



## KUNA PLANNING AND ZONING COMMISSION Agenda for May 28, 2019

Kuna City Hall ▪ Council Chambers ▪ 751 W. 4<sup>th</sup> St. ▪ Kuna, Idaho

### 1. CALL TO ORDER AND ROLL CALL

Chairman Lee Young  
Vice Chairman Dana Hennis  
Commissioner Cathy Gealy  
Commissioner John Laraway  
Commissioner Stephen Damron

### 2. CONSENT AGENDA: *All Listed Consent Agenda Items are Action Items*

- a. Meeting Minutes for May 14, 2019.

### 3. NEW BUSINESS

- a. **19-04-DR (Design Review) Modification** – Freedom Fitness; The applicant, ALC Architecture, requests Design Review (DR) approval for a new commercial building, approximately 11,588 square feet, to house a new *Freedom Fitness* gymnasium accompanying landscaping, lighting and a parking lot, within the Ensign Commercial Subdivision No. 2; The site is located at the northwest corner of North Meridian Road and Meadow View Road, Kuna, Idaho 83634. **ACTION ITEM**
- b. **19-05-SN (Sign) & 19-07-DR (Design Review)** – Indian Creek Sports Monument Sign; Troy Todd, owner of Indian Creek Sports, requests design review approval for a 15-ft multi-tenant commercial monument sign. The subject site is located 8797 S. Meridian Road, Kuna, ID 83634 (APN: S1312142304). **ACTION ITEM**
- c. **19-12-DR (Design Review)** – United States Postal Service Parking Lot; Michael Stafford requests design review approval for a private parking lot, driveway and corresponding landscaping which will be utilized and maintained by the United States Postal Service (USPS) following their site relocation. The subject site is located on 199 S. Kay Ave., Kuna, ID 83634 (APN: R0615253160). **ACTION ITEM**

### 4. PUBLIC HEARING

- a. **19-02-SUP (Special Use Permit) Modification** – PiStem Academy; PiStem Academy request to MODIFY their SUP by adding two (2) additional portable buildings (approx. 28 feet x 64 feet each) for classroom and school purposes at their campus on Hubbard Rd. If approved, the addition of the two portables will bring the total to five (5) manufactured buildings on site, with 429 students by fall of 2021. Applicant intends to have permanent buildings within three years after opening. The subject site is located at the southeast corner of Hubbard and School Ave., Kuna, within Section 14, T 2 N, R 1 W; (APN#S1314120891). **ACTION ITEM**
- b. **19-02-AN (Annexation), 19-01-ZC (Rezone), 19-01-S (Preliminary Plat), 19-08-DR (Design Review)** – Greyhawk West Subdivision; A request by Providence Properties, LLC. to annex approximately 29.15 ac. into Kuna with an R-6 zone, and to rezone approx. 10.45 ac. from Ag to R-6 (Med. Density Residential). Applicant requests preliminary plat approval to subdivide the approx. combined 39.33 acres into 174 total lots with a proposed gross density of 3.97 DUA, and the proposed net density is approx. 5.04 DUA. The application also includes a Design Review application for the common lots. The subject site is near the southwest corner of Hubbard and Kay Avenue, Kuna, in Section 13, T 2 N, R 1 E (APN #'s S1313212470 & S1313244650). **ACTION ITEM**

### 5. COMMISSION REPORTS

- a. None

### 6. ADJOURNMENT

**CITY OF KUNA  
PLANNING & ZONING COMMISSION**

**MEETING MINUTES  
Tuesday, May 14, 2019**

PZ COMMISSION MEMBER	PRESENT	CITY STAFF PRESENT:	PRESENT
Chairman Lee Young	X	Wendy Howell, Planning Director	X
Commissioner Dana Hennis	X	Troy Behunin, Senior Planner	X
Commissioner Cathy Gealy	X	Jace Hellman, Planner II	Absent
Commissioner Stephen Damron	X	Sam Weiger, Planner I	X
Commissioner John Laraway	Absent		

**6:00 pm – COMMISSION MEETING & PUBLIC HEARING**

Chairman Young called the meeting to order at **6:00 pm**.

**Call to Order and Roll Call**

**1. CONSENT AGENDA**

Meeting Minutes for April 23, 2019.

**Findings of Fact and Conclusions of Law** For 19-01-SUP (Special Use Permit) – Anchor Academy Daycare

**Findings of Fact and Conclusions of Law** For 19-01-AN (Annexation) – Guido Annexation

*Commissioner Gealy Motions to approve the consent agenda; Commissioner Hennis Seconds, all aye and motion carried 3-0.*

**2. NEW BUSINESS**

**19-03-DR (Design Review)** – Retail Pad 2 (Merrell Towne Centre); Lundin Cole Architects seeks Design Review approval from the Planning and Zoning Commission (acting as Design Review Committee) for a new 6,000 square-foot commercial building shell, accompanying landscaping, lighting, and a parking lot within Ridley’s Family Center Subdivision No. 1. The site is located at 1327 North Meridian Road, Kuna, Idaho 83634.

**Sam Weiger:** Chairman, commissioners, for the record Sam Weiger, Planner I Kuna Planning and Zoning Staff 751 W 4<sup>th</sup> ST. The applicant, Lundin Cole Architects, requests approval of a design review for a new 6,000 square-foot commercial building shell, accompanying landscaping, lighting, and a parking lot within Ridley’s Family Center Subdivision No. 1. The site is located at 1327 North Meridian Road, Kuna, Idaho 83634. With the recommended and required changes, staff has determined that the application generally complies with Kuna City Code Title 5; Idaho Code; and the Kuna Comprehensive Plan; Staff forwards a recommendation of approval for Case No. 19-03-DR to the Planning and Zoning Commission, subject to the recommended conditions of approval. **C/Young:** Before we begin, I’d like to make a quick statement. In the title block on the site plans, it lists the company I work for. For the record, we didn’t have anything to do with this pad, this site, or this application. **C/Young:** This brings up our discussion. **C/Hennis:** It’s pretty easy considering that we’re matching the one next to it, the design review is kind of done. Everything seems to comply with what we’ve set up and what we’re trying to do with consistency. **C/Gealy:** I have no concerns.

*Commissioner Hennis motions to approve Case No. 19-03-DR with the conditions as outlined in the staff report; Commissioner Gealy seconds, all aye and motion carried 3-0.*

**3. COMMISSION REPORTS**

**CITY OF KUNA  
PLANNING & ZONING COMMISSION**

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**MEETING MINUTES  
Tuesday, May 14, 2019**

**4. ADJOURNMENT**

*Commissioner Hennis motions to adjourn; Commissioner Gealy Seconds, all aye and motion carried 3-0.*

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Lee Young, Chairman  
Kuna Planning and Zoning Commission

ATTEST:

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Wendy I. Howell, Planning and Zoning Director  
Kuna Planning and Zoning Department



# City of Kuna

## Staff Report

P.O. Box 13  
Kuna, ID 83634  
Phone: (208) 922-5274  
Fax: (208) 922-5989  
www.Kunacity.Id.gov

**To:** Planning and Zoning Commission (acting as Design Review Committee)

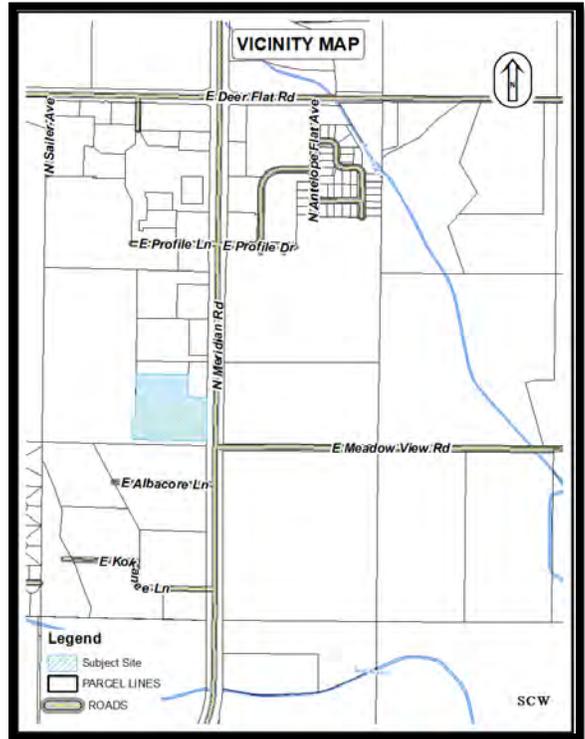
**Case Numbers:** 19-04-DR Mod (Design Review);  
Freedom Fitness

**Location:** 821 North Meridian Road  
Kuna, ID 83634

**Planner:** Sam Weiger, Planner I

**Meeting Date:** May 28, 2019

**Applicant:** **ALC Architecture**  
Jeff Likes  
1119 East State Street, Suite 120  
Eagle, ID 83616  
208.514.2713  
[jeff@alcarchitecture.com](mailto:jeff@alcarchitecture.com)



### Table of Contents:

- A. Course Proceedings
- B. Applicant's Request
- C. Aerial Map
- D. General Project Facts
- E. Staff Analysis
- F. Applicable Standards
- G. Proposed Decision and Order by the Commission

### A. Course of Proceedings:

1. According to Kuna City Code (KCC) Title 5, Chapter 4, Section 2 (Design Review); all new commercial buildings, landscaping, and parking lots are required to submit an application for review by the Planning and Zoning Commission. As a public meeting item, this action requires no formal public noticing actions.

#### a. Notifications

- |                          |                |
|--------------------------|----------------|
| i. Completeness Letter   | March 22, 2019 |
| ii. Agency Notifications | March 27, 2019 |
| iii. Agenda              | May 28, 2019   |

### B. Applicant's Request:

The applicant, ALC Architecture, requests approval of a design review for a new commercial building, approximately 11,588 square feet, to house *Freedom Fitness* gymnasium with landscaping, lighting and a parking lot, within the Ensign Commercial Subdivision No. 2; located at the northwest corner of North Meridian Road and Meadow View Road, Kuna, Idaho 83634.

### C. General Projects Facts:

1. **Comprehensive Plan Designation:** The Comprehensive Plan Future Land Use Map identifies this project location as Commercial.

2. **Surrounding Land Uses:**

<b>North</b>	C-1	Neighborhood Commercial District – Kuna City
<b>South</b>	R-6	Medium Density Residential – Kuna City
<b>East</b>	A	Agricultural – Kuna City
<b>West</b>	R-6	Medium Density Residential – Kuna City

3. **Parcel Sizes, Current Zoning, Parcel Numbers:**

Parcel Size: 5.71 (approximate) acres  
Current Zoning: C-1 (Neighborhood Commercial)  
Parcel No. S1324142215

4. **Services:**

Sanitary Sewer – City of Kuna  
Irrigation District – Kuna Municipal Irrigation System (KMIS)  
Pressurized Irrigation – City of Kuna (KMIS)  
Fire Protection – Kuna Rural Fire District  
Police Protection – Kuna City Police (Ada County Sheriff's office)  
Sanitation Services – J & M Sanitation

5. **Existing Structures, Vegetation and Natural Features:**

The property consists of a bare dirt lot with low vegetation.

6. **Transportation / Connectivity:**

There is currently one driveway access from North Meridian Road. The applicant proposes one additional driveway access from Meadow View Road.

7. **Environmental Issues:**

The subject site lies within the designated Nitrate Priority Area (NPA). Beyond the NPA, staff is not aware of any additional environmental issues, health or safety conflicts.

**D. Staff Analysis:**

Following the initial approval of *Freedom Fitness* (18-37-DR) on November 27, 2018, ALC Architecture requested to flip the north and south orientation of the building, add windows along the south elevation and move the outdoor exercise area to the south side of the building. ALC Architecture resubmitted for design review approval of *Freedom Fitness* to comply with Kuna City Code 5-4-10-A.1 and 5-4-10-A.2.

The applicant is hereby notified that this project is subject to a design review inspection and fees. Required inspections, post construction, are to verify design review compliance for the building, parking lot and landscaping prior to issuance of the Certificate of Occupancy for the building.

Applicant has *not* proposed a sign which will require a separate sign permit application. If such signs are desired, the application shall be submitted in conformance with KCC Title 5, Chapter 10, Signs.

Staff has determined that this application complies with Title 5 of Kuna City Code; Idaho Code; the Kuna Architecture Guidelines; and the Kuna Comprehensive Plan; and forwards a recommendation of approval for Case No. 19-04-DR Mod to the Planning and Zoning Commission, subject to the recommended conditions of approval.

**E. Applicable Standards:**

1. Kuna City Code, Title 5, Zoning Regulations
2. City of Kuna Comprehensive Plan
3. Idaho Code, Title 67, Chapter 65, Local Land Use Planning Act

**F. Proposed Decision and Order by the Planning and Zoning Commission:**

*Note: This proposed motion is for approval, conditional approval or denial of this request. If the Planning and Zoning Commission wishes to change specific parts of the request as detailed in the report, those changes must be specified.*

Based on the facts outlined in staff's report, the case file, and the discussion at the public meeting, the Planning and Zoning Commission of Kuna, Idaho, hereby (approves/conditionally approves/denies) Case No. 19-04-DR Mod, a design review request by ALC Architecture to construct a new *Freedom Fitness* gymnasium, approximately 11,588 square feet, including landscaping, a parking lot and lighting, with the following conditions of approval:

1. The applicant shall follow all requirements for sanitary sewer, potable water, irrigation system connections, and all other requirements of the Kuna Public Works Department.
2. The applicant shall obtain written approval of the construction plans from the agencies noted below. The approval may be either on agency letterhead referring to the approved use or may be written or stamped upon a copy of the approved plans. The following site improvements are prohibited prior to approval of these agencies and/or the issuance of a building permit:
  - a. No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of the civil plan from the Kuna City Engineer.
  - b. The Kuna Fire District shall approve fire flow requirements and/or building plans. Installation of fire protection facilities as required by Kuna Fire District is required.
  - c. The KMIS Irrigation District shall approve any modifications to the existing irrigation system.
  - d. Approval from Ada County Highway District and Impact Fees, if any shall be paid prior to building permit approval.
3. All signage for the site shall comply with current Kuna City Code and *obtain a sign permit prior to construction*.
4. All required landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace any unhealthy or dead plant material immediately or as the planting season permits, as required to meet the standards of these requirements. Maintenance and planting within public rights-of-way shall be with a license agreement from the public and/or private entities owning the property.
5. The applicant shall build the trash enclosure to comply with Kuna City Code, Title 8, Chapter 4.
6. This development is subject to building and landscaping design review inspections prior to receiving a Certificate of Occupancy. Inspection fees shall be paid prior to requesting staff inspection.
7. The land owner/applicant/developer, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the Planning and Zoning Commission, or seek amending them through the design review process.
8. Applicant shall follow staff, City Engineer and other agency recommended requirements, as applicable.
9. Applicant shall comply with all local, state and federal laws.



*City of Kuna*  
Kuna Planning and Zoning Commission  
Proposed Findings of Fact and Conclusions of Law

P.O. Box 13  
Phone: (208) 922-5274  
Fax: (208) 922-5989  
[www.kunacity.id.gov](http://www.kunacity.id.gov)

Based upon the record contained in Case Nos. 19-04-DR Mod including the Comprehensive Plan, Kuna City Code, and Staff's Memorandums, including the exhibits, the Kuna Planning and Zoning Commission hereby approves/conditionally approves/denies Case No. 19-04-DR Mod, a request from ALC Architecture to construct a new 11,588 square-foot *Freedom Fitness* gymnasium, accompanying signage, landscaping, lighting, and a parking lot within Ensign Commercial Subdivision No. 2.

*If the Planning and Zoning Commission wishes to approve, deny or modify specific parts of the Findings of Fact and Conclusions of Law as detailed below, those changes must be specified.*

1. Based on the evidence contained in Case No. 19-04-DR Mod, this proposal *does* generally comply with the City Code.

**Staff Finding:** *The applicant has submitted a complete application, and following staff review for technical compliance the application appears to be in general compliance with the design requirements, objectives and considerations listed in Kuna City Code Title 5.*

2. Based on the evidence contained in Case No. 19-04-DR Mod, this proposal *does* generally comply with the Comprehensive Plan.

**Staff Finding:** *The proposed zoning designation is C-1 (Neighborhood Commercial). The Comp Plan Map designates this property as Commercial.*

3. The proposed project *does* provide appropriate, safe vehicle parking and safe pedestrian access.

**Staff Finding:** *Per the revised site plan, there are 88 proposed parking spaces. All spaces are nine feet in width and twenty feet in depth. Additionally, the applicant has proposed a plaza and bike rack at the entry.*

4. The proposed project *does* generally conform to the Kuna Architecture guidelines.

**Staff Finding:** *Per the revised elevations, the maximum building height is approximately 26 feet. The revised building orientation features 100 percent of the building facing the sidewalk.*

5. The site landscaping *does* minimize the impact on adjacent properties through the use of screening.

**Staff Finding:** *Per the revised landscape plan, the applicant proposes a 20-foot landscape buffer along the rear property line. Additionally, the applicant has proposed landscaping throughout the development.*

6. The proposed project *does* generally conform to the design review requirements for commercial districts.

**Staff Finding:** *Per the revised plans, the revised building design features minor alterations to the façade that comply with Kuna City Code. Additionally, the revised building façade features color, texture and material changes.*

DATED: This 28<sup>th</sup> day of May, 2019.

**received**  
03.13.19



City of Kuna  
Planning & Zoning  
Department  
P.O. Box 13  
Kuna, Idaho 83634  
208.922.5274  
Fax: 208.922.5989  
Website: www.kunacity.id.gov

## Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

\*Please submit the appropriate checklist (s) with application

### Type of Review (check all that apply):

- Annexation
- Appeal
- Comprehensive Plan Amendment
- Design Review
- Development Agreement
- Final Planned Unit Development
- Final Plat
- Lot Line Adjustment
- Lot Split
- Planned Unit Development
- Preliminary Plat
- Rezone
- Special Use
- Temporary Business
- Vacation
- Variance

For Office Use Only	
File Number (s)	19-04-DR
Project name	Freedom Fitness (2019)
Date Received	03.13.19
Date Accepted/Complete	
Cross Reference Files	
Commission Hearing Date	
City Council Hearing Date	

### Contact/Applicant Information

Owners of Record: _____	Phone Number: _____
Address: _____	E-Mail: _____
City, State, Zip: _____	Fax #: _____
Applicant (Developer): _____	Phone Number: _____
Address: _____	E-Mail: _____
City, State, Zip: _____	Fax #: _____
Engineer/Representative: <u>Jeff Likes</u>	Phone Number: <u>208.514.2713</u>
Address: <u>1119 E State #120</u>	E-Mail: <u>jeff@alcarchitecture.com</u>
City, State, Zip: <u>Eagle, Idaho 83616</u>	Fax #: _____

### Subject Property Information

Site Address: <u>817 N Meridian Rd</u>
Site Location (Cross Streets): <u>Meadow View and N Meridian Rd</u>
Parcel Number (s): <u>S1324142300</u>
Section, Township, Range: <u>24, 2n, 1w</u>
Property size : <u>21.76 ac</u>
Current land use: <u>vacant</u> Proposed land use: <u>gym</u>
Current zoning district: <u>R-6</u> Proposed zoning district: <u>C-1</u>

**Project Description**

Project / subdivision name: Freedom Fitness

General description of proposed project / request: workout/ gym building

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Type of use proposed (check all that apply):

Residential \_\_\_\_\_

Commercial \_\_\_\_\_

Office \_\_\_\_\_

Industrial \_\_\_\_\_

Other \_\_\_\_\_

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Amenities provided with this development (if applicable): \_\_\_\_\_

**Residential Project Summary (if applicable) N/A**

Are there existing buildings?  Yes  No

Please describe the existing buildings: \_\_\_\_\_

Any existing buildings to remain?  Yes  No

Number of residential units: \_\_\_\_\_ Number of building lots: \_\_\_\_\_

Number of common and/or other lots: \_\_\_\_\_

Type of dwellings proposed:

Single-Family \_\_\_\_\_

Townhouses \_\_\_\_\_

Duplexes \_\_\_\_\_

Multi-Family \_\_\_\_\_

Other \_\_\_\_\_

Minimum Square footage of structure (s): \_\_\_\_\_

Gross density (DU/acre-total property): \_\_\_\_\_ Net density (DU/acre-excluding roads): \_\_\_\_\_

Percentage of open space provided: \_\_\_\_\_ Acreage of open space: \_\_\_\_\_

Type of open space provided (i.e. landscaping, public, common, etc.): \_\_\_\_\_

**Non-Residential Project Summary (if applicable)**

Number of building lots: 1 Other lots: \_\_\_\_\_

Gross floor area square footage: 11,588 Existing (if applicable): \_\_\_\_\_

Hours of operation (days & hours): 6am-9pm Building height: 26'-0" +-

Total number of employees: 20 Max. number of employees at one time: 10

Number and ages of students/children: \_\_\_\_\_ Seating capacity: \_\_\_\_\_

Fencing type, size & location (proposed or existing to remain): N/A

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Proposed Parking:

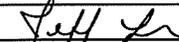
a. Handicapped spaces: 4 Dimensions: 9'x20'

b. Total Parking spaces: 78 Dimensions: 9'x20'

c. Width of driveway aisle: 24'-0"

Proposed Lighting: shield pole and building lights

Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.): parking areas common areas to the north and west

Applicant's Signature:  Date: 3.1.2019



# City of Kuna Design Review Application

Received  
3.13.19

P.O. Box 13  
Kuna, Idaho 83634  
(208) 922.5274  
Fax: (208) 922.5989  
Website: www.kunacity.id.gov

FILE NO.: 19-04-DR  
CROSS REF.: \_\_\_\_\_  
FILES: \_\_\_\_\_

The City of Kuna has adopted a Design Review process whose purpose is to make Kuna a pleasant and comfortable place to live and work. This Design Review process is based on standards and guidelines found in the Design Review Ordinance No. 2007-02 and the Architecture and Site Design Booklet. Both documents can be found online ([www.cityofkuna.com](http://www.cityofkuna.com)) or are picked up in the City's Planning and zoning department is located at 751 W 4<sup>th</sup> Street, Kuna ID.

