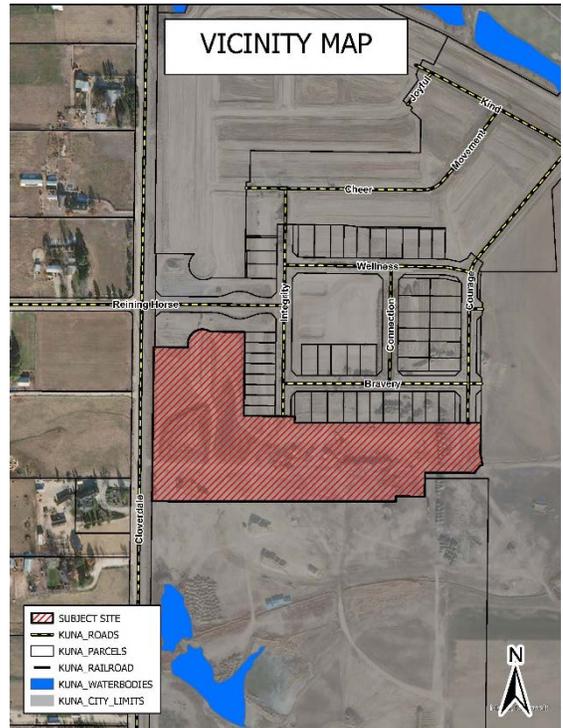
- a) Due to previous approvals for this project, no maps are needed or included to support Public Works comments.

**BEFORE THE CITY COUNCIL  
OF THE CITY OF KUNA**

IN THE MATTER OF THE APPLICATION OF ) **Case No. 22-06-FP (FINAL PLAT)**  
 )  
**M3 Companies, LLC** )  
 ) **STAFF MEMO FOR THE FALCON**  
*For the Falcon Crest Subdivision No. 4* ) **CREST SUBDIVISION NO. 4 FINAL**  
*Final Plat.* ) **PLAT APPLICATION.**

**TABLE OF CONTENTS**

1. Exhibit List
2. General Project Facts
3. Staff Analysis
4. Applicable Standards
5. Conditions of Approval



**I  
EXHIBIT LIST**

The exhibits of the above-referenced matter consist of the following, to-wit:

**1.1 Exhibits:**

<i>DESCRIPTION OF EVIDENCE</i>		Withdrawn	Refused	Admitted
<b>1.1</b>	Staff Memo			X
<b>2.1</b>	Planning & Zoning Application Coversheet			X
<b>2.2</b>	Final Plat Application			X
<b>2.3</b>	Final Plat			X

<b>2.4</b>	Original Findings – Approved 02.05.2019			X
<b>2.5</b>	Statement of Conformance			X
<b>2.6</b>	Landscape Plan			X
<b>2.7</b>	Common Area Maintenance Agreement			X
<b>2.8</b>	Public Works Memo			X

## II GENERAL PROJECT FACTS

- 2.1** JUB Engineers requests Final Plat approval for Falcon Crest Subdivision No. 4. The project is approximately 10.73 acres with an R-6 (Medium Density Residential) zone, and will consist of 71 total lots (62 buildable, 8 common, 1 private road). The subject site is just southeast of the Reining Horse & S Cloverdale Road intersection (APN: S1422325800); Section 22, Township 2 North, Range 1 East.

## III STAFF ANALYSIS

- 3.1** In accordance with Kuna City Code Title 6, Subdivision Regulations, the application seeks Final Plat approval for Falcon Crest Subdivision No. 4.

Based on comments provided in the Public Works Memo (Exhibit 2.8), Public Works can support approval of the Final Plat and the project is in agreement with Water, Sewer and Pressurized Irrigation Master Plans.

Staff has determined the proposed Final Plat for Falcon Crest Subdivision No. 4, appears to be in substantial conformance with the previously approved Preliminary Plat (February 5, 2019).

## IV APPLICABLE STANDARDS

- 4.1** Kuna City Code Title 6, Subdivision Regulations  
**4.2** Kuna Comprehensive Plan and Future Land Use Map  
**4.3** Idaho Code Title 50, Chapter 13, Plats

## V CONDITIONS OF APPROVAL

- 5.1** Developer/Owner/Applicant/Contractors shall abide by the City of Kuna's quiet hours. No construction of any kind shall occur after 11:00 PM one day and 7:00 AM the next day per Kuna City Code 10-6-3; this includes the warming up of and/or operation of equipment. Dust shall be abated and a water truck shall be on site at all times. Noises and other nuisances and/or distractions outside of this timeframe are subject to lawful penalties.
- 5.2** Developer/Owner/Applicant is hereby notified of Kuna's weed control policies and requirements (Kuna City Code 8-1-3). Weeds, grasses, vines or other growth which endanger property or are over twelve (12) inches in height shall be continuously cut down, weeded out, sprayed, burned, removed or destroyed throughout all seasons.

- 5.3** If applicable, Water Rights associated with property shall be transferred to the City of Kuna at time of connection (development) by deed and “Change of Ownership” form from IDWR (Idaho Department of Water Resources).
- 5.4** All required landscaping shall be permanently maintained in healthy growing condition. The property Owner shall remove and replace unhealthy or dead plant material within three (3) days or as the planting season permits, as required to meet the standards of these requirements. Maintenance and planting within public rights-of-way shall be approved from the public entities owning the property.
- 5.5** Applicant shall correct any technical items and make any requested changes to bring the Final Plat into conformance, as recommended by Kuna Public Works Staff.
- 5.6** Verification that existing and proposed elevations match at property boundaries such that a slope burden is not imposed on adjacent properties shall be made within the final inspection process. Final inspection shall verify that slopes are not steeper than 3:1 on lot interiors and not steeper than 4:1 on the exterior or lots.
- 5.7** Runoff from public right-of-way is regulated by the Ada County Highway District; satisfaction of this requirement shall be verified before final project acceptance.
- 5.8** Upon project completion, the Final Plat shall be compared with the record construction drawings; all lot line adjustments, easements and/or similar items must be recorded on the Final Plat such that an accurate and truthful document results.
- 5.9** Upon City Council’s approval, no revisions shall be made to the Final Plat. If revisions are desired, the Applicant shall bring a copy of the changes to Planning and Zoning staff to determine if a new approval is required via the Public Hearing process.
- 5.10** Applicant shall secure all signatures on the Final Plat Memorandum prior to requesting the City Engineer’s signature on the Final Plat Mylar.
- 5.11** Correct and verified as-built (record drawings) drawings shall be required before occupancy or Final Plat approval by City Engineer is granted.

**DATED** this 2<sup>nd</sup> day of August, 2022.



# Planning & Zoning Application Coversheet

PO Box 13 | 751 W 4<sup>th</sup> Street | Kuna, ID 83634  
(208) 922-5274 | [www.KunaCity.ID.gov](http://www.KunaCity.ID.gov)



**\*\*Office Use Only\*\***

**File No.(s):** 22-06-FP

**Project Name:** Falcon Crest No. 4

**Date Received:** 05.16.2022

**Date Accepted as Complete:** 07.11.2022

Type of review requested (check all that apply):

<input type="checkbox"/>	Annexation	<input type="checkbox"/>	Appeal
<input type="checkbox"/>	Comp. Plan Map Amendment	<input type="checkbox"/>	Combination Pre & Final Plat
<input type="checkbox"/>	Design Review	<input type="checkbox"/>	Development Agreement
<input type="checkbox"/>	Final Planned Unit Development	<input type="checkbox"/>	Final Plat
<input type="checkbox"/>	Lot Line Adjustment	<input type="checkbox"/>	Lot Split
<input type="checkbox"/>	Ordinance Amendment	<input type="checkbox"/>	Planned Unit Development
<input type="checkbox"/>	Preliminary Plat	<input type="checkbox"/>	Rezone
<input type="checkbox"/>	Special Use Permit	<input type="checkbox"/>	Temporary Business
<input type="checkbox"/>	Vacation	<input type="checkbox"/>	Variance

**Owner of Record**

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**Applicant (Developer) Information**

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**Engineer/Representative Information**

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**Subject Property Information**

Site Address: \_\_\_\_\_

Nearest Major Cross Streets: \_\_\_\_\_

10.73 per GIS

Parcel No.(s): \_\_\_\_\_

Section, Township, Range: \_\_\_\_\_

Property Size: \_\_\_\_\_

Current Land Use: \_\_\_\_\_ Proposed Land Use: \_\_\_\_\_

Current Zoning: \_\_\_\_\_ Proposed Zoning: \_\_\_\_\_

**Project Description**

Project Name: \_\_\_\_\_

General Description of Project: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Type of proposed use (check all that apply and provide specific density/zoning):

Residential: R-2 R-4 R-6 R-8 R-12 R-20  Commercial: C-1 C-2 C-3  CBD

Office  Industrial: M-1 M-2  Other: \_\_\_\_\_

Type(s) of amenities provided with development: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**Residential Project Summary (If Applicable)**

Are there existing buildings? YES  NO

If YES, please describe: \_\_\_\_\_

\_\_\_\_\_

Will any existing buildings remain? YES  NO

1 Private Road Lot

No. of Residential Units: \_\_\_\_\_ No. of Building Lots: \_\_\_\_\_

No. of Common Lots: \_\_\_\_\_ No. of Other Lots: \_\_\_\_\_

8 Common Lots

Type of dwelling(s) proposed (check all that apply):

Single-Family  Townhomes  Duplexes  Multi-Family

Other: \_\_\_\_\_

Minimum square footage of structure(s): \_\_\_\_\_

Gross Density (Dwelling Units ÷ Total Acreage): \_\_\_\_\_

Net Density (Dwelling Units ÷ Total Acreage not including Roads): 5.86

Percentage of Open Space provided: 12.64% Acreage of Open Space: 1.61 AC

Type of Open Space provided (i.e. public, common, landscaping): \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

**Non-Residential Project Summary (If Applicable)**

Number of building lots: \_\_\_\_\_ Other lots: \_\_\_\_\_

Gross floor area square footage: \_\_\_\_\_ Existing (if applicable): \_\_\_\_\_

Building height: \_\_\_\_\_ Hours of Operation: \_\_\_\_\_

Total No. of Employees: \_\_\_\_\_ Max No. of Employees at one time: \_\_\_\_\_

No. of and ages of students: \_\_\_\_\_ Seating capacity: \_\_\_\_\_

**Proposed Parking**

ADA accessible spaces: \_\_\_\_\_ Dimensions: \_\_\_\_\_

Regular parking spaces: \_\_\_\_\_ Dimensions: \_\_\_\_\_

Width of driveway aisle: \_\_\_\_\_

Proposed lighting: \_\_\_\_\_

Is lighting "Dark Sky" compliant? YES NO

Proposed landscaping (i.e. berms, buffers, entrances, parking areas, etc.):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Applicant Signature: \_\_\_\_\_ Date: \_\_\_\_\_

*By signing, you are confirming you have provided all required items listed on this application.*

**Upon completion of this form, please email to [pzapplications@kunaid.gov](mailto:pzapplications@kunaid.gov). A link will be provided for application attachments to be uploaded to the cloud.**



# Final Plat Application

PO Box 13 | 751 W 4<sup>th</sup> Street | Kuna, ID 83634  
(208) 922-5274 | [www.KunaCity.ID.gov](http://www.KunaCity.ID.gov)



**A Final Plat application does NOT require a Public Hearing. It will be placed on the City Council agenda as a regular agenda item.**

<b>**Office Use Only**</b>	
Case No(s):	<u>22-06-FP</u>
Project Name:	<u>Falcon Crest No. 4</u>
Date Received:	<u>05.16.2022</u>
Date Accepted as Complete:	<u>07.11.2022</u>

***Application shall contain one (1) copy of the following:***

- Complete Planning & Zoning Application Coversheet.
- All pages of the proposed Final Plat.
- Landscape, Lighting & Sidewalk Plans from the Construction Plan set.
- Approved & signed Findings of Fact and Conclusions of Law for Preliminary Plat.
- Such other information as deemed necessary to establish whether or not all proper parties have signed and/or approved Final Plat.
- Statement of Conformance with the following: Preliminary Plat meets all requirements or conditions; and Preliminary Plat meets acceptable engineering practices and local standards.
- Any proposed restrictive covenants and/or deed restrictions, and Homeowners Association documents.

***The Final Plat shall include and be in compliance with all items required Under Idaho Code §50-13.***

*This application shall not be considered complete (nor will it be added to a City Council agenda) until Staff has received all required information. Once the application is deemed complete, Staff will notify the Applicant of the scheduled date, fees due, and any additional items via a Letter of Completeness.*

**Information to Note:**

The date of application acceptance shall be the date the applicant submits the final required information to the Planning & Zoning Department, including the application fee (KCC 5-1A-2C).

Complete applications shall be reviewed within sixty (60) days of date of acceptance (KCC 5-1A-5A).

Applicant Signature:  Date: 05/10/2022

*By signing, you are confirming you have provided all required items listed on this application.*

# PLAT OF FALCON CREST SUBDIVISION NO. 4

SITUATE IN THE SOUTHWEST QUARTER OF SECTION 22,  
TOWNSHIP 2 NORTH, RANGE 1 EAST, BOISE MERIDIAN  
CITY OF KUNA, COUNTY OF ADA, STATE OF IDAHO  
2022

PLAT BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

## LEGEND

- SUBDIVISION BOUNDARY LINE
- LOT LINE
- RIGHT-OF-WAY LINE
- SECTION LINE
- CENTER LINE
- ADJACENT PROPERTY LINE
- TIE LINE
- UTILITY EASEMENT LINE
- PRESSURE IRRIGATION EASEMENT LINE

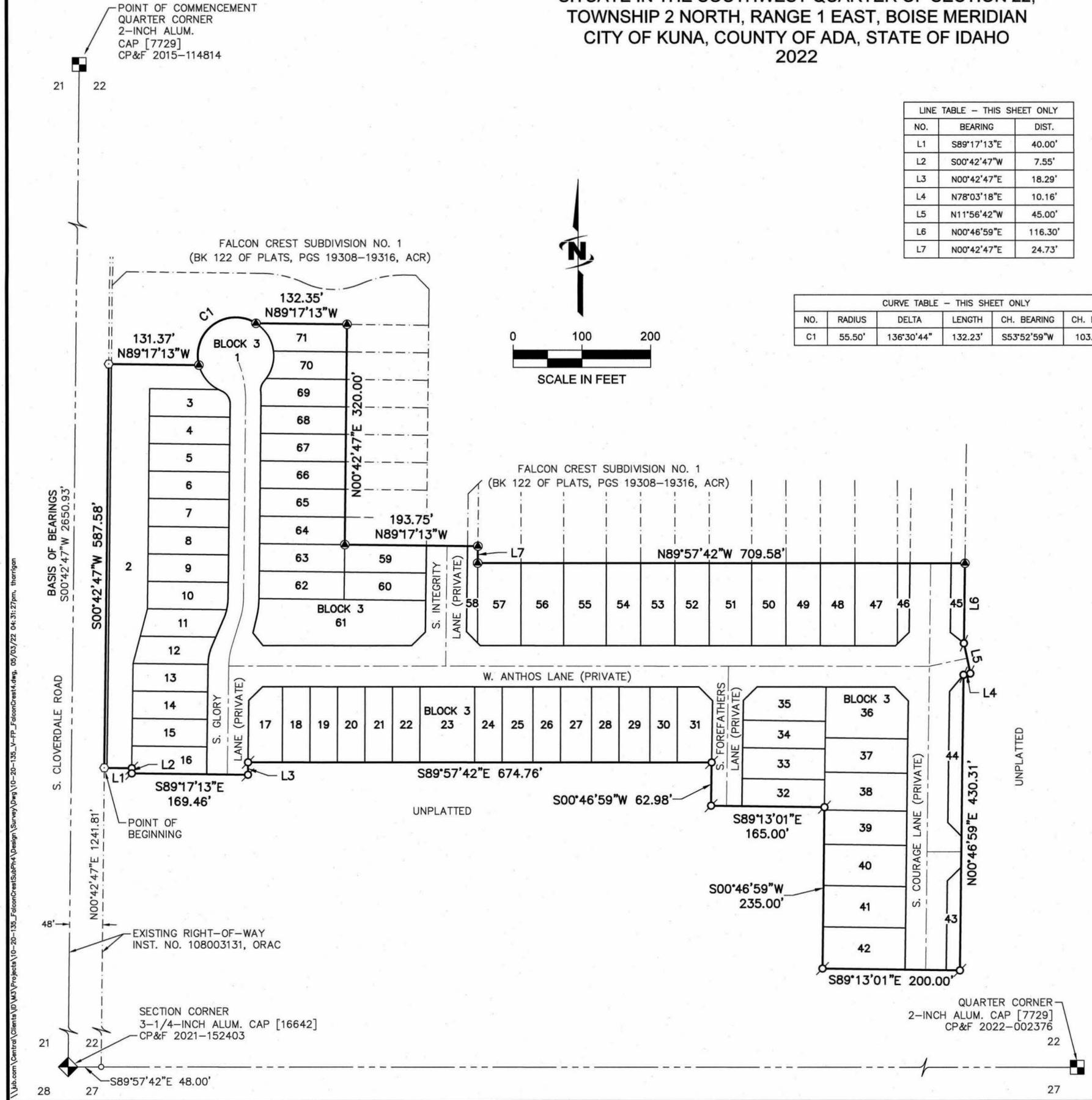
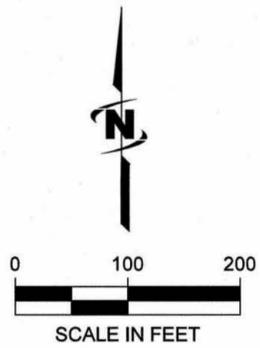
- ◆ SECTION CORNER
- QUARTER SECTION CORNER
- ☆ SET 1/2-INCH x 24-INCH REBAR WITH PLASTIC CAP MARKED "JUB PLS 17665"
- ⊗ SET 5/8-INCH x 24-INCH REBAR WITH PLASTIC CAP MARKED "JUB PLS 17665"
- ⊙ SET 1-3/16-INCH BRASS PLUG IN CONCRETE MARKED "JUB PLS 17665"
- FOUND 5/8-INCH REBAR WITH PLASTIC CAP MARKED "JUB PLS 17665" OR AS NOTED
- FOUND 1/2-INCH REBAR WITH PLASTIC CAP MARKED "JUB PLS 16642"
- FOUND 5/8-INCH REBAR WITH PLASTIC CAP MARKED "JUB PLS 16642"
- DIMENSION POINT - NOT SET OR FOUND
- C# CURVE COURSE NUMBER (TYPICAL)
- L# LINE COURSE NUMBER (TYPICAL)
- # LOT NUMBER (TYPICAL)
- [####] PLS NUMBER FOUND ON MONUMENT
- ACR - ADA COUNTY RECORDS
- ORAC - OFFICIAL RECORDS OF ADA COUNTY

LINE TABLE - THIS SHEET ONLY

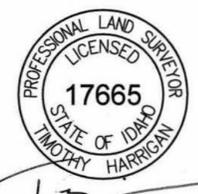
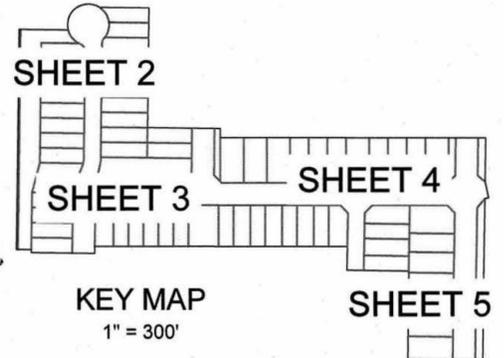
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L2	S00°42'47"W	7.55'
L3	N00°42'47"E	18.29'
L4	N78°03'18"E	10.16'
L5	N11°56'42"W	45.00'
L6	N00°46'59"E	116.30'
L7	N00°42'47"E	24.73'

CURVE TABLE - THIS SHEET ONLY

NO.	RADIUS	DELTA	LENGTH	CH. BEARING	CH. DIST.
C1	55.50'	136°30'44"	132.23'	S53°52'59"W	103.10'



SEE SHEET 6 FOR NOTES,  
EASEMENT NOTES, REFERENCES,  
AND SURVEYOR'S NARRATIVE

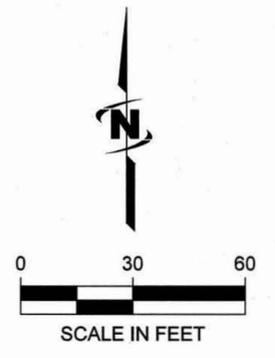
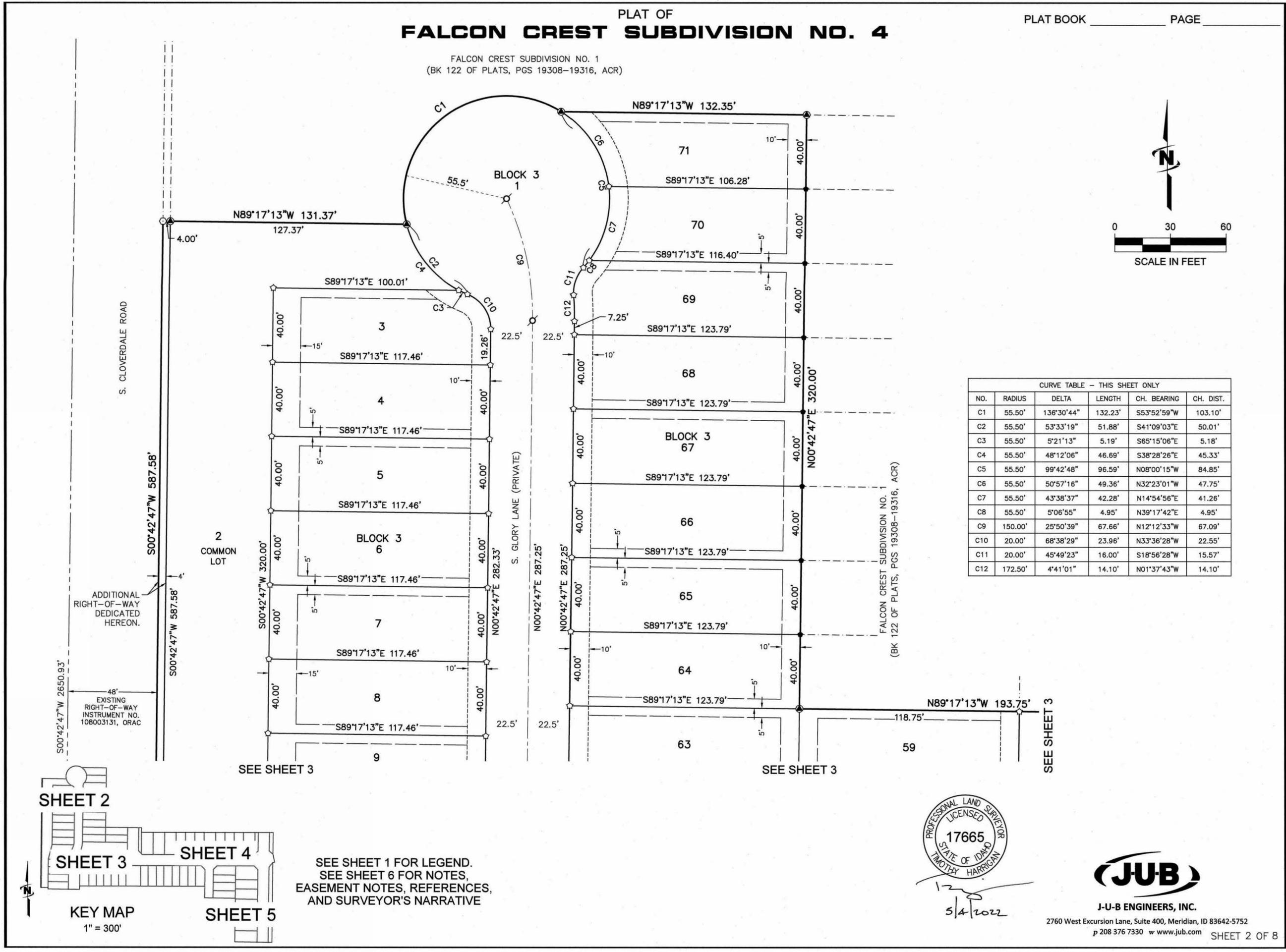


\\jub.com\Central\Clients\Projects\10-20-135\_FalconCrest\SubP\A Design\Survey\Draw\10-20-135\_M-FP-FalconCrest.dwg, 05/03/22, 04:31:27pm, tharrigan

# PLAT OF FALCON CREST SUBDIVISION NO. 4

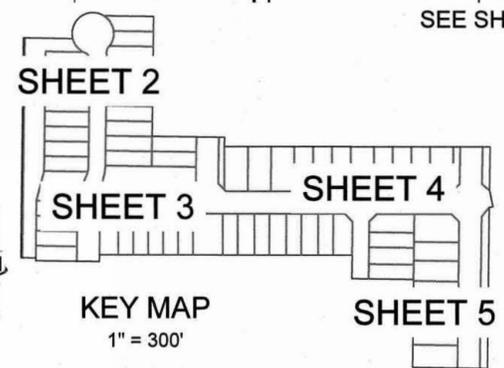
PLAT BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

FALCON CREST SUBDIVISION NO. 1  
(BK 122 OF PLATS, PGS 19308-19316, ACR)



CURVE TABLE - THIS SHEET ONLY

NO.	RADIUS	DELTA	LENGTH	CH. BEARING	CH. DIST.
C1	55.50'	136°30'44"	132.23'	S53°52'59"W	103.10'
C2	55.50'	53°33'19"	51.88'	S41°09'03"E	50.01'
C3	55.50'	5°21'13"	5.19'	S65°15'06"E	5.18'
C4	55.50'	48°12'06"	46.69'	S38°28'26"E	45.33'
C5	55.50'	99°42'48"	96.59'	N08°00'15"W	84.85'
C6	55.50'	50°57'16"	49.36'	N32°23'01"W	47.75'
C7	55.50'	43°38'37"	42.28'	N14°54'56"E	41.26'
C8	55.50'	5°06'55"	4.95'	N39°17'42"E	4.95'
C9	150.00'	25°50'39"	67.66'	N12°12'33"W	67.09'
C10	20.00'	68°38'29"	23.96'	N33°36'28"W	22.55'
C11	20.00'	45°49'23"	16.00'	S18°56'28"W	15.57'
C12	172.50'	4°41'01"	14.10'	N01°37'43"W	14.10'