### The Design Review application applies to the following land use actions:

- ▶ Multi-family dwellings (3 or more)
- ▶ Commercial
- ▶ Industrial
- ▶ Institutional
- ▶ Office
- ▶ Common Area
- ▶ Subdivision Signage
- ▶ Proposed Conversions
- ▶ Proposed changes in land use and/or building use or exterior remodeling
- ▶ Exterior restoration, and enlargement or expansion of existing buildings, signs or sites.

## Application Submittal Requirements

Applicant Use		Staff Use
<input checked="" type="checkbox"/>	Date of pre-application meeting : <u>8.16.18</u> <i>Note: Pre-Applications are valid for a period of three (3) months.</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	A complete Design Review Application form <i>Note: It is the applicant's responsibility to use a current application.</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Detailed letter of explanation or justification for the application, describing the project and design elements, and how the project complies with Design Review standards.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	One (1) Vicinity Map (8 1/2" x 11") at 1" = 300' scale (or similar), label the location of the property and adjacent streets.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	One 8 1/2" x 11" colored aerial photo depicting proposed site, street names, and surrounding area within five-hundred feet (500').	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Copy of Deed; and, if the applicant is not the owner, an <b>original</b> notarized statement (affidavit of legal interest) from the owner (and all interested parties) stating the applicant is authorized to submit this application.	<input type="checkbox"/>



Detailed site, landscape, drainage plan, elevation and to scale. (No smaller than 1"=30', unless otherwise approved.)



**One of each plan** (site, landscape, drainage plan and elevations) is required to be submitted in the following plan sizes:

(2) 24" x 36" LARGE FORMAT PLANS

(1) 11" X 17" PLAN REDUCTIONS

(1) 8 1/2" x 11" PLAN REDUCTIONS



Provide a color rendering and material sample board specifically noting where each color and material is to be located on the structure.



Note: Provide photo of the colored rendering and material samples board to City Staff electronically in a JPG or PDF format.

The Applicant is obligated to provide a site plan that graphically portrays the site and includes the following features:

### Site Plan

Applicant Use

North Arrow

To scale drawings

Property lines

Name of "Plan Preparer" with contact information

Name of project and date

Existing structures, identify those which are to be relocated or removed

On-site and adjoining streets, alleys, private drives and rights-of-way

Drainage location and method of on-site retention / detention

Location of public restrooms

Existing / proposed utility service and any above-ground utility structures and their location

Location and width of easements, canals and drainage ditches

Location and dimension of off-street parking

Locations and sizes of any loading area, docks, ramps and vehicle storage or service areas

Trash storage areas and exterior mechanical equipment, with proposed method of screening

Sign locations (a separate sign application must be submitted with this application)

On-site transportation circulation plan for motor vehicles, pedestrians and bicycles

Locations and uses of ALL open spaces

Locations, types and sizes of sound and visual buffers (Note: all buffers must be located outside the public right-of-way)

Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle

Locations of subdivision lines (if applicable)

Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles

Location of walls and fences and indication of their height and material of construction

Roofline and foundation plan of building, location on the site

Location and designations of all sidewalks

Location and designation of all rights-of-way and property lines

Staff Use

## Landscape and Streetscape Plan

The landscape and streetscape plans need to be drawn by the project architect, professional landscape architect, landscape designer, or qualified nurseryman for development's possessing more than twelve thousand (12,000) square feet of private land. The landscaped and streetscape plans must be colored. The Planning Director or City Forester may require the preparation of a landscape plan for smaller developments by one of the noted individuals if the lot(s) have unique attributes.

Applicant Use		Staff Use
<input type="checkbox"/>	North Arrow	<input type="checkbox"/>
<input type="checkbox"/>	To scale drawings	<input type="checkbox"/>
<input type="checkbox"/>	Boundaries, property lines and dimensions	<input type="checkbox"/>
<input type="checkbox"/>	Name of "Plan Preparer" with contact information	<input type="checkbox"/>
<input type="checkbox"/>	Name of project and date	<input type="checkbox"/>
<input type="checkbox"/>	Type and location of all plant materials and other ground covers. <i>Please review the City's plant list and rely upon it to identify the site's planting strategy. Include botanical and common name, quantity, spacing and sizes of all proposed landscape materials at the time of planting, and at maturity. A list of acceptable trees is available upon request from City Planning Staff.</i>	<input type="checkbox"/>
<input type="checkbox"/>	Existing vegetation identified by specific size. Identify those which are proposed to be relocated or removed	<input type="checkbox"/>
<input type="checkbox"/>	Method of irrigation <i>Note: All plant materials, except existing native plants not damaged during construction or xeriscape species shown not to require regular watering, shall be irrigated by underground sprinkler systems set on a timer in order to obtain proper watering duration and ease of maintenance.</i>	<input type="checkbox"/>
<input type="checkbox"/>	Location, description, materials, and cross-sections of special features, including berming, retaining walls, hedges, fences, fountains street/pathway furniture (benches, etc.), etc.	<input type="checkbox"/>
<input type="checkbox"/>	Sign locations <i>Note: A separate sign application must be submitted with this application</i>	<input type="checkbox"/>
<input type="checkbox"/>	Locations and uses for open spaces	<input type="checkbox"/>
<input type="checkbox"/>	Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle	<input type="checkbox"/>
<input type="checkbox"/>	Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles	<input type="checkbox"/>
<input type="checkbox"/>	Location and designations of all sidewalks	<input type="checkbox"/>
<input type="checkbox"/>	Clearly identify pressurized irrigation lines and underground water storage	<input type="checkbox"/>
<input type="checkbox"/>	Engineered grading and drainage plans: A generalized drainage plan showing direction drainage with proposed on-site retention. Upon submission of building/construction plans for an approved design review application, a detailed site grading and drainage plan, prepared by a registered professional engineer (PE) shall be submitted to the City for review and approval by the City Engineer.	<input type="checkbox"/>

### Building Elevations

Applicant  
Use

Detailed elevation plans of each side of any proposed building(s) or additions(s)  
*Note: Four (4) elevations to include all sides of development and must be in color*

Identify the elevations as to north, south, east, and west orientation

Colored copies of all proposed building materials and indication where each material and color application is to be located  
*Note: Submit as 11"x17" reductions*

Screening/treatment of mechanical equipment

Provide a cross-section of the building showing any roof top mechanical units and their roof placement

Detailed elevation plans showing the materials to be used in construction of trash enclosures

Staff  
Use

### Lighting Plan

Applicant  
Use

Exterior lighting including detailed cut sheets and photometric plan (pedestrian, vehicle, security, decoration)

Types and wattage of all light fixtures

*Note: The City encourages use of "dark sky" lighting fixtures*

Placement of all light fixtures shown on elevations and landscaping plans

Staff  
Use

### Roof Plans

Applicant  
Use

Size and location of all roof top mechanical units

Staff  
Use

# Design Review Application

Applicant: ALC ARCHITECTURE Phone: 248.514.2713  
 Owner  Representative Fax/Email: \_\_\_\_\_

Applicant's Address: 1119 EAST STATE STREET, SUITE 120  
EAGLE, IDAHO Zip: 83616

Owner: JIM LESLEY Phone: \_\_\_\_\_  
 Owner's Address: 7551 SOUTH FLAT CANYON Email: \_\_\_\_\_  
KUNA, IDAHO Zip: 83634

Represented By: (if different from above) Richard Wilmot (ALC Architecture) Phone: \_\_\_\_\_  
 Address: \_\_\_\_\_ Email: \_\_\_\_\_  
 Zip: \_\_\_\_\_

Address of Property: 821 NORTH MERIDIAN ROAD  
KUNA, IDAHO Zip: 83634

Distance from Major Cross Street: 2,221 FEET Street Name(s): DEER FLAT ROAD

*Please check the box that reflects the intent of the application*

- |                                                              |                                                     |
|--------------------------------------------------------------|-----------------------------------------------------|
| <input checked="" type="checkbox"/> BUILDING DESIGN REVIEW   | <input type="checkbox"/> DESIGN REVIEW MODIFICATION |
| <input type="checkbox"/> SUBDIVISION / COMMON AREA LANDSCAPE | <input type="checkbox"/> STAFF LEVEL APPLICATION    |

This Design Review application is a request to construct, add or change the following: (Briefly explain the nature of the request.)

AN APPROXIMATE 11,600 S.F. GYMNASIUM AND FITNESS FACILITY.

1. Dimension of Property: 596' x 534'
2. Current Land Use(s): N/A (UNDEVELOPED)
3. What are the land uses of the adjoining properties?
 

North:	<u>      </u>	R-6 (MEDIUM DENSITY RESIDENTIAL)	<u>      </u>
South:	<u>      </u>	RUT (RURAL URBAN TRANSITION)	<u>      </u>
East:	<u>      </u>	C-1 (NEIGHBORHOOD COMMERCIAL)	<u>      </u>
West:	<u>      </u>	RUT (RURAL URBAN TRANSITION)	<u>      </u>
4. Is the project intended to be phased, if so what is the phasing time period?  
 Please explain: YES - RETAIL, TO BE DETERMINED NO - GYMNASIUM  
YES - REMAINING RETAIL

5. The number and use(s) of all structures: (1) - GYMNASIUM

6. Building heights: 26'-0" Number of stories: 1

The height and width relationship of new structures shall be compatible and consistent with the architectural character of the area and proposed use.

Note: The maximum building height for each zoning district is as follows:

- L-O: 35'
- C-2: 60'
- CBD: 80'
- M-2: 60'
- P: 60'
- C-1: 35'
- C-3: 60'
- M-1: 60'
- M-3: 60'

7. What is the percentage of building space on the lot when compared to the total lot area? 4.65%

8. Exterior building materials & colors: (Note: This section must be completed in compliance with the City of Kuna Ordinance No. 2007-21A (as amended); found online at [www.cityofkuna.com](http://www.cityofkuna.com)) under the City Code.

**MATERIAL** **COLOR**

Roof: STANDING SEAM / SINGLE PLY MEMBRANE (BLACK / WHITE)

Walls: (State percentage of wall coverage for each type of building material below for each frontage wall) If there is not adequate space to identify the various building materials and applications, please list them on the attached sheet of this application. Please attach photos to support application types.

WEST = 2,669 SF , EAST = 2,669 SF NORTH = 2,989

% of Wood application: \_\_\_\_\_ / \_\_\_\_\_

% EIFS: \_\_\_\_\_ / \_\_\_\_\_  
(Exterior Insulation Finish System)

% Masonry: \_\_\_\_\_ / \_\_\_\_\_

% Face Block: \_\_\_\_\_ / \_\_\_\_\_

% Stucco: NORTH = 320 SQ. FT. WEST = 2,669 EAST = 795 (WHITE)

& other material(s): METAL NORTH = 2,669 SQ FT WEST = 0 EAST = 1,077 SQ FT. (RED, BLUE, WHITE, BLACK)

List all other materials: METAL

Windows/Doors: 1 NORTH = 300 WEST = 840 SQ FT EAST = 560  
(Type of window frames & styles / doors & styles, material)

Soffits and fascia material: METAL / BLACK

Trim, etc.: METAL / BLACK

Other: \_\_\_\_\_ / \_\_\_\_\_

9. Please identify Mechanical Units: 320' ROOF TOP UNITS,  
Type/Height: 5'-0"  
Proposed Screening Method: PARAPET

10. Please identify trash enclosure: (size, location, screening & construction materials) CONCRETE MASONRY UNIT  
13'-4" x 34'-0" x 8'-0" TML.

11. Are there any irrigation ditches/canals on or adjacent to the property? NO  
If yes, what is the name of the Irrigation or drainage provider? \_\_\_\_\_

12. Fencing: (Please provide information about new fencing material as well as any exiting fencing material)

Type: N/A N/A



Signature of Applicant Jeff Jr Date 3.1.2019

City staff comments:  
\_\_\_\_\_  
\_\_\_\_\_

Signature of receipt by City Staff \_\_\_\_\_ Date \_\_\_\_\_

**FOR ADDITIONAL INFORMATION:**  
(Please list page number and item in reference)

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received  
3.13.19



**March 1, 2019**

**City of Kuna Planning and Zoning Department  
Re: Freedom Fitness – Design Review Application**

To Whom It May Concern:

Pursuant to our Design Review application for a new fitness and exercise facility located at 817 North Meridian Road we respectfully request approval to construct approximately 11,600 s.f. fitness and exercise facility building.

The proposed project is located on a single parcel in the Neighborhood Commercial Overlay District and the (C-1) zoning district. The building will be part of a larger mixed commercial use development with the purpose of address the needs of nearby neighborhood residents.

The proposed building is designed to address the requirements for commercial buildings in arterial roadway district. The architectural character of the building will have varying roof heights and profiles, the tallest portion of the building is a parapet of approximately 26'-0" above finished grade, this will conceal any proposed roof top mechanical equipment. Additionally, this height is comparable with most retail storefronts allowing for a good transition between this building and future building. All uses for this facility will be located on the street level given the building is only a single story, allowing for 100% of the street level façade to front on to a public sidewalk with plaza area directly adjacent to the buildings main entrance. We are also proposing to incorporate a fenced outdoor (sod) playfield adjacent to the facility.

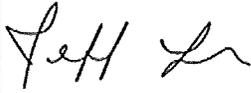
Our building entrance is facing East towards Meridian Road, the vehicle parking area and the public sidewalk and plaza. The entry is covered with a sloped roof overhang supported by steel brackets, the roof is clad with standing seam metal roofing. The entrance doors are part of a recessed fully glazed curtain wall providing full visual transparency into the facility. The sloping roof protecting the building entrance and continuing north is sloped at 1/12 less than the required 3/12. Our exterior material treatments include a mixture of metal panel with different profiles and colors and painted cement plaster. Approximately 30% of the façade is treated with a framed projection around storefront glazed openings.

All trash disposal containers will be contained within an accessible trash enclosure with adequate access for trash service vehicles located to the west of the proposed building.

We appreciate your approval of our design review application. And we look forward to helping Kuna develop the Meridian Road corridor.

Should you have any questions or concerns regarding this project please don't hesitate to contact us. We thank you for your time and consideration.

Thank you,

A handwritten signature in black ink, appearing to read "Jeff Likes". The signature is written in a cursive style with a large initial "J" and a stylized "L".

Jeff Likes  
ALC Architecture  
[jeff@alcarchitecture.com](mailto:jeff@alcarchitecture.com)  
208.514.2713

Exhibit A

Order No.: 34601704053

**For APN/Parcel ID(s): S1324142215**

---

A portion of the Southeast 1/4 of the Northeast 1/4 of Section 24, Township 2 North, Range 1 West, Boise Meridian, City of Kuna, Ada County, Idaho begin more particularly described as follows:

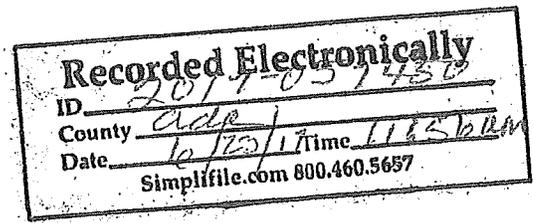
Commencing at the East 1/4 corner of said Section 24 from which the Northeast corner of said Section bears North 00°22'43" East, 2,649.31 feet;  
thence along the East-West centerline of said Section 24, North 88°50'19" West, 65.01 feet to a point on the West right of way line of N. Meridian Road;  
thence along said West right of way line North 00°22'43" East, 40.01 feet to the Real Point of Beginning;  
thence leaving said West right of way line North 88°50'19" West, 551.26 feet;  
thence 31.14 feet along the arc of a curve to the right having a radius of 20.00 feet, a central angle of 89°13'02" and a long chord which bears North 44°13'48" West, 28.09 feet;  
thence North 00°22'43" East, 70.22 feet;  
thence 59.67 feet along the arc of a curve to the left having a radius of 74.00 feet, a central angle of 46°11'54" and a long chord which bears North 22°43'14" West, 58.06 feet;  
thence North 63°47'00" East, 42.13 feet;  
thence North 32°04'50" East, 21.02 feet;  
thence North 00°22'43" East, 314.56 feet to the SW corner of Ensign Subdivision as filed in Book 111 of Plats at Pages 16059-16061, records of Ada County, Idaho;  
thence along the southerly boundary line of said Ensign Subdivision the following 3 courses and distances:  
thence South 89°37'17" East, 401.88 feet;  
thence South 00°22'49" West, 170.45 feet;  
thence South 89°37'17" East, 143.12 feet to a point on the said West right of way line of N Meridian Road;  
thence along said West right of way line South 00°22'43" West, 332.02 feet to the Real Point of Beginning.

**EXHIBIT B  
PERMITTED EXCEPTIONS  
EXCEPTIONS**

Order No.: 34601704053

1. Rights of the public to any portion of the Land lying within the area commonly known as  
N Meridian Road.
2. Terms, conditions, provisions, easements and obligations set forth in that certain Well User's  
Agreement  
Between: Elmer R Jensen and Thelma I Jensen  
Recorded: November 1, 1989  
Instrument No: 8954350, of Official Records.
3. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a  
document:  
Granted to: Idaho Power Company  
Purpose: public utilities  
Recording Date: September 25, 1992  
Recording No: 9265197
4. Terms, conditions, provisions, easements and obligations set forth in that certain Warranty Deed  
to State of Idaho,  
Idaho Transportation Department  
Recorded: April 18, 1997  
Instrument No: 97029946, of Official Records.
5. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a  
document:  
Granted to: State of Idaho, Idaho Transportation Department  
Purpose: irrigation ditch and facilities  
Recording Date: April 18, 1997  
Recording No: 97029947
6. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a  
document:  
Granted to: Idaho Power Company  
Purpose: public utilities  
Recording Date: May 19, 1999  
Recording No: 99050459
7. Matters as disclosed by Record of Survey No. 8346  
Recorded: June 19, 2008  
Instrument No: 108071919, of Official Records.

8. Terms, conditions, provisions, and obligations set forth in that certain Ordinance No. 2009-12 re Rezoning  
By: City of Kuna, Idaho  
Recorded: April 27, 2009  
Instrument No: 109047092, of Official Records.
9. Matters as disclosed by Record of Survey No. 10364  
Recorded: January 21, 2016  
Instrument No: 2016-005357, of Official Records.
10. Terms, conditions, provisions and obligations set forth in that certain City of Kuna Ordinance No. 2016-22  
Recorded: July 8, 2016  
Instrument No: 2016-060881, of Official Records.
11. Terms, conditions, provisions, easements and obligations set forth in that certain Grant of Reciprocal Easements and Declaration of Covenants  
Declarant: Emmett Partners, LLC  
Recorded: September 26, 2016  
Instrument No: 2016-091329, of Official Records.
12. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:  
  
Granted to: City of Kuna  
Purpose: Water, sewer and pressure irrigation main  
Recording Date: October 24, 2016  
Recording No: 2016-102043
13. Terms, conditions, covenants, provisions, easements and obligations set forth in that certain Cross Access Easement Agreement  
Between: CJM Limited Liability Limited Partnership, an Idaho limited partnership; Emmett Partners, LLC, a Utah limited liability company; and Rama Group, LLC, an Idaho limited liability company  
Recorded: January 4, 2017  
Instrument No: 2017-000668, of Official Records.
14. Terms, conditions, provisions, easements and obligations set forth in that certain Restrictive Covenant  
Between: Emmett Partners, LLC, a Utah limited liability company; and O'Reilly Auto Enterprises, LLC, a Delaware limited liability company  
Recorded: March 16, 2017  
Instrument No: 2017-022306, of Official Records.
15. Unrecorded leaseholds, if any; rights of parties in possession other than the vestees herein; rights of chattel mortgagees and vendors under conditional sales contracts of personal property installed on the premises herein; and the rights of tenants to remove trade fixtures.



34601704053 n6

### GENERAL WARRANTY DEED

FOR VALUE RECEIVED, the receipt and sufficiency of which is hereby acknowledged, EMMETT PARTNERS LLC, a Utah limited liability company, whose mailing address is 170 S. Main Street #1600 Salt Lake City, UT 84101, (hereinafter "**Grantor**"), hereby grants, bargains, sells, and conveys unto Lesley Properties LLC, an Oregon limited liability company, whose current address is 7551 S. Flat Lane, Kuna, ID 83634 (hereinafter referred to as the "**Grantee**") all of Grantor's right title and interest in and to the real property legally described on Exhibit A, attached hereto and incorporated herein by this reference (hereinafter referred to as the "**Premises**").

TOGETHER WITH all water and water rights, ditch or irrigation company shares, streets, alleys and rights of way adjacent thereto, all development rights, air rights and mineral rights appurtenant thereto, and all and singular the tenements, hereditaments, and appurtenances thereunto belonging or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues, and profits thereof; and all estate, right, title, and interest in and to the Premises, as well in law as in equity.

TO HAVE AND TO HOLD the Premises with its appurtenances, unto Grantee, its successors, heirs and assigns, forever.

SUBJECT TO the following: (a) general taxes and assessments, including utility assessments for the current year, which are not yet due and payable, and will be prorated between Grantor and Grantee as of the date of execution of this deed; and (b) all matters set forth on Exhibit B, attached hereto and incorporated herein by this reference (all such matters are referred to herein collectively as "Permitted Exceptions").

AND Grantor does hereby covenant to and with Grantee, and its successors and assigns forever, that Grantor is owner in fee simple of the Premises; that Grantor has a good right to convey the fee simple; that the Premises is free from any and all liens, claims, encumbrances or other defects of title except the Permitted Exceptions; that Grantor shall and will warrant and defend the quiet and peaceful possession of said Premises by Grantee, and its successors and assigns forever, against all other claims whatsoever; and that Grantor and its heirs and assigns will, on demand of the Grantee or its heirs or assigns, execute any instrument necessary for the further assurance of the title to the Premises that may be reasonably required.

34601704053 n6

**GENERAL WARRANTY DEED**

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Dated effective as of the 22 day of June, 2017.

EMMETT PARTNERS, LLC



By M Brett Jensen, Member

STATE OF Utah, COUNTY OF Cache, -ss.

On this 22 day of June, 2017, before me, the undersigned, a Notary Public in and for said State, personally appeared M Brett Jensen, known or identified to me to be the Member of the corporation that executed the instrument or the persons who executed on behalf of Emmett Partners, LLC, an Idaho Corporation and acknowledged to me that he/she executed the same as such Member.

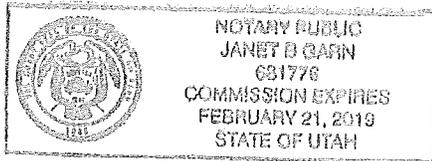
Signature: Janet B. Garn

Name: Janet B. Garn

Residing at: Logan, UT

My Commission Expires: 2/21/19

(SEAL)





City of Kuna  
P.O. Box 13  
Kuna, Idaho 83634

Phone: (208) 922-5274  
Fax: (208) 922-5989  
Web: www.kunacity.id.gov

# City of Kuna AFFIDAVIT OF LEGAL INTEREST

State of Idaho )  
) ss  
County of Ada )

I, Jim Lesky, 7551 S. Flat/n  
Name Address  
Kuna ID 83634  
City State Zip Code

being first duly sworn upon oath, depose and say:

**(If Applicant is also Owner of Record, skip to B)**

A. That I am the record owner of the property described on the attached, and I grant my

Permission to Jeff Likes ALC Name Address  
to submit the accompanying application pertaining to that property.

B. I agree to indemnify, defend and hold City of Kuna and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.

C. I hereby grant permission to the City of Kuna staff to enter the subject property for the purpose of site inspections related to processing said application(s).

Dated this 19 September day of \_\_\_\_\_, 2018

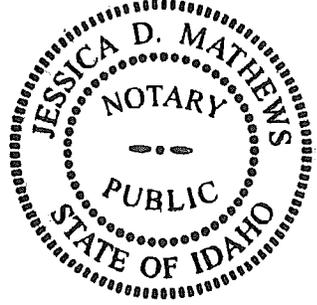
[Signature]  
Signature

Subscribed and sworn to before me the day and year first above written.

Jessica D. Matthews  
Notary Public for Idaho

Residing at: Nampa, ID

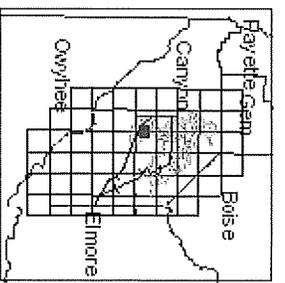
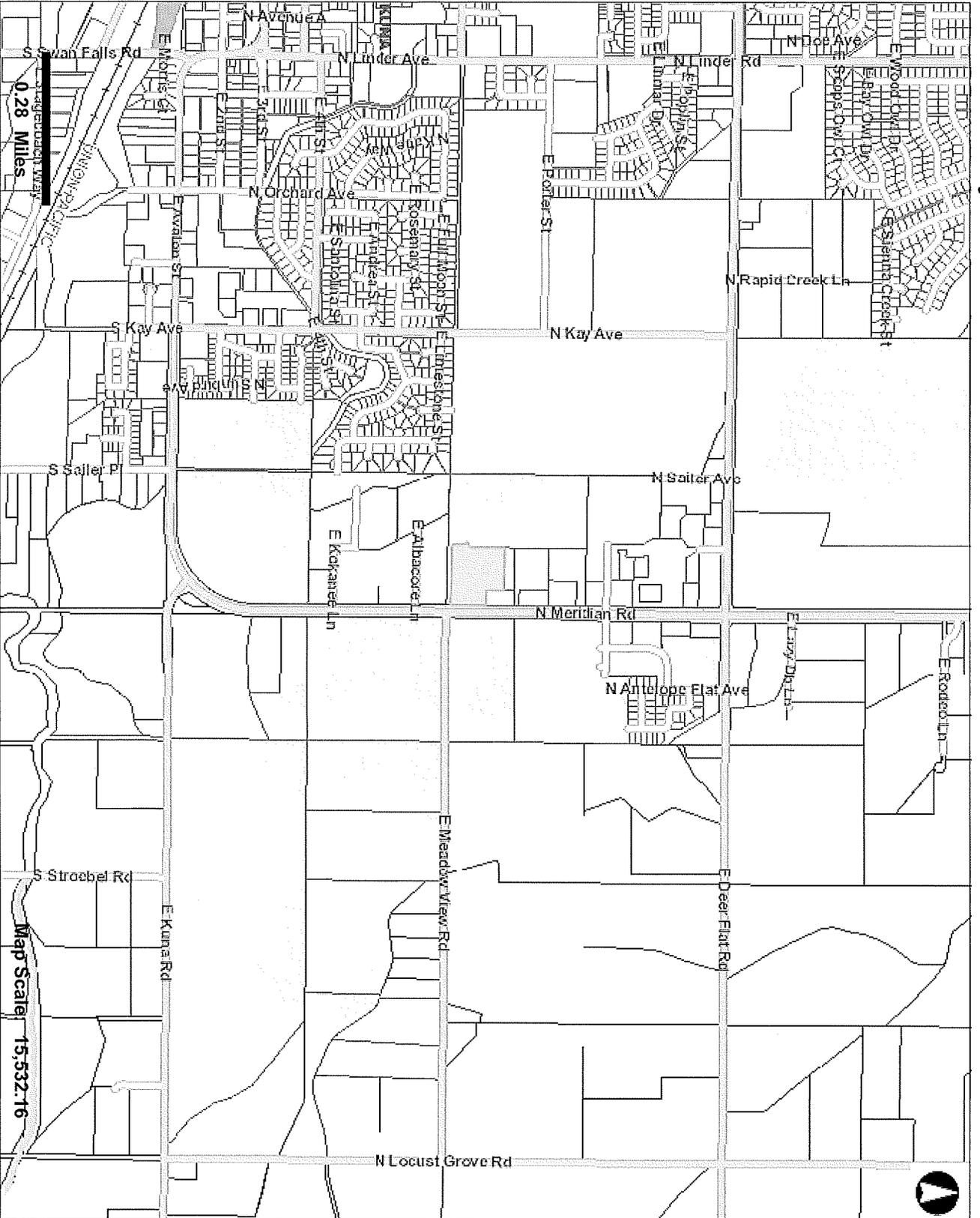
My commission expires: 10/20/2023





# Ada County Assessor

This map is a user-generated static output from an Internet mapping site and is for general reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION OR LEGAL PURPOSES.



## Legend

- + Railroad
- Roads (8,000 - 24,000)
- <all other values>
- Interstate
- Ramp
- Principal Arterial
- Collector
- Minor Arterial
- Local
- Parks
- Alley
- Driveway
- Parks
- Water
- City Limits
- <all other values>
- BOISE
- EAGLE
- GARDEN CITY
- KUNA
- MERIDIAN
- STAR
- Condos
- Parcels

Map Scale 15,532:16

10/15/2018



1. Looking North



2. Looking East



3. Looking South



4. Looking West



5. Looking North



6. Looking East



7. Looking South



8. Looking West



9. Looking North



10. Looking East



11. Looking South



12. Looking West



13. Looking North



14. Looking East



15. Looking South



16. Looking West



17. Looking North



18. Looking East



19. Looking South



20. Looking West



21. Looking North



22. Looking East



23. Looking South



24. Looking West

## Sam Weiger

---

**From:** Jeff Likes <Jeff@alcarchitecture.com>  
**Sent:** Monday, May 6, 2019 3:29 PM  
**To:** Chad Gordon; Sam Weiger  
**Subject:** RE: freedom fitness

Chad and Sam

Chad- thanks for your quick reply

Sam- please see Chad's approval below.

Thanks everyone



## JEFF LIKES

### Principal Architect

AIA, NCARB

1119 State. Ste. 120

Eagle, Idaho 83616

p. 208.514.2713 Ext. 8200

c. 208.941.7261

e. [jeff@alcarchitecture.com](mailto:jeff@alcarchitecture.com)

**From:** Chad Gordon <chad.gordon@jmsanitation.com>  
**Sent:** Monday, May 6, 2019 3:25 PM  
**To:** Jeff Likes <Jeff@alcarchitecture.com>  
**Subject:** Re: freedom fitness

Jeff,

Everything looks good on our end. Do you need me to let the City of Kuna know that this project is good to go.

Thanks,

On Mon, May 6, 2019 at 2:59 PM Jeff Likes <[Jeff@alcarchitecture.com](mailto:Jeff@alcarchitecture.com)> wrote:

Chad

I need to also check with you on the trash enclosure for freedom fitness

Can you please look at the attached for me?

Thanks



## **JEFF LIKES**

**Principal Architect**

AIA, NCARB

1119 State. Ste. 120

Eagle, Idaho 83616

p. 208.514.2713 Ext. 8200

c. 208.941.7261

e. [jeff@alcarchitecture.com](mailto:jeff@alcarchitecture.com)



**CITY OF KUNA**  
**P.O. BOX 13**  
**KUNA, ID 83634**  
[www.kunacity.id.gov](http://www.kunacity.id.gov)

Paul A. Stevens, P.E.  
Kuna City Engineer  
208-287-1727

## **DESIGN REVIEW MEMORANDUM**

**Date:** 8 May 2019  
**From:** Paul A. Stevens, P.E.  
**To:** Wendy Howell, Planning and Zoning Director  
**RE:** 19-04-DR, Freedom Fitness, Ensign Subdivision No. 2, Design Review Application

---

The 19-04-DR, Freedom Fitness, Ensign Subdivision No. 2, Design Review Application, received on 13 March 2019 has been reviewed for compliance with the City of Kuna Public Works Standards. The following narrative is limited to the design review request. This review relies on the information provided in the application. Additional information was gleaned from the Ensign 2 subdivision construction drawings to make up for short falls in the application. If additional or different information becomes available the review comments may require modification.

### **1. General**

- a. Zoning for this application was previously established within Ensign 2 Subdivision approval. Zoning is C-1.
- b. Water, sewer, and Pressurized Irrigation utilities are provided from the Ensign 2 Subdivision.

### **2. Property Description/plat**

- a. The applicant provided drawings showing the proposed Freedom Fitness Center on Block 1-Lot 7 of Ensign Subdivision No. 2.
- b. Parking appears to be on Block 1-Lot 9.
- c. After referencing the Ensign 2 construction drawings it appears that Freedom Fitness Center building will occupy all of Block 1- Lot 7 and Block 1-Lot 8. There is insufficient information to verify the exact building location or the actual lot lines.
- d. Developer must verify that the building and associated improvements are on property owned by the developer/development.
- e. Changes to lot configurations must be documented. A lot line adjustment, amended plat, or replat may be needed to properly document any changes.

### **3. Storm water retention and treatment**

- a. The design drawings show that storm water retention and treatment was provided through the Ensign 2 subdivision.
- b. Storm water retention capacity must be verified once the final configuration of the building and ancillary improvements are in place.

- c. If additional storm water retention, treatment is needed or the existing system requires modification, revised project drawings with supporting calculations shall be provided to the City Engineer with sufficient lead time to allow review and approval before the modification begins.

#### **4. Irrigation**

- a. Pressurized irrigation is available on the east side of Lot 7 and Lot 8 and on the west & south sides of Lot 9
- b. Irrigation from the City of Kuna potable water system is not allowed.
- c. Irrigation shall come from the City of Kuna pressurized irrigation system
- d. Size of connection to be determined by the City Engineer based on the established table shown in the City's irrigation note section of the City of Kuna Standard Requirements.

#### **5. Sewer**

- a. Sewer is available along the east side of Lots 7 & 8.
- b. Connection to the City of Kuna sewer utility is required and available.

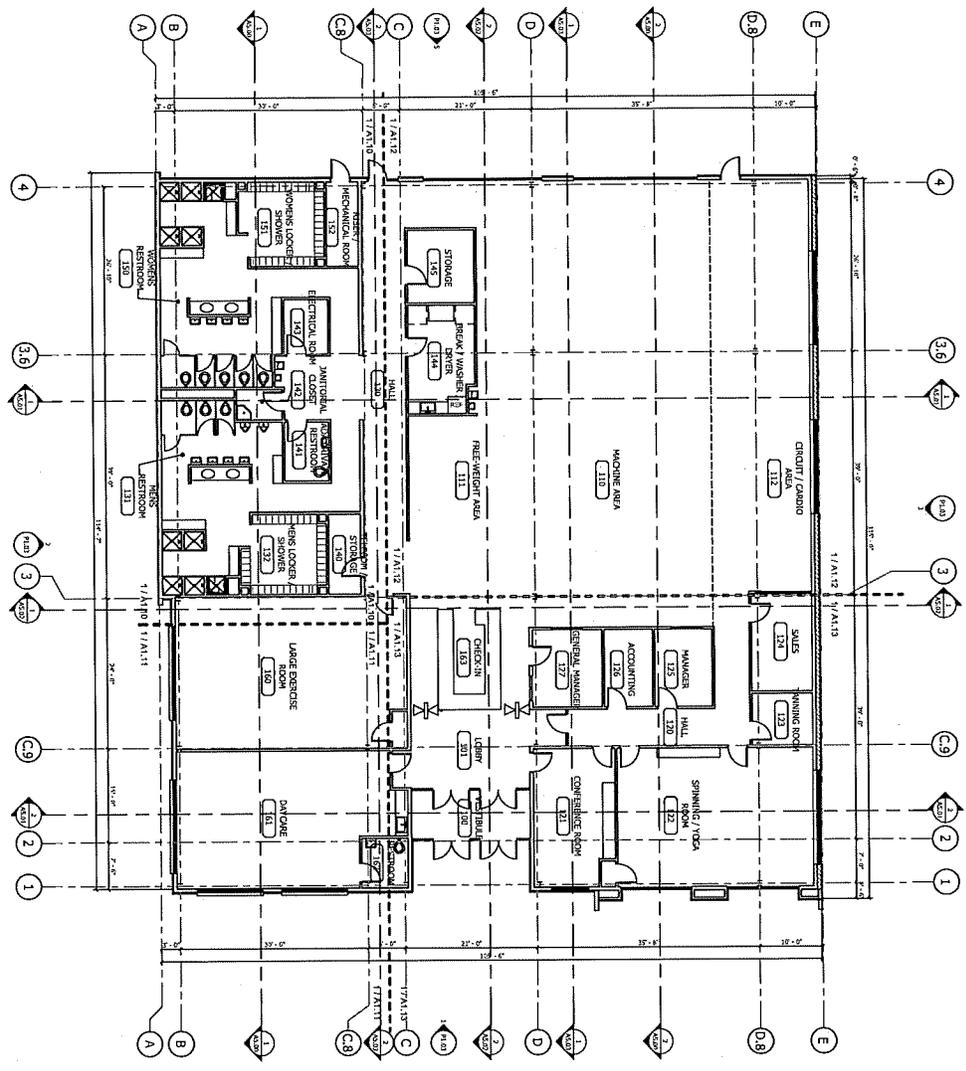
#### **6. Water**

- a. Connection to the City of Kuna water utility is required and available.
- b. Water connection is available in the NW corner of Lot 7 and along the east sides of Lots 7 & 8.
- c. A fire line may be needed to supply fire flow along the west and north sides of the building. A loop may be required from the west side to the east side to assure sufficient fire flow
- d. An 8" diameter water mainline extension may be needed on the west side of Lots 7 & 8 to assure fire flow to Proposed Ensign 3.
- e. Submit final plans to the Kuna Fire Department for approval.



AREA ANALYSIS

Room Name	Area (SQ. FT.)
LOCKER ROOM	= 2,893 SQ. FT.
WEIGHT ROOM	= 3,877 SQ. FT.
LAUNDRY / WASH AREA	= 1,111 SQ. FT.
YOGA ROOM	= 715 SQ. FT.
YOGA ROOM	= 715 SQ. FT.
SPINNING ROOM	= 495 SQ. FT.
<b>LEVEL 1 - TOTAL</b>	<b>= 11,588 SQ. FT.</b>



Overall Floor Plan  
1/8" = 1'-0"



**FREEDOM FITNESS**  
821 NORTH HERNDON ROAD, SUITE 100, DAVIS STATION  
CONCEPTUAL FLOOR PLANS  
A.C. - 17082

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### PLANT SCHEDULE

SYMBOL	DESCRIPTION	QTY	DATE	REVISION
1	12" ROUND SPANISH OLEANDER / (COMMON NAME)	10	7/14	1
2	12" ROUND SPANISH OLEANDER / (COMMON NAME)	10	7/14	1
3	12" ROUND SPANISH OLEANDER / (COMMON NAME)	10	7/14	1
4	12" ROUND SPANISH OLEANDER / (COMMON NAME)	10	7/14	1
5	12" ROUND SPANISH OLEANDER / (COMMON NAME)	10	7/14	1
6	12" ROUND SPANISH OLEANDER / (COMMON NAME)	10	7/14	1
7	12" ROUND SPANISH OLEANDER / (COMMON NAME)	10	7/14	1
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16	12" ROUND SPANISH OLEANDER / (COMMON NAME)	10	7/14	1
17	12" ROUND SPANISH OLEANDER / (COMMON NAME)	10	7/14	1
18	12" ROUND SPANISH OLEANDER / (COMMON NAME)	10	7/14	1
19	12" ROUND SPANISH OLEANDER / (COMMON NAME)	10	7/14	1
20	12" ROUND SPANISH OLEANDER / (COMMON NAME)	10	7/14	1
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LANDSCAPE MATERIALS LEGEND:

- 12" ROUND SPANISH OLEANDER
- 12" ROUND SPANISH OLEANDER
- 12" ROUND SPANISH OLEANDER

**STARK HILL GROUP**  
ARCHITECTS  
& INTERIORS

2000 W. 10TH AVENUE  
SUITE 100  
DENVER, CO 80202  
TEL: 303.733.1111  
WWW.STARKHILLGROUP.COM

THE GRAPHICS AND NOTIONS ON THIS SHEET TAKE ALL TIMES PROPERTY OF STARK HILL GROUP, INC. THIS PROJECT WAS PREPARED BY STARK HILL GROUP, INC. IN CONNECTION WITH THE STACK ROCK CROSSING, INC. DEVELOPMENT.