SEE SHEET 1 FOR LEGEND.  
SEE SHEET 6 FOR NOTES,  
EASEMENT NOTES, REFERENCES,  
AND SURVEYOR'S NARRATIVE



5/4/2022



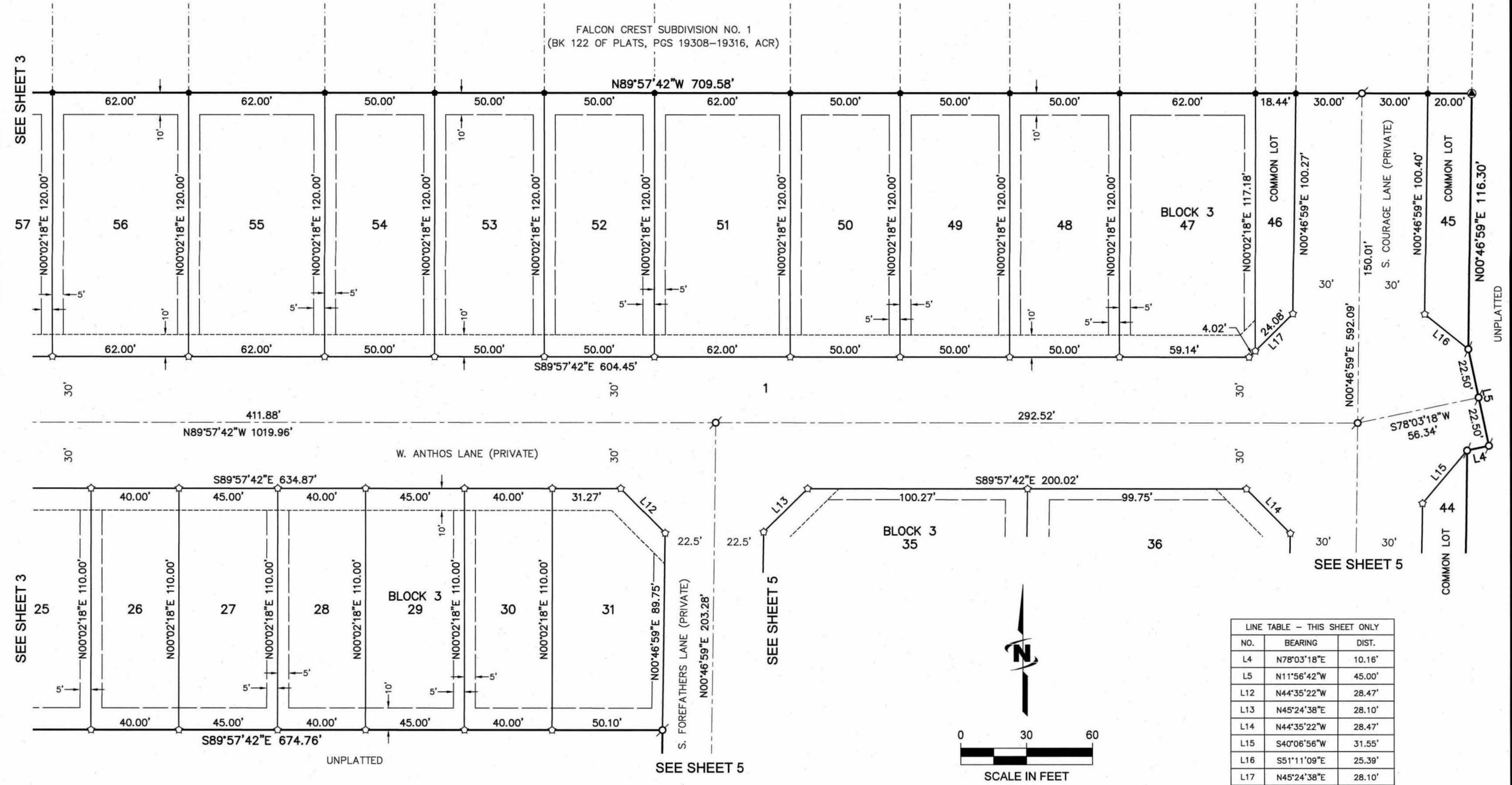
J-U-B ENGINEERS, INC.  
2760 West Excursion Lane, Suite 400, Meridian, ID 83642-5752  
p 208 376 7330 w www.jub.com SHEET 2 OF 8



# PLAT OF FALCON CREST SUBDIVISION NO. 4

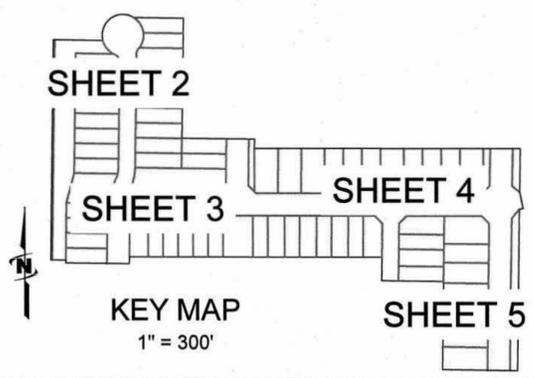
PLAT BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

FALCON CREST SUBDIVISION NO. 1  
(BK 122 OF PLATS, PGS 19308-19316, ACR)

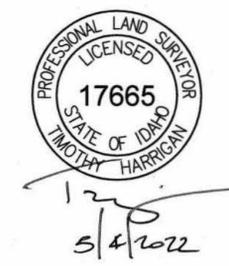


LINE TABLE - THIS SHEET ONLY

NO.	BEARING	DIST.
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L5	N11°56'42"W	45.00'
L12	N44°35'22"W	28.47'
L13	N45°24'38"E	28.10'
L14	N44°35'22"W	28.47'
L15	S40°06'56"W	31.55'
L16	S51°11'09"E	25.39'
L17	N45°24'38"E	28.10'



SEE SHEET 1 FOR LEGEND.  
SEE SHEET 6 FOR NOTES,  
EASEMENT NOTES, REFERENCES,  
AND SURVEYOR'S NARRATIVE





PLAT OF  
**FALCON CREST SUBDIVISION NO. 4**

PLAT BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

**NOTES**

1. LOT 1 OF BLOCK 3 IS DESIGNATED AS A PRIVATE ROAD. LOTS 2, 23, 43, 44, 45, 46, 58, AND 61 OF BLOCK 3 ARE HEREBY DESIGNATED AS COMMON LOTS. ALL OF THE ABOVE-REFERENCED LOTS SHALL BE OWNED AND MAINTAINED BY THE FALCON CREST SUBDIVISION HOMEOWNERS' ASSOCIATION, INC. THE OWNERSHIP AND MAINTENANCE COMMITMENT MAY NOT BE DISSOLVED WITHOUT THE EXPRESS CONSENT OF THE CITY OF KUNA.
2. ANY RE-SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE APPLICABLE ZONING AND SUBDIVISION REGULATIONS IN EFFECT AT THE TIME OF RE-SUBDIVISION.
3. MINIMUM BUILDING SETBACK LINES SHALL BE IN ACCORDANCE WITH THE CITY OF KUNA'S ZONING ORDINANCE AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT OR AS SPECIFICALLY APPROVED AND/OR REQUIRED.
4. LOTS SHALL NOT BE REDUCED IN SIZE WITHOUT PRIOR APPROVAL FROM THE HEALTH AUTHORITY.
5. NO ADDITIONAL DOMESTIC WATER SUPPLIES SHALL BE INSTALLED BEYOND THE WATER SYSTEM APPROVED IN THE SANITARY RESTRICTION RELEASE.
6. REFERENCE IS MADE TO THE PUBLIC HEALTH LETTER ON FILE WITH ADA COUNTY RECORDER REGARDING ADDITIONAL RESTRICTIONS.
7. THIS DEVELOPMENT RECOGNIZES SECTION 22-4503 OF IDAHO CODE, RIGHT TO FARM ACT, WHICH STATES, "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION, FACILITY OR EXPANSION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHEN A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF AN AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF."
8. MAINTENANCE OF ANY IRRIGATION PIPE, DRAINAGE PIPE, OR DITCH CROSSING A LOT IS THE RESPONSIBILITY OF THE LOT OWNER UNLESS SUCH RESPONSIBILITY IS ASSUMED BY AN IRRIGATION OR DRAINAGE ENTITY OR DISTRICT.
9. THE FALCON CREST SUBDIVISION HOMEOWNERS' ASSOCIATION, INC. (FCSHOA), ITS OWNERSHIP AND MAINTENANCE COMMITMENTS CANNOT BE DISSOLVED WITHOUT THE EXPRESS WRITTEN CONSENT OF THE CITY OF KUNA, IDAHO. ALL IMPROVED INDIVIDUAL LOTS ARE SUBJECT TO THE FRACTIONAL SHARE OF THE IRRIGATION ASSESSMENT FOR EACH FCSHOA COMMON LOT THAT RECEIVES PRIVATE IRRIGATION. IF THE ASSESSMENT IS NOT PAID BY THE FCSHOA, THE INDIVIDUAL IMPROVED LOTS ARE SUBJECT TO A LIEN FOR NON-PAYMENT.
10. THIS DEVELOPMENT IS SUBJECT TO DEVELOPMENT AGREEMENT INSTRUMENT NO. 2019-111089, ORAC AND INCLUDES ANNEXATION INTO THE CITY OF KUNA.
11. THIS DEVELOPMENT IS SUBJECT TO THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS, FOR FALCON CREST SUBDIVISION NO. 3, TO BE RECORDED CONCURRENTLY WITH THIS PLAT, AND ANY EXISTING OR FUTURE AMENDMENTS, RESTATEMENTS OR SUPPLEMENTS TO SAID DECLARATION.
12. THIS SUBDIVISION IS LOCATED WITHIN ZONE X AS SHOWN ON THE FIRM PANEL 425 OF 875, ADA COUNTY, IDAHO AND INCORPORATED AREAS. A BUILDING PERMIT SHALL NOT BE ISSUED FOR ANY LOT THAT IS LOCATED WITHIN THE MAPPED FLOODPLAIN UNTIL A FLOOD PLAIN DEVELOPMENT PERMIT IS OBTAINED FOR THE INDIVIDUAL LOT. EACH LOT WITHIN THE MAPPED FLOODPLAIN SHALL REQUIRE AN INDIVIDUAL FLOOD PLAIN DEVELOPMENT PERMIT.
13. THIS SUBDIVISION DOES NOT LIE WITHIN AN IRRIGATION DISTRICT AS DEFINED IN IDAHO CODE 31-3805 AND THE REQUIREMENTS OF SAID CODE DO NOT APPLY TO THIS SUBDIVISION. IRRIGATION WATER SHALL BE PROVIDED BY THE FALCON CREST SUBDIVISION HOMEOWNERS' ASSOCIATION, INC.
14. ANY AND ALL STREET LIGHTS THAT DO NOT CONFORM TO THE CITY OF KUNA STANDARD STREET LIGHT DETAIL SHALL BE OWNED AND MAINTAINED IN PERPETUITY BY THE FALCON CREST SUBDIVISION HOMEOWNERS' ASSOCIATION, INC. THE ORNAMENTAL/NON-STANDARD LIGHTING, MAINTENANCE, AND POWER ARE THE RESPONSIBILITY OF THE FALCON CREST SUBDIVISION HOMEOWNERS' ASSOCIATION, INC.

**REFERENCE DOCUMENTS**

SUBDIVISIONS: CLOVERDALE RIDGE ESTATES, FALCON CREST SUBDIVISION NO. 1  
SURVEYS: ROS NO. 10338  
DEEDS: 2020-139228  
EASEMENTS: N/A

**EASEMENT NOTES**

1. LOTS 1, 2, 23, 43, 44, 45, 46, 58, AND 61 OF BLOCK 3 ARE HEREBY DESIGNATED AS BEING SUBJECT TO A BLANKET UTILITY EASEMENT OVER SAID LOTS.
2. LOT 1 OF BLOCK 3 IS HEREBY DESIGNATED AS BEING SUBJECT TO A BLANKET PRIVATE ROAD EASEMENT AS NOTED IN EASEMENT NOTE 6 BELOW.
3. ALL UTILITY EASEMENTS SHOWN OR DESIGNATED HEREON ARE NON-EXCLUSIVE, PERPETUAL, SHALL RUN WITH THE LAND, ARE APPURTENANT TO THE LOTS SHOWN HEREON, AND ARE HEREBY RESERVED FOR THE INSTALLATION, MAINTENANCE, OPERATION, AND USE OF PUBLIC AND PRIVATE UTILITIES, PRESSURIZED & GRAVITY IRRIGATION, IRRIGATION WASTE DITCHES, SEWER SERVICE, CABLE TELEVISION/DATA; APPURTENANCES THERETO; AND LOT DRAINAGE.
4. ALL IRRIGATION EASEMENTS SHOWN OR DESIGNATED HEREON ARE NON-EXCLUSIVE, PERPETUAL, SHALL RUN WITH THE LAND, AND ARE HEREBY RESERVED FOR THE INSTALLATION, MAINTENANCE, OPERATION, AND USE OF THE FALCON CREST SUBDIVISION HOMEOWNERS' ASSOCIATION, INC. IRRIGATION LINES, AND APPURTENANCES THERETO.
5. ALL SIDEWALK EASEMENTS SHOWN OR DESIGNATED HEREON ARE NON-EXCLUSIVE, PERPETUAL, SHALL RUN WITH THE LAND, ARE APPURTENANT TO THE LOTS PLATTED HEREON, AND ARE HEREBY RESERVED FOR INGRESS, EGRESS, AND THE INSTALLATION, MAINTENANCE, OPERATION, AND USE OF SIDEWALKS, AND APPURTENANCES THERETO.
6. THE PRIVATE ROAD EASEMENT SHOWN AND DESIGNATED HEREON IS NON-EXCLUSIVE, PERPETUAL, SHALL RUN WITH THE LAND, IS APPURTENANT TO THE LOTS PLATTED HEREON, AND IS HEREBY RESERVED FOR INGRESS, EGRESS, INGRESS AND EGRESS OF EMERGENCY VEHICLES, AND THE INSTALLATION, MAINTENANCE, OPERATION, AND USE OF ROADWAYS, SIDEWALKS, DRIVEWAYS, LANDSCAPING, AND APPURTENANCES THERETO.
7. NO UTILITY EASEMENT OR CITY OF KUNA EASEMENT SHOWN OR DESIGNATED HEREON SHALL PRECLUDE THE CONSTRUCTION AND MAINTENANCE OF HARD-SURFACED DRIVEWAYS, LANDSCAPING, PARKING, SIDE AND REAR PROPERTY LINE FENCES, OR OTHER SUCH NON-PERMANENT IMPROVEMENTS.
8. ALL EASEMENTS ARE PARALLEL WITH THE LINES, AND CONCENTRIC WITH THE CURVES THAT THEY ARE DIMENSIONED FROM UNLESS OTHERWISE NOTED.

**SURVEYOR'S NARRATIVE**

1. THE PURPOSE OF THIS SURVEY IS TO SUBDIVIDE THE LAND SHOWN HEREON IN ACCORDANCE WITH IDAHO CODE RELATING TO PLATS AND SURVEYS.
2. THE BOUNDARY LINES SHOWN HERE WERE ESTABLISHED BY HOLDING THE MONUMENTS FOUND REPRESENTING THE GOVERNMENT CORNERS ALONG ALIQUOT SECTION LINES, AND BY HOLDING THE MONUMENTS FOUND REPRESENTING THE CORNERS OF FALCON CREST SUBDIVISION NO. 1 (BK 122 OF PLATS, PGS 19308-19316, ACR).



*Timothy Harrigan*  
5/4/2022



**J-U-B ENGINEERS, INC.**

2760 West Excursion Lane, Suite 400, Meridian, ID 83642-5752  
p 208 376 7330 w www.jub.com

PLAT OF  
**FALCON CREST SUBDIVISION NO. 4**

PLAT BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

**CERTIFICATE OF OWNERS**

KNOW ALL MEN BY THESE PRESENTS: THAT M3 ID FALCON CREST, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, DOES HEREBY CERTIFY THAT IT IS THE OWNER OF THAT REAL PROPERTY TO BE KNOWN AS FALCON CREST SUBDIVISION NO. 4, AND THAT IT INTENDS TO INCLUDE SAID REAL PROPERTY, AS DESCRIBED BELOW, IN THIS PLAT:

A TRACT OF LAND SITUATE IN THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 2 NORTH, RANGE 1 EAST, BOISE MERIDIAN, CITY OF KUNA, COUNTY OF ADA, STATE OF IDAHO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 22; THENCE FROM SAID POINT OF COMMENCEMENT, SOUTH 00°42'47" WEST, COINCIDENT WITH THE WEST LINE OF SAID SECTION 22, A DISTANCE OF 2,650.93 FEET TO THE SOUTHWEST CORNER OF SAID SECTION 22; THENCE LEAVING SAID WEST LINE, THE FOLLOWING TWO (2) CONSECUTIVE COURSES AND DISTANCES:

1. SOUTH 89°57'42" EAST, COINCIDENT WITH THE SOUTH LINE OF SAID SECTION 22, A DISTANCE OF 48.00 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF S. CLOVERDALE ROAD AS DESCRIBED IN THE WARRANTY DEED RECORDED AS INSTRUMENT NO. 108003131, OFFICIAL RECORDS OF ADA COUNTY, AND
2. LEAVING SAID SOUTH LINE, NORTH 00°42'47" EAST, COINCIDENT WITH SAID RIGHT-OF-WAY LINE, A DISTANCE OF 1,241.81 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION;

THENCE FROM SAID POINT OF BEGINNING, LEAVING SAID RIGHT-OF-WAY LINE, THE FOLLOWING THIRTEEN (13) CONSECUTIVE COURSES AND DISTANCES:

1. SOUTH 89°17'13" EAST, A DISTANCE OF 40.00 FEET,
2. SOUTH 00°42'47" WEST, A DISTANCE OF 7.55 FEET,
3. SOUTH 89°17'13" EAST, A DISTANCE OF 169.46 FEET,
4. NORTH 00°42'47" EAST, A DISTANCE OF 18.29 FEET,
5. SOUTH 89°57'42" EAST, A DISTANCE OF 674.76 FEET,
6. SOUTH 00°46'59" WEST, A DISTANCE OF 62.98 FEET,
7. SOUTH 89°13'01" EAST, A DISTANCE OF 165.00 FEET,
8. SOUTH 00°46'59" WEST, A DISTANCE OF 235.00 FEET,
9. SOUTH 89°13'01" EAST, A DISTANCE OF 200.00 FEET,
10. NORTH 00°46'59" EAST, A DISTANCE OF 430.31 FEET,
11. NORTH 78°03'18" EAST, A DISTANCE OF 10.16 FEET,
12. NORTH 11°56'42" WEST, A DISTANCE OF 45.00 FEET, AND
13. NORTH 00°46'59" EAST, A DISTANCE OF 116.30 FEET TO A 5/8-INCH REBAR WITH A PLASTIC CAP STAMPED "PLS 16642" MARKING THE SOUTHEASTERLY CORNER OF THE PLAT OF FALCON CREST SUBDIVISION NO. 1 RECORDED IN BOOK 122 OF PLATS, AT PAGES 19308-19316, ADA COUNTY RECORDS, SAID PLAT BEING HEREINAFTER REFERRED TO AS FALCON CREST 1;

THENCE COINCIDENT WITH THE SOUTHERLY BOUNDARY LINES OF SAID FALCON CREST 1, THE FOLLOWING SEVEN (7) CONSECUTIVE COURSES AND DISTANCES:

1. NORTH 89°57'42" WEST, A DISTANCE OF 709.58 FEET TO A 5/8-INCH REBAR WITH A PLASTIC CAP STAMPED "PLS 16642" MARKING AN ANGLE POINT IN SAID SOUTHERLY BOUNDARY LINE,
2. NORTH 00°42'47" EAST, A DISTANCE OF 24.73 FEET TO A 5/8-INCH REBAR WITH A PLASTIC CAP STAMPED "PLS 16642" MARKING AN ANGLE POINT IN SAID SOUTHERLY BOUNDARY LINE,
3. NORTH 89°17'13" WEST, A DISTANCE OF 193.75 FEET TO A 5/8-INCH REBAR WITH A PLASTIC CAP STAMPED "PLS 16642" MARKING AN ANGLE POINT IN SAID SOUTHERLY BOUNDARY LINE,
4. NORTH 00°42'47" EAST, A DISTANCE OF 320.00 FEET TO A 5/8-INCH REBAR WITH A PLASTIC CAP STAMPED "PLS 16642" MARKING AN ANGLE POINT IN SAID SOUTHERLY BOUNDARY LINE,
5. NORTH 89°17'13" WEST, A DISTANCE OF 132.35 FEET TO A 5/8-INCH REBAR WITH A PLASTIC CAP STAMPED "PLS 16642" MARKING THE BEGINNING OF A CURVE IN SAID SOUTHERLY BOUNDARY LINE,
6. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 55.50 FEET, THROUGH A CENTRAL ANGLE OF 136°30'44", AN ARC LENGTH OF 132.23 FEET, AND A CHORD BEARING SOUTH 53°52'59" WEST, A DISTANCE OF 103.10 FEET TO A 5/8-INCH REBAR WITH A PLASTIC CAP STAMPED "PLS 16642" MARKING THE END OF CURVE IN SAID SOUTHERLY BOUNDARY LINE, AND
7. NORTH 89°17'13" WEST, A DISTANCE OF 131.37 FEET TO A POINT ON THE AFORESAID EASTERLY RIGHT-OF-WAY LINE;

THENCE LEAVING THE SOUTHERLY BOUNDARY LINE OF SAID FALCON CREST 1, SOUTH 00°42'47" WEST, COINCIDENT WITH SAID RIGHT-OF-WAY LINE, A DISTANCE OF 587.58 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 12.73 ACRES OF LAND, MORE OR LESS.

END OF DESCRIPTION.

**CERTIFICATE OF OWNERS  
(CONTINUED)**

THE PUBLIC STREETS SHOWN ON THIS PLAT ARE HEREBY DEDICATED TO THE PUBLIC. THE PRIVATE ROADS SHOWN ON THIS PLAT ARE NOT DEDICATED TO THE PUBLIC. THE EASEMENTS SHOWN ON THIS PLAT ARE NOT DEDICATED TO THE PUBLIC, HOWEVER THE RIGHT TO USE SAID EASEMENTS IS HEREBY RESERVED FOR THE USES SPECIFICALLY DEPICTED ON THE PLAT, AND FOR ANY OTHER PURPOSES DESIGNATED HEREON, AND NO PERMANENT STRUCTURES, OTHER THAN FOR SUCH USES AND PURPOSES, ARE TO BE ERRECTED WITHIN THE LINES OF SAID EASEMENTS. ALL OF THE LOTS WITHIN THIS SUBDIVISION ARE ELIGIBLE TO RECEIVE WATER SERVICE FROM THE CITY OF KUNA, AND THE CITY OF KUNA HAS AGREED IN WRITING TO SERVE ALL LOTS WITHIN THE SUBDIVISION.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND:

M3 ID FALCON CREST, LLC,  
AN ARIZONA LIMITED LIABILITY COMPANY

BY: M3 BUILDERS, LLC,  
AN ARIZONA LIMITED LIABILITY COMPANY,  
ITS MANAGER

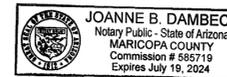
BY: THE M3 COMPANIES, LLC,  
AN ARIZONA LIMITED LIABILITY COMPANY,  
ITS SOLE MEMBER

BY:   
WILLIAM I. BROWNLEE, MANAGER

**ACKNOWLEDGMENT**

STATE OF Arizona }  
COUNTY OF Maricopa } ss.  
ON THIS 4th DAY OF April, IN THE YEAR 2022, BEFORE ME, A NOTARY PUBLIC IN AND FOR THE STATE OF Arizona, PERSONALLY APPEARED WILLIAM I. BROWNLEE, KNOWN OR IDENTIFIED TO ME TO BE THE MANAGER OF THE M3 COMPANIES, LLC, THE LLC THAT IS THE MEMBER OF M3 BUILDERS, LLC, THE LLC THAT IS THE MANAGER OF M3 ID FALCON CREST, LLC, THE LLC THAT EXECUTED THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT M3 ID FALCON CREST, LLC EXECUTED THE SAME.

  
NOTARY PUBLIC FOR Arizona  
MY COMMISSION NO. 585719  
MY COMMISSION EXPIRES 7-19-24



**CERTIFICATE OF SURVEYOR**

I, TIMOTHY HARRIGAN, DO HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF IDAHO, AND THAT THIS PLAT OF FALCON CREST SUBDIVISION NO. 4 IS TRUE AND CORRECT AS DESCRIBED IN THE CERTIFICATE OF OWNERS AND AS SHOWN HEREON, AND WAS SURVEYED IN ACCORDANCE WITH IDAHO CODE RELATING TO PLATS AND SURVEYS.

 3/9/2022  
TIMOTHY HARRIGAN, S 17665 DATE



J-U-B ENGINEERS, INC.

2760 West Excursion Lane, Suite 400, Meridian, ID 83642-5752

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PLAT OF  
**FALCON CREST SUBDIVISION NO. 4**

PLAT BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

**APPROVAL OF CENTRAL DISTRICT HEALTH**

SANITARY RESTRICTIONS AS REQUIRED BY IDAHO CODE, TITLE 50, CHAPTER 13 HAVE BEEN SATISFIED ACCORDING TO THE LETTER TO BE READ ON FILE WITH THE COUNTY RECORDER OR HIS AGENT LISTING THE CONDITIONS OF APPROVAL. SANITARY RESTRICTIONS MAY BE RE-IMPOSED, IN ACCORDANCE WITH SECTION 50-1326, IDAHO CODE, BY THE ISSUANCE OF A CERTIFICATE OF DISAPPROVAL.

Rowi Bandy REHS  
CENTRAL DISTRICT HEALTH  
 4.13.2022  
DATE

**APPROVAL OF ADA COUNTY HIGHWAY DISTRICT**

THE FOREGOING PLAT WAS ACCEPTED AND APPROVED BY THE BOARD OF ADA COUNTY HIGHWAY DISTRICT COMMISSIONERS ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
COMMISSION PRESIDENT  
ADA COUNTY HIGHWAY DISTRICT

**APPROVAL OF CITY ENGINEER**

I, THE UNDERSIGNED, CITY ENGINEER IN AND FOR THE CITY OF KUNA, ADA COUNTY, IDAHO, ON THIS DAY

\_\_\_\_\_, HEREBY APPROVE THIS PLAT.

\_\_\_\_\_  
CITY ENGINEER

**APPROVAL OF CITY COUNCIL**

THE FOREGOING PLAT WAS ACCEPTED AND APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ BY THE CITY OF KUNA, IDAHO.

\_\_\_\_\_  
CITY CLERK

**CERTIFICATE OF COUNTY SURVEYOR**

I, THE UNDERSIGNED, PROFESSIONAL LAND SURVEYOR IN AND FOR ADA COUNTY, IDAHO, DO HEREBY CERTIFY THAT I HAVE CHECKED THIS PLAT AND FIND THAT IT COMPLIES WITH THE STATE OF IDAHO CODE RELATING TO PLATS AND SURVEYS.

\_\_\_\_\_  
ADA COUNTY SURVEYOR

\_\_\_\_\_  
DATE

**CERTIFICATE OF COUNTY TREASURER**

I, THE UNDERSIGNED, COUNTY TREASURER IN AND FOR THE COUNTY OF ADA, STATE OF IDAHO, PER REQUIREMENTS OF IDAHO CODE 50-1308, DO HEREBY CERTIFY THAT ANY AND ALL CURRENT AND/OR DELINQUENT COUNTY PROPERTY TAXES FOR THE PROPERTY INCLUDED IN THIS PROPOSED SUBDIVISION HAVE BEEN PAID IN FULL. THIS CERTIFICATE IS VALID FOR THE NEXT THIRTY (30) DAYS ONLY.

\_\_\_\_\_  
ADA COUNTY TREASURER

\_\_\_\_\_  
DATE

**COUNTY RECORDER'S CERTIFICATE**

STATE OF IDAHO }  
COUNTY OF ADA } SS. INSTRUMENT NO. \_\_\_\_\_

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED AT THE REQUEST OF JUB ENGINEERS, INC.

AT \_\_\_\_\_ MINUTES PAST \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M.,

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_, IN MY OFFICE, AND WAS RECORDED IN

BOOK \_\_\_\_\_ OF PLATS AT PAGES \_\_\_\_\_ THROUGH \_\_\_\_\_.