DATE: 07/14/14  
SHEET NO.: 14-102

**ALC** Collaborative  
ARCHITECTURAL CONSULTANTS



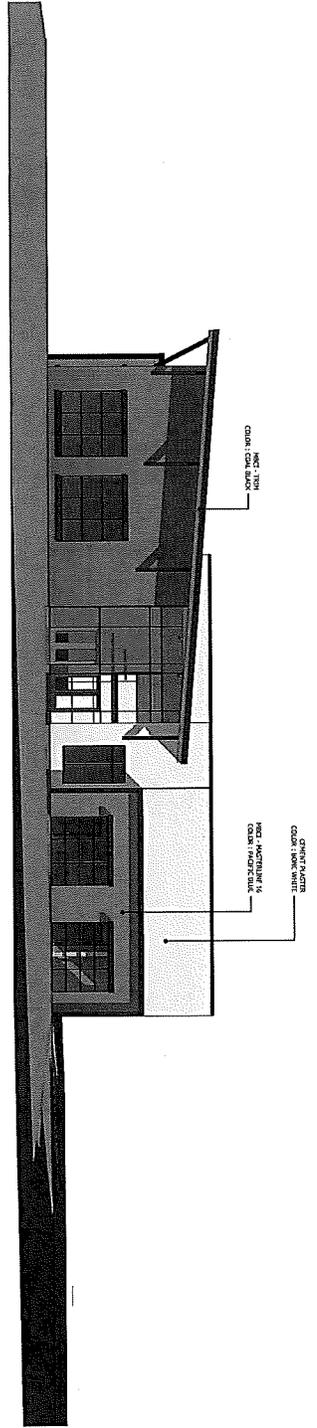
FREEDOM FITNESS  
517 N. MENDOTA RD. SUITE 100  
DENVER, CO 80202



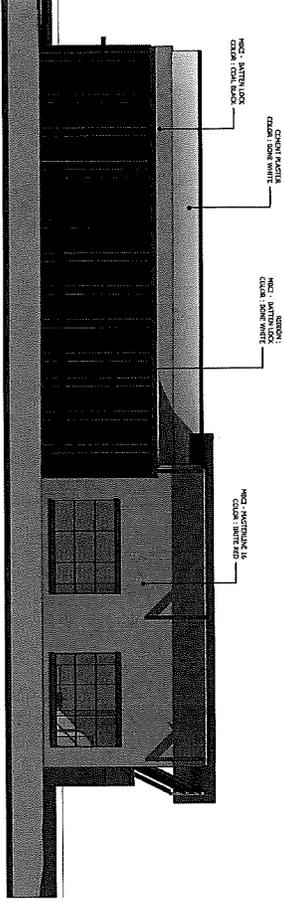




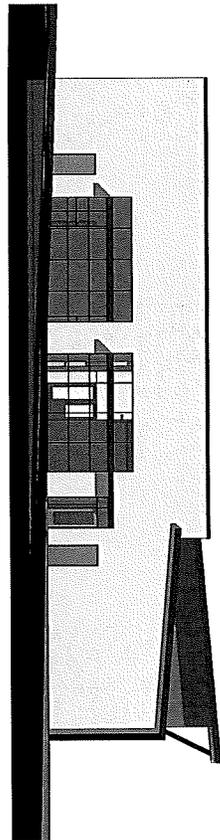
1 EAST ELEVATION, RENOVATED



2 NORTH ELEVATION, RENOVATED



3 WEST ELEVATION, RENOVATED







# City of Kuna

Planning and Zoning Commission  
Staff Report

P.O. Box 13  
Phone: (208) 922-5274  
Fax: (208) 922-5989  
www.Kunacity.id.gov

**To:** Planning and Zoning Commission

**Case Numbers:** 19-05-SN (Sign);  
19-07-DR (Design Review) -  
**Indian Creek Sports  
Monument Sign**

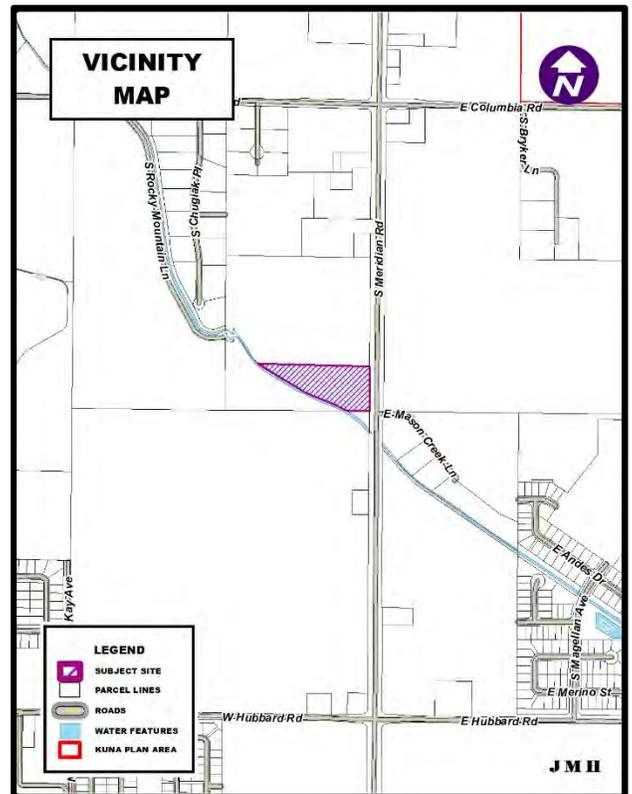
**Site Location:** 8797 S. Meridian Road

**Planner:** Jace Hellman, Planner II

**Meeting Date:** May 28, 2019

**Owner/Applicant:** Troy Todd  
6029 Sunrise Ave.  
Kuna, ID 83634  
208-794-2806  
[Troy@indiancreeksports.com](mailto:Troy@indiancreeksports.com)

**Representative:** Superior Signs; Aaron Vance  
812 Main St.  
Caldwell, ID 83605  
208-454-0860  
[aaron@superiorsignsidaho.com](mailto:aaron@superiorsignsidaho.com)



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| A. Process and Noticing | E. General Project Facts               |
| B. Applicants Request   | F. Staff Analysis                      |
| C. Site History         | G. Applicable Standards                |
| D. Aerial Map           | H. Proposed Decision by the Commission |

**A. Process and Noticing:**

Kuna City Code (KCC), Title 1, Chapter 14, Section 3, states that design reviews are designated as *public meetings*, with the Planning and Zoning Commission (acting as the Design Review Board) as the decision-making body. As a public meeting item, this action requires no formal public noticing actions.

**B. Applicant’s Request:**

Troy Todd, owner of Indian Creek Sports, request design review approval for a 15-ft multi-tenant commercial monument sign. The subject site is located 8797 S. Meridian Road, Kuna, ID 83634(APN# S1312142304).

**C. Site History:**

This parcel is currently zoned C-1 within Kuna City Limits. Indian Creek Sports was approved for design review by the Planning and Zoning Commission on May 8, 2018. At the time of the original approval, a sign was not included in the application.

**D. Aerial Map:**



**E. General Projects Facts:**

**1. Surrounding Land Uses:**

<b>North</b>	RR	Rural Residential – Ada County
<b>South</b>	PUD	Planned Unit Development – Ada County
<b>East</b>	RR	Rural Residential – Ada County
<b>West</b>	RR	Rural Residential – Ada County

**2. Parcel Sizes, Current Zoning, Parcel Numbers:**

<b>Property Owner</b>	<b>Parcel Size</b>	<b>Current Zone:</b>	<b>Parcel Number</b>
Indian Creek Sports Real Estate, LLC	5.49 acres	C-1 (Commercial)	S1312142304

**3. Existing Structures, Vegetation and Natural Features:**

The subject site includes a new showroom, shop, a boat lot and a paved parking surface. Site improvements for Indian Creek Sports are near completion.

**4. Environmental Issues:**

Staff is not aware of any environmental issues, health or safety conflicts beyond the designation of being in the nitrate priority area. Idaho Department of Environmental Quality (DEQ) has provided recommendations for surface and groundwater protection practices and requirements for development of the site.

**F. Staff Analysis:**

The applicant is proposing to construct a new onsite freestanding monument sign for Indian Creek Sport, located at 8797 S. Meridian Road. The monument sign stands approximately fifteen (15) ft high and ten (10) ft across at its widest point. The sign area is approximately 70 square feet, which includes an approximately 20 square foot reader board and a 50 square foot sign copy that preserves space for future tenant expansion. The applicant has proposed the sign to be built approximately 75 ft from the right-of-way.

Staff has determined the design review application complies with Kuna City Code, Title 5; Staff recommends if the proposed project is approved, the applicant be subject to the conditions of approval listed in section “H” of this report and any additional conditions requested by the Planning and Zoning Commission.

**G. Applicable Standards:**

1. City of Kuna Zoning Ordinance Title 5.
2. City of Kuna Comprehensive Plan.
3. Idaho Code, Title 67, Chapter 65- the Local Land Use Planning Act.

**H. Commission's Order of Decision:**

*Note: This motion is for the approval, conditional approval or denial of the design review application. However, if the Planning and Zoning Commission wishes to approve or deny specific parts of this request as detailed in the report, those changes must be specified.*

Based on the facts outlined in staff's report and public testimony as presented, the Planning and Zoning Commission of Kuna, Idaho, hereby approves/conditionally approves/denies Case No. 19-12-DR (Design Review), a request from Michael Stafford for design review approval for a private parking lot, private driveway and landscaping subject to the following conditions:

1. All signage on site shall comply with KCC 5-10.
2. All electrical components of sign shall be permitted with the City of Kuna. All work shall be inspected by Kuna City inspectors.
3. Any footings and foundations shall be permitted with the City of Kuna. All work shall be inspected by Kuna City inspectors.
4. The land owner/applicant/developer, and any future assigns having an interest in the subject property, shall fully comply with all conditions of approval by the Design Review Committee/Planning and Zoning Commission, or seek an amendment through the Design Review process.
5. Applicant shall follow staff, City Engineer and other agency recommended requirements, as applicable.
6. Applicant shall comply with all local, state and federal laws.

**DATED** this 28<sup>th</sup> day of May, 2019.



City of Kuna  
 Planning & Zoning  
 Department  
 P.O. Box 13  
 Kuna, Idaho 83634  
 208.922.5274  
 Fax: 208.922.5989  
 Website: www.kunacity.id.gov

## Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

\*Please submit the appropriate checklist (s) with application

For Office Use Only	
File Number (s)	1A-07-DR 1A-05-SA
Project name	Indian Creek Sports Sign
Date Received	4/3/19
Date Accepted/Complete	5/13/19
Cross Reference Files	18-10-DR (Design Review)
Commission Hearing Date	5/28/19
City Council Hearing Date	

### Type of Review (check all that apply):

- Annexation
- Appeal
- Comprehensive Plan Amendment
- Design Review
- Development Agreement
- Final Planned Unit Development
- Final Plat
- Lot Line Adjustment
- Lot Split
- Planned Unit Development
- Preliminary Plat
- Rezone
- Special Use
- Temporary Business
- Vacation
- Variance

### Contact/Applicant Information

Owners of Record: <u>Trey Todd</u>	Phone Number: <u>208-774-2806</u>
Address: <u>6029 Sunrise</u>	E-Mail: <u>Trey@indiancreeksports.com</u>
City, State, Zip: <u>Kuna ID 83634</u>	Fax #: _____
Applicant (Developer): _____	Phone Number: _____
Address: <u>Same</u>	E-Mail: _____
City, State, Zip: _____	Fax #: _____
Engineer/Representative: _____	Phone Number: _____
Address: <u>Same</u>	E-Mail: _____
City, State, Zip: _____	Fax #: _____

### Subject Property Information

Site Address: <u>8797 S Meridian Rd</u>	
Site Location (Cross Streets): <u>N.W. Corner GR Mason Creek</u>	
Parcel Number (s): <u>Meridian Rd 51312142304</u>	
Section, Township, Range: <u>2N1W12</u>	
Property size: <u>5.489</u>	
Current land use: <u>Rebate</u>	Proposed land use: <u>same</u>
Current zoning district: <u>C-1</u>	Proposed zoning district: <u>C-1</u>

**Project Description**

Project / subdivision name: \_\_\_\_\_  
 General description of proposed project / request: INDIAN Creek Sports sign

Type of use proposed (check all that apply):

Residential \_\_\_\_\_  
 Commercial \_\_\_\_\_  
 Office \_\_\_\_\_  
 Industrial \_\_\_\_\_  
 Other \_\_\_\_\_

Amenities provided with this development (if applicable): \_\_\_\_\_

**Residential Project Summary (if applicable)**

Are there existing buildings?  Yes  No  
 Please describe the existing buildings: Pump House  
 Any existing buildings to remain?  Yes  No  
 Number of residential units: 0 Number of building lots: \_\_\_\_\_  
 Number of common and/or other lots: 1

Type of dwellings proposed:

Single-Family \_\_\_\_\_  
 Townhouses \_\_\_\_\_  
 Duplexes \_\_\_\_\_  
 Multi-Family \_\_\_\_\_  
 Other: Boat Lot

Minimum Square footage of structure (s): \_\_\_\_\_  
 Gross density (DU/acre-total property): \_\_\_\_\_ Net density (DU/acre-excluding roads): \_\_\_\_\_  
 Percentage of open space provided: \_\_\_\_\_ Acreage of open space: \_\_\_\_\_  
 Type of open space provided (i.e. landscaping, public, common, etc.): \_\_\_\_\_

**Non-Residential Project Summary (if applicable)**

Number of building lots: 1 Other lots: \_\_\_\_\_  
 Gross floor area square footage: 5000 Existing (if applicable): \_\_\_\_\_  
 Hours of operation (days & hours): \_\_\_\_\_ Building height: \_\_\_\_\_  
 Total number of employees: 5 Max. number of employees at one time: \_\_\_\_\_  
 Number and ages of students/children: \_\_\_\_\_ Seating capacity: \_\_\_\_\_  
 Fencing type, size & location (proposed or existing to remain): Wrought Iron on front metal horizontal roof on back

Proposed Parking:

a. Handicapped spaces: 1 Dimensions: 10x20  
 b. Total Parking spaces: 10 Dimensions: 20x20  
 c. Width of driveway aisle: 2.5'

Proposed Lighting: 6 Pole lights  
 Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.):  
Gross & existing pine trees

Applicant's Signature: [Signature] Date: 4/21/19



# City of Kuna Design Review Application

P.O. Box 13  
Kuna, Idaho 83634  
(208) 922.5274  
Fax: (208) 922.5989  
Website: www.kunacity.id.gov

FILE NO.: 19-07-DR + 19-05-SA

CROSS REF.: 18-10-DR

FILES: \_\_\_\_\_

The City of Kuna has adopted a Design Review process whose purpose is to make Kuna a pleasant and comfortable place to live and work. This Design Review process is based on standards and guidelines found in the Design Review Ordinance No. 2007-02 and the Architecture and Site Design Booklet. Both documents can be found online ([www.cityofkuna.com](http://www.cityofkuna.com)) or are picked up in the City's Planning and zoning department is located at 751 W 4<sup>th</sup> Street, Kuna ID.

### The Design Review application applies to the following land use actions:

- ▶ Multi- family dwellings (3 or more)
- ▶ Commercial
- ▶ Industrial
- ▶ Institutional
- ▶ Office
- ▶ Common Area
- ▶ Subdivision Signage
- ▶ Proposed Conversions
- ▶ Proposed changes in land use and/or building use or exterior remodeling
- ▶ Exterior restoration, and enlargement or expansion of existing buildings, signs or sites.

## Application Submittal Requirements

Applicant Use		Staff Use
<input type="checkbox"/> N/A	Date of pre- application meeting : _____ <i>Note: Pre-Applications are valid for a period of three (3) months.</i>	<input type="checkbox"/> N/A
<input checked="" type="checkbox"/>	A complete Design Review Application form <i>Note: It is the applicant's responsibility to use a current application.</i>	<input checked="" type="checkbox"/>
<input type="checkbox"/> N/A	Detailed letter of explanation or justification for the application, describing the project and design elements, and how the project complies with Design Review standards.	<input type="checkbox"/> N/A
<input checked="" type="checkbox"/>	One (1) Vicinity Map (8 ½" x 11") at 1" = 300' scale (or similar), label the location of the property and adjacent streets.	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	One 8 ½" x 11" colored aerial photo depicting proposed site, street names, and surrounding area within five-hundred feet (500').	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	Copy of Deed; and, if the applicant is not the owner, an <b>original</b> notarized statement (affidavit of legal interest) from the owner (and all interested parties) stating the applicant is authorized to submit this application.	<input checked="" type="checkbox"/>

Exhibit  
A2

## Landscape and Streetscape Plan

The landscape and streetscape plans need to be drawn by the project architect, professional landscape architect, landscape designer, or qualified nurseryman for development's possessing more than twelve thousand (12,000) square feet of private land. The landscaped and streetscape plans must be colored. The Planning Director or City Forester may require the preparation of a landscape plan for smaller developments by one of the noted individuals if the lot(s) have unique attributes.

Applicant Use		Staff Use
<input type="checkbox"/>	North Arrow	<input type="checkbox"/>
<input type="checkbox"/>	To scale drawings	<input type="checkbox"/>
<input type="checkbox"/>	Boundaries, property lines and dimensions	<input type="checkbox"/>
<input type="checkbox"/>	Name of "Plan Preparer" with contact information	<input type="checkbox"/>
<input type="checkbox"/>	Name of project and date	<input type="checkbox"/>
<input type="checkbox"/>	Type and location of all plant materials and other ground covers. <i>Please review the City's plant list and rely upon it to identify the site's planting strategy. Include botanical and common name, quantity, spacing and sizes of all proposed landscape materials at the time of planting, and at maturity. A list of acceptable trees is available upon request from City Planning Staff.</i>	<input type="checkbox"/>
<input type="checkbox"/>	Existing vegetation identified by specific size. Identify those which are proposed to be relocated or removed	<input type="checkbox"/>
<input type="checkbox"/>	Method of irrigation <i>Note: All plant materials, except existing native plants not damaged during construction or xeriscape species shown not to require regular watering, shall be irrigated by underground sprinkler systems set on a timer in order to obtain proper watering duration and ease of maintenance.</i>	<input type="checkbox"/>
<input type="checkbox"/>	Location, description, materials, and cross-sections of special features, including berming, retaining walls, hedges, fences, fountains street/pathway furniture (benches, etc.), etc.	<input type="checkbox"/>
<input type="checkbox"/>	Sign locations <i>Note: A separate sign application must be submitted with this application</i>	<input type="checkbox"/>
<input type="checkbox"/>	Locations and uses for open spaces	<input type="checkbox"/>
<input type="checkbox"/>	Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle	<input type="checkbox"/>
<input type="checkbox"/>	Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles	<input type="checkbox"/>
<input type="checkbox"/>	Location and designations of all sidewalks	<input type="checkbox"/>
<input type="checkbox"/>	Clearly identify pressurized irrigation lines and underground water storage	<input type="checkbox"/>
<input type="checkbox"/>	Engineered grading and drainage plans: A generalized drainage plan showing direction drainage with proposed on-site retention. Upon submission of building/construction plans for an approved design review application, a detailed site grading and drainage plan, prepared by a registered professional engineer (PE) shall be submitted to the City for review and approval by the City Engineer.	<input type="checkbox"/>

NIA



**Building Elevations**

Applicant  
Use

- Detailed elevation plans of each side of any proposed building(s) or additions(s)  
*Note: Four (4) elevations to include all sides of development and must be in color*
- Identify the elevations as to north, south, east, and west orientation
- Colored copies of all proposed building materials and indication where each material and color application is to be located  
*Note: Submit as 11"x17" reductions*
- Screening/treatment of mechanical equipment
- Provide a cross-section of the building showing any roof top mechanical units and their roof placement
- Detailed elevation plans showing the materials to be used in construction of trash enclosures

Staff  
Use

- - 
  - 
  - 
  - 
  -
- } N/A

**Lighting Plan**

Applicant  
Use

- Exterior lighting including detailed cut sheets and photometric plan (pedestrian, vehicle, security, decoration)
- Types and wattage of all light fixtures  
*Note: The City encourages use of "dark sky" lighting fixtures*
- Placement of all light fixtures shown on elevations and landscaping plans

Staff  
Use

- - 
  -
- } N/A

**Roof Plans**

Applicant  
Use

- Size and location of all roof top mechanical units

Staff  
Use

- 7 N/A

# Design Review Application

Applicant: Troy + Vicki Todd Phone: 208-794-2806  
 Owner  Representative Fax/Email: \_\_\_\_\_

Applicant's Address: 6029 Sunrise Ave

Owner: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Owner's Address: \_\_\_\_\_ Email: \_\_\_\_\_  
Zip: \_\_\_\_\_

Represented By: *(if different from above)* Superior Signs (Aaron Vance) Phone: 208-454-0860  
Address: \_\_\_\_\_ Email: \_\_\_\_\_

Address of Property: 8797 S Meridian Rd, Kuna, ID Zip: 83634  
Distance from Major Cross Street: \_\_\_\_\_ Street Name(s): \_\_\_\_\_

*Please check the box that reflects the intent of the application*

- BUILDING DESIGN REVIEW
- SUBDIVISION / COMMON AREA LANDSCAPE
- DESIGN REVIEW MODIFICATION
- STAFF LEVEL APPLICATION

This Design Review application is a request to construct, add or change the following: *(Briefly explain the nature of the request.)*

15' monument sign

1. Dimension of Property: 5.49 ac
2. Current Land Use(s): C-#
3. What are the land uses of the adjoining properties?  
North: RR  
South: PUD  
East: RR  
West: RR
4. Is the project intended to be phased, if so what is the phasing time period? \_\_\_\_\_  
Please explain: NO

5. The number and use(s) of all structures: \_\_\_\_\_

6. Building heights: \_\_\_\_\_ Number of stories: \_\_\_\_\_

The height and width relationship of new structures shall be compatible and consistent with the architectural character of the area and proposed use.

*Note: The maximum building height for each zoning district is as follows:*

L-O: 35'	C-2: 60'	CBD: 80'	M-2: 60'	P: 60'
C-1: 35'	C-3: 60'	M-1: 60'	M-3: 60'	

7. What is the percentage of building space on the lot when compared to the total lot area? \_\_\_\_\_

8. Exterior building materials & colors: *(Note: This section must be completed in compliance with the City of Kuna Ordinance No. 2007-21A (as amended); found online at [www.cityofkuna.com](http://www.cityofkuna.com) under the City Code.*

**MATERIAL**

**COLOR**

Roof: \_\_\_\_\_ / \_\_\_\_\_

Walls: *(State percentage of wall coverage for each type of building material below for each frontage wall) If there is not adequate space to identify the various building materials and applications, please list them on the attached sheet of this application. Please attach photos to support application types.*

% of Wood application: \_\_\_\_\_ / \_\_\_\_\_

% EIFS: \_\_\_\_\_ / \_\_\_\_\_  
*(Exterior Insulation Finish System)*

% Masonry: \_\_\_\_\_ / \_\_\_\_\_

% Face Block: \_\_\_\_\_ / \_\_\_\_\_

% Stucco: \_\_\_\_\_ / \_\_\_\_\_

& other material(s): \_\_\_\_\_ / \_\_\_\_\_

List all other materials: \_\_\_\_\_

Windows/Doors: \_\_\_\_\_ / \_\_\_\_\_  
*(Type of window frames & styles / doors & styles, material)*

Soffits and fascia material: \_\_\_\_\_ / \_\_\_\_\_

Trim, etc.: \_\_\_\_\_ / \_\_\_\_\_

Other: \_\_\_\_\_ / \_\_\_\_\_

9. Please identify Mechanical Units: \_\_\_\_\_

Type/Height: \_\_\_\_\_

Proposed Screening Method: \_\_\_\_\_

10. Please identify trash enclosure: *(size, location, screening & construction materials)* \_\_\_\_\_

11. Are there any irrigation ditches/canals on or adjacent to the property? \_\_\_\_\_

If yes, what is the name of the irrigation or drainage provider? \_\_\_\_\_

12. Fencing: *(Please provide information about new fencing material as well as any existing fencing material)*

Type: \_\_\_\_\_

Size: \_\_\_\_\_

Location: \_\_\_\_\_

*(Please note that the City has height limitations of fencing material and requires a fence permit to be obtained prior to installation)*

13. Proposed method of On-site Drainage Retention/Detention: \_\_\_\_\_

14. Percentage of Site Devoted to Building Coverage: \_\_\_\_\_

% of Site Devoted to Landscaping: \_\_\_\_\_ Square Footage: \_\_\_\_\_  
*(Including landscaped rights-of-way)*

% of Site that is Hard Surface: \_\_\_\_\_ Square Footage: \_\_\_\_\_  
*(Paving, driveways, walkways, etc.)*

% of Site Devoted to other uses: \_\_\_\_\_

Describe: \_\_\_\_\_

% of landscaping within the parking lot (landscaped islands, etc.): \_\_\_\_\_

15. For details, please provide dimensions of landscaped areas within public rights-of-way: \_\_\_\_\_

16. Are there any existing trees of 4" or greater in caliper on the property? *(Please provide the information on the site plans.)*

If yes, what type, size and the general location? *(The City's goal is to preserve existing trees with a four inch (4") or greater caliper whenever possible):*

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

17. Dock Loading Facilities:

Number of docking facilities and their location: \_\_\_\_\_

Method of screening: \_\_\_\_\_

18. Pedestrian Amenities: *(bike racks, receptacles, drinking fountains, benches, etc.)* \_\_\_\_\_

19. Setbacks of the proposed building from property lines:

Front \_\_\_\_\_ -feet      Rear \_\_\_\_\_ -feet      Side \_\_\_\_\_ -feet      Side \_\_\_\_\_ -feet

20. Parking requirements: \_\_\_\_\_

Total Number of Parking Spaces: \_\_\_\_\_ Width and Length of Spaces: \_\_\_\_\_

Total Number of Compact Spaces 8'x17': \_\_\_\_\_

21. Is any portion of the property subject to flooding conditions?      Yes \_\_\_\_\_      No \_\_\_\_\_

**IF THE PLANNING DIRECTOR OR DESIGNEE, THE DESIGN REVIEW BOARD AND/OR THE CITY COUNCIL DETERMINE THAT ADDITIONAL AND/OR REVISED INFORMATION IS NEEDED, AND/OR IF OTHER UNFORESEEN CIRCUMSTANCES ARISE, ANY DATES OUTLINED FOR PROCESSING MAY BE RE-SCHEDULED BY THE CITY. APPLICANT/REPRESENTATIVE MUST ATTEND THE DESIGN REVIEW BOARD MEETING/PLANNING AND ZONING MEETINGS.**

The Ada County Highway District may also conduct public meetings regarding this application. If you have questions about the meeting date or the traffic that this development may generate or the impact of that traffic on streets in the area, please contact the Ada County Highway District at 208.387.6170. In order to expedite your request, please have ready the file number indicated in this notice.

Signature of Applicant Seoy Seod Date 5/12/19

City staff comments:  
\_\_\_\_\_  
\_\_\_\_\_

Signature of receipt by City Staff [Signature] Date 5/13/19

**FOR ADDITIONAL INFORMATION:**  
(Please list page number and item in reference)

\_\_\_\_\_  
\_\_\_\_\_  
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\_\_\_\_\_  
\_\_\_\_\_



**Pioneer Title Co.**  
GOING BEYOND

5680 E. Franklin Rd., Ste. 150  
Nampa, ID 83687

ELECTRONICALLY RECORDED-DO NOT  
REMOVE THE COUNTY STAMPED FIRST  
PAGE AS IT IS NOW INCORPORATED AS  
PART OF THE ORIGINAL DOCUMENT

File No. 593576 KC/PP

**WARRANTY DEED**

For Value Received Dan W. Richards and Angela G. Richards, husband and wife  
hereinafter referred to as Grantor, does hereby grant, bargain, sell, warrant and convey unto

Troy V Todd and Vicki J Todd, husband and wife  
hereinafter referred to as Grantee, whose current address is 958 W Avalon St. Kuna, Id 83634

The following described premises, to-wit:

A tract of land located in the Southeast quarter of the Northeast quarter of Section 12, Township 2 North, Range 1 West of the Boise Meridian, Ada County, Idaho, more particularly described as follows:

Commencing at the Southeast corner of the Southeast quarter of the Northeast quarter of Section 12; thence

North 89°25'31" West 33.00 feet to a point on the Westerly right-of-way line of Idaho State Highway No. 69 and the Initial Point of this description; thence

North 89°25'31" West 227.55 feet along the South boundary of the Southeast quarter of the Northeast quarter to a point in the centerline of the Mason Creek Feeder Canal; thence

North 63°37'21" West 108.12 feet along said centerline; thence

North 68°11'10" West 272.40 feet along said centerline; thence

North 58°55'38" West 443.50 feet along said centerline; thence

North 58°27'16" West 48.82 feet along said centerline; thence

South 88°59'45" East 1001.53 feet to a point on the Westerly right-of-way of Idaho State Highway No. 69; thence

South 00°23'11" West 388.50 feet along said right-of-way to the initial Point of this description.

EXCEPTING THEREFROM that portion conveyed to the State of Idaho, Idaho Transportation Department by Warranty Deed recorded February 5, 1996 as Instrument No. 96009895 and more particularly described as follows:

A parcel of land on the West side of the centerline of State Highway No. 69 Project No. STP-3782(101) KUNA HWY, as shown on the plans now on file in the office of the Idaho Transportation Department, and being a portion of the SE1/4 NE1/4, of Section 12, Township 2 North, Range 1 West, Boise Meridian, Ada County, Idaho.

Exhibit  
**A4**

Commencing at the East Quarter corner: of Section 12 of T2N R1W, BM., said point being station 195+34.43;

Thence North 88°58'05" West (Formerly North 89 °25'31" West), a distance of 33.00 feet to a point for the Place of Beginning, said point lying 33.00 feet left of Station 195+34.81;

Thence North 88°58'05" west (Formerly North 89 °25'31" West), a distance of 32.00 feet to a point, said point lying 65.00 feet left of Station

195+35.17;

Thence North 0°22'55" East, a distance of 388.16 feet to a point, said point lying 65.00 feet left of Station 199+23.33;

Thence South 88°59'29" East, a distance of 32.00 feet to a point, said point lying 33.00 feet left of station 199+22.98;

Thence South 0°22'55" West, a distance of 388.18 feet (Formerly South 0°23'11" West, 388.50 feet) to the Place of Beginning;

Highway Station Reference: 195+35 to 199+23.53

To HAVE AND TO HOLD the said premises, with their appurtenances unto the said Grantee(s), and Grantees(s) heirs and assigns forever. And the said Grantor(s) does (do) hereby covenant to and with the said Grantee(s), the Grantor(s) is/are the owner(s) in fee simple of said premises; that said premises are free from all encumbrances EXCEPT those to which this conveyance is expressly made subject and those made, suffered or done by the Grantee(s); and subject to U.S. Patent reservations, restrictions, dedications, easements, rights of way and agreements, (if any) of record, and current years taxes, levies, and assessments, includes irrigation and utility assessments, (if any) which are not yet due and payable, and that Grantor(s) will warrant and defend the same from all lawful claims whatsoever.

Dated: July 7, 2016

*[Handwritten signature of Daniel W Richards]*

Daniel W Richards

*[Handwritten signature of Angela G Richards]*

Angela G Richards

State of Idaho, County of Canyon

On this 8<sup>th</sup> day of July in the year of 2016, before me, the undersigned, a Notary Public in and for said State, personally appeared Daniel W Richards and Angela G Richards known or identified to me to be the person/persons whose name(s) is/are subscribed to the within instrument, and acknowledged to me that he/she/they executed the same.

*[Handwritten signature of Notary]*  
Residing at: \_\_\_\_\_  
Commission Expires: \_\_\_\_\_

Residing in Middleton, Idaho  
Commission Expires: 03-11-2020

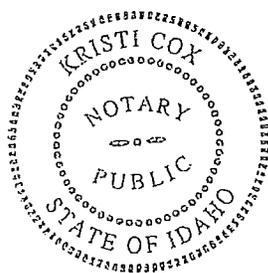




Exhibit  
A7



Project Name: Indian Creek Motorsports  
 Location: Kuna, ID  
 Customer: Troy

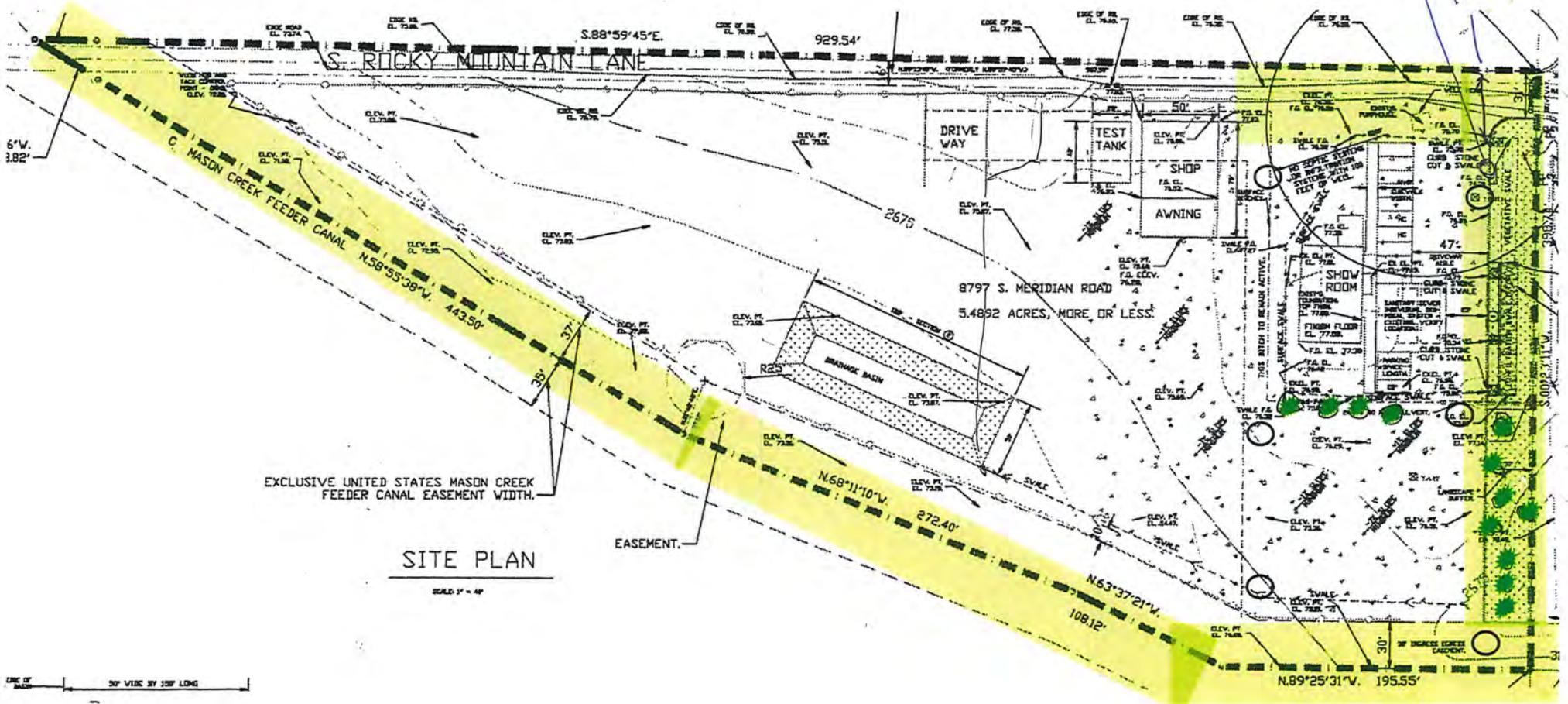
*this artwork was designed and produced by superior signs which falls under federal copyright laws & cannot be reproduced in whole or in part without permission of superior signs. All photos are to approximate scale.*

Sales rep. Aaron Vance Phone: 208-454-0860  
 Email: aaron@superiorsignsidaho.com  
 Design Sign off: \_\_\_\_\_  
 Customer agrees to design, colors, layout, spelling and position within this design and agrees to begin its construction

EXHIBIT  
A-6

Received  
4.3.2019

N/S  
75'



50' VISE BY 100' LONG



# City of Kuna

## Planning and Zoning Commission

### Staff Report

P.O. Box 13  
Phone: (208) 922-5274  
Fax: (208) 922-5989  
www.Kunacity.id.gov

To: Planning and Zoning Commission

Case Numbers: 19-12-DR (Design Review) -  
**US Postal Service Parking Lot**

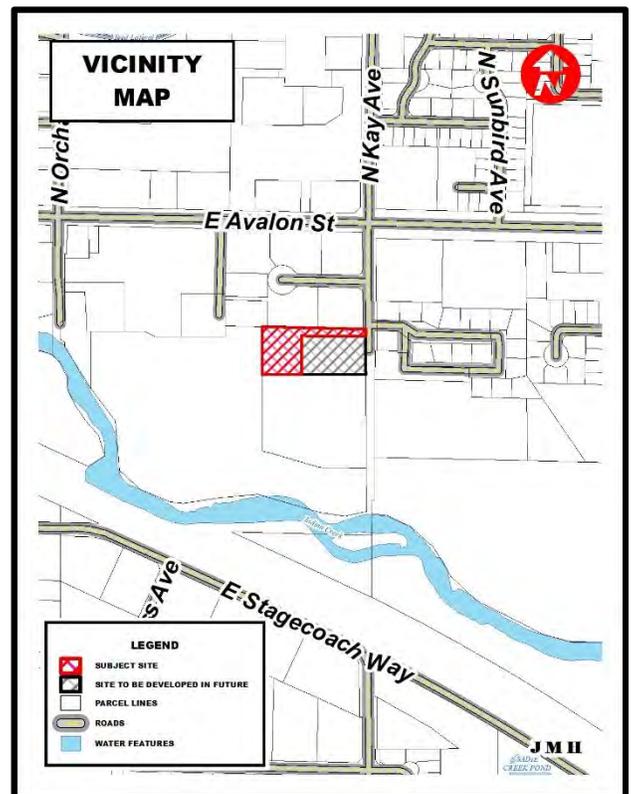
Site Location: 199 S. Kay St., Kuna, ID 83634.

Planner: Jace Hellman, Planner II

Meeting Date: May 28, 2019

Owner/Applicant: Michael Stafford  
PO Box 624  
Donnelly, ID 83615  
559.681.1983  
[mike@STI.com](mailto:mike@STI.com)

Representative: David Gronbeck  
1400 E. Kokanee Ln.  
Kuna, ID 83634  
208.861.6664  
[Gronbeck@KGGDEV.com](mailto:Gronbeck@KGGDEV.com)



#### Table of Contents:

- |                         |                                        |
|-------------------------|----------------------------------------|
| A. Process and Noticing | E. General Project Facts               |
| B. Applicants Request   | F. Staff Analysis                      |
| C. Site History         | G. Applicable Standards                |
| D. Aerial Map           | H. Proposed Decision by the Commission |

#### A. Process and Noticing:

Kuna City Code (KCC), Title 1, Chapter 14, Section 3, states that design reviews are designated as *public meetings*, with the Planning and Zoning Commission (acting as the Design Review Board) as the decision-making body. As a public meeting item, this action requires no formal public noticing actions.

#### B. Applicant's Request:

Michael Stafford requests design review approval for a private parking lot, driveway and corresponding landscaping which will be utilized and maintained by the United States Postal Service (USPS) following their relocation. The subject site is located on 199 S. Kay Ave., Kuna, ID 83634 (APN# R0615253160).

#### C. Site History:

This parcel is currently zoned R-4 within Kuna City Limits. However, this parcel is apart of what was originally approved as Airenel Park Subdivision. Along with the preliminary plat approval, a rezone was approved as well, which guaranteed this lot the zoning designation of C-1 (neighborhood commercial). A rezone ordinance for the parcel has not been approved by City Council.

**D. Aerial Map:**



**E. General Projects Facts:**

**1. Comprehensive Plan Map:**

The Future Land Use Map (Comp Plan Map) is intended to serve as a *guide* for the decision-making body for the City. The Comp Plan map indicates land use designations generally speaking, it is not the actual zone. The Future Land Use Map identifies the subject site as Commercial.