FEE: \_\_\_\_\_

\_\_\_\_\_  
DEPUTY

\_\_\_\_\_  
EX-OFFICIO RECORDER

  
Timothy Harrigan  
3/9/2022



**J-U-B ENGINEERS, INC.**

2760 West Excursion Lane, Suite 400, Meridian, ID 83642-5752

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# City of Kuna

## Council Findings of Fact & Conclusions of Law

P.O. Box 13  
 Phone: (208) 922-5274  
 Fax: (208) 922-5989  
 www.Kunacity.id.gov

To: **City Council**

Case No's: **18-03-AN** (Annexation)  
**18-01-CPM** (Comp Map Change)  
**18-04-ZC** (rezone)  
**18-02-PUD** (Planned Unit Develop)  
**18-04-S** (Preliminary Plat) and  
**And** (Development Agreement)

Location: Northeast Corner of Cloverdale and Kuna Roads, Kuna, ID

Planner: Troy Behunin, Planner III

Hearing date: January 2, 2019  
 Tabled to: January 15, 2019  
**Findings/Fact: February 5, 2019**

Owner: **M3 Companies - Mark Tate**  
 1087 W. River Street, Ste. 310  
 Boise, ID 83702  
 208.939.6263  
[MTate@m3companiesllc.com](mailto:MTate@m3companiesllc.com)

Engineer: **J-U-B Engineers – Kristi Watkins**  
 250 S. Beechwood Ave. S. 201  
 Boise, ID 83709  
 208.323.9336  
[kwatkins@jub.com](mailto:kwatkins@jub.com)

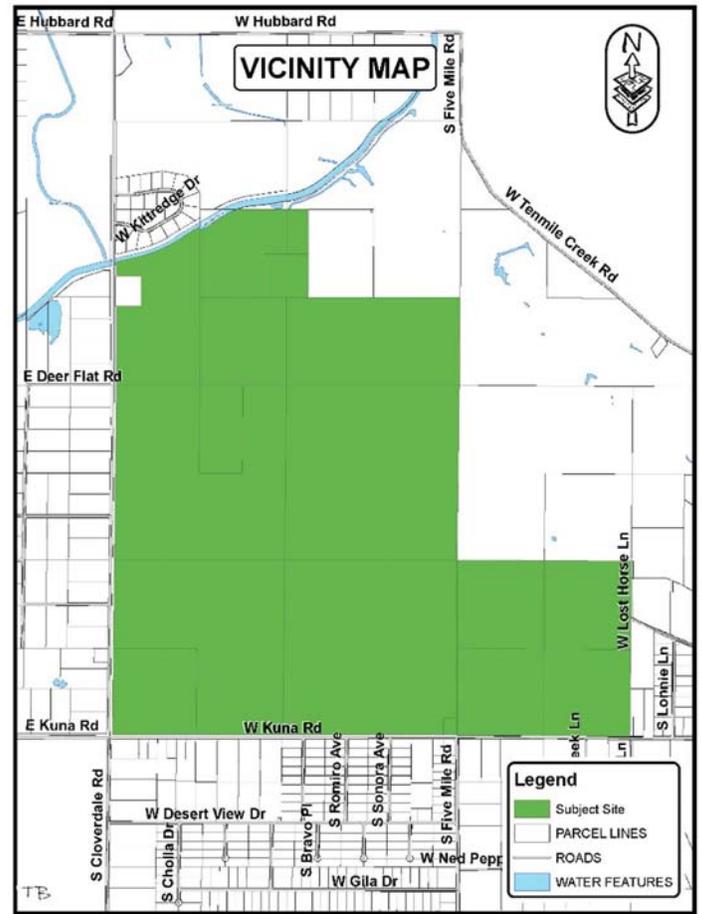


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| A. Process and Noticing  | H. Procedural Background                  |
| B. Applicants Request    | I. Factual Summary                        |
| C. Aerial map            | J. Comprehensive Plan Analysis            |
| D. Site History          | K. Kuna City Code Analysis                |
| E. General Project Facts | L. Commission's Recommendation to Council |
| F. Staff Analysis        | M. Council's Order of Decision            |
| G. Applicable Standards  |   |

**A. Process and Noticing:**

1. Kuna City Code 1-14-3 (KCC), Title 1, Chapter 14, Section 3, states that Annexation, Comprehensive Plan Map Changes, P.U.D.'s, Rezones and Preliminary Plats are designated as public hearings, with the Commission as the recommending body, and City Council as the decision making body. These land use applications were given proper public notice and followed the requirements set forth in Idaho Code, Chapter 65 Local Planning Act.

**a. Notifications**

- |                            |  |
|----------------------------|--|
| i. Neighborhood Meeting    | May 9, 2018 (fifty four (54) persons attended) |
| ii. Agency Comment Request | July 13, 2018                                  |
| iii. 450' Property Owners  | December 21, 2018 (plus Emails)                |
| iv. Kuna, Melba Newspaper  | December 12, 2018 and December 19, 2018        |
| v. Site Posted             | December 22, 2018                              |

**B. Applicants Request:**

**1. Request:**

Applicant, J-U-B Engineers, on behalf of Mark Tate, with M3 Companies (Owner), requests approval to Annex approximately 990 acres into Kuna City limits, Change the Comprehensive Plan Map (CPM) from Agriculture to Mixed-Use for approximately 163 acres, for a Planned Unit Development (PUD) for approx. 1,028 acres (net), to rezone approx. 20 acres and subdivide approx. 132 acres into 409 residential lots, 51 common lots, four common driveway lots, two well lots and private roads. This site is located at the NEC of Cloverdale and Kuna Roads, Kuna, Idaho. Please see the application for a list of parcel numbers affected by this application.

**C. Aerial Map:**



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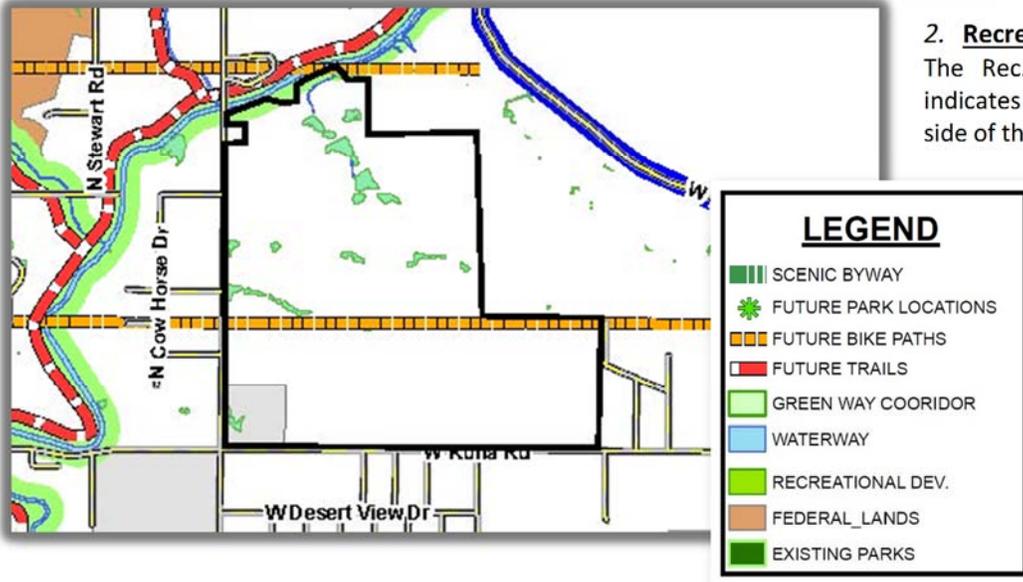
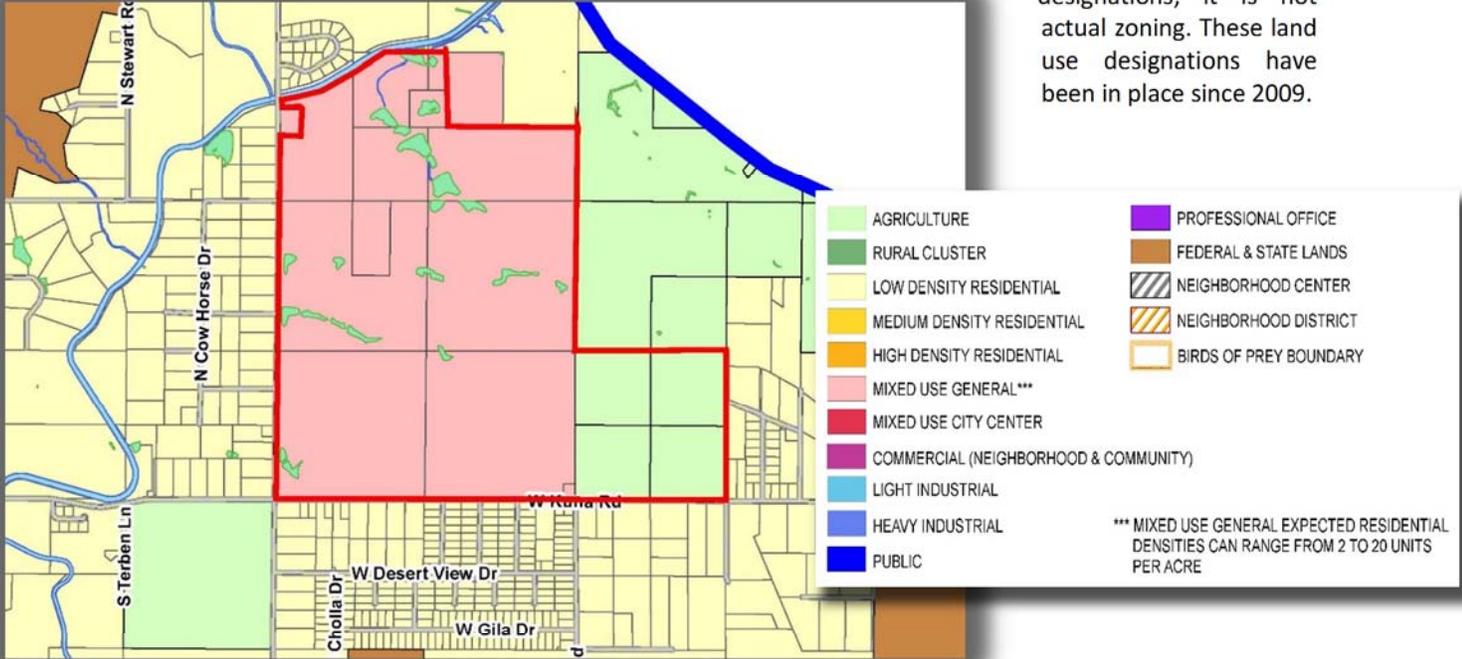
**D. Site History:**

These lands historically have been used for golf course and agricultural purposes for many years. Approximately 40 acres on the northeast corner of Cloverdale and Kuna Roads were annexed into Kuna, on November 4, 2015, (Case No. 15-01-AN), providing the pathway for annexation for the rest of the golf course as previously planned for future development.

**E. General Projects Facts:**

- 1. Comprehensive Plan Map:** The Comp Plan Map designation for this site is Mixed-Use for most of the site (approximately 865 acres). The remaining 160 acres on the east side are designated as agriculture. The Future Land Use Map (Comprehensive Plan Map) is intended to serve as a guide for the decision making body. This

map indicates land use designations, it is not actual zoning. These land use designations have been in place since 2009.



**2. Recreation and Pathways Map:**

The Rec. & Path Master Plan Map indicates a future trail along the north side of the New York Canal, which is off-site. With this application, staff recommends that the applicant incorporate green and open spaces throughout the project.

**3. Surrounding Land Uses:**

<b>North</b>	R-1, RR	1 acre Residential & Rural Residential - Ada County
<b>South</b>	Ag, RR	Agriculture – Kuna City and Rural Residential – Ada County
<b>East</b>	RR	Rural Residential – Ada County
<b>West</b>	RR	Rural Residential – Ada County

4. **Lot Sizes, Current Zoning, Parcel No's, and L & B No's:**

<b>Lot Size (Approximately)</b>	<b>Current Zone:</b>	<b>Parcel Number(s)</b>
5 acres	RR - Rural Residential	S1415424915
10 acres	RR - Rural Residential	S1415315300
32.97 acres	RR - Rural Residential	S1415314810
56.46 acres	RR - Rural Residential	S1415336000
40 acres	RR - Rural Residential	S1415341100
80 acres	RR - Rural Residential	S1415430000
160 acres	RR - Rural Residential	S1422110050
138.16 acres	RR - Rural Residential	S1422212400
20 acres	RR - Rural Residential	S1422212000
40 acres	RR - Rural Residential	S1423314800
40 acres	RR - Rural Residential	S1423325400
40 acres	RR - Rural Residential	S1423346600
40 acres	RR - Rural Residential	S1423336000
1.31 acres	RR - Rural Residential	S1422449820
158.65 acres	RR - Rural Residential	S1422417300
119.90 acres	RR - Rural Residential	S1422314810
1.13 acres	RR - Rural Residential	R3297260265
39.01 acres	Agriculture - Kuna City	S1422336000

5. **Services (at time of development):**

- Sanitary Sewer– City of Kuna
- Potable Water – City of Kuna
- Pressurized Irrigation – Developer Built and Owned/Maintained
- Fire Protection – Kuna Rural Fire District
- Police Protection – Ada County Sheriff’s office; Kuna Police
- Sanitation Services – J & M Sanitation

6. **Existing Structures, Vegetation and Natural Features:**

The site has multiple structures that typically are associated with a golf course and maintenance facilities and vegetation that is generally associated with a golf course and other Agricultural uses.

7. **Transportation / Connectivity:**

The site has significant Cloverdale and Kuna Road frontages. The applicant proposes one point of ingress/egress on Cloverdale Road for phase one, approximately 2,000 feet north of Kuna Road to line up with Reining Horse Drive. It is anticipated that the commercial projects proposed for the NEC of Cloverdale and Kuna Road will also seek entrances with future preliminary plat applications. All points of access must follow City & ACHD standards.

8. **Environmental Issues:**

Staff is not aware of any environmental issues, health or safety conflicts. Most of the sites’ topography is generally flat with less than 3 percent slope. However, in the north part of the site, there are rolling hills and some grades greater than 3 percent, which provide for bluffs, and overlooks, these are areas within the existing golf course. This site is not within the Nitrate Priority Area (NPA), however, the project will be required to connect to Kuna City sanitary sewer, potable water and provide for a pressure irrigation water system to the project as a whole.

## 9. **Agency Responses:**

The following agencies returned comments and are included with this case file:

- |   |                      |
|---|----------------------|
| - City Engineer                               | <i>Exhibit B 1</i>   |
| - Ada County Highway District (ACHD)          | <i>Exhibit B 2</i>   |
| - Ada County Highway District (ACHD Pre Plat) | <i>Exhibit B 2 a</i> |
| - Boise Project Board of Control              | <i>Exhibit B 3</i>   |
| - COMPASS                                     | <i>Exhibit B 4</i>   |
| - Dept. of Environmental Quality (DEQ)        | <i>Exhibit B 5</i>   |
| - ID Transportation Dept. (ITD)               | <i>Exhibit B 6</i>   |

## F. **Staff Analysis:**

The subject site is at the northeast corner (NEC) of Cloverdale and Kuna Roads. The applicant requests a Comprehensive Plan Map (CPM) change from Agriculture to Mixed-Use for approximately 163 acres on the east side of the subject site. This request will match the current designation of the golf course parcels and will provide continuity for the entire project as a multi-phased, Planned Unit Development (PUD), consisting of approximately 1,028 acres.

The applicant requests annexation into Kuna City limits applying the Category "A" process. The lands in this application touch City limits in the southwest corner of the site and are therefore eligible for annexation, due to a previous annexation approval (15-01-AN). Applicant has submitted an application for annexation of the remaining 990 acres (approximately) and is seeking for two different zones for these proposed annexing parcels. The applicant is seeking the following jurisdiction and zone changes if the annexation is approved:

- Approximately 807 acres are proposed to be annexed with a zone change from Rural Residential (RR) TO R-6 Medium Density Residential (MDR),
- Approximately 184 acres from RR, TO R-12, High Density Residential (HDR).

The applicant seeks to rezone approximately 20.89 acres of the 39 acres already annexed into Kuna and zoned Agriculture, TO C-2 (Area Commercial District), and the remaining 19.60 acres to be zoned R-6 Medium Density Residential (MDR). While the Commercial lot is included in the Preliminary plat, development of the commercial corner will take place separately in the future; a time line for the commercial development is unknown at this time.

Applying the PUD process, the applicant proposes a mix of various uses throughout the project to include; commercial, recreational activities, medium and high density residential uses, to include single family lots, active adult communities, age targeted living, a community center, updated club house (with full food and beverage service and dinner and event space), several private parks, a City park, a considerable open space and pathway network (*13.41 acres in the first preliminary plat alone, or 10.2% of that area*), and the golf courses. The applicant proposes a master-planned active resort-style community for all ages. The applicant is proposing private streets for certain areas that will be built to Kuna and ACHD standards (curb, gutters & sidewalks) and meet Kuna Fire Department requirements. All private roads will be built and maintained by the Home Owners Association (HOA), and anticipates providing a golf cart community (in part), which, when combined with a large network of biking and walking pathways, will help reduce vehicle trips for basic needs, recreation and even food services. Using the PUD process and exceeding the required 10% usable open space, the applicant is eligible to request relief from certain development standards to accommodate mixed-uses and design criteria to create a unique and different development not seen in Kuna before. The applicant has provided a list of standards and requirements they seek relief from and those requested changes are listed in the exhibits of the Development Agreement included for Council's review. The requested changes are presented side-by-side to show current code, compared with the *requested* changes.

Staff notes that proposed phase one requests four shared driveways, provides for two potable well sites (PP note #3) and just two cul-de-sacs. This plat is planned to be an age restricted community and as long as the

CC&R's provide for permanent maintenance, care and responsibility of the shared driveways, staff supports their use for this preliminary plat. Staff also notes that just one permanent entrance off Cloverdale is shown for phase one. The Kuna Rural Fire District (KRFD) has requirements for providing a secondary emergency access (either temporary or permanent) as does the City. Applicant has proposed a temporary secondary access within Block 1, near lot 347. Staff will support a secondary access that is approved by the KRFD. Staff also notes that the applicant is proposing swales with no curb/gutter along Cloverdale, or Kuna Roads. This is contrary to KCC. Along arterial roads, KCC calls for full roadway improvements, including curb/gutter, road widening, and sidewalks at eight feet (either separated or attached). Staff recommends that the applicant be conditioned to demonstrate shared driveway responsibility as explained, secondary emergency access as explained and to follow City standards for full arterial roadway improvements as explained. Otherwise, the proposed preliminary plat appears to be in substantial compliance with KCC.

Staff has determined this application generally complies, or as conditioned, will follow Idaho Statutes §50-222 (Annex) and §65-67 (LLUPA-Subs); Title 5 and title 6 of the Kuna City Code; and the Kuna Comprehensive Plan; and forwards a recommendation of approval for Case No's stated above, subject to the recommended conditions of approval listed within this report and in Section 'N' of this report.

**G. Applicable Standards:**

1. City of Kuna Zoning Ordinance Title 5,
2. City of Kuna Subdivision Ordinance Title 6,
3. City of Kuna Comprehensive Plan and Map, adopted September 1, 2009,
4. Idaho Code, Title 67, Chapter 65- the Local Land Use Planning Act.

**H. Procedural Background:**

On January 2, and 15, 2019, the Council did consider the Falcon Crest project; Case No's: 18-03-AN, 18-01-CPM, 18-04-S, 18-02-PUD, 18-02-ZC, and proposed Development Agreement, including the applications, agency comments, staff's report, application exhibits and public testimony presented or given.

**I. Factual Summary:**

This approximately 1,028 acre project site, is adjacent to Kuna City limits and is located at the northeast corner (NEC) of Cloverdale and Kuna Roads and part is zoned Agriculture (Ag.) in the City and the remaining part as RR in the County. 40 acres of the approximate 1,028 acres (net) is in Kuna City and zoned Ag.. The site has varying historical uses, including a golf course, club house, cart barn, agriculture uses and other ancillary subordinate uses. Applicant proposes a Comprehensive Plan Map Change from Ag. to Mixed-Use for part of the site, annexation for approx. 988 acres, a rezone for approx. 40 acres from Ag. to R-6 and C-2 zones, a PUD, a Preliminary Plat for approx. 132 acres, to subdivide said property into 409 buildable lots and 51 common lots and four shared driveways (over common lots), and a subdivision design review for the landscaping of the common lots. This project is adjacent to Cloverdale Road and Kuna Road, both are principle arterial roads.

**J. Comprehensive Plan Analysis:**

The Kuna Council accepts the Comprehensive Plan components as described below:

The designations of Mixed-Use shown on the Planning Map (See Map above) for these lots were approved by Council. The proposed change from Agriculture to Mixed-Use is supported by way of the application and supporting materials and plans provided and staff views this request to be consistent with the following Comprehensive Plan components:

**Community Vision Statement:**

Residents hoped for the creation of business and light commercial use centers within neighborhoods. These centers would include restaurants, gas stations, churches, *multi-family* use facilities, and other mixed-use developments. (Page 21).

Housing:

Residents envisioned higher densities in the City's core to include opportunities for mixed residential and light commercial activity. They expressed interest in a mix of residential type dwellings applications; including single-family, multi-family, apartments and condominiums. They were receptive to a greater mix of lot sizes and house prices to appeal to a variety of people. A goal expressed by many was preservation of large lots and rural cluster development in appropriate balance with a complement of other types of residential development (Pg. 21).

**Comment:** *The proposed rezone follows the community vision and provides a way to achieve the housing goals as stated and adopted, by supplementing other existing large lot subdivisions nearby.*

Private Property Rights Goals and Objectives - Section 2 - Summary:

Ensure the City land use policies, restrictions, conditions and fees do not violate private property rights and ensure that land use actions, decisions, and regulations do not effectively eliminate all economic value of the subject property. Ensure that City land use actions, decisions, and regulations do not prevent a private property owner from taking advantage of a fundamental property right and staff shall evaluate with guidance from the City's attorney; the Idaho Attorney General's six criterion established to determine the potential for property taking.

**Comment:** *Utilizing the Idaho Attorney Generals criteria, and a review by the City Attorney, the proposed project does not constitute a "takings" and the economic value is intact.*

Economic Development Goals and Objectives - Section 5 - Summary:

Ensure an adequate supply of housing for all income levels and facilitate pedestrian connections, both visually and physically, to enhance pedestrian movement (Pg. 42 – 1.5 and Pg. 43 – 3.1).

**Comment:** *The proposed application complies with these elements of the comprehensive plan by providing an opportunity to supply varied housing types and provide pedestrian connections, thereby meeting this goal.*

Land Use Goals and Objectives - Section 6 - Summary:

Adopt a future land use plan and map that includes natural and developed open spaces, while providing a variety of housing densities and types to accommodate various lifestyles, ages and economic groups. Protect existing neighborhoods and ensure new development is sustainable and keeps Kuna desirable. Develop cohesive neighborhoods with character and quality while incorporating a variety of densities and styles (Pg. 64 – 3.1 & Goal 3 and Pg. 65 – 4.3).

Medium Density Residential:

*This designation describes areas where residential development densities generally range from four to eight units per acre. These areas will be made up of single-family homes, but may include townhomes, row houses duplexes and other types of multi-family land uses. Areas featuring these densities are generally located within the City Center and around Neighborhood Centers (Page 88).*

**Comment:** *The proposed rezone requests a C-2, R-6 and R-12 zone, for commercial and residential uses, conforming to the Comprehensive Plan and Planning Map approved by Council in August of 2015.*

Mixed-Uses:

*The mixed use general land use designation pertains to a land parcel or combination of parcels that are planned and developed together. This comprehensive land use category may contain residential, commercial, office and technical uses, a variety of building types and densities, common open space variations, clustered development and recreational facilities (Page 105).*

**Comment:** *The proposed application requests a PUD to include mixed-uses including C-2, R-6 and R-12 zones, for commercial and residential uses, conforming to the Comprehensive Plan and Planning Map approved by Council in August of 2015.*

Housing Goals and Objectives - Section 12 - Summary:

Encourage developers to provide high-quality development with a variety of lot sizes, dwelling types, densities and price points to meet the needs of current and future population while creating safe and aesthetically-pleasing neighborhoods. Ensure housing is available throughout the community for all income levels and those with special needs. *Encourage logical and orderly residential development while discouraging developers from developing land divisions greater than one half acre because large lot subdivisions increase municipal costs, require public subsidy and create sprawl* (Pg. 155 – 1.2, Pg. 163 12.4 and Pg. 165 – 2.1).

Encourage mixed-use development that includes town centers, single-family, *multi-family*, accessory units, and other types of residential development. – Policy 1.1.2, Section 12, Housing (Page 155).

**Comment:** *Applicant proposes a resort style community to include commercial uses, varied housing densities/types including medium and high density residential elements that will contribute to availability of varied types and home sizes in a logical and orderly manner (Master Planned Community) with an opportunity to provide a quality development.*

Community Design Goals and Objectives - Section 13 - Summary:

Strengthen Kuna's Image through good community and urban design principles that create self-sufficient neighborhoods. Foster good community design concepts that incorporate landscape features to serve as buffers between incompatible uses while reducing scale and creates a sense of place.

**Comment:** *Applicant proposes a master planned resort-style community that will include a considerable network of green spaces, trails, golf course, and other amenities that will include some public and some private facilities, this is a community designed to be an all-ages development.*

Neighborhoods:

Kuna's updated Plan is an advocate for the development of self-sufficient neighborhoods. These neighborhoods are intended to be connected by transit and other non-motorized methods of transportation. Each neighborhood will have a center, a core and an edge. (Pg. 179).

**Comment:** *With this development, the applicant will provide an extension of the sidewalk and roadway system which must comply with the Master Street Plan adopted by Kuna. Applicant has proposed extensive pathways and sidewalks for pedestrian and non-motorized transportation, daily services, and adding connecting stub streets. Applicant appears prepared to propose a variety of housing densities thereby complying with approved land use designation outlined within the Comp Plan and Planning Map.*

**K. Kuna City Code Analysis:**

1. This request appears to be consistent and in compliance with all Kuna City Codes (KCC).

**Comment:** *The proposed project meets the land use and area standards in Chapter 3, Title 5 of the Kuna City Code (KCC). Staff also finds that the proposed project meets all applicable requirements of Title 5 and Title 6 of the KCC.*

2. The site is physically suitable for the proposed new subdivision and site development.

**Comment:** *The 1,028 acre (approximate) project includes a request for subdividing a portion of the lands into 409 buildable lots and 51 common lots. The site appears to be compatible with the proposal.*

3. The applications are not likely to cause substantial environmental damage or avoidable injury to wildlife or their habitat.

**Comment:** *The land to be annexed, rezoned and subdivided is not used as wildlife habitat. Future roads, dwelling units and open spaces must be designed and planned for construction according the City and ACHD requirements and best practices and will therefore not cause environmental damage or loss of habitat.*

4. The development proposal is not likely to cause adverse public health problems.

**Comment:** *The proposed subdivision of the property appears to follows Kuna City Codes. All development requires connection to public sewer and potable water systems, therefore eliminating the occurrence of adverse public health problems.*

5. The application appears to avoid detriment to the present and potential surrounding uses; to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing adjacent uses.

**Comment:** *The Council did consider the location of the property and adjacent uses. The subject property (if approved for annexation) will be in Kuna City and will be required to connect to the Kuna City central sewer and potable water systems, and create their own Pressure Irrigation System. The current adjacent uses are large lots in the County, and agricultural in nature and the site is adjacent to two Principle arterial roads.*

6. Based on the evidence contained in Case No's 18-03-AN, 18-01-CPM, 18-02-ZC, 18-04-S, 18-02-PUD, and Development Agreement (DA), adequately comply with Kuna City Code.
7. Based on the evidence contained in Case No's 18-03-AN, 18-01-CPM, 18-02-ZC, 18-04-S, 18-02-PUD, and Development Agreement (D.A.), generally comply with Kuna's Zoning Code.

**L. Commission's Recommendation to Council:**

On November 27, 2018, the Commission voted to recommend approval for Case No's 18-03-AN, 18-01-CPM, 18-02-ZC, 18-04-S, 18-02-PUD, and D.A., based on the facts outlined in staff's memo, the Comp Plan, City Code, the record before the Council, the applicant's presentation, public testimony and discussion during the public hearing by the Commission of Kuna, Idaho, the Commission hereby recommends approval for Case No's 18-03-AN, 18-01-CPM, 18-02-ZC, 18-04-S, 18-02-PUD, and D.A., an Annexation, CPM, PUD, Rezone, Preliminary Plat and D.A. request by J-U-B- Engineers on behalf of M3 Companies, with the following conditions of approval:

- *Applicant shall follow conditions as outlined within the staff report,*
- *Applicant shall work with staff to refine and finalize the development agreement and include potable water, the default clause, and to submit a clean development agreement to the City Council,*
- *Applicant shall work with staff to include recommendations from ACHD's report to mitigate the traffic of the first preliminary plat,*
- *Applicant shall include the irrigation text from the City Engineer's letter, as appropriate,*
- *Applicant shall include curb, gutter and sidewalks on Cloverdale and Kuna Road if they're not included in the ACHD five-year work plan,*
- *Applicant shall work with staff and ACHD on the alignment of Five Mile Road.*

**M. Order of Decision by the Council:**

**18-03-AN (Annexation), 18-01-CPM (Comp Plan Map), 18-02-ZC (Rezone), 18-04-S (Preliminary Plat), 18-02-PUD (PUD), and a D.A.,** Based on the facts outlined in staff's Memo, the Comp Plan, City Code, the record before the Council, the applicant's presentation, public testimony and discussion during the public hearing by the City Council of Kuna, Idaho, the Council hereby approves Case No's 18-03-AN, 18-01-CPM, 18-02-ZC, 18-04-S, 18-02-PUD, an Annexation, CPM, PUD, Rezone, Preliminary Plat and D.A. request by J-U-B- Engineers on behalf of M3 Companies, with the following conditions of approval at time of development:

- *Applicant shall follow the conditions as outlined in the staff memo as presented.*

1. The applicant and/or owner shall obtain written approval on letterhead or may be written/stamped on the approved plans of the construction plans from the agencies noted below. All submittals are required to include the lighting, landscaping, drainage, and development plans. All site improvements are prohibited prior to approval of the following agencies:
  - a. The City Engineer shall approve all sewer connections.
  - b. The City Engineer shall approve the drainage and grading plans. Central District Health Department recommends the plan be designed and constructed in conformance with standards contained in, "Catalog for Best Management Practices for Idaho Cities and Counties". No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of the drainage plan.
  - c. The Kuna Fire District shall approve fire flow requirements and/or building plans. Installation of fire protection facilities as required by Kuna Fire District is required.
  - d. The *Boise-Kuna* Irrigation District shall approval any modifications to the existing irrigation system.
  - e. Approval from Ada County Highway District (ACHD) shall be obtained and Impact Fees must be paid prior to *issuance* of any building permit(s).
2. All public rights-of-way shall be dedicated and constructed to standards of the City, Ada County Highway District and Idaho Transportation Department. No public street construction may commence without the approval and permit from Ada County Highway District and/or Idaho Transportation Department.
  - 2.1– At time of development and as necessary, dedicate right-of-way in sufficient amounts to follow City and ACHD standards and widths, *except as otherwise approved through the PUD process.*
3. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground, see **KCC 6-4-2-W**.
4. Compliance with Idaho Code, Section §31-3805 pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site. Compliance with the requirements of the Boise Project Board of Control is required.
5. When required, submit a petition to the City (as necessary, confirmed with the City engineer) consenting to the pooling of irrigation surface water rights for delivery purposes and requesting to annex the irrigation surface water rights appurtenant to the property over to the Kuna Municipal Pressure Irrigation system of the City (KMID).
6. All street lighting within and for the site shall be LED lighting and must comply with Kuna City Code, *except as otherwise approved through the PUD process.*
7. Parking within the site shall comply with Kuna City Code, *unless approved otherwise through the PUD process.*
8. Fencing within and around the site shall comply with Kuna City Code (Unless specifically approved otherwise and permitted). Perimeter fencing (and permit) is required prior to requesting final plat signatures from Kuna City Clerk and Engineer.
9. All signage within/for the project shall comply with Kuna City Code and go through Design Review for those approvals.
10. All required landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace unhealthy or dead plant material within 3 days or as the planting season permits as required to meet the standards of these requirements. Maintenance and planting within public rights-of-way shall be with approval from the public entities owning the property.
11. The land owner/applicant/developer, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the City Council, or seek amending them through public hearing processes.
12. The applicant's proposed landscape plan (dated 10.30.2018) shall be considered binding site plans, or as modified and approved through the proper process.
13. The applicant's proposed preliminary plat (dated 5.18.2018) shall be considered binding site plans, or as modified and approved through the public hearing process
14. Applicant shall follow staff, City engineers and other agency recommended requirements as applicable.
15. Developer/owner/applicant shall comply with all local, state and federal laws.

16. As a condition of rezoning, the Developer/Owner/Applicant shall enter into and be bound by that certain Development Agreement with the City entitled “ City of Kuna/ M3 Builders, LLC/ Falcon Crest, LLC Development Agreement” draft dated 12-21-2018 as approved by the City Council in this Order.



City of Kuna  
City Council  
Proposed Findings of Fact and Conclusions of Law

P.O. Box 13  
Phone: (208) 922-5274  
Fax: (208) 922-5989  
www.Kunacity.id.gov

Based upon the record contained in Case No's 18-03-AN, 18-01-CPM, 18-02-ZC, 18-04-S, 18-02-PUD, and D.A, including the Comprehensive Plan, Kuna City Code, Staff's Memorandums, including the exhibits, and the testimony during the public hearing, the Kuna Council hereby *approves* the Findings of Fact and Conclusions of Law, and conditions of approval for Case No's 18-03-AN, 18-01-CPM, 18-02-ZC, 18-04-S, 18-02-PUD, and DA, a request for annexation, Comp plan map change, rezone, preliminary plat, PUD, and D.A. by J-U-B Engineers, on behalf of M3 Companies, LLC:

- 1. *The Kuna City Council approves the facts as outlined in the staff report, the public testimony and the supporting evidence list presented.*

**Comment:** *The Kuna City Council held a public hearing on the subject applications on January 2, and 15, 2019, to hear from City staff, the applicant and to accept public testimony. The decision by the Council is based on the application, staff report and public testimony, both oral and written.*

- 2. *Based on the evidence contained in Case No's 18-03-AN, 18-01-CPM, 18-02-ZC, 18-04-S, 18-02-PUD, and D.A., this proposal generally complies with the Comprehensive Plan and City Code.*

**Comment:** *The Comp Plan has listed numerous goals for promoting and supporting a diverse and sustainable economy that will allow more Kuna residents to work in their community and encouraging a balance of land uses to ensure that Kuna remains desirable, stable and a self-sufficient community.*

- 3. *Based on the evidence contained in Case No's 18-03-AN, 18-01-CPM, 18-02-ZC, 18-04-S, 18-02-PUD, and D.A., this proposal generally complies with the City Code.*

**Comment:** *The applicant has submitted a complete application, and following staff review the application appears to be in general compliance with the design requirements, public improvement requirements, objectives and considerations listed in Kuna City Code Title 5 and Title 6.*

- 4. *Kuna's City Council has the authority to approve or deny Case No's 18-03-AN, 18-01-CPM, 18-02-ZC, 18-04-S, 18-02-PUD, and a DA.*

**Comment:** *On January 15, 2019, Council voted to approve Case No's 18-03-AN, 18-01-CPM, 18-02-ZC, 18-04-S, 18-02-PUD, and a DA.*

- 5. *The public notice requirements have been met and the neighborhood meeting was conducted within the guidelines of applicable Idaho Code and City Ordinances.*

**Comment:** *Notices were mailed out to land owners within 450 FT of the proposed project site on December 21, 2018, and a legal notice was published in the Kuna Melba Newspaper on December 12, and 19, 2018. The applicant placed signs on the property on December 22, 2018.*

DATED: this 5th day of February, 2019.

ATTEST:   
Chris Engels, Kuna City Clerk



  
Joe Stear, Mayor  
Kuna City



May 10, 2022

City of Kuna  
 Planning & Zoning Dept  
 751 W 4<sup>th</sup> Street  
 Kuna, ID 83634

**RE: Falcon Crest Subdivision No. 4 | Statement of Conformance | Final Plat Submittal**

Enclosed is the final plat submittal package for the proposed Falcon Crest Subdivision No. 4, located at South Coverdale Road in Section 22, Township 2 North, Range 1 East, Boise Meridian, Ada County, Kuna, Idaho. This development consists of approximately 12.73 acres. The subdivision includes 62 buildable lots and 9 common lots. The final plat is in substantial conformance with the specific conditions of approval outlined in the Findings of Fact and Conclusions of Law dated February 5, 2019, as described below:

*1) Approvals from the Following Agencies:*

- **City Engineer: Approved sewer, drainage, and grading plans signed 2/17/2022.**
- **Kuna Fire District: Fire flow requirements – Kuna Fire District will conduct a fire flow before final plat signature.**
- **Boise Project Board of Control – There are no facilities in this phase.**
- **ACHD – All roads in Falcon Crest Phase 4 are private.**

*2) All public rights-of way shall be dedicated and constructed to standards of the City, Ada County Highway District, and Idaho Transportation Department. No public street construction may commence without the approval and permit from Ada County Highway District and/or Idaho Transportation Department. 2.1– At time of development and as necessary, dedicate right-of-way in sufficient amounts to follow City and ACHD standards and widths, except as otherwise approved through the PUD process.*

**Understood.**

*3) Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground, see KCC 6-4-2-W.*

**Understood.**

*4) Compliance with Idaho Code, Section §31-3805 pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site. Compliance with the requirements of the Boise Project Board of Control is required.*

**Understood.**



5) *When required, submit a petition to the City (as necessary, confirmed with the City engineer) consenting to the pooling of irrigation surface water rights for delivery purposes and requesting to annex the irrigation surface water rights appurtenant to the property over to the Kuna Municipal Pressure Irrigation system of the City (KMID).*

**Understood.**

6) *All street lighting within and for the site shall be LED lighting and must comply with Kuna City Code, except as otherwise approved through the PUD process.*

**Understood.**

7) *Parking within the site shall comply with Kuna City Code, unless approved otherwise through the PUD process.*

**Understood.**

8) *Fencing within and around the site shall comply with Kuna City Code (Unless specifically approved otherwise and permitted). Perimeter fencing (and permit) is required prior to requesting final plat signatures from Kuna City Clerk and Engineer.*

**Understood.**

9) *All signage within/for the project shall comply with Kuna City Code and go through Design Review for those approvals.*

**Understood.**

10) *All required landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace unhealthy or dead plant material within 3 days or as the planting season permits as required to meet the standards of these requirements. Maintenance and planting within public rights-of-way shall be with approval from the public entities owning the property.*

**Understood.**

11) *The landowner/applicant/developer, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the City Council, or seek amending them through public hearing processes.*

**Understood.**

12) *The applicant's proposed landscape plan (dated 10.30.2018) shall be considered binding site plans, or as modified and approved through the proper process.*

**Understood.**

13) *The applicant's proposed preliminary plat (dated 5.18.2018) shall be considered binding site plans, or as modified and approved through the public hearing process.*

**Understood.**



14) Applicant shall follow staff, City engineers and other agency recommended requirements as applicable.

**Understood.**

15) Developer/owner/applicant shall comply with all local, state, and federal laws.

**Understood.**

16) As a condition of rezoning, the Developer/Owner/Applicant shall enter into and be bound by that certain Development Agreement with the City entitled "City of Kuna/ M3 Builders, LLC/ Falcon Crest, LLC Development Agreement" draft dated 12-21-2018 as approved by the City Council in this Order.

**Understood.**

Please feel free to contact me at 208-376-7330 if you have any questions.

Sincerely,

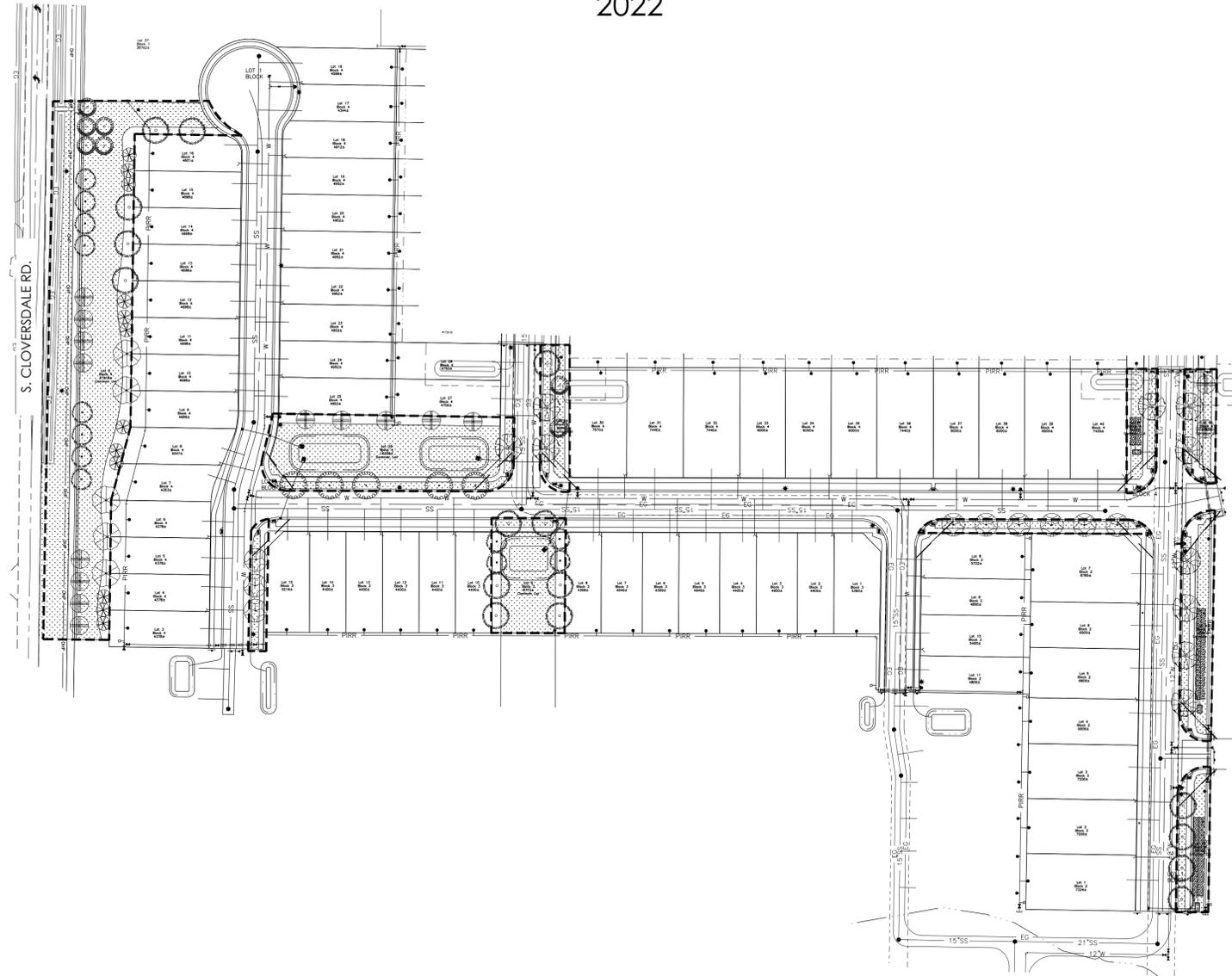
J-U-B Engineers, Inc.

A handwritten signature in blue ink that reads "Becky Yzaguirre". The signature is fluid and cursive, with a long horizontal stroke at the end.

**Becky Yzaguirre**  
**Land-Use Planner**

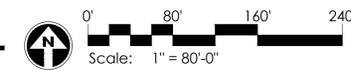
# LANDSCAPE PLANS FOR FALCON CREST SUBDIVISION NO. 4

CITY OF KUNA, IDAHO  
2022



OVERALL LANDSCAPE PLAN

DELTA 2 - Borrow Ditch  
Update per ACHD



### DEVELOPER

M3 COMPANIES  
1087 W. River Street  
Suite 310  
Boise, Idaho 83702  
(208) 939-6263 Fax: 208-939-6752

### CIVIL ENGINEERS

J-U-B ENGINEERS, INC.  
2760 W. Excursion Ln., Suite 400  
Meridian, ID 83642  
(208) 376-7330 Fax: 208-323-9336

### LANDSCAPE ARCHITECT

Greedy | Pickett  
Landscape Architecture | Community Design  
7144 E. Stetson Drive, Suite 205  
Scottsdale, Arizona 85251  
(480) 609-0009 Fax: (480) 609-0068

GREEDY PICKETT  
landscape architecture | community design  
7144 E. Stetson Drive, Suite 205  
Scottsdale, Arizona 85251  
480.609.0009 480.609.0068



FALCON CREST  
SUBDIVISION NO. 4  
Landscape Construction Documents  
KUNA, IDAHO

revisions:  
02.22.2022 Plant Sizes  
05.10.2022 ACHD COM.  
project #:  
MTC088  
scale:  
As Shown  
issued for:  
REVIEW  
drawn by:  
TEAM  
date:  
06.10.2021  
drawing:  
Overall Landscape Plan

### SHEET INDEX

Cover Sheet	L0.0
General Notes / Landscape Calculations	L0.1
Overall Landscape Sheet Layout	L3.0
Planting Plans	L3.1-L3.5
Planting Details	L7.1
Planting Specifications	L8.1

sheet #  
**L0.0**  
1 of 10

**GRADING GENERAL NOTES:**

- CONTRACTOR SHALL GRADE TO MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES. REVIEW ENGINEERS PLAN FOR DRAINAGE.
- FINISH GRADING SHALL BE BY THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT SHALL APPROVE GRADING PRIOR TO PLANTING.
- GRADING FOR THIS PROJECT INCLUDES THE FOLLOWING:
  - FINE GRADING OF EXISTING ROUGH GRADES IS REQUIRED TO PROVIDE SMOOTH, EVEN GRADE TRANSITION IN LANDSCAPE AREA.
  - IMPORTING AND PLACING "OFF-SITE 3/8" MINUS TOPSOIL" IN THE FOLLOWING AREAS:
    - TURF, AND ANNUAL AREAS (6" DEPTH).
    - PLANT BACKFILL (CAN BE SCREENED ON-SITE SOIL).
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY CALICHE ENCOUNTERED ON SITE AT NO ADDITIONAL COST TO THE OWNER. THE OWNER AND CONTRACTOR SHALL COORDINATE A SUITABLE LOCATION ON SITE TO DISPOSE OF THE CALICHE MATERIAL. SHOULD A SUITABLE LOCATION ON SITE NOT EXIST, THE OWNER SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH REMOVAL AND DISPOSAL OF THE CALICHE.
- FINISH GRADE OF ALL PLANTING AREAS IS TO BE 1.5" BELOW ADJACENT PAVING UNLESS NOTED OTHERWISE.
- REFERENCE CIVIL ENGINEERING DRAWINGS FOR GRADING AND DRAINAGE FLOWS. THE CONTRACTOR SHALL BE RESPONSIBLE THAT THESE ARE PROVIDED FOR AND NOT IMPAIRED WITH OBSTRUCTIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR GRADING ALL AREAS AT THE DIRECTION OF THE LANDSCAPE ARCHITECT TO CREATE A NATURALLY UNDULATING GROUND PLANE.

**HARDSCAPE GENERAL NOTES:**

- FOOTINGS, WALLS AND FENCES SHALL BE PLACED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY.
- REFER TO CIVIL PLANS PREPARED BY MASON STANFIELD AND JUB ENGINEERS, INC. FOR ALL INFORMATION REGARDING HORIZONTAL AND VERTICAL CONTROLS.
- ALL DETAILS SHALL BE REVIEWED BY A STRUCTURAL ENGINEER AND MODIFIED (IF NECESSARY) PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS SHOWN ON THIS PLAN ARE BASED ON THE CIVIL PLAN SUBMITTED BY CIVIL ENGINEER. SHOULD DISCREPANCIES OCCUR, FIELD REVISIONS SHALL BE REQUIRED.
- THE CONTRACTOR SHALL HAVE SIDEWALK SURVEYED AND STAKED FOR REVIEW BY THE LANDSCAPE ARCHITECT, OR OWNER'S REPRESENTATIVE, PRIOR TO INSTALLATION.
- IN ADDITION TO SUBMITTING MATERIAL SAMPLES OF ALL SITE RELATED MATERIALS, THE CONTRACTOR SHALL PREPARE A 4'X4' SAMPLE PANEL FOR EACH TYPE OF CONSTRUCTION, I.E., A) CONCRETE PAVERS, B) EXPOSED AGGREGATE PAVING, C) INTEGRAL COLORED CONCRETE, ETC., FOR APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO FINAL CONSTRUCTION.
- UNLESS NOTED OTHERWISE ON CONSTRUCTION DOCUMENTS OR NOTED IN DETAILS, SIDEWALKS SHALL BE 5'-0" WIDE (VARIES), 4" THICK, 3,000 PSI CONCRETE ON COMPACTED BASE WITH CONSTRUCTION JOINTS AT 5'-0" (VARIES) ON CENTER AND EXPANSION JOINTS AT 20'-0" (VARIES) ON CENTER. SIDEWALKS SHALL HAVE A MEDIUM BROOM, NON-SKID FINISH WITH 1/2" RADIUS TOOLED EDGES.
- RADIUS AT SIDEWALK INTERSECTIONS SHALL BE 5'-0" (TYPICAL), UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL LAYOUT AND VERIFY ALL HARDSCAPE ELEMENTS PRIOR TO CONSTRUCTION FOR REVIEW BY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE. SHOULD DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE BEFORE PROCEEDING FURTHER.

**PLANTING GENERAL NOTES:**

- THE CONTRACTOR SHALL REVIEW PLANTING PLANS WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- THE LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIALS HE DEEMS UNACCEPTABLE. SEE SPECIFICATIONS.
- THE CONTRACTOR SHALL SUPPLY AND INSTALL ALL PLANT MATERIAL AS SPECIFIED ON THE PLANTING PLANS. HOWEVER, SHOULD THE PLANT MATERIAL BE TEMPORARILY UNAVAILABLE, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND INSTALL 3 GALLON NURSERY BUCKETS WITH IRRIGATION AT EACH PLANT LOCATION. AS THE PLANT MATERIAL BECOMES AVAILABLE, THE 3 GALLON BUCKETS SHALL BE REMOVED AND PLANT MATERIAL INSTALLED.
- ANY AND ALL SUBSTITUTIONS TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
- LOCATE PLANTS AWAY FROM SPRINKLER HEADS, LIGHT FIXTURES AND OTHER OBSTRUCTIONS.
- FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
- PLANTING AND IRRIGATION DESIGN MAY BE MODIFIED TO ADAPT TO WALK CONFIGURATIONS THAT DIFFER FROM THESE PLANS, OR BECAUSE OF GRADE LIMITATIONS ON SITE.
- WATER TEST ALL TREE PLANTING HOLES PRIOR TO PLANTING. IF TREE HOLE DOES NOT DRAIN, DO NOT PLANT.
- REFER TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT SHOWN ON DRAWINGS.
- TREES SHALL BE PLANTED A MINIMUM OF 10'-0" FROM STREET LIGHTS/SEEPAGE BEDS/IDAHO POWER APPURTENANCES/ FIRE HYDRANTS, 6'-0" FROM EDGE OF UNDERGROUND PIPELINES AND A MINIMUM OF 4'-0" FROM WALKS, CURBS AND WALLS. SHRUBS SHALL BE PLANTED A MINIMUM OF 2'-0" FROM CURB AND WALKS.
- ALL SPECIMEN TREES, SHRUBS AND GROUND COVER SHALL BE FIELD LOCATED BY LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE.
- THE CONTRACTOR SHALL INSTALL "SHAWTOWN ROOT BARRIER PANELS" (OR APPROVED EQUAL) AT ALL TREES WITHIN 7'-0" FEET OF HARDSCAPE ELEMENTS INCLUDING (BUT NOT LIMITED TO) SIDEWALKS, ASPHALT, CONCRETE SLABS / FOOTINGS AND STRUCTURES. CONTRACTOR SHALL SUBMIT SPECIFICATION SHEETS OF PROPOSED ROOT BARRIER PANELS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION, IF APPLICABLE.
- ON-SITE AND OFF-SITE TOPSOIL SHALL CONFORM TO CONTENT REQUIREMENTS AS SPECIFIED IN PART 2 OF THE PLANTING SPECIFICATIONS. AGRONOMY TEST SUBMITTALS ARE REQUIRED FOR ALL MATERIAL USED FOR TOPSOIL AND BACKFILL. SUBMIT REPORT TO LANDSCAPE ARCHITECT FOR REVIEW.
- ALL PLANT MATERIAL SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION.
- THE CONTRACTOR SHALL PROVIDE MAINTENANCE FOR ALL PLANT MATERIAL FROM THE TIME OF INSTALLATION THROUGH SUBSTANTIAL COMPLETION AND 90 DAY MAINTENANCE AFTER SUBSTANTIAL COMPLETION PRIOR TO TURNOVER TO HOME OWNER'S ASSOCIATION (HOA).
- PLANT MATERIAL MARKED 'SALVAGE' SHALL BE SELECTED FROM ON-SITE SALVAGE INVENTORY. ALL MATERIAL SELECTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE.
- ALL PLANTER BEDS SHALL BE TREATED WITH PRE-EMERGENT AS PER MANUFACTURER'S INSTRUCTIONS. RE-APPLY AS NECESSARY TO ELIMINATE INVASIVE WEEDS. REMOVE ALL DEAD DEBRIS.
- ALL TREE STAKING SHALL CONFORM TO THE PLANTING DETAILS OR AS NOTED IN THE SPECIFICATIONS. THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE SHALL REVIEW TYPICAL TREE STAKING PRIOR TO FINAL ACCEPTANCE.

**MATERIAL SCHEDULE:**

DESCRIPTION	SUPPLIER	MODEL / SIZE	COLOR/FINISH	COMMENTS
<b>CONCRETE SIDEWALK</b>				
	CONTRACTOR		UNCOLORED, MEDIUM BROOM FINISH	PER KUNA, IDAHO STANDARDS
<b>SPADE EDGE</b>				
-LIMIT OF TURF	CONTRACTOR			
<b>PLANTING AREA</b>				
-MULCH	CONTRACTOR	MULCH	PREMIUM BLEND	
<b>LAWN AREA</b>				
-SOD	CONTRACTOR	FESCUE SOD		

**LANDSCAPE CALCULATIONS:**

LOCATION	BUFFER WIDTH	LENGTH	REQUIRED	PROVIDED
S. CLOVERSDALE RD.	31'	575'/100'	6 - Shade Trees* (Class I trees only due to OHP)	19 - Ornamental Trees

NOTES:  
 \*CLASS I TREES PROVIDED DUE TO OVERHEAD POWER LINES (OHP)  
 THERE ARE NO EXISTING TREES ON SITE.