**2. Surrounding Land Uses:**

<b>North</b>	C-3	Service Commercial District – Kuna City
<b>South</b>	R-4 (Pending C-1)	Medium Density Residential – Kuna City
<b>East</b>	C-1	Neighborhood Commercial District – Kuna City
<b>West</b>	R-4 (Pending R-6)	Medium Density Residential – Kuna City

**3. Parcel Sizes, Current Zoning, Parcel Numbers:**

Property Owner	Parcel Size	Current Zone:	Parcel Number
Michael Stafford	2.00 acres	C-1 (Commercial) (Pending Ordinance)	R0615253162

**4. Services:**

- Sanitary Sewer– City of Kuna
- Potable Water – City of Kuna
- Irrigation – City of Kuna (KMIS)
- Fire Protection – Kuna Rural Fire District
- Police Protection – Kuna Police (Ada County Sheriff’s office)
- Sanitation Services – J & M Sanitation

**5. Existing Structures, Vegetation and Natural Features:**

The proposed project site is generally vacant of any structures and vegetation on-site includes natural grasses and shrubbery associated with an ungraded, unimproved building lot. The site is relatively flat with an estimated average slope of 0% to 3%. Bedrock depth is estimated to be greater than sixty (60) inches according to the USDA Soil Survey for Ada County.

6. **Transportation / Connectivity:**

Current access to site exists via South Kay Avenue. The applicant has proposed to construct a private drive aisle off of Kay Avenue to access the site.

7. **Environmental Issues:**

Staff is not aware of any environmental issues, health or safety conflicts beyond the designation of being in the nitrate priority area. Idaho Department of Environmental Quality (DEQ) has provided recommendations for surface and groundwater protection practices and requirements for development of the site.

8. **Agency Responses:** The following responding agency comments are included as exhibits with this case file:

- Kuna City Engineer/Public Works ..... Exhibit C-2

**F. Staff Analysis:**

The applicant proposes to construct a private driveway and parking lot that will be utilized by the United States Postal Service once they relocate to their new location located at 693 E. Wythe Creek Court (former location of Freedom Fitness).

The proposed private driveway is approximately 270 FT, which exceeds the maximum distance of 150 FT without a turnaround. As a remedy, the applicant has identified a turnaround within the proposed private parking lot. Concrete curbing is proposed along the north side of the private drive, and on the east and west side of the private drive. Curb and gutter have been proposed along what will be the south side of the parking lot. The applicant’s letter of intent indicates that the remaining property will be developed to include two additional commercial lots. Staff would note that once the remaining site is developed in the future, curb will be required on the south side of the proposed private drive.

Four streetlights have been proposed around the private parking lot. Street Lights shall be shown on construction plans and verified by staff and approved by the Public Works Department Staff would note that these streetlights must be LED and designed and installed according to “Dark skies” standards.

The applicant has proposed a ten (10) ft landscape buffer of the east and west side of the parking lot and twenty (20) ft landscape buffer on the south side of the parking lot which contains a proposed drainage swale. Staff finds that the proposed landscaping is in conformance with Kuna City Code. However, staff will require the applicant to use sod where the landscape plan (dated 04/25/2019) identifies “turf grass”.

Staff has determined the design review application complies with Kuna City Code, Title 5; Idaho Statute § 67-6511; and the Kuna Comprehensive Plan; Staff recommends if the proposed project is approved, the applicant be subject to the conditions of approval listed in section “H” of this report and any additional conditions requested by the Planning and Zoning Commission.

**G. Applicable Standards:**

1. City of Kuna Zoning Ordinance Title 5.
2. City of Kuna Comprehensive Plan.
3. Idaho Code, Title 67, Chapter 65- the Local Land Use Planning Act.

**H. Commission’s Order of Decision:**

*Note: This motion is for the approval, conditional approval or denial of the design review application. However, if the Planning and Zoning Commission wishes to approve or deny specific parts of this request as detailed in the report, those changes must be specified.*

Based on the facts outlined in staff’s report and public testimony as presented, the Planning and Zoning Commission of Kuna, Idaho, hereby approves/conditionally approves/denies Case No. 19-12-DR (Design Review),

a request from Michael Stafford for design review approval for a private parking lot, private driveway and landscaping subject to the following conditions:

1. The applicant and/or owner shall obtain written approval on letterhead or may be written/stamped on the approved plans of the construction plans from the agencies noted below. All submittals are required to include the lighting, landscaping, drainage, and development plans. All site improvements are prohibited prior to approval of the following agencies:
  - a. The City Engineer shall approve the sewer hook-ups.
  - b. The City Engineer shall approve all civil plans. No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of the drainage plan.
  - c. The applicant shall provide the subsurface seepage bed design with supporting calculations to the City Engineer's office prior to commencement of construction. Storm Water shall be managed on site.
  - d. The Kuna Fire District shall approve fire flow requirements. Installation of fire protection facilities as required by Kuna Fire District are required.
  - e. The Kuna Public Works Department and Boise Project Board of Control shall approve any modifications to the existing irrigation system.
  - f. Approval from Ada County Highway District (ACHD) shall be obtained and Impact Fees must be paid prior to *issuance* of any building permit(s).
  - g. All public rights-of-way shall be dedicated and constructed to standards of the City and Ada County Highway District. No public street construction may commence without the approval and permit from Ada County Highway District.
2. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground, see **KCC 6-4-2-W**.
3. Compliance with Idaho Code, Section §31-3805 pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site. Compliance with the requirements of the Boise Project Board of Control is required.
4. When required, submit a petition to the City (as necessary, confirmed with the City engineer) consenting to the pooling of irrigation surface water rights for delivery purposes and request to annex the irrigation surface water rights appurtenant to the property over to the Kuna Municipal Pressure Irrigation system of the City (KMIS).
5. Street lights and parking lights for the site shall be LED lighting and must comply with Kuna City Code and established Dark Skies practices.
6. Fencing within and around the site shall comply with Kuna City Code (Unless specifically approved otherwise and permitted).
7. The proposed site plan (dated 04/26/2019) and the landscape plan (dated 04/25/2019) shall be considered binding site plans, or as modified approved through the public process.
8. All required landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace unhealthy or dead plant material within three (3) days or as the planting season permits as required to meet the standards of these requirements. Maintenance and planting within public rights-of-way shall be with approval from the public entities owning the property.
9. Applicant shall install sod where the submitted landscape plan (dated 04/25/2019) identifies "turf grass"
10. The land owner/applicant/developer, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the Planning and Zoning Commission, or seek amending them through public hearing processes.
11. Developer/owner/applicant shall follow staff, City engineers and other agency recommended requirements.
12. Developer/owner/applicant shall comply with all local, state and federal laws.

**DATED** this 28<sup>th</sup> day of May, 2019.

**Received**  
4.26.19



City of Kuna  
Planning & Zoning  
Department  
P.O. Box 13  
Kuna, Idaho 83634  
208.922.5274  
Fax: 208.922.5989  
Website: www.cityofkuna.com

**Commission & Council Review Application**

Note: Engineering fees shall be paid by the applicant if required.

\*Please submit the appropriate checklist (s) with application

For Office Use Only	
File Number (s)	19-12-DR
Project name	USPS Parking Lot
Date Received	4.26.19
Date Accepted/Complete	5/1/19
Cross Reference Files	
Commission Hearing Date	5/28/2019
City Council Hearing Date	

**Type of Review (check all that apply):**

- Annexation
- Appeal
- Comprehensive Plan Amendment
- Design Review
- Development Agreement
- Final Planned Unit Development
- Final Plat
- Lot Line Adjustment
- Lot Split
- Planned Unit Development
- Preliminary Plat
- Rezone
- Special Use
- Temporary Business
- Vacation
- Variance

**Contact/Applicant Information**

Owners of Record: <u>MICHAEL STAFFORD</u>	Phone Number: <u>559-681-1983</u>
Address: <u>P.O. Box 624</u>	E-Mail: <u>MIKE@STL.COM</u>
City, State, Zip: <u>DUNNELLY, ID 83615</u>	Fax #: _____
Applicant (Developer): <u>MICHAEL STAFFORD</u>	Phone Number: _____
Address: <u>SAME</u>	E-Mail: _____
City, State, Zip: _____	Fax #: _____
Engineer/Representative: <u>DAVID GUNBECK</u>	Phone Number: <u>208-861-6604</u>
Address: <u>1400 E KOIKAWEE LN</u>	E-Mail: <u>GUNBECK@KGGDEV.COM</u>
City, State, Zip: <u>KUNA, ID 83634</u>	Fax #: _____

**Subject Property Information**

Site Address: <u>199 S KAY ST.</u>	
Site Location (Cross Streets): <u>KAY + AVALON</u>	
Parcel Number (s): <u>R0615253160</u>	
Section, Township, Range: _____	
Property size: <u>2 ACRES</u>	
Current land use: <u>R-4 VACANT</u>	Proposed land use: <u>C-1 PARKING LOT FOR USPS</u>
Current zoning district: <u>R-4</u>	Proposed zoning district: <u>C-1</u>

Exhibit  
**B1**

**Project Description**

Project / subdivision name: USPS PARKING LOT

General description of proposed project / request: CONSTRUCT A PARKING LOT FOR USPS

Type of use proposed (check all that apply):

Residential \_\_\_\_\_

Commercial \_\_\_\_\_

Office \_\_\_\_\_

Industrial \_\_\_\_\_

Other ACCESSORY PARKING LOT + DRIVEWAY

Amenities provided with this development (if applicable): \_\_\_\_\_

**Residential Project Summary (if applicable)**

Are there existing buildings?  Yes  No

Please describe the existing buildings: \_\_\_\_\_

Any existing buildings to remain?  Yes  No

Number of residential units: \_\_\_\_\_ Number of building lots: 1

Number of common and/or other lots: \_\_\_\_\_

Type of dwellings proposed:

Single-Family \_\_\_\_\_

Townhouses \_\_\_\_\_

Duplexes \_\_\_\_\_

Multi-Family \_\_\_\_\_

Other \_\_\_\_\_

Minimum Square footage of structure (s): \_\_\_\_\_

Gross density (DU/acre-total property): \_\_\_\_\_ Net density (DU/acre-excluding roads): \_\_\_\_\_

Percentage of open space provided: \_\_\_\_\_ Acreage of open space: \_\_\_\_\_

Type of open space provided (i.e. landscaping, public, common, etc.): \_\_\_\_\_

**Non-Residential Project Summary (if applicable)**

Number of building lots: 1 Other lots: \_\_\_\_\_

Gross floor area square footage: P/A Existing (if applicable): \_\_\_\_\_

Hours of operation (days & hours): \_\_\_\_\_ Building height: \_\_\_\_\_

Total number of employees: \_\_\_\_\_ Max. number of employees at one time: \_\_\_\_\_

Number and ages of students/children: \_\_\_\_\_ Seating capacity: \_\_\_\_\_

Fencing type, size & location (proposed or existing to remain): TO BE CONSTRUCTED BY USPS

Proposed Parking:

a. Handicapped spaces: \_\_\_\_\_ Dimensions: \_\_\_\_\_

b. Total Parking spaces: 26 Dimensions: 9 X 20

c. Width of driveway aisle: 28'

Proposed Lighting: LED PARKING LOT LIGHTS

Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.): PARKING LOT BUFFER

Applicant's Signature: [Signature] Date: 4/26/19



# City of Kuna Design Review Application

P.O. Box 13  
Kuna, Idaho 83634  
(208) 922.5274  
Fax: (208) 922.5989  
Website: www.kunacity.id.gov

FILE NO.: 19-12-DR

CROSS REF.: \_\_\_\_\_

FILES: \_\_\_\_\_

The City of Kuna has adopted a Design Review process whose purpose is to make Kuna a pleasant and comfortable place to live and work. This Design Review process is based on standards and guidelines found in the Design Review Ordinance No. 2007-02 and the Architecture and Site Design Booklet. Both of these documents can be found online ([www.cityofkuna.com](http://www.cityofkuna.com)) or are picked up in the City's Planning and zoning department is located at 763 W Avalon, Kuna ID. Staff is glad to assist you with your application form.

**The Design Review application applies to the following land use actions:**

- ▶ Multi- family dwellings (3 or more)
- ▶ Commercial
- ▶ Industrial
- ▶ Institutional
- ▶ Office
- ▶ Common Area
- ▶ Subdivision Signage
- ▶ Proposed Conversions
- ▶ Proposed changes in land use and/or building use or exterior remodeling
- ▶ Exterior restoration, and enlargement or expansion of existing buildings, signs or sites.

## Application Submittal Requirements

Applicant Use		Staff Use
<input checked="" type="checkbox"/>	Date of pre- application meeting : <u>11/18</u> <i>Note: Pre-Applications are valid for a period of three (3) months.</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	A complete Design Review Application form <i>Note: It is the applicant's responsibility to use a current application.</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Detailed letter of explanation or justification for the application, describing the project and design elements, and how the project complies with Design Review standards.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	One (1) Vicinity Map (8 ½" x 11") at 1" = 300' scale (or similar), label the location of the property and adjacent streets.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	One 8 ½" x 11" colored aerial photo depicting proposed site, street names, and surrounding area within five-hundred feet (500').	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Copy of Deed; and, if the applicant is not the owner, an <b>original</b> notarized statement (affidavit of legal interest) from the owner (and all interested parties) stating the applicant is authorized to submit this application.	<input type="checkbox"/>



Detailed site, landscape, drainage plan, elevation and to scale. *(No smaller than 1"=30', unless otherwise approved.)*



**One of each plan** (site, landscape, drainage plan and elevations) is required to be submitted in the following plan sizes:

- (1) 24" X 36" TO SCALE COPIES*
- (1) 11" X 17" REDUCTIONS*
- (1) 8 1/2" X 11" REDUCTIONS*



Provide a color rendering and material sample board specifically noting where each color and material is to be located on the structure.



*Note: Provide photo of the colored rendering and material samples board to City Staff electronically in a JPG or PDF format.*

The Applicant is obligated to provide a site plan that graphically portrays the site and includes the following features:

**Site Plan**

Applicant Use

Staff Use

- |                                     |                                                                                                                                   |                          |
|-------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------|--------------------------|
| <input checked="" type="checkbox"/> | North Arrow                                                                                                                       | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | To scale drawings                                                                                                                 | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | Property lines                                                                                                                    | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | Name of "Plan Preparer" with contact information                                                                                  | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | Name of project and date                                                                                                          | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | Existing structures, identify those which are to be relocated or removed                                                          | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | On-site and adjoining streets, alleys, private drives and rights-of-way                                                           | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | Drainage location and method of on-site retention / detention                                                                     | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | Location of public restrooms                                                                                                      | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | Existing / proposed utility service and any above-ground utility structures and their location                                    | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | Location and width of easements, canals and drainage ditches                                                                      | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | Location and dimension of off-street parking                                                                                      | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | Locations and sizes of any loading area, docks, ramps and vehicle storage or service areas                                        | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | Trash storage areas and exterior mechanical equipment, with proposed method of screening                                          | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | Sign locations <i>(a separate sign application must be submitted with this application)</i>                                       | <input type="checkbox"/> |
| <input type="checkbox"/>            | On-site transportation circulation plan for motor vehicles, pedestrians and bicycles                                              | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | Locations and uses of ALL open spaces                                                                                             | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | Locations, types and sizes of sound and visual buffers <i>(Note: all buffers must be located outside the public right-of-way)</i> | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle                 | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | Locations of subdivision lines <i>(if applicable)</i>                                                                             | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles                   | <input type="checkbox"/> |
| <input type="checkbox"/>            | Location of walls and fences and indication of their height and material of construction                                          | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | Roofline and foundation plan of building, location on the site                                                                    | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | Location and designations of all sidewalks                                                                                        | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | Location and designation of all rights-of-way and property lines                                                                  | <input type="checkbox"/> |

### Landscape and Streetscape Plan

The landscape and streetscape plans need to be drawn by the project architect, professional landscape architect, landscape designer, or qualified nurseryman for development's possessing more than twelve thousand (12,000) square feet of private land. The landscaped and streetscape plans must be colored. The Planning Director or City Forester may require the preparation of a landscape plan for smaller developments by one of the noted individuals if the lot(s) have unique attributes.

Applicant Use		Staff Use
<input checked="" type="checkbox"/>	North Arrow	<input type="checkbox"/>
<input checked="" type="checkbox"/>	To scale drawings	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Boundaries, property lines and dimensions	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Name of "Plan Preparer" with contact information	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Name of project and date	<input type="checkbox"/>
<input type="checkbox"/>	Type and location of all plant materials and other ground covers. <i>Please review the City's plant list and rely upon it to identify the site's planting strategy. Include botanical and common name, quantity, spacing and sizes of all proposed landscape materials at the time of planting, and at maturity. A list of acceptable trees is available upon request from City Planning Staff. If there are any questions, please contact the City Forester, Natalie Reeder, at 208.880.0953</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Existing vegetation identified by specific size. Identify those which are proposed to be relocated or removed.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Method of irrigation. <i>Note: All plant materials, except existing native plants not damaged during construction or xeriscape species shown not to require regular watering, shall be irrigated by underground sprinkler systems set on a timer in order to obtain proper watering duration and ease of maintenance.</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Location, description, materials, and cross-sections of special features, including berming, retaining walls, hedges, fences, fountains street/pathway furniture (benches, etc.), etc.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Sign locations <i>Note: A separate sign application must be submitted with this application</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Locations and uses for open spaces	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Location and designations of all sidewalks	<input type="checkbox"/>
<input type="checkbox"/>	Engineered grading and drainage plans: A generalized drainage plan showing direction drainage with proposed on-site retention. Upon submission of building/construction plans for an approved design review application, a detailed site grading and drainage plan, prepared by a registered professional engineer (PE) shall be submitted to the City for review and approval by the City Engineer.	<input type="checkbox"/>

### Building Elevations

Applicant Use

Staff Use



Detailed elevation plans of each side of any proposed building(s) or additions(s)  
*Note: Four (4) elevations to include all sides of development and must be in color*



Identify the elevations as to north, south, east, and west orientation



Colored copies of all proposed building materials and indication where each material and color application is to be located  
*Note: Submit as 11"x17" reductions*



Screening/treatment of mechanical equipment



Provide a cross-section of the building showing any roof top mechanical units and their roof placement



Detailed elevation plans showing the materials to be used in construction of trash enclosures

### Lighting Plan

Applicant Use

Staff Use



Exterior lighting including detained cut sheets and photometric plan (pedestrian, vehicle, security, decoration)



Types and wattage of all light fixtures  
*Note: The City encourages use of "dark sky" lighting fixtures*



Placement of all light fixtures shown on elevations and landscaping plans

### Roof Plans

Applicant Use

Staff Use



Size and location of all roof top mechanical units

# Design Review Application

Applicant: Michael Stafford Phone: 559-681-1983

Owner

Representative

Fax/Email: mike@sti.com

Applicant's Address: PO Box 624

Donnelly, ID Zip: 83615-0624

Owner: ' same as applicant' Phone: \_\_\_\_\_

Owner's Address: \_\_\_\_\_ Email: \_\_\_\_\_

Zip: \_\_\_\_\_

Represented By: *(if different from above)* David Gronbeck Phone: 208-861-6664

Address: 1400 E. Kokanee Ln. Email: Gronbeck@kkgdev.com

Kuna, ID Zip: 83634

Address of Property: 199 S. Kay St.

Kuna, ID Zip: 83634

Distance from Major Cross Street: +/- 500 FT Street Name(s): E Avalon St.

*Please check the box that reflects the intent of the application*

- BUILDING DESIGN REVIEW
- SUBDIVISION / COMMON AREA LANDSCAPE

- DESIGN REVIEW MODIFICATION
- STAFF LEVEL APPLICATION

This Design Review application is a request to construct, add or change the following: *(Briefly explain the nature of the request.)*

Private parking lot and driveway to be used by the United States Postal Service.

1. Dimension of Property: Parking lot: 149'6"X157'6" Driveway: 270'X28' Parcel: 2 acres

2. Current Land Use(s): R-4 with an unrecorded ordinance on file to covert to C-1.

3. What are the land uses of the adjoining properties?

North: C-1

South: R-4 with ordinance on file to be recorded changing to C-1

East: C-1

West: R-4

4. Is the project intended to be phased, if so what is the phasing time period? Yes

Please explain: First phase will be to develop the driveway and parking lot for USPS. Second phase will include a subdivision of the two acre parcel with two additional lots for commercial development.

5. The number and use(s) of all structures: No structures in this phase.

6. Building heights: NA Number of stories: NA

The height and width relationship of new structures shall be compatible and consistent with the architectural character of the area and proposed use.