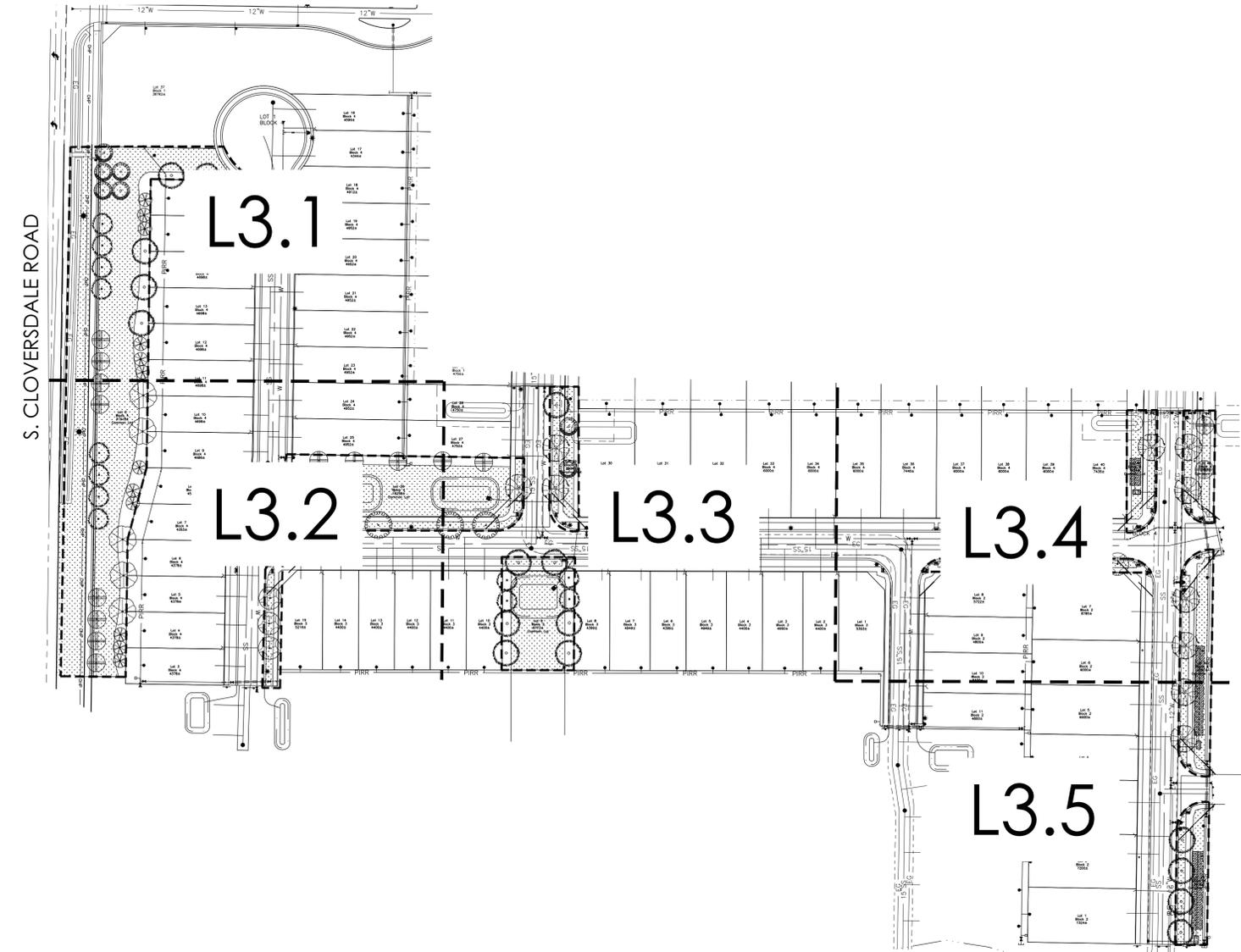
**GENERAL NOTES:**

- THESE CONSTRUCTION DOCUMENTS, INCLUDING ALL PLANS, NOTES, DETAILS AND SPECIFICATIONS ARE INTENDED TO FACILITATE THE INSTALLATION CONTRACTOR BY PROVIDING GENERAL GUIDELINES FOR DESIGN INTENT. IT IS THE GOAL OF THE DOCUMENTS THAT THE WORK IS TO BE COMPLETED WITHOUT CHANGE ORDERS. ALL QUANTITIES SHOWN IN THE DOCUMENTS ARE ESTIMATES ONLY AND ARE NOT GUARANTEED; THE CONTRACTOR SHALL SUPPLY ALL MATERIALS, LABOR AND EQUIPMENT IN ORDER TO FULFILL THE INTENT OF THE DESIGN DRAWINGS.
- INTERPRETATION OF THE PLANS AND SPECIFICATIONS SHALL BE MADE BY THE "AUTHOR" OR "LANDSCAPE ARCHITECT/ENGINEER-OF-RECORD" OF THE RESPECTIVE DOCUMENT AND SHALL BE CONSIDERED FINAL. ANY POSSIBLE AMBIGUITY SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR PRIOR TO SUBMITTING FORMAL BIDS. ALL CLARIFICATIONS SHALL BE PREPARED IN WRITING BY THE "LANDSCAPE ARCHITECT/ENGINEER-OF-RECORD" PRIOR TO BIDDING. THE CONTRACTOR SHALL ACCEPT THE INTERPRETATION OF THE "LANDSCAPE ARCHITECT/ENGINEER-OF-RECORD" AS THE CORRECT AND FINAL INTERPRETATION.
- ANY INCIDENTAL INSTALLATION PROCEDURE, MATERIAL OR EQUIPMENT, NOT MENTIONED IN THESE CONSTRUCTION DOCUMENTS, THE SPECIFICATIONS NOR SHOWN ON THE PLANS, WHICH MAY BE NECESSARY FOR COMPLETION AND SATISFACTORY OPERATION OF THE DESIGN SYSTEM SHALL BE FURNISHED AND INSTALLED (AS BASED ON INDUSTRY STANDARDS) AS THOUGH SHOWN OR PROVIDED FOR.
- EXISTING CONDITIONS AND BASE INFORMATION ARE BASED ON PLANS PREPARED BY: JUB ENGINEERS, INC. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATIONS OF EXISTING AND FUTURE UNDERGROUND SERVICES AND IMPROVEMENTS WHICH MAY CONFLICT WITH THE WORK TO BE DONE. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY SHOULD A CONFLICT ARISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS AND SHALL NOTIFY ALL UTILITY COMPANIES WITH UTILITIES ON SITE PRIOR TO THE CONSTRUCTION OF THE PROJECT.
- FOR UNDERGROUND UTILITY COORDINATION AND 48 HOURS PRIOR TO START OF CONSTRUCTION (DEPENDING ON AREA OR JURISDICTION), THE CONTRACTOR SHALL CONTACT:
  - UTILITY DIG LINE SERVICE OF IDAHO 1-800-342-1585
  - UNDERGROUND SERVICES ALERT (USA) 1-800-227-2600
  - OVERHEAD UTILITIES
- THESE NOTES ARE TO BE USED FOR GENERAL REFERENCE IN CONJUNCTION WITH AND AS A SUPPLEMENT TO THE WRITTEN SPECIFICATIONS, APPROVED ADDENDUMS, AND THE CHANGE ORDERS AS ASSOCIATED WITH THESE CONSTRUCTION DOCUMENTS.
- SHOULD THE CONTRACTOR HAVE ANY QUESTIONS REGARDING THESE CONSTRUCTION DOCUMENTS OR SHOULD THERE BE ANY DISCREPANCIES, HE SHALL CONTACT THE LANDSCAPE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING FURTHER.
- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS AND PER GOVERNING CODES AND/OR ORDINANCES.
- THE CONTRACTOR SHALL PROVIDE BARRICADES AND TRAFFIC CONTROL ALONG PUBLIC STREETS, IF REQUIRED, DURING INSTALLATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPORT TO THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS PRIOR TO THE START OF WORK.
- BEFORE WORK BEGINS ON THE PROJECT, THE CONTRACTOR SHALL REVIEW THE PROJECT WITH THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE.
- THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL APPROVE ANY OR ALL CHANGES PRIOR TO THE START OF WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND COORDINATING EXISTING SITE CONDITIONS.
- THE CONTRACTOR SHALL ADHERE TO ALL APPLICABLE LOCAL, STATE, AND/OR FEDERAL LAWS AND/OR REGULATIONS PERTAINING TO THE PROJECT.
- THE CONTRACTOR SHALL PROPERLY COORDINATE HIS WORK WITH OTHER CONTRACTOR'S WORK PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT EXISTING IMPROVEMENTS AND THE PUBLIC FROM DAMAGE THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY DAMAGES IMPOSED, UNINTENTIONALLY OR ACCIDENTALLY TO EXISTING UTILITIES, STRUCTURES, WALLS, OR OTHER AMENITIES, DUE TO THE ACTION OF THE CONTRACTOR, CONTRACTOR'S EMPLOYEES AND/OR THE CONTRACTOR'S SUBCONTRACTORS. DAMAGE OCCURRED DURING THE CONTRACTOR'S OPERATION SHALL BE REPAIRED, AT THE EXPENSE OF THE CONTRACTOR, TO THE SATISFACTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
- MATCH GRADES, LAYOUT AND ELEVATIONS OF ADJOINING LANDSCAPE WORK. NOTIFY THE LANDSCAPE ARCHITECT OF CONFLICTS BEFORE PROCEEDING WITH CONSTRUCTION.



**FALCON CREST**  
**SUBDIVISION NO. 4**  
 Landscape Construction Documents  
 KUNA, IDAHO

revisions:  
 02.22.2022 Plant Sizes  
 05.10.2022 ACHD COM.  
 project #: MTC088  
 scale: NTS  
 issued for: REVIEW  
 drawn by: TEAM  
 date: 06.10.2021  
 drawing: General Notes



PLANT MATERIALS LEGEND

Sym.	Plant Name	Size	Qty.	Remarks
<b>Class I Trees</b>				
	<i>Cercis canadensis</i> Eastern Redbud	2" Cal.	12	Standard
	<i>Prunus cerasifera</i> 'Newport' Newport Purple Leaf Plum	2" Cal.	7	Standard
	<i>Pyrus calleryana</i> 'Chanticleer' Chanticleer Pear	2" Cal.	15	Standard
<b>Class II Trees</b>				
	<i>Acer plantanoides</i> 'Crismon King' Crismon King Maple	2" Cal.	5	Standard
	<i>Acer truncatum</i> 'Pacific Sunset' Pacific Sunset Maple	2" Cal.	5	Standard
	<i>Acer truncatum x plantanoides</i> 'Keithform' Norwegian Sunset Maple	2" Cal.	10	Standard
	<i>Ginkgo biloba</i> 'Autumn Gold' Autumn Gold Ginkgo	2" Cal.	16	Standard
	<i>Tilia x mongolica</i> 'Harvest Gold' Harvest Gold Linden	2" Cal.	9	Standard
<b>Conifer Trees</b>				
	<i>Pinus flexilis</i> 'Vanderwolfs' Vanderwolfs Pine	7-8' Ht. B&B	12	
<b>Shrubs</b>				
	<i>Buddlejia davidii</i> 'Black Knight' Black Knight Butterfly Bush	3 gal.	25	
	<i>Buxus microphylla</i> var. <i>koreana</i> x <i>Buxus sempervirens</i> Green Gem Boxwood	3 gal.	20	
	<i>Caryopteris x clandonensis</i> 'Dark Knight' Dark Knight Bluebeard	3 gal.	32	
	<i>Euonymus japonicus</i> 'Silver King' Silver King Euonymus	3 Gal.	58	
	<i>Euonymus kiautschovicus</i> 'Manhattan' Manhattan Euonymus	3 Gal.	171	
	<i>Perovskia atriplicifolia</i> Russian Sage	3 gal.	12	
	<i>Phytolmia fraseri</i> Fraser's Phytolmia	3 gal.	38	
	<i>Physocarpus opulifolius</i> Summer Wine Ninebark	3 gal.	7	
	<i>Prunus x cistena</i> Cistena Plum	3 gal.	6	
	<i>Rosa x 'Noalesa'</i> Flower Carpet Yellow Rose	3 gal.	46	
	<i>Rosa x 'Noare'</i> Flower Carpet Red Rose	3 gal.	62	
	<i>Rosa x 'Pink Supreme'</i> Flower Carpet Pink Supreme Rose	3 gal.	47	
	<i>Spiraea x bumalda</i> 'Goldflame' Gold Flame Spirea	3 gal.	15	
	<i>Viburnum opulus</i> 'Roseum' Common Snowball Viburnum	3 gal.	23	
<b>Grasses</b>				
	<i>Calamagrostis x acutiflora</i> 'Overdam' Overdam Feather Reed Grass	3 gal.	12	
	<i>Miscanthus sinensis</i> 'Yakushima' Yakushima Maiden Grass	3 gal.	14	
<b>MASS PLANTING</b>				
	LAWN: SOD-FESCUE			
<b>INERTS</b>				
	LIMIT OF TURF			
	BARK MULCH, PREMIUM BLEND			

NOTE: All trees, shrubs, groundcover, perennials are drawn to scale at full maturity.

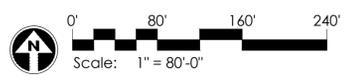
GREY PICKETT  
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 480.609.0009p 480.609.0006f



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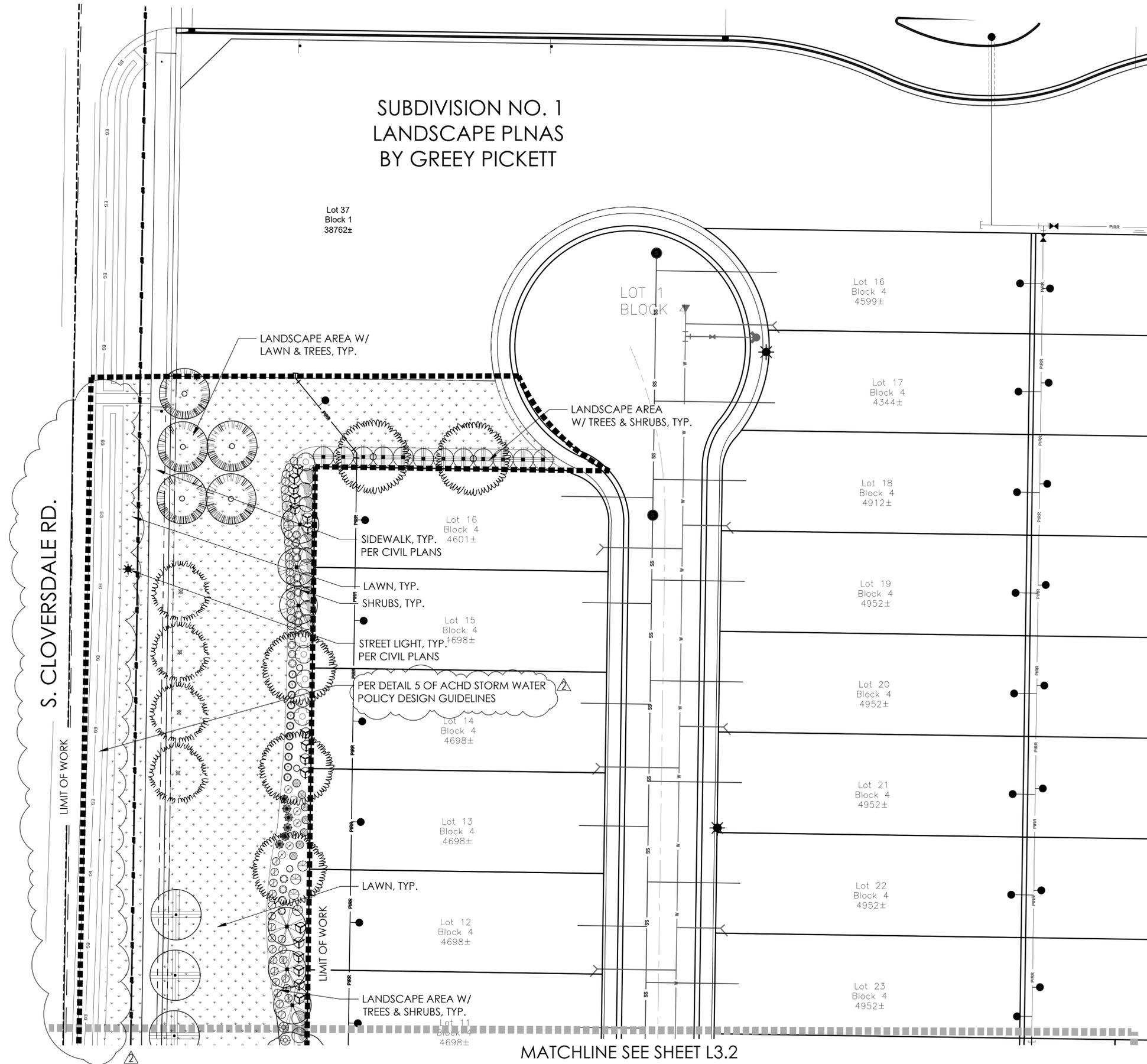
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 As Shown  
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 REVIEW  
 drawn by:  
 TEAM  
 date:  
 06.10.2021  
 drawing:  
 Overall Landscape Plan

LANDSCAPE SHEET LAYOUT



sheet #  
**L3.0**  
 3 of 10

# SUBDIVISION NO. 1 LANDSCAPE PLNS BY GREY PICKETT



## PLANT MATERIALS LEGEND

Sym.	Plant Name	Size	Qty.	Remarks
<b>Class I Trees</b>				
	<i>Cercis canadensis</i> Eastern Redbud	2" Cal.	12	Standard
	<i>Prunus cerasifera</i> 'Newport' Newport Purple Leaf Plum	2" Cal.	7	Standard
	<i>Pyrus calleryana</i> 'Chanticleer' Chanticleer Pear	2" Cal.	15	Standard
<b>Class II Trees</b>				
	<i>Acer plantanoides</i> 'Crismon King' Crismon King Maple	2" Cal.	5	Standard
	<i>Acer truncatum</i> 'Pacific Sunset' Pacific Sunset Maple	2" Cal.	5	Standard
	<i>Acer truncatum x plantanoides</i> 'Keithform' Norwegian Sunset Maple	2" Cal.	10	Standard
	<i>Ginkgo biloba</i> 'Autumn Gold' Autumn Gold Ginko	2" Cal.	16	Standard
	<i>Tilia x mongolica</i> 'Harvest Gold' Harvest Gold Linden	2" Cal.	9	Standard
<b>Conifer Trees</b>				
	<i>Pinus flexilis</i> 'Vanderwolfs' Vanderwolfs Pine	7-8 HT. B&B	12	
<b>Shrubs</b>				
	<i>Buddleja davidii</i> 'Black Knight' Black Knight Butterfly Bush	3 gal.	25	
	<i>Buxus microphylla</i> var. <i>koreana</i> x <i>Buxus sempervirens</i> Green Gem Boxwood	3 gal.	20	
	<i>Caryopteris x clandonensis</i> 'Dark Knight' Dark Knight Bluebeard	3 gal.	32	
	<i>Euonymus japonicus</i> 'Silver King' Silver King Euonymus	3 Gal.	58	
	<i>Euonymus kiautschovicus</i> 'Manhattan' Manhattan Euonymus	3 Gal.	171	
	<i>Perovskia atriplicifolia</i> Russian Sage	3 gal.	12	
	<i>Photinia fraseri</i> Fraser's Photinia	3 gal.	38	
	<i>Physocarpus opulifolius</i> Summer Wine Ninebark	3 gal.	7	
	<i>Prunus x sistena</i> Cistena Plum	3 gal.	6	
	<i>Rosa x 'Noalesa'</i> Flower Carpet Yellow Rose	3 gal.	46	
	<i>Rosa x 'Noire'</i> Flower Carpet Red Rose	3 gal.	62	
	<i>Rosa x 'Pink Supreme'</i> Flower Carpet Pink Supreme Rose	3 gal.	47	
	<i>Spiraea x bumalda</i> 'Goldflame' Gold Flame Spirea	3 gal.	15	
	<i>Viburnum opulus</i> 'Roseum' Common Snowball Viburnum	3 gal.	23	
<b>Grasses</b>				
	<i>Calamagrostis x acutiflora</i> 'Overdam' Overdam Feather Reed Grass	3 gal.	12	
	<i>Miscanthus sinensis</i> 'Yakushima' Yakushima Maiden Grass	3 gal.	14	
<b>MASS PLANTING</b>				
	LAWN: SOD-FESCUE			
<b>INERTS</b>				
	LIMIT OF TURF			
	BARK MULCH, PREMIUM BLEND			

NOTE: All trees, shrubs, groundcover, perennials are drawn to scale of full maturity.

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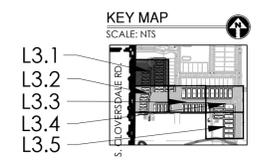


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Landscape Construction Documents  
KUNA, IDAHO

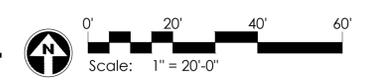
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02.22.2022 Plant Sizes  
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As Shown  
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REVIEW  
drawn by:  
TEAM  
date:  
06.10.2021  
drawing:  
Planting Plan

sheet #

L3.1  
4 of 10



## PLANTING PLAN - L3.1



PLANT MATERIALS LEGEND

Sym.	Plant Name	Size	Qty.	Remarks
<b>Class I Trees</b>				
	<i>Cercis canadensis</i> Eastern Redbud	2' Cal.	12	Standard
	<i>Prunus cerasifera</i> 'Newport' Newport Purple Leaf Plum	2' Cal.	7	Standard
	<i>Pyrus calleryana</i> 'Chanticleer' Chanticleer Pear	2' Cal.	15	Standard
<b>Class II Trees</b>				
	<i>Acer plantanoides</i> 'Crismon King' Crismon King Maple	2' Cal.	5	Standard
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<b>Conifer Trees</b>				
	<i>Pinus flexilis</i> 'Vanderwolfs' Vanderwolfs Pine	7'-8' HT. B&B	12	
<b>Shrubs</b>				
	<i>Buddlejia davidii</i> 'Black Knight' Black Knight Butterfly Bush	3 gal.	25	
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	<i>Physocarpus opulifolius</i> Summer Wine Ninebark	3 gal.	7	
	<i>Prunus x cistena</i> Cistena Plum	3 gal.	6	
	<i>Rosa x 'Noalesa'</i> Flower Carpet Yellow Rose	3 gal.	46	
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	<i>Rosa x 'Pink Supreme'</i> Flower Carpet Pink Supreme Rose	3 gal.	47	
	<i>Spiraea x bumalda</i> 'Goldflame' Gold Flame Spiraea	3 gal.	15	
	<i>Viburnum opulus</i> 'Roseum' Common Snowball Viburnum	3 gal.	23	
<b>Grasses</b>				
	<i>Calamagrostis x acutiflora</i> 'Overdam' Overdam Feather Reed Grass	3 gal.	12	
	<i>Miscanthus sinensis</i> 'Yakushima' Yakushima Maiden Grass	3 gal.	14	
<b>MASS PLANTING</b>				
	LAWN: SOD-FESCUE			
<b>INERTS</b>				
	LIMIT OF TURF			
	BARK MULCH, PREMIUM BLEND			

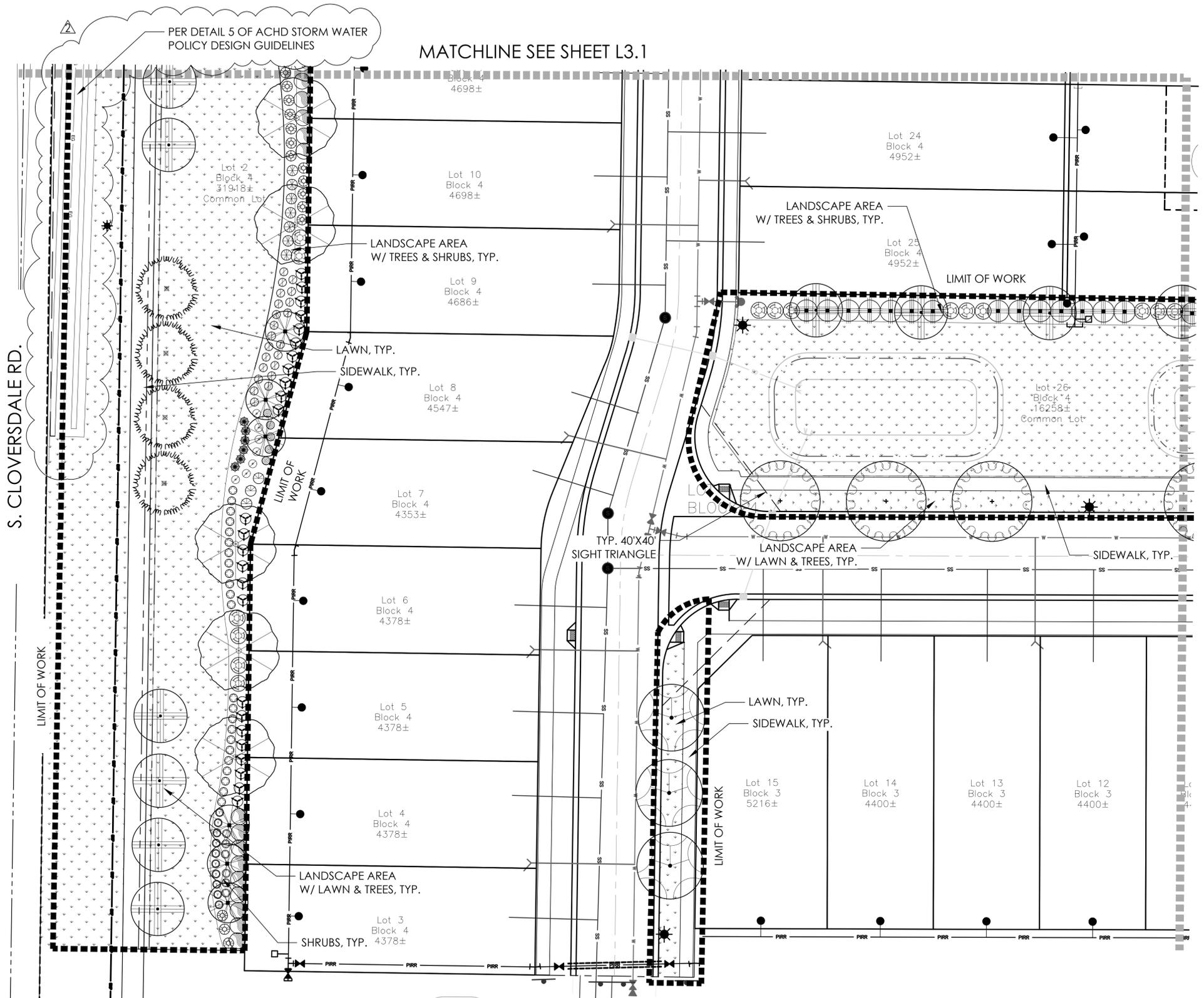
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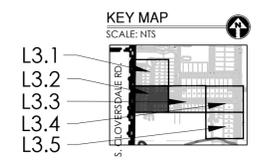
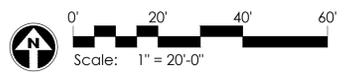
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date:  
06.10.2021  
drawing:  
Planting Plan

sheet #  
L3.2  
5 of 10



PLANTING PLAN - L3.2



PLANT MATERIALS LEGEND

Sym.	Plant Name	Size	Qty.	Remarks
<b>Class I Trees</b>				
	<i>Cercis canadensis</i> Eastern Redbud	2' Cal.	12	Standard
	<i>Prunus cerasifera</i> 'Newport' Newport Purple Leaf Plum	2' Cal.	7	Standard
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<b>Class II Trees</b>				
	<i>Acer plantanoides</i> 'Crismon King' Crismon King Maple	2' Cal.	5	Standard
	<i>Acer truncatum</i> 'Pacific Sunset' Pacific Sunset Maple	2' Cal.	5	Standard
	<i>Acer truncatum x plantanoides</i> 'Keithform' Norwegian Sunset Maple	2' Cal.	10	Standard
	<i>Ginkgo biloba</i> 'Autumn Gold' Autumn Gold Ginkgo	2' Cal.	16	Standard
	<i>Tilia x mongolica</i> 'Harvest Gold' Harvest Gold Linden	2' Cal.	9	Standard
<b>Conifer Trees</b>				
	<i>Pinus flexilis</i> 'Vanderwolfs' Vanderwolfs Pine	7-8 HT. B&B	12	
<b>Shrubs</b>				
	<i>Buddleja davidii</i> 'Black Knight' Black Knight Butterfly Bush	3 gal.	25	
	<i>Buxus microphylla</i> var. <i>koreana</i> x <i>Buxus sempervirens</i> Green Gem Boxwood	3 gal.	20	
	<i>Caryopteris x clandonensis</i> 'Dark Knight' Dark Knight Bluebeard	3 gal.	32	
	<i>Euonymus japonicus</i> 'Silver King' Silver King Euonymus	3 gal.	58	
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	<i>Photinia fraseri</i> Fraser's Photinia	3 gal.	38	
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	<i>Rosa x 'Pink Supreme'</i> Flower Carpet Pink Supreme Rose	3 gal.	47	
	<i>Spiraea x bumalda</i> 'Goldflame' Gold Flame Spirea	3 gal.	15	
	<i>Viburnum opulus</i> 'Roseum' Common Snowball Viburnum	3 gal.	23	
<b>Grasses</b>				
	<i>Calamagrostis x acutiflora</i> 'Overdam' Overdam Feather Reed Grass	3 gal.	12	
	<i>Miscanthus sinensis</i> 'Yakushima' Yakushima Maiden Grass	3 gal.	14	
<b>MASS PLANTING</b>				
Sym.	Description			
	LAWN: SOD-FESCUE			
<b>INERTS</b>				
Sym.	Description			
	LIMIT OF TURF			
	BARK MULCH, PREMIUM BLEND			

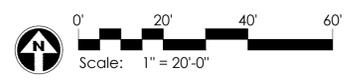
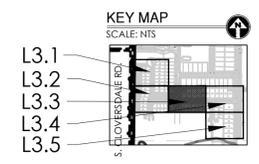
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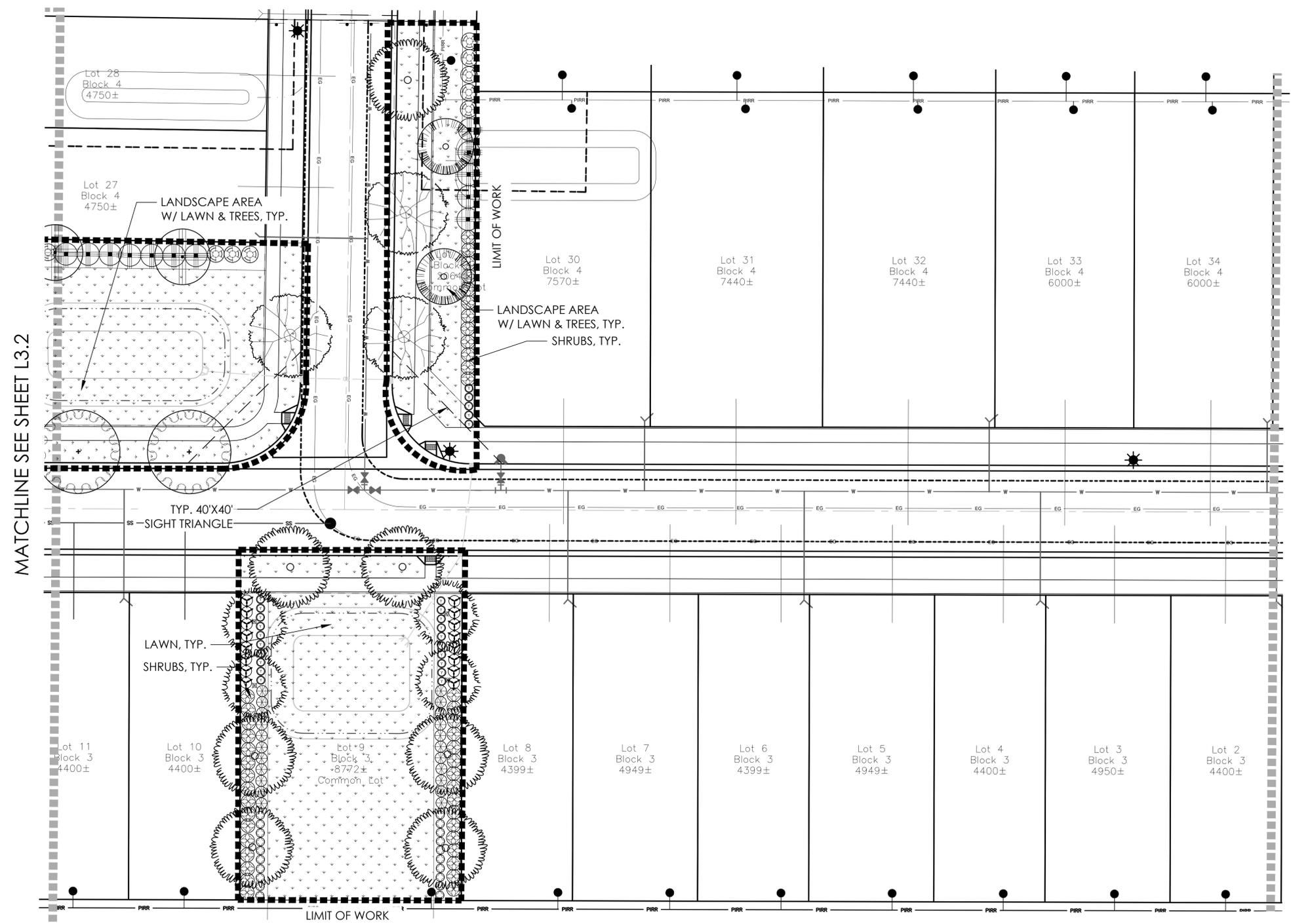
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Planting Plan

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**L3.3**  
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PLANTING PLAN - L3.3



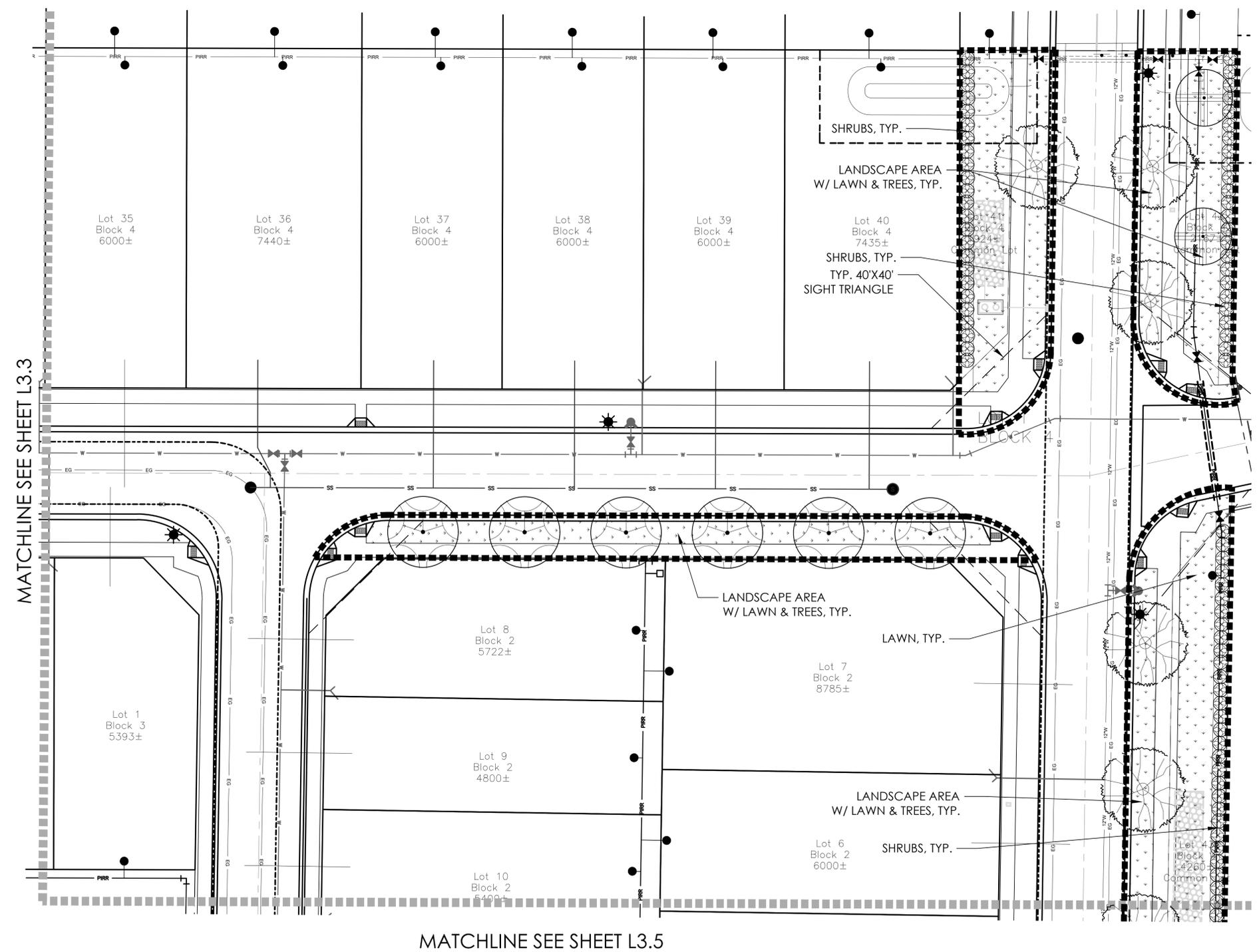
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MATCHLINE SEE SHEET L3.4

PLANT MATERIALS LEGEND

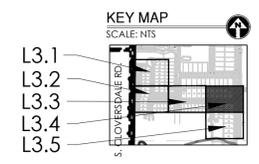
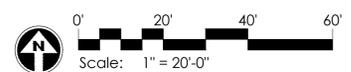
Sym.	Plant Name	Size	Qty.	Remarks
<b>Class I Trees</b>				
	<i>Cercis canadensis</i> Eastern Redbud	2' Cal.	12	Standard
	<i>Prunus cerasifera</i> 'Newport' Newport Purple Leaf Plum	2' Cal.	7	Standard
	<i>Pyrus calleryana</i> 'Chanticleer' Chanticleer Pear	2' Cal.	15	Standard
<b>Class II Trees</b>				
	<i>Acer plantanoides</i> 'Crismon King' Crismon King Maple	2' Cal.	5	Standard
	<i>Acer truncatum</i> 'Pacific Sunset' Pacific Sunset Maple	2' Cal.	5	Standard
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<b>MASS PLANTING</b>				
	LAWN: SOD - FESCUE			
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	LIMIT OF TURF			
	BARK MULCH, PREMIUM BLEND			

NOTE: All trees, shrubs, groundcover, perennials are drawn to scale of full maturity.



MATCHLINE SEE SHEET L3.5

PLANTING PLAN - L3.4



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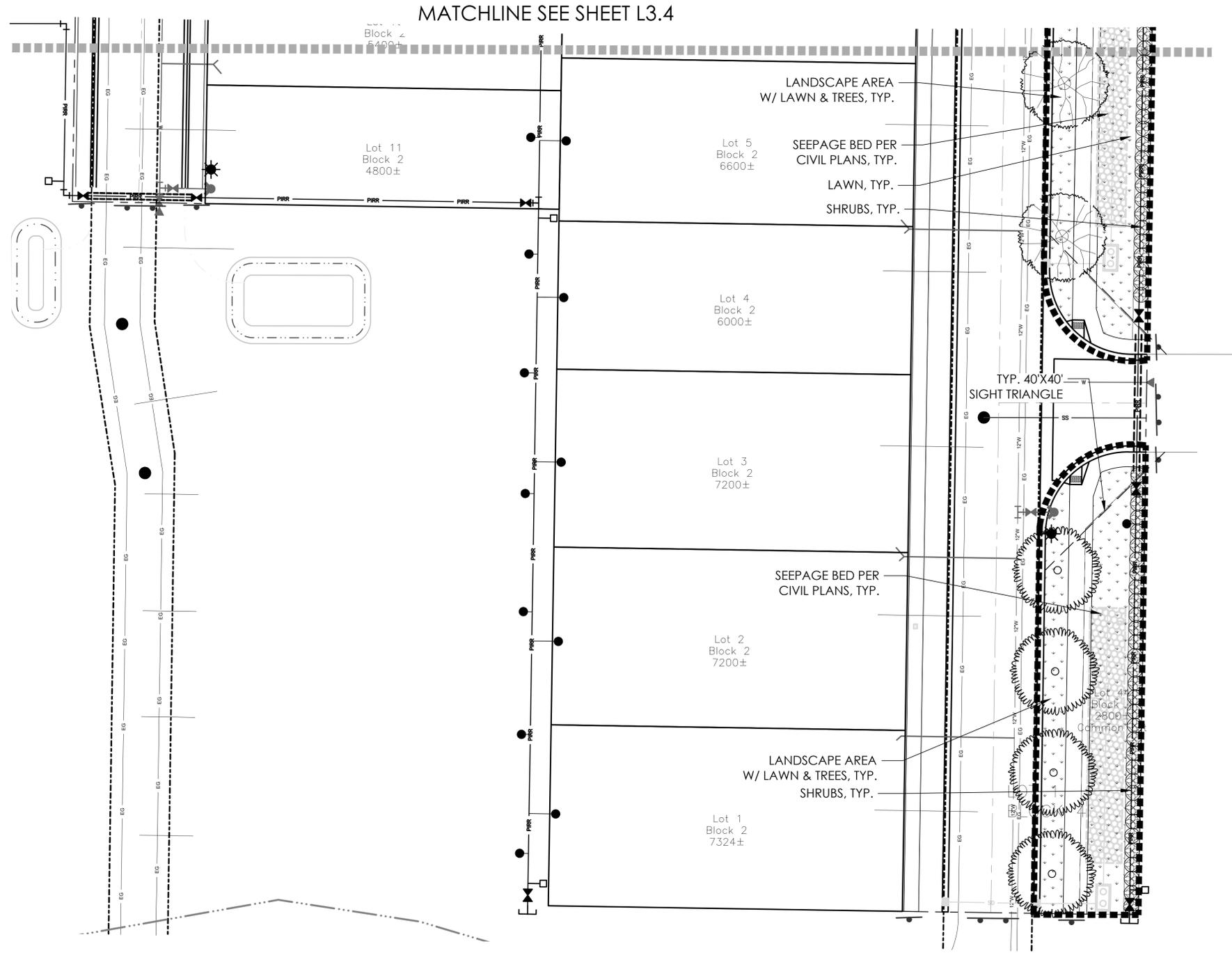
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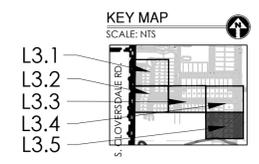
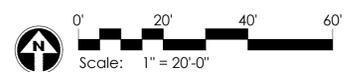
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	LIMIT OF TURF			
	BARK MULCH, PREMIUM BLEND			

NOTE: All trees, shrubs, groundcover, perennials are drawn to scale of full maturity.



PLANTING PLAN - L3.5



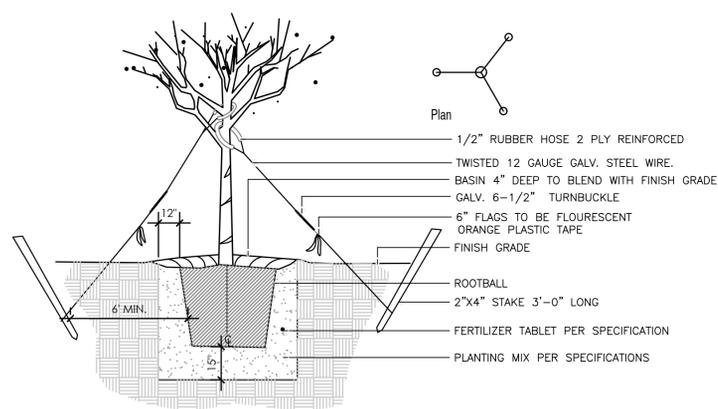
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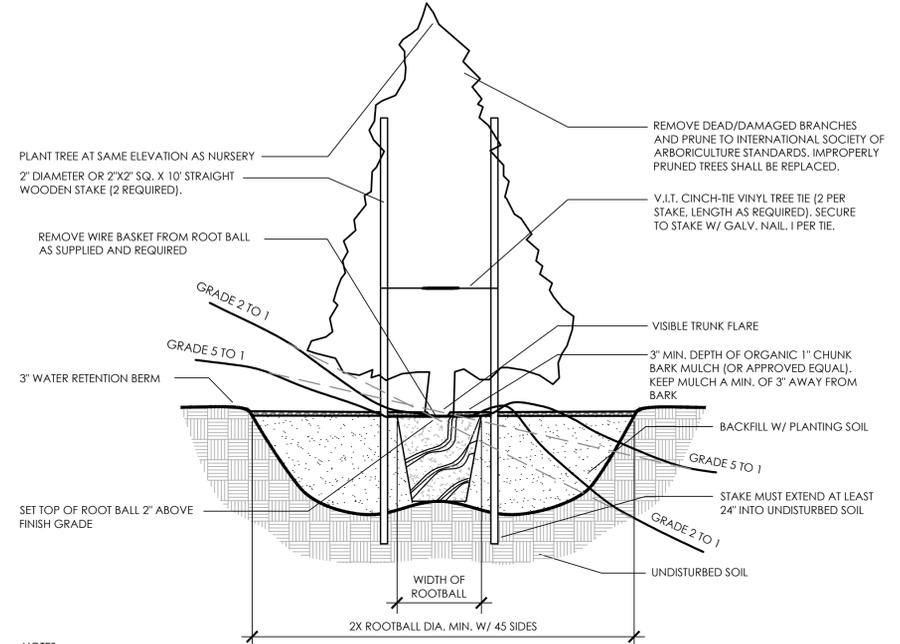
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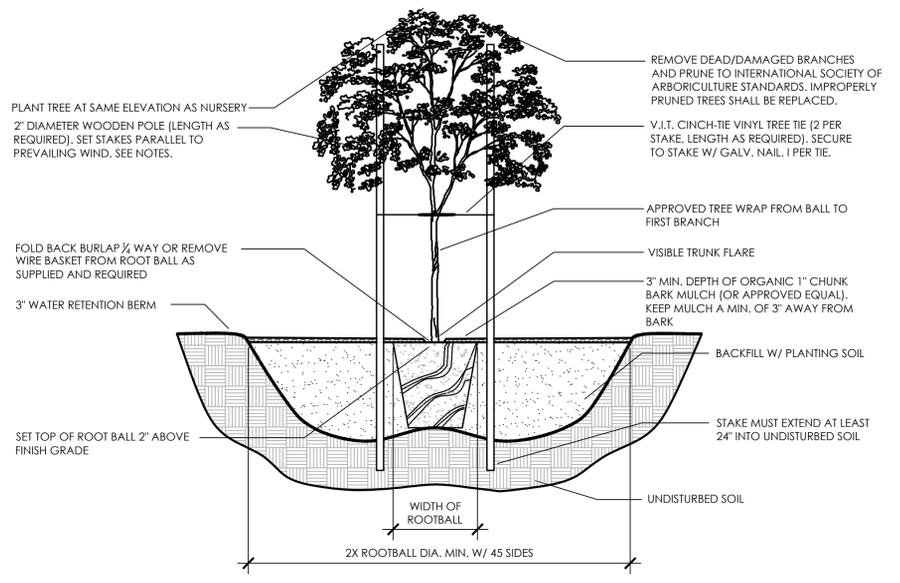
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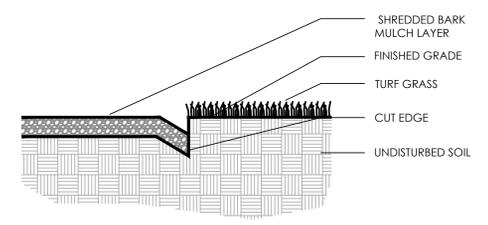
**1.3 Tree Guying Detail**  
Scale: N.T.S.



**1.2 Evergreen Tree Planting Detail**  
Scale: N.T.S.

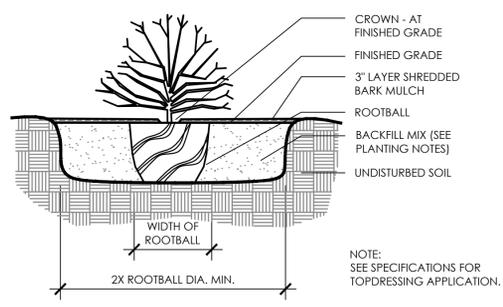


**1.1 Deciduous Tree Planting Detail**  
Scale: N.T.S.

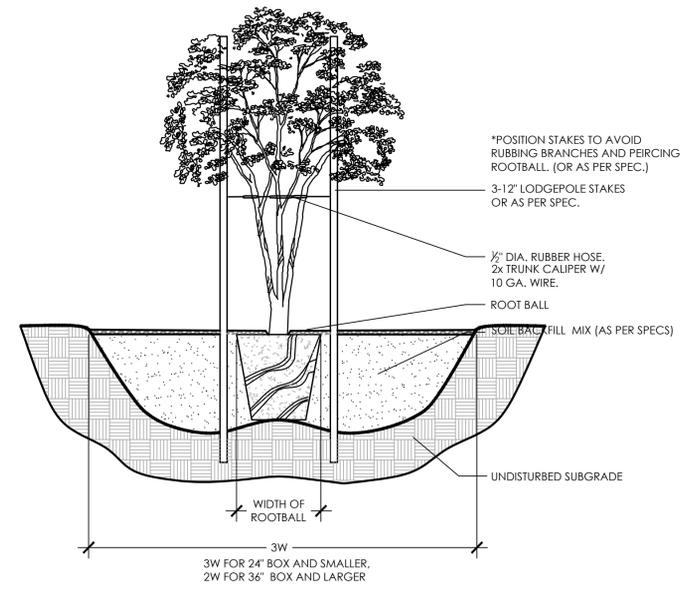


ALL PLANTING BEDS ADJACENT TO LAWN AREAS SHALL HAVE A SHOVEL EDGE TO PROVIDE A DISTINCT SEPARATION BETWEEN LANDSCAPE TYPES.

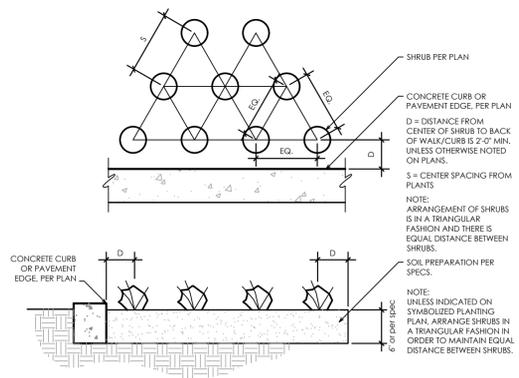
**1.6 Cut Edge Detail**  
Scale: N.T.S.



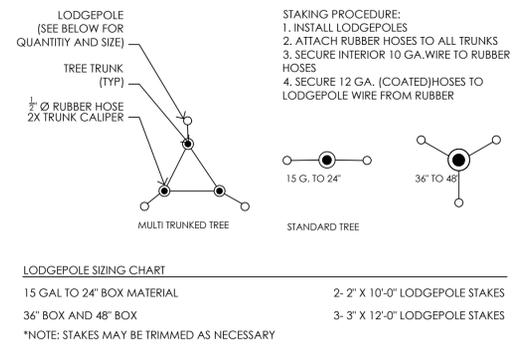
**1.5 Shrub Planting Detail**  
Scale: N.T.S.



**1.4 Tree Staking Detail**  
Scale: N.T.S.



**1.8 PLANT SPACING DETAIL**  
Scale: 1/4" = 1'-0"



**1.7 Tree Staking Diagram**  
Scale: N.T.S.

LODGEPOLE SIZING CHART

15 GAL TO 24" BOX MATERIAL	2- 2" X 10'-0" LODGEPOLE STAKES
36" BOX AND 48" BOX	3- 3" X 12'-0" LODGEPOLE STAKES

\*NOTE: STAKES MAY BE TRIMMED AS NECESSARY

## SECTION - 02900 LANDSCAPE

## PART 1 - GENERAL

## 1.01 WORK INCLUDED

\*Landscape finish grading.

\* Soil preparation

\*Tree supports

\*Planting

\*Watering

\*Maintenance

Definitions:

Owner's representative - an authorized agent determined by owner to act on their behalf, in some cases the Landscape Architect may be the owner representative as outlined in these specs.

Plants - all shrubs other than trees and turf.

Plant Material - all trees, shrubs, ground cover, grasses, and other plants.

## 1.02 RELATED WORK

Contractor : Minimum 5 years experience in supply and installation of landscape materials. A Foreman with a minimum of 5 years experience in related work shall be on site at all times.

## 1.03 SOURCE QUALITY CONTROL

Provide certificates of inspection for all materials as required by law or regulation.

Package standard materials with manufacturers certified analysis. Provide analysis by recognized laboratory made in accordance with methods established by the Association of Official Chemists for all other material.

Provide trees and shrubs grown in a recognized nursery in accordance with good horticultural practice. Provide healthy, undamaged, vigorous stock grown under climatic conditions similar to conditions of project site and free of disease, insects, eggs, larvae and defects such as sun-scald, knots, injuries, abrasions or disfigurements. Provide trees and shrubs of the sizes indicated. Trees and shrubs of sizes larger than those indicated may be used provided roots, root ball, staking and planting pits are increased proportionately.

## 1.04 REFERENCE STANDARDS

ANSI 60.1 - American Standards for Nursery Stock.

## 1.05 SAMPLES

Submit the following material samples to Owner's Representative a minimum of 48 hours prior to start of work.

- Topsoll for backfill mix (trees and shrubs).
- Wood Shavings/Mulch.
- Tree supports.
- Reserved
- Boulders.

The Owner's Representative reserves the right to take and analyze samples of materials for conformity to Specification at any time. Furnish samples upon request by Owner's Representative. Rejected materials shall be immediately removed from the site and replaced at the contractor's additional expense.

Submit samples of decomposed granite for approval of gradation and color. Sample shall be representative of variations within size and color to be provided.

## 1.06 PRODUCT DATA

Submit to Owner's Representative a minimum of 48 hours prior to start of work manufacturer's comprehensive product description, including specifications and installation instructions.

## 1.07 CERTIFICATES AND TEST REPORTS

Provide and pay for all materials testing. Testing agency shall be acceptable to the Landscape Architect. Submit to Owner's Representative a minimum of 48 hours prior to start of work 2 copies of certificates of inspection as required by governmental authorities, and manufacturers' vendors certified analysis for soil amendments, fertilizer materials, and chemicals. Submit other data substantiation that materials comply with specified requirements. Certificates are required to determine the quality and quantity of all specified soil amendments.

Materials certification to be submitted include, but are not limited to: Topsoil source and nutrient analysis, mulch, fertilizers/soil amendments/chemicals, Test representative material samples proposed for use. Provide the following data:

- Topsoll and planting backfill.
- Soil PH.
- Particle size, percentage soil texture.
- Percentage organic material.
- Percolation rate.
- Nutrient level analysis.
- All macro, secondary and micro nutrient salinity.
- ESP.
- Free lime.

Recommendations on type and quantity of amendments required to bring levels into acceptable ranges as detailed in Part 2 - Products of Materials of these specifications.

Separate recommendations to be submitted for each crop. Crop to be identified as:

- Irrigated trees and shrubs.
- Turf.

## 1.08 MAINTENANCE DATA

Submit to Owner's Representative 2 copies of typewritten instructions, prior to expiration of the initial maintenance period, recommending procedures to be followed by the Owner for the maintenance of landscape work for one full year.

## 1.09 PRODUCT DELIVERY, STORAGE AND HANDLING

Deliver packaged material in containers showing weight, analysis and identification of manufacturer. Protect materials from deterioration at all times.

Provide protective covers to plant life and trees during delivery. Do not prune trees prior to delivery. Do not bend-lie trees or shrubs in such a manner as to cause damage or destroy shape. Deliver materials after preparation for planting have been completed. Plant immediately. If planting is delayed for more than 6 hours after delivery, set plant material in shade, protect from weather and mechanical damage and keep roots moist.

Do not remove container grown stock including ground cover, from containers until planting time.

## 1.10 SITE CONDITIONS

Determine location of underground utilities. Execute work as required to prevent damage.

Maintain grade stakes set by others until directed otherwise.

Protect all existing plant life not scheduled for removal. If any plant material that is to remain is damaged, the Contractor, at his expense, will pay for a replacement plant of the same size and species (to be approved by Owner's Representative).

Protect existing utilities, paving and other facilities from damage during landscaping operation.

Coordinate with other contractors.