*Note: The maximum building height for each zoning district is as follows:*

L-O: 35'	C-2: 60'	CBD: 80'	M-2: 60'	P: 60'
C-1: 35'	C-3: 60'	M-1: 60'	M-3: 60'	

7. What is the percentage of building space on the lot when compared to the total lot area? NA

8. Exterior building materials & colors: *(Note: This section must be completed in compliance with the City of Kuna Ordinance No. 2007-21 A (as amended); found online at [www.cityofkuna.com](http://www.cityofkuna.com)) under the City Code.*

**MATERIAL**

**COLOR**

Roof: NA / \_\_\_\_\_

Walls: *(State percentage of wall coverage for each type of building material below for each frontage wall) If there is not adequate space to identify the various building materials and applications, please list them on the attached sheet of this application. Please attach photos to support application types.*

% of Wood application: \_\_\_\_\_ / \_\_\_\_\_

% EIFS: \_\_\_\_\_ / \_\_\_\_\_  
*(Exterior Insulation Finish System)*

% Masonry: \_\_\_\_\_ / \_\_\_\_\_

% Face Block: \_\_\_\_\_ / \_\_\_\_\_

% Stucco: \_\_\_\_\_ / \_\_\_\_\_

& other material(s): \_\_\_\_\_ / \_\_\_\_\_

List all other materials: \_\_\_\_\_

Windows/Doors: \_\_\_\_\_ / \_\_\_\_\_  
*(Type of window frames & styles, Doors & styles, material)*

Soffits and fascia material: \_\_\_\_\_ / \_\_\_\_\_

Trim, etc.: \_\_\_\_\_ / \_\_\_\_\_

Other: \_\_\_\_\_ / \_\_\_\_\_

9. Please identify Mechanical Units: NA  
Type/Height: \_\_\_\_\_  
Proposed Screening Method: \_\_\_\_\_

10. Please identify trash enclosure: *(size, location, screening & construction materials)* NA

11. Are there any irrigation ditches/canals on or adjacent to the property? No  
If yes, what is the name of the irrigation or drainage provider? \_\_\_\_\_

12. Fencing: *(Please provide information about new fencing material as well as any exiting fencing material)*  
Fencing to be installed by USPS  
Type: \_\_\_\_\_  
Size: \_\_\_\_\_  
Location: \_\_\_\_\_  
*(Please note that the City has height limitations of fencing material and requires a fence permit to be obtained prior to installation)*

13. Proposed method of On-site Drainage Retention/Detention:  
Drainage swale

14. Percentage of Site Devoted to Building Coverage: NA  
% of Site Devoted to Landscaping: \_\_\_\_\_ Square Footage: \_\_\_\_\_  
*(Including landscaped rights-of-way)*  
% of Site that is Hard Surface: \_\_\_\_\_ Square Footage: \_\_\_\_\_  
*(Paving, driveways, walkways, etc.)*  
% of Site Devoted to other uses: \_\_\_\_\_  
Describe: \_\_\_\_\_  
% of landscaping within the parking lot (landscaped islands, etc.): \_\_\_\_\_

15. For details, please provide dimensions of landscaped areas within public rights-of-way:  
NA

16. Are there any existing trees of 4" or greater in caliper on the property? *(Please provide the information on the site plans.)*  
If yes, what type, size and the general location? *(The City's goal is to preserve existing tree with greater than a four inch (4") caliper whenever possible):*  
Yes, please refer to the landscape plan

17. Dock Loading Facilities:  
Number of docking facilities and their location: To be installed by USPS  
Method of screening: \_\_\_\_\_

18. Pedestrian Amenities: *(bike racks, receptacles, drinking fountains, benches, etc.)* NA

19. Setbacks of the proposed building from property lines: NA

Front \_\_\_\_\_ -feet      Rear \_\_\_\_\_ -feet      Side \_\_\_\_\_ -feet      Side \_\_\_\_\_ -feet

20. Parking requirements: None, as this is an accessory private parking lot.

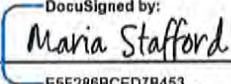
Total Number of Parking Spaces: 26      Width and Length of Spaces: 9' X 20'

Total Number of Compact Spaces 8'x17': None

21. Is any portion of the property subject to flooding conditions?      Yes \_\_\_\_\_      No

**IF THE PLANNING DIRECTOR OR DESIGNEE, THE DESIGN REVIEW BOARD AND/OR THE CITY COUNCIL DETERMINE THAT ADDITIONAL AND/OR REVISED INFORMATION IS NEEDED, AND/OR IF OTHER UNFORESEEN CIRCUMSTANCES ARISE, ANY DATES OUTLINED FOR PROCESSING MAY BE RECHEDULED BY THE CITY. APPLICANT/REPRESENTATIVE MUST ATTEND THE DESIGN REVIEW BOARD MEETING/PLANNING AND ZONING MEETINGS.**

The Ada County Highway District may also conduct public meetings regarding this application. If you have questions about the meeting date or the traffic that this development may generate or the impact of that traffic on streets in the area, please contact the Ada County Highway District at 208.387.6170. In order to expedite your request, please have ready the file number indicated in this notice.

Signature of Applicant       Date 4/25/2019 | 9:04 AM MDT  
E5F286BCED7B453...

City staff comments:  
\_\_\_\_\_  
\_\_\_\_\_

Signature of receipt by City Staff \_\_\_\_\_      Date \_\_\_\_\_

**FOR ADDITIONAL INFORMATION:**  
(Please list page number and item in reference)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
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\_\_\_\_\_  
\_\_\_\_\_

Date: April 24, 2019

To: Mr. Jace Hellman  
City of Kuna Planning and Zoning  
751 W 4<sup>th</sup> Street  
Kuna, ID 83634

Re: Design Review  
USPS Private Parking Lot and Driveway  
199 S. Kay Street  
Kuna, ID 83634

Mr. Hellman,

The proposed project is located on a two-acre parcel which is currently zoned R-4, south of Avalon St and on the west side of S. Kay Street. Kuna's Planning Staff has advised me that there is an ordinance in place which will be recorded that will change the zoning of this parcel, and the parcel to the south from which it was split, to C-1 zoning. The intent of the development is to build in phases with the first phase being a private parking lot and driveway to be utilized by the United States Postal Service ("USPS") who will relocate to a building which I also own at 693 E. Wythe Creek Court. When USPS relocates to their new home it will allow them to provide a greater level of service to the growing population of Kuna. Following, or perhaps concurrently with, the development of the parking lot and driveway for USPS I intend to submit to subdivide the parcel to allow for two additional commercial lots. When I develop the additional lots, I acknowledge that I will have to extend Kay Street if it has not already been extended by others.

The overall design and layout of the parking stalls within the lot was directed by USPS. Although Kuna's Design Review standards for a parking lot are most certainly contemplated to apply to a 'public' parking facility, the plans I provided for landscape, drainage and setbacks meet Design Review standards. Per my agreement with USPS they are tasked with constructing a fence around the parking lot. USPS will also construct improvement for their needs between the parking lot and the building.

As part of this project I will extend pressurized irrigation, water and eventually sewer to the site. I have made arrangements with Cement Falls Park Subdivision to allow parcels within the subdivision to connect to pressurized irrigation, where practical. This will reduce some demand on the city's potable water supply.

Kindest regards,

  
Michael Stafford  
PO Box 624  
Donnelly, ID 83615-0624  
Email: [mike@sti.com](mailto:mike@sti.com); Ph: 559-681-1953



Escrow No.: 34601809514-NB

*MS*  
*MS*

## WARRANTY DEED

### FOR VALUE RECEIVED

**Water Tower Development LLC, an Idaho Limited Liability Company**

GRANTOR(S), does(do) hereby GRANT, BARGAIN, SELL AND CONVEY unto:

**Michael D Stafford and Maria A Stafford, as Trustees of the Michael D Stafford & Maria A Stafford 2005 Revocable Family Trust, dated August 22, 2005, and as restated May 29, 2018**

GRANTEE(S), whose current address is: **PO Box 624, Donnelly, ID 83615**

the following described real property in Ada County, Idaho, more particularly described as follows, to wit:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

TO HAVE AND TO HOLD the said premises, with their appurtenances unto the said heirs and assigns forever. And the said Grantor(s) does(do) hereby covenant to and with the said Grantee(s), that Grantor(s) is/are the owner(s) in fee simple of said premises; that said premises are free from all encumbrances EXCEPT those to which this conveyance is expressly made subject and those made, suffered or done by the Grantee(s); and subject to reservations, restrictions, dedications, easements, rights of way and agreements, (if any) of record, and general taxes and assessments, (including irrigation and utility assessments, if any) for the current year, which are not yet due and payable, and that Grantor(s) will warrant and defend the same from all lawful claims whatsoever.

IN WITNESS WHEREOF, the undersigned have executed this document on the date(s) set forth below.

Effective this 21st day of March, 2019.

Water Tower Development LLC  
by Water Tower Group, LLC, Manager

BY: *Kathy Parker / Manager*  
Kathy Parker, Manager

**EXHIBIT "A"**  
Legal Description

A parcel of land being a portion Lot 3 of AVALON ORCHARD TRACTS as if filed in Book 4 of Plats at Page 189, records of Ada County Idaho located in the NW 1/4 of Section 25 Township 2 North Range 1 West B.M. Kuna Ada County Idaho more particularly described as follows:

Commencing at the North 1/4 corner of said Section 25 from which the West 1/16 corner of said Section 25 bears North 88° 39' 09" West 1,309.24 feet; thence along the North-South centerline of said Section 25 South 00° 23' 58" East 451.09 feet; thence leaving said North-South centerline North 88° 39' 09" West 20.01 feet to the SE corner of Cement Falls Park Subdivision as filed in Book 89 of Plats at Pages 10387 and 10388, record of Ada County Idaho, said point being the real point of beginning; thence along the West right-of-way line of S Kay Avenue South 00° 23' 58" East 193.32 feet; thence leaving said West right-of-way line North 89° 58' 40" West 439.99 feet; thence North 00° 04' 19" East 202.86 feet; thence North 89° 58' 48" East 25.19 feet to the SW corner of said Cement Falls Park Subdivision; thence along said the South boundary line of said Cement Falls Park Subdivision South 88° 39' 09" East 413.31 feet to the real point of beginning.



NEW PARKING AREA FOR:

# UNITED STATES POSTAL SERVICE

199 S. KAY AVE., KUNA, ADA COUNTY, IDAHO 83634



## AERIAL

SCALE

## PHOTO

1" = 500'-0"



NEW PARKING AREA FOR:  
**UNITED STATES POSTAL SERVICE**  
 199 S. KAY AVE., KUNA, ADA COUNTY, IDAHO 83634

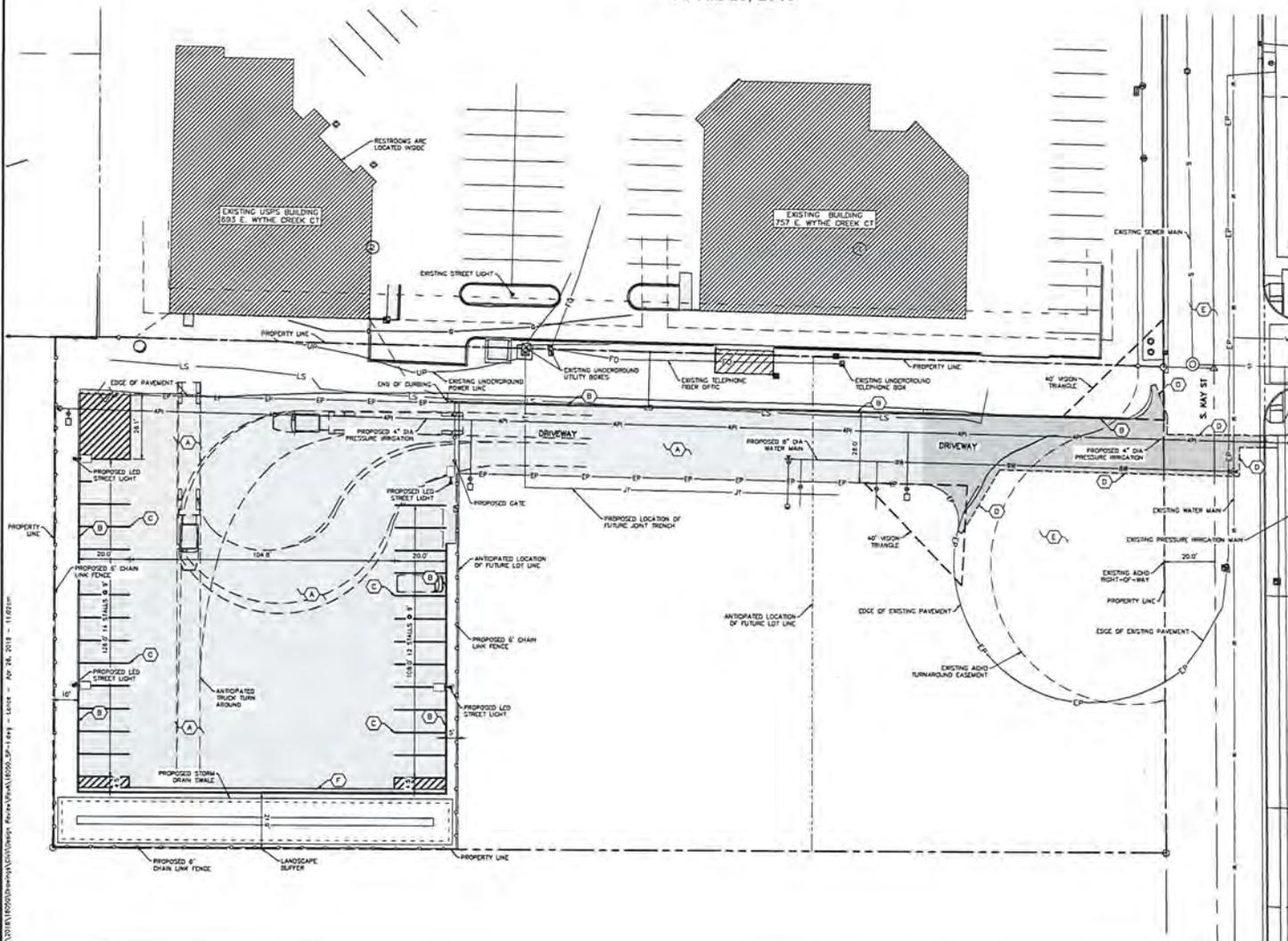


**VICINITY**  
 SCALE

**MAP**  
 1" = 300'-0"

# CIVIL SITE PLAN DRAWING FOR USPS PARKING LOT EXPANSION

LOCATED IN A PORTION OF THE NE 1/4 OF THE NW 1/4  
OF SECTION 25, T.2N, R.1W, BOISE MERIDIAN  
CITY OF KUNA, ADA COUNTY, IDAHO  
APRIL 26, 2019



- NOTES**
- CONTRACTOR SHALL PROTECT ALL SURVEY MONUMENTS ENCOUNTERED DURING CONSTRUCTION. ANY MONUMENT DESTROYED BY CONSTRUCTION ACTIVITIES SHALL BE REPLACED BY A PROFESSIONAL LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
  - COORDINATE WITH LANDSCAPERS AND LANDSCAPE PLAN FOR LOCATION OF SUELVES FOR ONSITE PRESSURE IRRIGATION DISTRIBUTION SYSTEM. CONTRACTOR SHALL INSTALL SUELVES PRIOR TO PLACING PAVING AND CONCRETE.
  - ADA ACCESSIBLE SIDEWALKS SHALL NOT EXCEED 2.0% CROSS-SLOPE OR 5.0% GRADE IN ACCORDANCE TO ADA AND AASHTO STANDARDS. CONTRACTOR SHALL FIELD VERIFY SLOPE PRIOR TO PLACING CONCRETE OR PAVING.
  - ADA RAMPS SHALL NOT EXCEED 1:12 (8.33%) SLOPE AND SHALL BE SIZED BY THE CONTRACTOR TO MEET ADA AND AASHTO STANDARDS (E.G., 2.0% MAX LANDING AND 4.2 MIN WIDTH). SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS AND DETAILS.
  - CONTRACTOR SHALL REMOVE AND DISPOSE (OR RELOCATE AS NEEDED) ALL FEATURES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS.
  - ACCORDING TO THE HYDROGRAPHIC MAPPING PROVIDED BY DAVID SURVEY GROUP, THERE DOES NOT APPEAR TO BE ANY KNOWN EASEMENTS ON THE PROPERTY, EXCEPT FOR THE EXISTING ADHD TURNAROUND. FIELD VERIFY.

- KEYNOTES**
- PROPOSED ASPHALT PAVING, TYP.
  - PROPOSED CONCRETE CURB, TYP.
  - PAINT 4" WIDE WHITE PARKING LINES, TYP.
  - REMOVE, REGRADE AND DISPOSE EXISTING ASPHALT AS NEEDED FOR CONSTRUCTION, TYP.
  - RETAIN AND PROTECT EXISTING ASPHALT PAVING.
  - PROPOSED VERTICAL CONCRETE CURB AND GUTTER, TYP.

**SITE INFORMATION**

ZONING: CBS (CENTRAL BUSINESS DISTRICT)  
 USE OF SITE: POST OFFICE PARKING LOT  
 PARKING PROVIDED: 28 STALLS

**PLAN PREPARED INFORMATION**

ASPIN ENGINEERS, CHARTERED  
 1815 N. LINDER RD., SUITE 110  
 KUNA, IDAHO 83634  
 CONTACT:  
 LANCE WARRICK, P.E.  
 208-466-8381  
 lance@aspenengineers.com

REVISION	A	04/26/19	REVISED



MICHAEL SAFFORD  
 P.O. BOX 67  
 DONNELLY, IDAHO 83615  
 208-481-1183

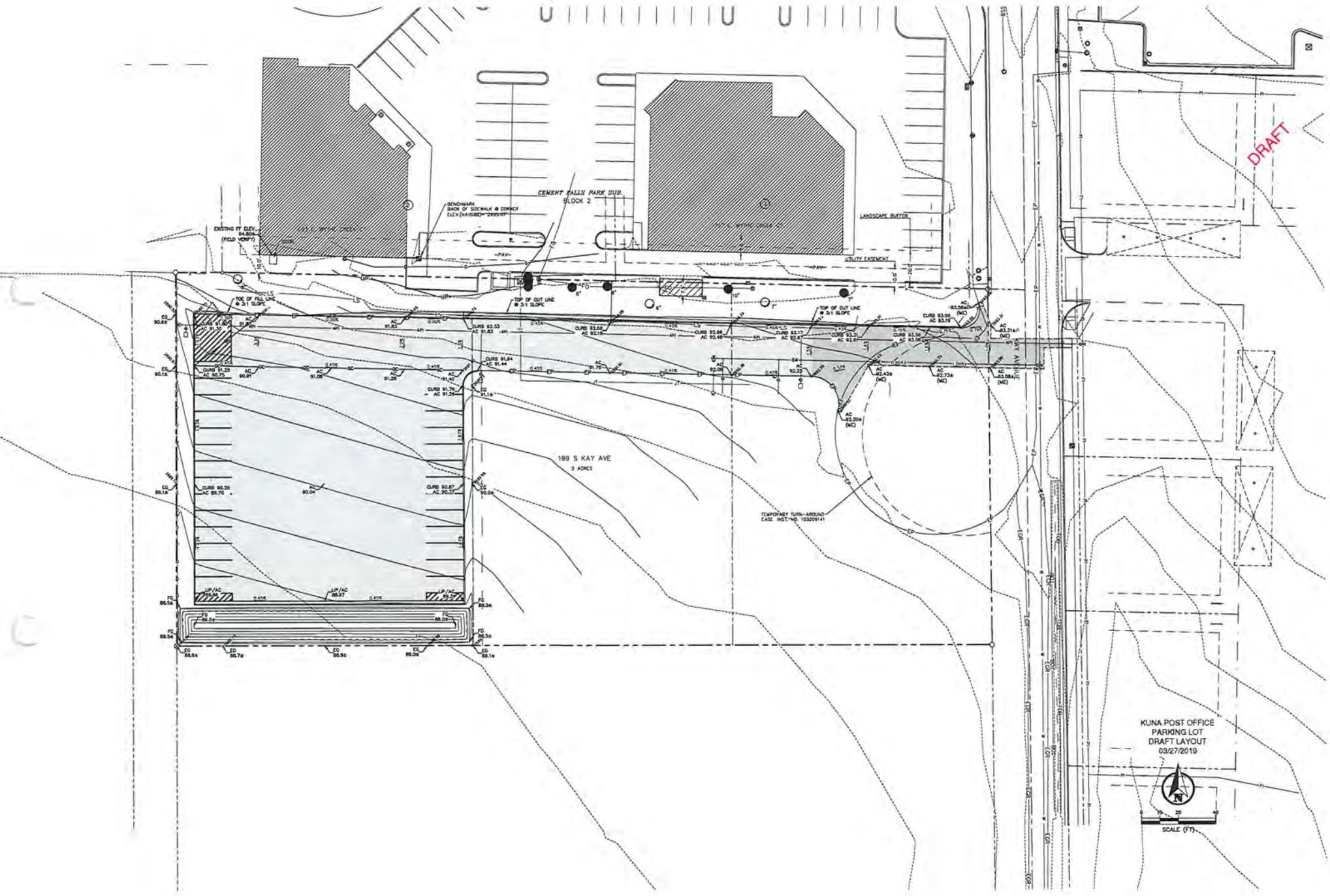
**USPS PARKING LOT EXPANSION**  
 199 S. LAY AVE & 683 E. WYTHE CREEK CT  
 Kuna, Idaho 83634