## 1.11 WARRANTY

Submit warranty to Owner's Representative. All plant material shall conform to the American Nurseryman Standards for type and size shown. Plants will be rejected if not in a sound and healthy condition.

Trees:

Warrant that trees will be alive and in good health for a period of 1 year after acceptance except for defects resulting from neglect by Owner, abuse or damage by others.

Owner must follow Contractor's maintenance schedule and provide current maintenance log to Owner's Representative.

Remove and replace dead, unhealthy or girdled trees, that lose original form and size during warranty period with material equal to that specified. Replace any material which does not meet requirements within fifteen days of notification. All replacement trees shall be subject to an additional one year maintenance period.

Shrubs and Other Plantings:

Guarantee all other planting will be alive and in satisfactory condition for a period of 1 year from date of acceptance or will be replaced at no additional cost to the Owner. All plant material shall be maintained in a healthy, sturdy condition during the warranty period by the Contractor.

All replacement plants, including shrubs, groundcovers, grasses, vines and perennials shall be subject to an additional 1 year maintenance period.

## PART 2 - PRODUCTS AND MATERIALS

## 2.01 FILL MATERIALS

Provide dry, loose material for fill, backfill, planting backfill and topsoll for planter beds. Frozen or muddy soils are not acceptable. Salts not to exceed 1500 ppm, and material shall be free of debris, noxious weeds, ingredients or objects detrimental to healthy plant growth. Topsoil: Screened, fertile, friable, from well drained arable land, free of nut grass, refuse, roots, heavy clay, noxious weeds or any material toxic to plant growth; contents as follows:

- Silt: 20-45 %
- Clay: 15-20 %
- Sand: 30-60 %
- Organic Material (natural or otherwise): 2 % minimum
- pH: 7.0-8.3
- Soluble salts: 1,500 ppm.
- Nutrients: enough to bring levels up to acceptable plant growth.

Percolation rate shall be between 3 to 4 inches per hour.

Existing top soil may be used provided it meets these requirements.

## 2.02 COMMERCIAL GRADE FERTILIZERS

Agri-Sul, Dispersul - use only for sulfur  
Agriculture grade gypsum

## 2.03 SOIL AMENDMENTS

Wood shavings: nitrogen stabilized fir or pine shavings containing 0.75% total nitrogen and 0.1 to 0.15% total iron, and under 60 ppm total manganese; composted, leached and aged for a minimum of 10 to 12 months; pH factor, 4.0 to 4.5. No soil amendments are required for salvaged plant material unless otherwise specified.

## 2.04 TREE SUPPORTS

Tree Stakes: 2" diameter or 2X2" square x 10' straight wooden stake (2 required) for 15 gallon or larger tree. No tree stakes area required for salvaged plant material.

Tree Ties: Provide a minimum of two per tree; V.I.T. Cinch- tie vinyl tree tie (2 per stake, length as required). Secure to stake with galvanized nail, 1 per tree.

Anchors (Deadmen): 2 inch x 4 inch x 3 feet long; construction grade redwood.

Signals (Flags): For guy wires, 1/2 inch diameter, white or orange plastic tubing 5 feet long over each guy wire.

## 2.05 HERBICIDES

Pre-emergent and contact Herbicides:

Fertilize all trees and shrubs with 'Agrifom' planting tablets, 21 gram or approved equal. Quantify per manufacturer's recommendation.

## 2.06 PLANTING MATERIAL

Plant Material: Healthy, shapely and well rooted. Roots shall show no evidence of having been restricted or deformed at any time. All plants shall be representative of their normal species and variety. They shall have normally developed branch systems. Plants shall be free from disfiguring knots, sun scald injuries and abrasions of bark. Plants not meeting these requirements shall be considered defective and shall be replaced immediately. All plants shall be true to name and shall be tagged, one of each variety. All plant material shall be grown in nurseries inspected by the State Department of Agriculture unless otherwise approved by the Owner's Representative.

Provide "Specimen" plants with a special height, shape or character. Tag at the source of supply prior to notifying Landscape Architect for inspection. The Landscape Architect shall inspect selections of source of supply for suitability and adaptability to selected location. When specimen plants cannot be purchased locally, provide sufficient photographs of proposed material for approval.

Plants may be inspected and approved at place of growth for compliance with specification requirements for quality, size, and variety. Such approval shall not impair the right of inspection and rejection upon delivery at the site or during the progress of the work.

## 2.07 TURF SOD

As noted on plans.

## 2.08 MULCH

All planting beds and tree wells in lawn areas (wells to be 3' in diameter) shall be covered with a minimum of 3" of small (1") bark chips. Submit sample for approval.

## 2.09 SEED MIXTURE

All lawn areas shall be seeded with 100% Turf Type Tall Fescue. Immediately after placement of sod, water to saturate sod and top 4" of topsoil, install and seed rate per manufacturer's recommendations.

## 2.10 TREE ROOT BARRIER

Tree root barriers shall be placed adjacent to all trees located in the landscape planter strip and planter islands per the City of Eagle and ACHD standard details. Install per City of Eagle standard detail and manufacturer's recommendations.

## PART 3 - EXECUTION

## 3.01 GENERAL

Install in accordance with the methods, techniques and specifications of each representative manufacturer. If a conflict occurs between manufacturers and these specifications, consult with Owner's Representative for a decision.

Do not begin planting until the irrigation system is completely installed, is adjusted for full coverage and is completely operational.

## 3.02 BACKFILL, IMPORTED FILL OR ARTIFICIAL SOIL AND GRAVEL

Inspect the integrity of all damp-proofing and water-proofing membranes which occur over, on or against any construction to be fully or partially concealed by earthwork prior to the placement of any imported soil, backfill, gravel fill or sub-base.

Planting back fill for trees and planting beds shall be 5 parts topsoil and 1 part Nu-Earth compost with straw. Stake all trees per details.

Correct defects prior to proceeding with the work.

## 3.03 TOPSOIL

All seeded lawn areas shall have 6" of topsoil and all planting beds shall have 12" of topsoil. Topsoil shall be a loose, sandy loam, clean and free of toxic materials, noxious weeds, wee seeds, rocks, grass, or other foreign material larger than 1" in any dimension, a pH from 5.5 to 7.0. Topsoil from site shall be used if meeting these standards. Place 3/4" Nu-Earth compost over all landscaped areas and rototill into top 4". Spread, compact, and fine grade topsoil to a smooth and uniform grade, 1" below surface of walks and curbs in areas to be sodded and 3" in planting bed areas.

Import additional topsoil only as required to bring planting areas up to finish grade. Spread and cultivate soil so that no settling takes place at any time.

## 3.04 LANDSCAPE FINE GRADING

Allow for the addition of soil amendments, conditioners and any specified top dressing when determining and executing finish grade.

Set finish grade 1-1/2 inches below adjacent paving, curb and headers for shrubs and ground cover beds and areas or as required for installation of mulch or turf sod.

At all planting areas, make entire area smooth and even to finish grade. Cultivate all areas so that there are no bumps or hollows, and the area drains as indicated. Grade and maintain all flow lines, designated or not, to allow free flow of surface water. Cultivate entire area to a depth of 6 inches minimum and remove all rock in excess of 1-1/2 inches diameter, all building rubble, building construction material, waste and any other material that will impair satisfactory growth.

## 3.05 MULCH

## 3.06 HERBICIDE APPLICATION

Apply pre-emergent herbicides in accordance with manufacturer's instructions.

Apply contact herbicides in accordance with manufacturer's recommendations. Prior to application, moisten areas for fourteen days to encourage weed germination and growth. Apply before weeds attain a height of 6 inches. Remove taller weeds manually.

Areas to be landscaped shall be maintained in a weed-free condition at all times during construction and maintenance period.

Do not apply pre-emergent herbicides at locations of revegetation seeding. The contractor shall manually remove invasive weeds within these areas.

## 3.07 TREE SUPPORT

Staked Trees: Stake trees as shown on the drawings within 48-hours of planting.

Tree supports shall be installed to prevent lodging, yet allow for trunk movement. Hoses that encircle trunks shall be large enough to allow for normal growth of the trunk during the first year without girdling.

## 3.08 TREES, SHRUBS, AND VINES

Layout locations with stakes or gypsum. Coordinate with Owner's Representative to assure appropriate location, prior to installation.

Test drainage of plant beds and pits by filling with water. Notify Owner's Representative of areas where water is retained more than 24 hours.

Where rock, underground construction or other detrimental conditions are encountered at plant pits, Owner's Representative may select alternate location.

Do not expose roots to air except during transplanting. Set up of plants at same level when planted as in the container. Cut plant containers on 2 sides without injuring root ball and carefully remove plant. Do not cut container with spade. Damaged plants will be rejected.

Dig pits with perpendicular sides to a minimum of 2 to 3 times the width (see details) of the root ball for containerized trees and shrubs. Dig pits only as deep as the root ball to prevent settling of the tree or shrub.

Place rootball of vines as close to structure or support system as possible. If rootball can't be placed closer than 12" notify Owner's Representative of situation for inspection and remedy.

Tie vines to trellis supports if applicable with green plant tape and remove any staking supplied with plant material.

Planting Mixture: One part wood shavings Two parts excavated soil amended to meet standards in Part 2.

Mix thoroughly outside the hole before start of backfilling.

## 3.09 BACKFILLING

Backfill plant pits and form shallow basin around the plant to hold enough water to saturate the root ball and backfill (only form basins if specified on detail). Water plants immediately after planting and allow backfill to settle in plant pit. Do not raise basin rim above surrounding grade.

Puddle planting mixture when pit is 2/3 full of plant mix. Continue back filling to within 1 inch of surrounding grade.

Finish grade to 2 inches below headers or concrete work.

Planting back fill for trees and planting beds shall be 5 parts topsoil and 1 part Nu-Earth compost with straw.

Treat all planting areas with a pre-emergent.

## 3.10 GROUND COVER

At time of transplanting, soil in flats shall be sufficient so as not to fall apart when lifting plants. Plant each plant with its proportionate amount of the flat soil in a manner that will ensure a minimum disturbance to the root structure.

Plant flat material sufficiently deep to cover all roots. Firmly tamp the earth around each plant to force out large air pockets.

## 3.11 TURF SOD

Soil Preparation: Provide soil with an organic matter content of 25-percent to 30-percent. Cultivate entire area to a depth of 6" minimum and remove all rock in excess of 1 1/2"; all building rubble, building construction material waste and any other material that will impair satisfactory growth. This top 6" must meet the topsoil requirements noted in Section 2.01.

Soil Amendments: Prior to rototilling, apply gypsum at a rate of 100 lbs per 1,000 sq. ft. phosphate at a rate of 2 lbs per 1,000 sq. ft., and soil sulfur at 5 lbs per 1,000 sq. ft. Rototill into soil.

Install sod along the straightest edge of turf area. Stagger joints in a brick-like pattern. Avoid gaps and overlapping. Place sod diagonally across, to avoid sliding. Water sod at least every 30 min. during installation. Finish by watering lightly and roll in two directions w/sod roller.

## 3.12 WATERING

Water all plants immediately after planting with hose in planting hole until the roots are completely saturated from the bottom of the hole to the top of the ground to avoid drying out until the entire planted area is thoroughly watered and the soil soaked to the full depth of each plant hole. Water stream shall not cause damage to planting hole or plant. Keep exposed roots wet by means of moist sawdust, peat moss or bulatop at all times during planting operation. Repeat watering as often as necessary to keep the ground moist but not soaked, well below the root system of the plants.

## 3.13 CLEAN UP

Keep all areas clean and orderly during and after execution of work. Burning of trash is not permitted.

## 3.14 ADJUSTMENT

Prune each tree and shrub to preserve the natural character of the plant per American Standards for Nursery Stock, as published by the American Association of Nurserymen. Prune only as directed by Owner's Representative and Landscape Architect to remove deadwood, suckers, or broken or badly bruised branches. Replace all plants damaged by excessive pruning, planting operations or construction damage.

## 3.15 MAINTENANCE PERIOD

When the Owner's Representative and Landscape Architect determine the work to be substantially complete in accordance with the Conditions of the Contract, Contractor will be advised, in writing, that the maintenance period is to begin.

Landscape contractor shall be responsible for maintenance of landscaped areas for a period of 90 days. Maintenance includes watering, firming, weeding and cultivating of beds.

Landscape contractor, in order to protect his guarantee, shall give typewritten to Owner, a complete maintenance instruction booklet on the care and feeding of the landscape.

Contractor shall request, in writing, a Final Inspection with Landscape Architect at the completion of the maintenance period. If the Owner's Representative determines the work is satisfactory, the maintenance period will end on the date of the Final Inspection. If the maintenance is unsatisfactory, the maintenance period will be extended, at the Contractor's expense, until such time as all corrections are made and the work is inspected and approved by the Owner's Representative and Landscape Architect. Retention will not be released until Final Inspection is made and approval issued by the Owner's Representative.

## 3.16 FIELD QUALITY CONTROL

Notify Owner's Representative of the requirement for inspection of at least 48 hours in advance. Inspections are required, but not limited to, the following:

- Inspection and acceptance of plant material prior to shipping.
- At completion of rough grade and boulder placement
- At completion of landscape finish grading and soil preparation, prior to planting.
- At installation of irrigation system, prior to backfilling trenches and planting.
- During installation of specimen trees, or other specimen plant material.
- After staking locations for plant holes, but prior to planting; for approval.
- During the planting process.
- During the placement and aiming of all light fixtures.
- At Substantial Completion of the Work.
- During warranty period to observe maintenance procedures.
- At final Completion of the Work.

## SECTION - 02930 SEEDING

## PART 4 - APPLICATION

## 4.01 MATERIALS

Materials shall reflect evidence of proper storage and handling. Any material with indications of improper storage or handling (water, heat, chemical damage and the like), will be removed from the site and replaced by the contractor. All material shall be fresh and delivered in unopened containers. Seed shall be of the latest seasons crop and conform to state and federal seed laws.

## 2.02 ACCESSORY MATERIALS

Fertilizer: Uniform in composition, granular, free flowing and suitable for application with approved equipment - guaranteed analysis, 16-20-0, ammonium phosphate, or equal at a rate of 300 lbs per acre.

70% Virgin Wood Cellulose Fiber, 30% Max. recycled cellulose fiber:

Specially prepared wood cellulose fiber processed to contain no growth or germination inhibiting factors - maximum moisture content, air dry weight, 12% plus or minus 3% at the time of manufacture; pH range, 4.5 to 6.5.

Ash content 0.8% - 0.3% max.

Charcoal: Gro-Safe agricultural grade powdered activated charcoal at a rate of 100 lbs. per acre.

Tackifier: Organic psyllium muciloid hydrophilic water soluble dry. Derived from *Plantago ovata/insularis powder* at 70% min. purity, containing no agents toxic to seed germination. Addition of fertilizer to the slurry mix shall not change the properties of the tackifier. When applied, tackifier shall form a transparent crust permeable by water and air.

Water: Free of substances harmful to seedling growth - water source to be approved by Owner's Representative prior to use.

## PART 5 - EXECUTION

## 5.01 PREPARATION

Limit preparation to areas that will be immediately seeded. Do not disturb natural areas or newly planted trees or shrubs in seed areas. Where equipment can operate, loosen topsoil to a depth of 4 inches by ripping using scarifier teeth. Rip along the contour to prevent runoff and erosion. Use hand tools where equipment can not operate. Remove and dispose of all stones 4" or greater, sticks, roots, rubbish or other deleterious material. Repair erosion damage, grade and slope as directed prior to seeding.

Spread 300 lbs./acre fertilizer as specified.

Rough harrow to break up any large dirt clods.

Fine harrow to create suitable seed bed.

## 5.02 APPLICATION

Apply seed immediately upon completion of tillage operation.

Seeding work should commence as soon as possible after site has been prepared. It is desirable to seed into a loose, friable surface which has not been allowed to crust or erode. Any undesirable weak growth or competing vegetation should be removed prior to seeding operations.

Hydrosed all material evenly in one (1) application of a uniform slurry of water, hydrofibr (mulch), seed, tackifier, fertilizer, soil conditioner, and other specified materials. Material shall be sprayed on all designated areas with overlapping on the crests of tops of berms and cuts.

Seed indicated areas within contract limits and areas adjoining contract limits disturbed due to the seeding preparation process.

Use a hydroseder with a gear type pump with continuous paddle agitation during application. Do not put seed into water until just before the start of seeding.

Apply seed, mulch, fertilizer and tackifier in a one step process: Slurry mix of water, seed, 300 lbs./acre of fertilizer, 80 lbs./acre tackifier for slopes less than 3:1, 100 lbs./acre for slopes greater than 3:1 and 2000 lbs./acre of wood fiber for slopes greater than 3:1, 1800 lbs./acre for slopes less than 3:1.

## 5.03 ESTABLISHMENT

Provide protective devices as required to protect seeded areas from traffic for 30 days.

Repair and reseed areas damaged by erosion or poor germination.

## 5.04 INSPECTION

Seeding operations and areas are subject to inspection at any time during installation for compliance with specified materials and installation requirements. Any method of installation or use of materials not in conformance with the Contract Documents will be reinstalled, repaired or removed, as directed by the Owner's Representative, at no additional cost to the Owner.

Formal inspections will be conducted by the Owner's Representative at the following work intervals:

Soil scarification upon completion.  
Seed containers at time of delivery.  
At time of seed and slurry mixing.  
During application of seed.  
During application of mulch.  
Weekly for seed and weed germination.  
Final inspection and approval - at the end of landscape establishment.

## 5.05 ACCEPTANCE

Upon notice of completion of the work from the landscape contractor, at the end of the Landscape Establishment period, the Owner's Representative will make an inspection. If all work provided for in the Contract Documents is found to be complete and the planted seeds yield a minimum stand as determined by the Owner's Representative based upon the specified germination rates and species used, and the seeded areas are free of weeds, disease and insects, this inspection will constitute the Final Inspection. The Owner's Representative will notify the Contractor in writing of this Acceptance.

If the inspection reveals any unsatisfactory work, the Contractor will reseed as necessary until the work is accepted by the Owner's Representative.



**DECLARANT, THE ASSOCIATION AND THE MEMBERS OF THE BOARD AND COMMITTEE MEMBERS FROM LIABILITY FOR ANY OMISSION OR IMPROPER EXERCISE BY THE MANAGER OF ANY SUCH DUTY, POWER OR FUNCTION SO DELEGATED.**

(i) Property Services. To pay for water, sewer, garbage removal, street lights, landscaping, gardening and all other utilities, services, repair and maintenance for any portion of the Subject Property, Common Area, Benefited Common Area, private or public recreational facilities, easements, roads, roadways, rights-of-ways, signs, parks, parkways, median strips, sidewalks, paths, trails, ponds, and lakes.

(j) Other Services and Properties. To obtain and pay for any other property and services, and to pay any other taxes or assessments that the Association or the Board is required or permitted to secure or to pay for pursuant to Applicable Law or under the terms of the Documents or as determined by the Board.

(k) Construction on Common Area and Benefited Common Area. To construct new Improvements or additions to any property owned, leased, or licensed by the Association, subject to the approval of the Board and the Declarant until expiration or termination of the Development Period.

(l) Contracts. To enter into Bulk Rate Contracts or other contracts or licenses with Declarant or any third party on such terms and provisions as the Board will determine, to operate and maintain any Common Area, Benefited Common Area, or other property, or to provide any service, including but not limited to cable, utility, or telecommunication services, or perform any function on behalf of Declarant, the Board, the Association, or the Members. During the Development Period, all Bulk Rate Contracts must be approved in advance and in writing by the Declarant.

(m) Property Ownership. To acquire, own and dispose of all manner of real and personal property, including habitat, whether by grant, lease, easement, gift or otherwise. During the Development Period, all acquisitions and dispositions of the Association hereunder must be approved in advance and in writing by the Declarant.

(n) Membership Privileges. To establish Rules governing and limiting the use of the Common Area, Benefited Common Area, and any Improvements thereon.

**3.09 Acceptance of Common Area and Benefited Common Area.** Declarant and its assignees reserve the right, from time to time and at any time, to designate, convey, assign or transfer by written and Recorded instrument property being held by the Declarant or a third party for the benefit of the Association, in the sole and absolute discretion of the Declarant. Upon the Recording of a designation, the portion of the property identified therein will be



CITY OF KUNA  
 P.O. BOX 13  
 KUNA, ID 83634  
[www.kunacity.id.gov](http://www.kunacity.id.gov)

Catherine Feistner, E.I.T.  
 Assistant Kuna City Engineer

Brady Barroso  
 Engineering Technician I

## FINAL PLAT MEMORANDUM

**To:** Doug Hanson - Planning and Zoning Director  
**From:** Brady Barroso - Engineering Technician I  
 Catherine Feistner - Assistant City Engineer  
**Date:** 25 July 2022  
**RE:** Public Works Comments  
 Falcon Crest Subdivision No. 4 – 22-06-FP (Final Plat)

The Falcon Crest Subdivision No. 4, 22-06-FP, Final Plat request dated 11 July 2022 has been reviewed. This review is based on land use as allowed or permitted in a “R-6” zone. This application encompasses approximately 11 acres. This application contains a total of 62 single-family residential lots, 8 common lots, and 1 private road.

Public Works staff supports approval of this final plat. The plat may be officially approved after all conditions are met.

Comments may be expanded or refined in connection with the future land-use actions.

### 1) Inspection & Fees

- a) The responsible engineer of record shall provide record drawings upon completion.
- b) The inspection fees for City inspection of the construction of public water, sewer and irrigation facilities associated with this development have been paid.

### 2) General

- a) Falcon Crest Subdivision No. 4, 22-06-FP will increase demand on constructed facilities and on water rights provided by others.
- b) The applicant provided engineering certification on all final engineering drawings/record drawings.
- c) Provide final plat showing all modifications stemming from construction.

### 3) Sanitary Sewer Connection

- a) This project is in agreement with the sewer master plans.
- b) This project has previously reserved capacity in the New York and Orchard Lift Stations.

**4) Potable Water Connection**

- a) This project is in agreement with the water master plans.

**5) Pressurized Irrigation**

- a) This project is in agreement with the PI master plan.

**6) Grading and Storm Drainage**

- a) Grading and drainage plans have been provided as part of the construction drawings.
- b) Verification that existing and proposed elevations match at property boundaries such that a slope burden is not imposed on adjacent properties will be made within the final inspection process.
- c) The final inspection shall verify that slopes are not steeper than 3:1 on lot interiors and not steeper than 4:1 on the exterior or lots.
- d) Runoff from public right-of-way is regulated by ACHD. Satisfaction of this requirement shall be verified before final project acceptance.

**7) Final Plat**

- a) Comments may result from the final construction review.
  - (1) The final plat appears complete.
  - (2) Upon project completion, the final plat must be compared with the record construction drawings. All lot line adjustments, easements and similar items must be recorded on the final plat such that an accurate and truthful document results.

**8) As-Built Drawings**

- a) As-built (record) drawings are required at the conclusion of any public facility construction project and are the responsibility of the developer's engineer. The city may help track changes but will not be responsible for the finished product.
- b) *Correct and verified as-built (record drawings) drawings will be required before occupancy or final plat approval is granted.*

**9) Exhibits**

- a) Due to previous approvals for this project, no maps are needed or included to support Public Works comments.

**RESOLUTION NO. R48-2022  
CITY OF KUNA, IDAHO**

**A RESOLUTION OF THE CITY COUNCIL FOR KUNA, IDAHO AUTHORIZING THE MAYOR TO EXECUTE THE CONTRACT WITH THE ADA COUNTY PROSECUTING ATTORNEY TO PROVIDE PROSECUTORIAL SERVICES FOR CITY MISDEMEANORS FOR THE FISCAL YEAR 2022-2023.**

**BE IT HEREBY RESOLVED** by the Mayor and Council of the City of Kuna, Idaho that the Mayor of the City is hereby authorized to execute the contract with the Ada County Prosecuting Attorney to provide prosecutorial services in the city of Kuna for the fiscal year commencing October 1, 2022 and ending September 30, 2023 pursuant to the terms of said contract.

**PASSED BY THE COUNCIL** of Kuna, Idaho this 2nd day of August, 2022.

**APPROVED BY THE MAYOR** of Kuna, Idaho this 2nd day of August, 2022.

\_\_\_\_\_  
Joe L. Stear, Mayor

ATTEST:

\_\_\_\_\_  
Chris Engels, City Clerk

AGREEMENT NO. \_\_\_\_\_

**AGREEMENT BETWEEN ADA COUNTY,  
THE ADA COUNTY PROSECUTING ATTORNEY’S OFFICE,  
AND THE CITY OF KUNA  
RELATING TO PROSECUTION SERVICES FY 2023**

**THIS AGREEMENT** (“Agreement”) made and entered into this \_\_\_\_\_ day of \_\_\_\_\_, 2022, by and between Ada County, a duly formed and existing county pursuant to the laws and Constitution of the State of Idaho, the Ada County Prosecuting Attorney (“PA”), and the City of Kuna, Idaho, a municipal corporation of the State of Idaho (“City”).

**WITNESSETH**

**WHEREAS**, the City desires to contract with the PA for the performance of the hereinafter described prosecutorial services within its boundaries by the PA; and

**WHEREAS**, the PA desires to provide prosecutorial services to City.

**NOW, THEREFORE**, in consideration of the mutual promises and covenants herein contained, it is mutually agreed as follows:

1. Prosecution Services.

1.1 The PA agrees to prosecute such City code or state code violations as may be investigated and/or charged by Ada County Sheriff’s Office (“ACSO”) subject to the PA’s absolute discretion in such matters as set forth in Section 1.2.

1.2 Services provided pursuant to this Agreement shall encompass duties and functions of the type directly related or incidental to the jurisdiction of, and customarily rendered by, the PA under the statutes of the State of Idaho or the code of the City. The PA shall have and retain absolute discretion on all matters included in this Agreement, such as, but not limited to, decisions on charging, case strategy, and dismissal. In cases where the City is the victim, the PA

shall afford the City all of the rights outlined in Idaho Code § 19-5306. Services rendered in accordance with this subsection are understood to include defending the constitutionality of City's ordinances in a criminal case when the PA has determined to charge pursuant to City code.

1.3 The PA agrees to provide to City written quarterly reports detailing, for the given time period:

a. A summary of all charges filed by the PA for misdemeanor offenses that occurred in the City, the dates the offenses occurred, and the names of the defendants.

b. A summary of the disposition of all charges filed by the PA for misdemeanor offenses that occurred in the City, the offenses resolved, and the names of the defendants.

1.4 In consideration for duties, services, and functions heretofore described in Section 1, the City shall pay to the PA the sum of Fifty-Four Thousand and 00/100 Dollars (**\$54,000.00**) for the term of this Agreement. The sum shall be paid in installments of Four Thousand Five Hundred Dollars (\$4,500.00). Payments shall be due on the tenth of the month, commencing on October Tenth.

1.5. Personnel and Equipment. The PA is acting hereunder as independent contractor so that:

a. Control of Personnel. Control of personnel, standards of performance, discipline and all other aspects of performance shall be governed entirely by the PA.

b. Status of Employees. All persons rendering service hereunder shall be for all purposes employees of the PA.

c. Liabilities. All liabilities for salaries, wages, any other compensation, injury, or sickness arising from performance of the prosecution services by the PA hereunder shall be that of the PA.

d. Provision of Personnel. The PA shall furnish all personnel and such resources and material deemed by the PA, in its sole discretion, as necessary to provide the level of prosecution service herein described. Ownership of equipment purchased by the PA to perform its duties under this agreement is retained by the PA.

1.6. Duration. This Agreement is effective upon authorization and signature by all parties, except that services and charges shall commence on October 1, 2022, and unless otherwise terminated, shall continue in effect until September 30, 2023. This Agreement may be renewed upon the mutual written consent of the parties.

1.7. Termination Process. Each party may initiate a process to terminate this Agreement as follows:

a. Notice of Termination. In the event either party hereto desires to terminate the Agreement prior to the expiration date, such party may do so by giving (60) days written notice to other parties.

b. Transition. Within 30 days of the receipt of such written termination notice, the parties shall work together to provide for an orderly transition of responsibilities from the PA to the City. The overarching goal of the transition will be to ensure there is no disruption in service to the City. Each party shall bear its respective costs, if any, in the transition process.

c. Termination. In the event the City fails to make a monthly payment within 60 days of billing, the PA may terminate this Agreement without further notice.

1.8. Indemnification and Insurance.

a. City To Hold County Harmless. The County, its officers, agents, and employees, shall not be deemed to have assumed any liability for the acts of said City or any officers, agents or employees thereof, and the City hereby covenants and agrees to hold and save the County and all of its officers, agents, and employees harmless from all claims whatsoever that might arise against the County, its officers, agents, or employees, by reasons of any acts or failures to act on the part of the City, its officers, agents or employees.

b. County to Hold City Harmless. The County hereby covenants to hold and save the City and all its officers, agents, and employees, harmless from all claims whatsoever that might arise against the City, its officers, agents, or employees by reason of any acts or failures to act on the part of the County, its officers, agents, or employees in the performance of the duties required by the terms of this Agreement.

c. Liability Related to City Ordinances, Policies, Rules and Regulations. In executing this Agreement, the PA does not assume liability or responsibility for or in any way release the City from any liability or responsibility which arises in whole or in part from the existence or effect of City ordinances, policies, rules or regulations. If any cause, claim, suit, action or administrative proceeding is commenced in which the enforceability and/or validity of any such City ordinance, policy, rule or regulation is at issue, the City shall defend the same at its sole expense and, if judgment is entered or damages are awarded against the City, the PA, or both, the City shall satisfy the same, including all chargeable costs and reasonable attorney's fees.

d. Insurance. Each party shall procure and maintain insurance as required by applicable federal and state law and as may be appropriate and reasonable to cover its staff, equipment, vehicles, and property, including but not limited to liability insurance, workers' compensation, automobile liability, and property damage. Each party has the right to self-insure all or part of the insurance requirements set forth in this paragraph.

1.9. Amendments. This Agreement may be amended at any time by mutual written agreement of the City and the PA.

1.10. Agreement Administration.

a. Agreement Administrators. The City Mayor or his/her designee and the elected Ada County Prosecuting Attorney or his/her designee shall serve as agreement administrators to review performance and resolve operational problems.

1.11 Entire Agreement/Waiver of Default. The parties agree that this Agreement is the complete expression of the terms hereto and any oral or written representations or understandings not incorporated herein are excluded. Both parties recognize that time is of the essence in the performance of the provisions of this Agreement. Waiver of any default shall not be deemed to be a waiver of any subsequent default. Waiver or breach of any provision of the Agreement shall not be deemed to be waiver of any other or subsequent breach and shall not be construed to be a modification of the terms of the Agreement unless stated to be such through written approval by the County, which shall be attached to the original Agreement.

**IN WITNESS WHEREOF**, the parties have executed this Agreement.

**CITY OF KUNA**

By: \_\_\_\_\_  
Joe Stear, Mayor

ATTEST:

\_\_\_\_\_  
Chris Engels, Kuna City Clerk

**Board of Ada County Commissioners**

By: \_\_\_\_\_  
Rod Beck, Commissioner

By: \_\_\_\_\_  
Ryan Davidson, Commissioner

By: \_\_\_\_\_  
Kendra Kenyon, Commissioner

ATTEST:

\_\_\_\_\_  
Phil McGrane, Ada County Clerk

**Ada County Prosecuting Attorney**

By: \_\_\_\_\_  
Jan M. Bennetts, Ada County Prosecuting Attorney



**ADA COUNTY PROSECUTING ATTORNEY  
JAN M. BENNETTS**

**Criminal Division**

200 W. Front Street, Rm 3191  
Boise, Idaho 83702

Phone (208) 287-7700  
Fax (208) 287-7709

**Civil Division**

200 W. Front Street, Rm 3191  
Boise, Idaho 83702

Phone (208) 287-7700  
Fax (208) 287-7719

**Juvenile Division**

6300 Denton Street  
Boise, Idaho 83704

Phone (208) 577-4900  
Fax (208) 577-4909

July 11, 2022

Joe Stear, Mayor  
c/o Chris Engels  
City of Kuna  
751 W. 4<sup>th</sup> St.  
Kuna, ID 83634

Re: Joint Powers Agreement for Prosecution Services – FY 2023

Dear Mayor Stear:

Enclosed is a copy of the Joint Powers Agreement Between Ada County, the Ada County Prosecuting Attorney's Office, and the City of Kuna Relating to Prosecution Services for FY 2023. Once signed, this agreement will allow my office to prosecute city code or state code violations for FY 2023 as may be investigated and/or charged by the Ada County Sheriff's Office subject to my office's absolute discretion as set forth in the agreement. As you know, my office has prosecuted such violations for Kuna from October 1, 2021 to present based on Agreement No. 14367, but that agreement will expire on September 30, 2022.

I would like to take this opportunity to update you on the case statistics from last year and possible impacts to the ongoing costs associated with this Joint Powers Agreement. In 2021, my office prosecuted a total of 3,749 misdemeanor and infraction cases. Of those, 198 originated from the City of Kuna, which amounts to 5.28% of the total caseload in the Magistrate Division. In comparison, in 2020, we handled a total of 4,449 cases, 178 of which originated from the City of Kuna, which consisted of 4.00% of the total caseload. As you can see, the number of City of Kuna cases is increasing.

The above numbers constitute all misdemeanors and infractions in which my office opened a file or appeared in court within that time period. This number does not reflect infraction or misdemeanor cases resolved without our involvement, cases that were submitted but prosecution was declined, probation violations, or contempt proceedings.

For FY 2023 we are able to keep the cost of prosecuting City of Kuna cases the same as in FY 2022. As I explained to your City Council during a budget presentation, the cost of prosecution to the City of Kuna for FY 2023 will remain at \$54,000. However, we anticipate that next year we will be seeking an increase to the agreement amount. Once we complete our analysis, we will provide you with an update in early 2023.

Joe Stear, Mayor  
c/o Chris Engels  
July 11, 2022  
Page 2 of 2

The enclosed agreement is substantively identical to the Agreement No. 14367. Please review the enclosed agreement to ensure it meets your expectations. If the agreement is acceptable, please sign two (2) original copies of the agreement and return the signed copies to:

Tracie Smith  
Ada County Prosecutor's Office  
200 W. Front Street  
Boise, ID 83702

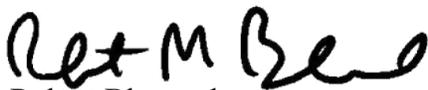
Once a signed copy of the agreement has been returned to our office, it will be forwarded to Ms. Bennetts and the Board of Ada County Commissioners for their consideration and signature. Once the agreement is fully executed, we will return a fully executed copy of the agreement to the following address:

City of Kuna  
Attention: Chris Engels  
751 W. 4<sup>th</sup> St.  
Kuna, ID 83634

If you have any questions, please contact me at (208) 287-7700.

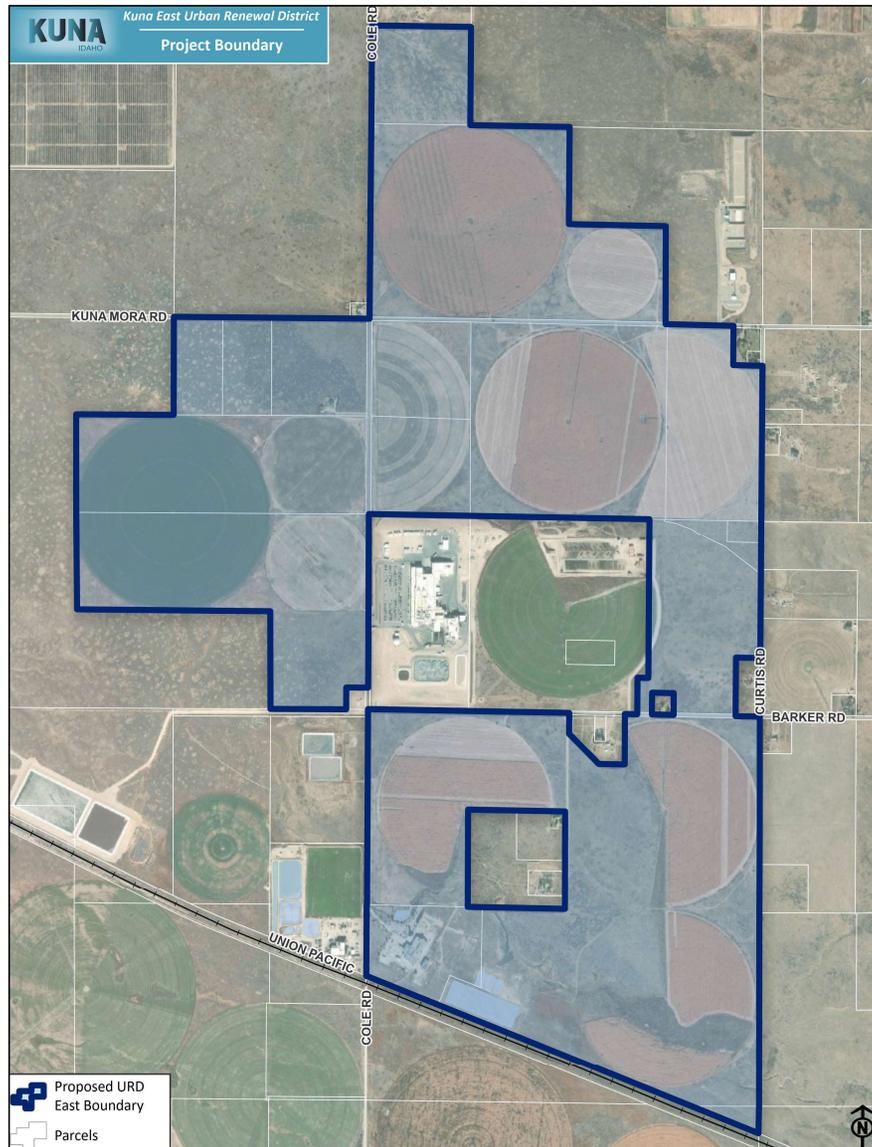
Sincerely,

**JAN M. BENNETTS**  
Ada County Prosecuting Attorney

  
Robert Bleazard  
Magistrate Division Supervisor

Encl.

cc: Jan M. Bennetts, Ada County Prosecutor  
Shawna Dunn, Chief Deputy Prosecutor  
Scott Bandy, Chief Deputy Prosecutor  
Tracie Smith, Finance & Administration Division Manager



# EAST KUNA URBAN RENEWAL DISTRICT PLAN

AUGUST 2, 2022  
JOINT WORKSHOP

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# WELCOME! INTRODUCTIONS

## CITY OF KUNA

- Morgan Treasure, Economic Development Director
- URA Board
- Planning & Zoning Commission
- City Council

## CONSULTANTS

### *J-U-B Engineers, Inc. (Planning, Engineering, Survey)*

- Lisa Bachman, AICP, PCED
- Rhen Thurgood, P.E.

### *Elam & Burke, P.A. (Legal)*

- Meghan Conrad
- Abby Germaine

### *The Metts Group (Economist)*

- Alivia Metts

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## **WORKSHOP OVERVIEW**

- What is an Urban Renewal District?
- Why Urban Renewal for East Kuna?
- East District Background
- Steps to Create a District
- Maps & Project List
- Feedback & Questions

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# URBAN RENEWAL



Ability to Focus Dollars Into a Specific Area For Infrastructure Improvements

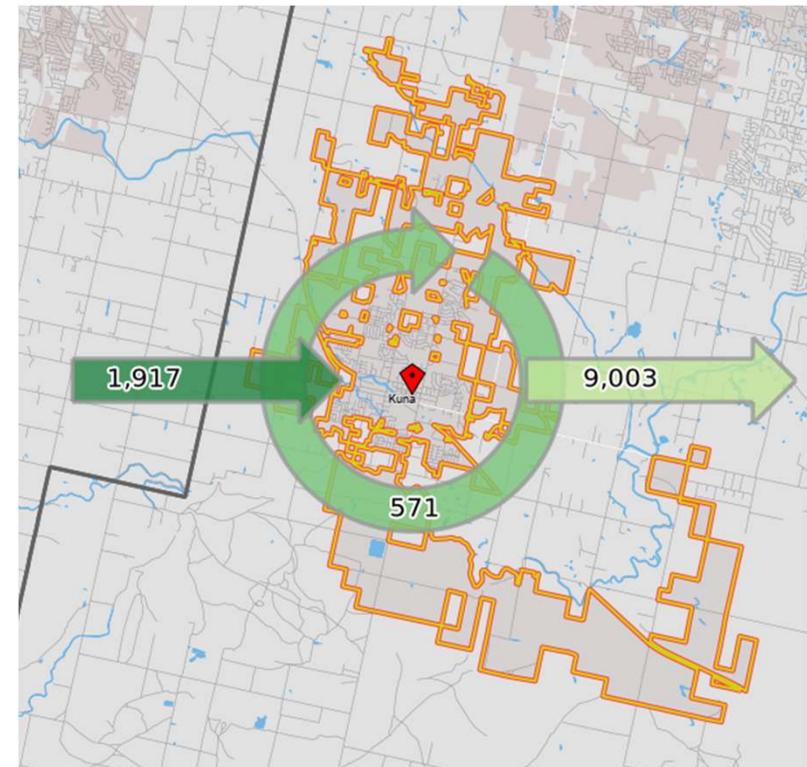
# WHY KUNA?

## Background

- Urban Renewal Conversations Since 2001
- Urban Renewal Agency Established in 2011
- First Urban Renewal District Formed “West District” in 2020 for Kuna Downtown Area

## Why Urban Renewal for East Kuna?

- 94% Leave to Work Elsewhere
- Infrastructure Challenges (Roadways, Sewer, Water, Shovel-Ready Properties for Industrial)



Source: US Census Bureau (2019)

## EXAMPLE: CALDWELL (1998-2017)

- Indian Creek Restoration & Downtown Plaza
- Redevelopment: Theatre, YMCA, TVCC
- Parks, Roadways & Infrastructure
- Sky Ranch Business Center
  - \$40 Million of Investment (14 new buildings)
  - 400+ jobs



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## WHAT IS AN URBAN RENEWAL DISTRICT?

Planning Boundary to re-invest taxes from NEW developments in an area into infrastructure projects

- Greenfield Development (i.e., Business/Industrial Park)
- Redevelopment (i.e., downtown)
- Roadway & Pedestrian Improvements
- Public Infrastructure

A URD/TIF *does not* raise property taxes or affect impact fees

# HOW IT WORKS

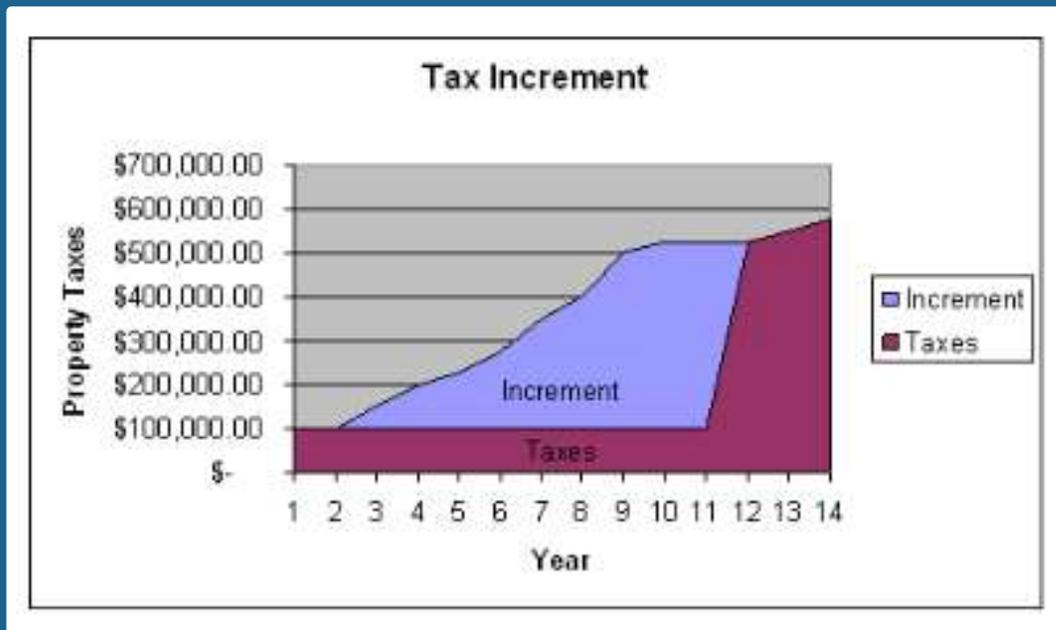
Example: 1 Acre of Undeveloped Ground in District is Worth \$100,000



A New Retail Development is Built on That Ground and Increases the Value to \$1 Million

The URD Can Use the Property Taxes Collected on the \$900,000 (increment x levy rate) for Infrastructure Projects Within the Planning Area

## WHAT ABOUT TAXING ENTITIES?



- Taxing Entities Will Collect the Amount they Budget
- Fire/Police/Parks/ACHD will Still Collect Impact Fees
- When the District Closes (20 Years Max), 80% of the Increment Value is Placed on the New Construction Roll and Available for Taxing Entities to Increase Budget Capacity, beyond the 8% cap

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## EAST DISTRICT BACKGROUND

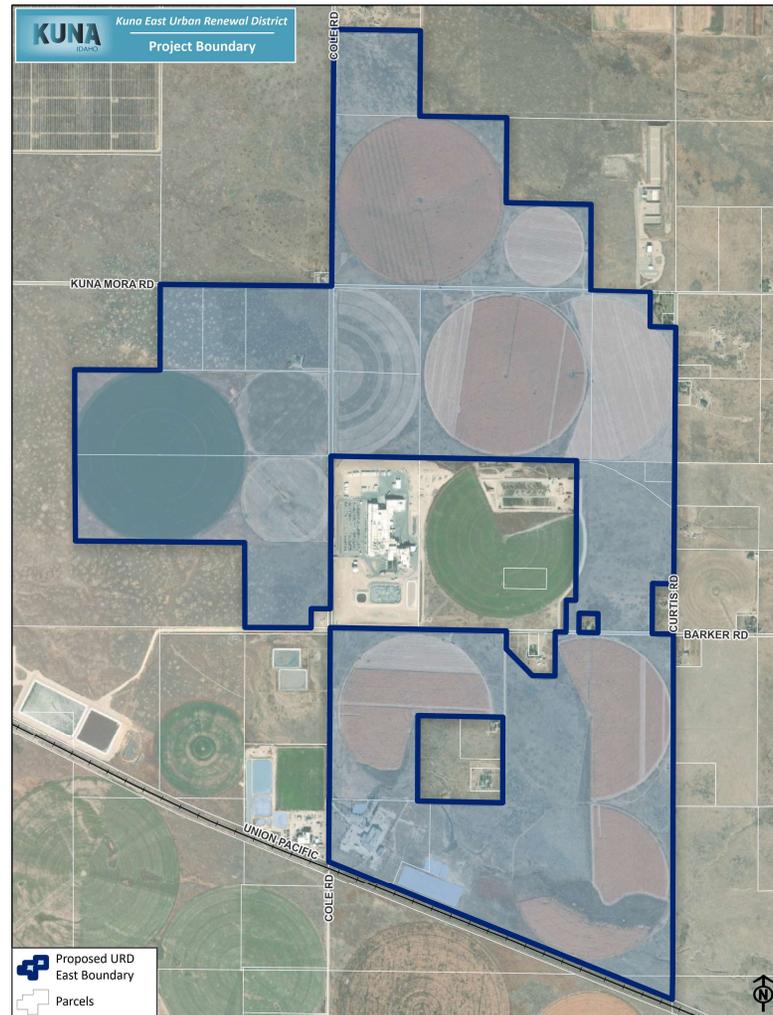
- Located in the Kuna Mora/Cole area
- Approximately 1,528 acres, annexed into city limits February and October 2021
- Business interests – Kuna’s economic development efforts attracting national companies
  - Data/Technical Center
  - Truss Plant
  - Agricultural food cleaning
- Identified as industrial use on Future Land Use Map as far back as 2015
- Good access for trucking, rail, electric and telecom utilities, but challenging for water, sewer and roadways
- The Kuna East Urban Renewal District has been contemplated since 2020
- That but for urban renewal and the opportunity to address water, sewer, and roadway deficiencies, this area would not fully develop to support desired industrial development until much later in the future

# STEPS TO CREATE A DISTRICT



# URD BOUNDARY

- Kuna Mora Road
- Cole Road
- Curtis Road
- UPRR Tracks





# PUBLIC INFRASTRUCTURE PROJECT LIST

- Investments
  - Private
  - Public

Kuna East Urban Renewal District			<b>DRAFT</b>		 J-U-B ENGINEERS, INC.	
Project List						
7/7/2022						
Project ID	Project Description <sup>1</sup>	Data/Improvement Source	Funding Source <sup>2</sup>			
			Private	Public		
<b>Water Improvements</b>						
W1	Well #1 (1,000 gpm)	Parametrix	X			
W2	Well #2 (1,000 gpm)	Parametrix	X			
W3A	2 MG Storage Tank	Parametrix	X			
W3B	Future 2 MG Storage Tanks (2)	Parametrix			X	
W4A	Booster Station/Operations Building	Parametrix	X			
W4B	Future Booster Station Capacity Upgrades	Parametrix			X	
W5	Water Distribution System	Parametrix	X			
W6	Well #3 (1,000 gpm)	Parametrix	X			
W7	Well #4 (1,000 gpm)	Parametrix	X			
W8	Western Boundary Water Improvements	Kuna Comprehensive Plan	X			
W9	Southern Boundary Water Improvements	Kuna Comprehensive Plan	X			
W10	6,000 gpm Future Production Capacity (Location TBD)	Parametrix			X	
<b>Sewer Improvements</b>						
S1A	WWTP - Headworks, Domestic WW treatment, Process WW treatment, Operations Building	Parametrix	X			
S1B	Future WWTP Capacity Upgrades	Parametrix			X	
S2	Land Application System - chlorination, pumping, distribution	Parametrix	X			
S3	Domestic WW Lift Station and Force Main	Parametrix	X			
S4	Process WW Lift Station and Force Main	Parametrix	X			
S5	Additional Land Application as needed	Parametrix			X	
S6	Western Boundary Sewer Improvements	Kuna Comprehensive Plan	X			
S7	Southern Boundary Sewer Improvements	Kuna Comprehensive Plan	X			
S8	Future Lift Station and Force Main	J-U-B Engineers			X	
<b>Road Improvements</b>						
R1	Kuna Mora Rd (Future Expressway)	Kuna Comprehensive Plan	X		X	
R2	E-W Minor Collector	Kuna Comprehensive Plan	X		X	
R3	Barker Rd (Minor Collector)	Kuna Comprehensive Plan	X		X	
R4	E-W Major Collector	Kuna Comprehensive Plan	X		X	
R5	N-S Minor Collector	Kuna Comprehensive Plan	X		X	
R6	Cole Rd (Local)	Kuna Comprehensive Plan	X		X	
R7	Curtis Rd (Local)	Kuna Comprehensive Plan	X		X	
<b>Electrical Improvements</b>						
E1	Brisbie Electrical Service and Improvements	Parametrix	X			
<b>Natural Gas Improvements</b>						
G1	Natural Gas Distribution Improvements		X		X	

Notes:

1. Infrastructure improvements may occur in phases and may be funded by private and/or public sources.
2. Funding sources are subject to change based on timing of infrastructure construction and buildout.

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# FEEDBACK & QUESTIONS

**RESOLUTION NO. R49-2022  
CITY OF KUNA, IDAHO**

**A RESOLUTION OF THE CITY COUNCIL OF KUNA, IDAHO AUTHORIZING THE MAYOR TO SIGN; AND AUTHORIZING THE MAYOR TO EXECUTE THE CHANGES TO THE SCOPE OF WORK, SCHEDULE, AND ENGINEERING FEE; AVALON AND KAY TRAFFIC SIGNAL WARRANT STUDY AND THE CITY CLERK TO ATTEST TO SAID SIGNATURE.**

**BE IT HEREBY RESOLVED** by the Mayor and Council of the City of Kuna, Idaho as follows:

Section 1. The Mayor is hereby authorized to sign, attached hereto as “**EXHIBIT A**” the Changes to the Scope of Work, Schedule, and Engineering Fee; Avalon and Kay Traffic Signal Warrant Study, hereinafter referred to as Avalon and Kay Traffic Signal Warrant Study Change Order, made this 2nd day of August, 2022.

Section 2. The Mayor of the City of Kuna, Idaho is hereby authorized to execute said Change Order and the City Clerk is hereby authorized to attest to said execution as so authorized and approved for on behalf of the City of Kuna, Idaho.

**PASSED BY THE COUNCIL** of Kuna, Idaho this 2nd day of August, 2022.

**APPROVED BY THE MAYOR** of Kuna, Idaho this 2nd day of August, 2022.

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Joe L. Stear, Mayor

ATTEST:

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Chris Engels, City Clerk



July 27, 2022

## ATTACHMENT "B"

### Changes to the Scope of Work, Schedule, and Engineering Fee; Avalon & Kay Traffic Signal Warrant Study

#### Add the following to the Scope of Work and Assumptions:

- Additional Traffic Study work, based on comments from ACHD and ITD—
  - Analyze a roundabout option under 2022 conditions; the roundabout will be a 2x1 configuration, with two lanes each direction on Avalon St and one lane each direction on Kay Ave
  - Prepare Year 2050 estimated intersection turning movement volumes, based on existing traffic counts and COMPASS' travel demand forecast model output; confirm that the future COMPASS area model includes the planned SH-69 overpass of Indian Creek and the UPRR
  - Analyze 2050 conditions for roundabout and traffic signal options, to include operational performance, recommended lane configuration, length of turn lanes, and queue lengths; include design life calculations, when the signal and roundabout options reach capacity
  - For the roundabout analysis, report the output in both HCM and Sidra methodologies; use October 2019 WSDOT Sidra Policy Settings
  - Perform predictive crash analyses of the traffic signal and roundabout options, using the AASHTO Highway Safety Manual
  - Recommend the inclusion of bike lanes, on-street parking, paths, and sidewalks, based on needs identified in existing plans and planned facilities
  - Revise the initial May 2022 signal warrant study technical memorandum with the additional analysis and findings
  - Participate in one virtual meeting with combined City, ACHD, and ITD staff to review the new draft Traffic Report
  - Prepare one revision to the new draft report, based on combined City, ACHD, and ITD comments
- New conceptual design and public involvement tasks—
  - Prepare conceptual 2D renderings of traffic signal and roundabout intersection layouts, for use in public involvement; the renderings will be based on existing aerial imagery
  - Perform a cursory inspection of the intersection surface and estimate whether the existing pavement would need to be replaced as part of a traffic signal or roundabout project
  - Prepare planning-level construction cost estimates of the traffic signal and roundabout alternatives
  - Host a public involvement website to present the study finding and conceptual intersection renderings, available for members of the public to leave online comments regarding the intersection alternatives
  - Compile and review the public comments received

#### Data to be provided by COMPASS:

- Travel demand model output for existing and long-range (2050) forecasts; no special model runs are expected
- Ortho-rectified aerial photo of the intersection, if available

#### Work to be performed by the City of Kuna:

- Advertise to City residents the public involvement website and opportunity to comment

Schedule:

- Submittal of a draft report for review and submittal to the City five weeks following start
- Submittal of final report two weeks following receipt of all draft report comments

Engineering Fee:

- Initial Study Contract Total = \$5,485.00
- Cost of New Scope Items (Amount of Change Order)—
  - Additional Traffic Study Work = \$9,730.00
  - Conceptual Design and Public Involvement = \$11,760.00
- New Grand Total = \$26,975.00