DRAWN	SCALE
LBW	SHOWN
CHECKED	REVISION
LBW	A
DATE	04/26/2019
PROJECT	18050

USPS PARKING LOT EXPANSION  
 CIVIL SITE PLAN  
 SHEET  
**SP-1**  
 1 of 1



DRAFT



CEMENT FALLS PARK SUB. BLOCK 2

BENCHMARK BACK OF SIDEWALK @ CORNER ELEV (NAVD) = 2829.07

EXISTING FT. ELEV. 84.80 (FIELD VERIFY)

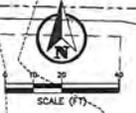
LANDSCAPE BUFFER

UTILITY EASEMENT

199 S KAY AVE  
3 ADMS

TEMPORARY TURN-AROUND  
LASE (NST) NO. 103209141

KUNA POST OFFICE  
PARKING LOT  
DRAFT LAYOUT  
03/27/2019



# LANDSCAPE NOTES

(FOR REFERENCE ONLY, CONSULT AND ADVISE THE CRITERIA WITH THE OWNER AS DESIRED AND APPROVED)

- GENERAL NOTES:
  - THE LANDSCAPE CONTRACTOR SHALL INCLUDE THE SPRINKLER CONTRACT "SUB TIER" IN THEIR BID. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE LOCATIONS AND GENERAL INSTALLATION OF ALL SPRINKLER PARTS WORK PROPERLY WITH ALL PLANT LOCATIONS.
  - TOPSOIL:
    - TOPSOIL IS REQUIRED IN ALL LANDSCAPE AREAS. MAXIMUM DEPTH AS REQUIRED. EXCAVATE AS REQUIRED TO ALLOW FOR INSTALL OF THE MATERIAL. ENSURE THAT THE TOPSOIL IS A STANDARD LOAM WITH PH VALUES TYPICAL FOR THE RESERVE FUTURE. ALL SOIL TO BE FREE OF ROCKS AND OTHERS.
  - INSTALLATION OF COMPOST:
    - SPREAD 2" OF COMMERCIAL GRADE COMPOST AT ALL PLANTER BEDS, POTHOLES TO 8" DEEP.
  - GRADING AND DRAINAGE:
    - FOLLOW GRADING DEFINED BY THE CIVIL ENGINEERING DRAWINGS. IN ALL CASES, ENSURE POSITIVE DRAINAGE AWAY FROM THE BUILDING. ENSURE THAT ALL SOIL IS SLOTTED THOROUGHLY. ALLOW FOR 10% PAVEMENT ON LOW SPOTS.
  - PLANT MATERIAL AND PLANTING INSTALLATION:
    - ALL PLANT MATERIAL MUST MEET REQUIREMENTS OF AND 2011 AMERICAN STANDARD FOR NURSERY STOCK. FOLLOW SPECIFIC INSTRUCTIONS IN DETAILS. CONTRACTOR SHALL ADJUST PLANT LOCATIONS AS REQUIRED TO AVOID PLANTERS AND AVOID CONTACTS WITH EXISTING STRUCTURES. ENSURE AVERAGE MATURE WIDTH OF PLANT WILL REMAIN IN PLANTER WHEN ESTABLISHING LOCATIONS.
  - FINISH TOPSOIL GRADE:
    - FOLLOWING INSTALLATION OF SPRINKLERS AND PLANT MATERIALS AND BEFORE INSTALLATION OF THE PLANTER BED COVERING, ENSURE THAT ALL SOIL IS SETTLED THOROUGHLY AND FINAL SURFACES ARE RAKED SMOOTH WITH NO UNDULATIONS OR POCKETS FOR WATER ACCUMULATION.
  - INSTALLATION OF DECORATIVE ROCK SURFACE:
    - AT ALL PLANTER BEDS INSTALL 2" OF COMMERCIAL GRADE DECORATIVE ROCK OVER A COMMERCIAL GRADE WEED FABRIC.
  - INSTALLATION OF BOLLARDS:
    - IF DETERMINED BY OWNER.
  - INSTALLATION OF TURFGRASS SOO:
    - ALL LOCATIONS SHOWN "COMPACT" TALL FESCUE. AVAILABLE AT CLOVERDALE NURSERY (OR EQUAL).
  - FINAL DETAILS (PHASE OF MAINTENANCE TIME AND TRANSFER OF WATER MANAGEMENT):
    - IF IS THE INSTALLING LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE SPRINKLER CONTRACTOR ON FINAL WATERING TIMES FOR ALL PLANTER AREAS AS SOON AS THEY ARE INSTALLED. CONTRACTOR SHALL MONITOR WATER MANAGEMENT THROUGH MAINTENANCE PERIOD.
    - ESTABLISH AN AGREEMENT WITH THE OWNERS WATER MANAGER AS TO NOTIFICATION TO THE INSTALLING CONTRACTOR OF ANY PLANTINGS THAT ARE BEING PLANTED DURING WARRANTY YEAR. ONCE MAINTENANCE IS TRANSFERRED TO THE OWNERS MAINTENANCE COMPANY, SO PREVENTATIVE ACTION MAY BE TAKEN.
  - PROJECT MAINTENANCE:
    - MAINTAIN ENTIRE PROJECT THROUGH DATE OF SUBSTANTIAL COMPLETION (DATE THAT DATE WITH GENERAL CONTRACTOR).
    - ENSURE ALL PLANTS ARE BEING WATERED PROPERLY. RESET ANY PLANTS THAT ARE LEANING.
    - REMOVE ANY WEEDS AND MOSS THAT HAVE ACCUMULATED IN ANY OF THE LANDSCAPE AREAS.
    - REMOVE ANY UNWANTED PLANTS BY BURNING OR BY OTHER MEANS.
  - TRANSFER OF LANDSCAPE MAINTENANCE TO OWNER:
    - AFTER SUBSTANTIAL COMPLETION IT IS THE INSTALLING CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER OR HIS REPRESENTATIVE AND TRANSFER THE MAINTENANCE OF THE LANDSCAPE TO THEM. INCLUDE AN ENTIRE EXPLANATION OF WHAT HAS BEEN DONE UP TO THAT TIME, AND WHAT NEEDS IMMEDIATE ATTENTION. WORK THROUGH THE FUTURE PROJECT WITH THE OWNER AND RESPECT FOR EACH OTHER'S PROPERTY.
  - PLANT MATERIAL WARRANTY:
    - ALL TREES, SHRUBS, AND LAWNS SHALL HAVE A ONE YEAR WARRANTY FROM THE DATE OF SUBSTANTIAL COMPLETION. ONE REPLACEMENT ONLY FOR ANY TREE, SHRUB OR LAWN AREA THAT DOES ESTABLISH THESE DATES WITH THE OWNER AND GENERAL CONTRACTOR.
  - METHOD OF IRRIGATION:
    - AUTOMATIC SPRINKLER SYSTEM.

# SPRINKLER NOTES

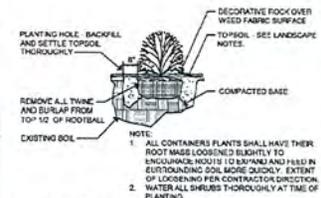
(FOR REFERENCE ONLY, MODIFY PER OWNER/CONTRACTOR AGREEMENT)

- GENERAL NOTES:
  - THE LANDSCAPE SPRINKLER SYSTEM IS "BIDDING DESIGN" IN ASSOCIATION WITH CRITERIA DEFINED IN THESE NOTES AND DRAWINGS.
  - THE FOLLOWING INFORMATION IS FOR BIDDER TO DETERMINE:
    - 1) POINT OF CONNECTION TO THE WATER SOURCE.
    - 2) AUTOMATIC CONTROLLER LOCATION.
    - 3) LEAD LOCATIONS.
  - CONTRACTOR SHALL NOTE ANY FACTORS THAT WILL AFFECT BID PRICE BEFORE DOING ANY WORK WHERE A PRICE CHANGE WOULD BE REQUIRED.
- DESIGN FACTORS:
  - A. COVERING IS THE WASH SOILS.
  - B. INCLUDE PROPER FOR DRAINAGE OF BACKFLOW PREVENTER, MAINLINE AND LATERALS.
  - C. PROVIDE ONE GATE VALVE WITH TYPING THE SYSTEM CHECK, SEPARATE FROM THE CHECK ON PREVENTER.
  - D. MAINLINE DEPTH: 18" (ALL LOW FOR NO ROCKS NEXT TO MAINLINE) LATERAL DEPTH: 8"
  - E. PROVIDE SOLAR VALVES AT ALL BRANCHES IN MAINLINE.
  - F. DO NOT EXCEED 40 PSI LOSS THROUGH ANY CIRCUIT CONTROL VALVE.
  - G. DO NOT EXCEED 1/2 FEET PER SECOND FLOW IN ANY MAIN OR CIRCUIT LINE.
  - H. 1/2" POLYETHYLENE TEREPHTHALATE (PE) 1/2" WALL WITH THE FORTHTH 1/2" TO 1/4" OF ONLY 1/2" IN 1/2".
  - I. INSTALL ALL VALVES IN VALVE BOXES WITH LOSS ACCEPTABLE MANUFACTURER BROOD OR EQUAL.
  - J. PROVIDE SLEEVES UNDER ALL CURBS, SIDEWALKS AND PAVED SURFACES. PLACE MAINLINE, LATERALS, AND WIRING IN SLEEVES AS APPROPRIATE. ALLOW 2" OF FREE SPACE - MARKING FOR EASE OF REMOVAL OF LINES.
  - K. HYDROSTATIC TEST: TEST MAINLINE AND VALVES. THEY SHALL HOLD 100 PSI FOR 10 MINUTES WITH A MAXIMUM LOSS OF 5 PSI.
  - L. INSTANT ANY PIPE OR VALVE WHICH DOES NOT COMPLY.
  - M. FLUSH ALL LINES BEFORE APPLICATION OF NOZZLES.
  - N. CONNECT ALL HEADS TO LATERAL LINES USING FLEXIBLE TUBING AND SPRAY BARD FITTINGS.
  - O. DETAIL ALL NECESSARY PARTS, COMPY WITH PERTINENT UNIFORM PLUMBING CODE REGULATIONS.
  - P. COORDINATE WITH ALL OTHER TRADES.
  - Q. PROVIDE OWNER WITH AN AS-BUILT DRAWING SHOWING ACTUAL LOCATIONS OF:
    - PIPING
    - BACKFLOW PREVENTER
    - AUTOMATIC CONTROLLER
    - MAIN LINE (FEET) (FROM MAINLINE) AND 1/2" IN AT 1/4" SURFACE (CHECKS)
    - VALVE BOXES
    - LATERAL ROUTING (INDICATE WHICH VALVE RELATES TO WHICH CIRCUIT)
    - HEAD LOCATIONS
- BIDDING DESIGN AND PRICING RESPONSIBILITIES:
  - A. DYNAMIC WATER AVAILABILITY CONFIGURABLE PSI AND CFM.
  - PSI - POUNDS PER SQUARE INCH.
  - CFM - GALLONS PER MINUTE.
  - B. IN ALL INSTANCES, SPRAY NOT INFLUENCED BY WIND IS TO FALL WITHIN THE LANDSCAPE BOUNDARIES. DO NOT THROW WATER ON BUILDINGS, WALKWAYS OR DRIVEWAYS. IT IS UNDERSTOOD THAT BRANCH ONLY SPRAY WILL OCCUR MANAGE AS MUCH AS POSSIBLE.
  - C. WIND RISE THE SYSTEM THE FIRST YEAR FOLLOWING INSTALLATION AT NO ADDITIONAL COST.
  - D. CONTRACTOR SHALL INCLUDE ALL INCIDENTAL PARTS, NOT SPECIFICALLY DEFINED AS ARE REQUIRED TO INSTALL A FUNCTIONAL OPERATING SPRINKLER SYSTEM AS PART OF BASE BID.
  - E. SYSTEM WARRANTY:
    - WARRANTY PERIOD: 30 DAYS FROM DATE OF SUBSTANTIAL COMPLETION. PARTS AND LABOR.

PLANT LEGEND					
TYPE	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	MATURE SIZE
SHRUBS, PERENNIALS & CROPPERS	AJS	AUTUMN JOY SEDUM	SEDUM X 'AUTUMN JOY'	2 GAL	18" TALL, 6" WIDE
	DWP	DWARF ARCTIC WILLOW	SALIX PURPUREA 'NANA'	3 GAL	3' TALL, 4" WIDE
	RFR	RED FLOER CARPET ROSE	ROSA X 'NORAH'	2 GAL	2' TALL, 3" WIDE
	RS	RUSSIAN SAGE	PEROVSKIA ATROPURPUREA	5 GAL	3' TALL, 2' WIDE
TREES	CPB	CRIMSON PYCNONEMBARK	BEABERG THORNLEAF 'CRIMSON PYCN'	1 GAL	2' TALL, 5" WIDE
	LS	LINUMOUND BRISCA	SPIRAEA X 'JUMALDA MONHEIP'	2 GAL	2' TALL, 4" WIDE
TREES	APWS	AUTUMN PURPLE WHITE ASH	FRAXINUS AMERICANA	2" CAL	15'-60" TALL, 25'-30" WIDE
	SAR	SHADEMASTER HONEYLOCUST	GLADSTONIA THACANTHOR VAR. 'NORMIS SHADEMASTER'	2" CAL	45'-60" TALL, 20'-40" WIDE
	WBJ	WITCHA BLUE JUNIPER	JUNIPERUS COMMPLANENSIS 'WITCHA BLUE'	5 GAL	10'-12' TALL, 4'-6" WIDE

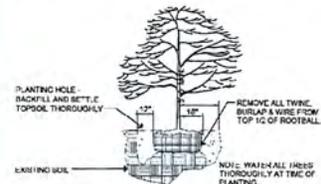
# SYMBOL LEGEND

- TURF GRASS
- DECORATIVE ROCK SURFACE OVER WEED FABRIC
- RIVER ROCK
- EXISTING TREE TO REMAIN
- PLANT MATERIAL IDENTIFICATION AND QUANTITY



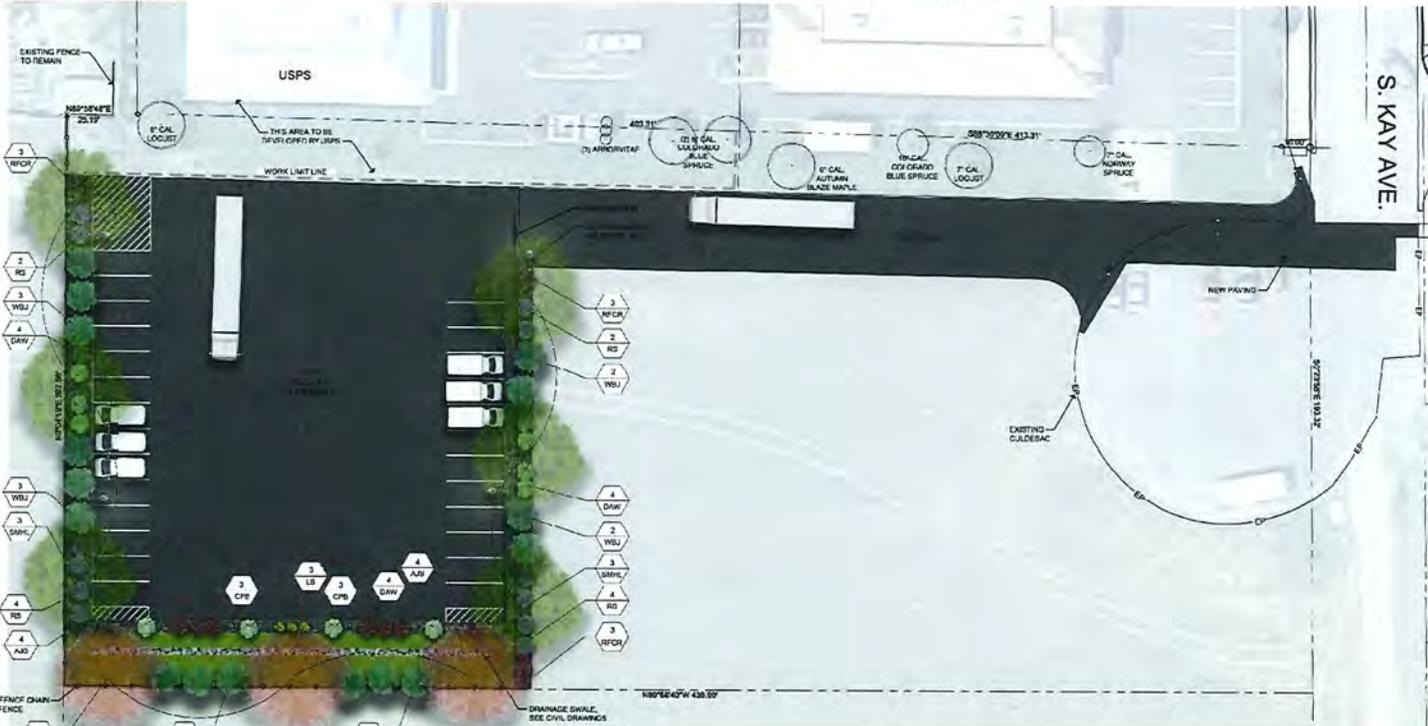
# SHRUB PLANTING DETAIL

SCALE NONE



# TREE PLANTING DETAIL

SCALE NONE



# LANDSCAPE PLAN

SCALE 1" = 20'-0"

REVISIONS	
NO.	DATE

UNITED STATES POSTAL SERVICE  
199 S. KAY AVE., KUNA, ADA COUNTY, ID 83634

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M'S DESIGNS, LLC  
DRAFTING AND DESIGN  
KUNA, IDAHO

NO.	DATE	BY	CHK

1-1.0

# LANDSCAPE NOTES

(FOR REFERENCE ONLY. CONSULT AND ADJUST THIS CRITERIA WITH THE OWNER AS DESIRED AND APPROVED)

- GENERAL NOTES:  
 THE LANDSCAPE CONTRACTOR SHALL INCLUDE THE SPRINKLER CONTRACT "SUB TIER" IN THEIR BID. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE LOCATIONS AND GENERAL INSTALLATION OF ALL SPRINKLER PARTS WORK PROPERLY WITH ALL PLANT LOCATIONS.
- TOPSOIL:  
 8" OF TOPSOIL IS REQUIRED IN ALL LANDSCAPE AREAS. IMPORT TOPSOIL AS REQUIRED. EXCAVATE AS REQUIRED TO ALLOW FOR INSTALL OF THIS MATERIAL. ENSURE THAT THE TOPSOIL IS A STANDARD LOAM WITH pH VALUES TYPICAL FOR THE TREASURE VALLEY. ALL SOIL TO BE FREE OF ROCKS AND DEBRIS.
  - INSTALLATION OF COMPOST:  
 SPREAD 1" OF COMMERCIAL GRADE COMPOST AT ALL PLANTER BEDS. ROTOTILL TO 8" DEEP
  - GRADING AND DRAINAGE:  
 FOLLOW GRADING DEFINED BY THE CIVIL ENGINEERING DRAWINGS. IN ALL CASES, ENSURE POSITIVE DRAINAGE AWAY FROM THE BUILDING. ENSURE THAT ALL SOIL IS SETTLED THOROUGHLY. ALLOW FOR NO PUDDLING OR LOW SPOTS.
  - PLANT MATERIAL AND PLANTING INSTALLATION:  
 ALL PLANT MATERIAL MUST MEET REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK" FOLLOW SPECIFIC INSTRUCTIONS IN DETAILS. CONTRACTOR SHALL ADJUST PLANT LOCATIONS AS REQUIRED TO EVENLY FILL PLANTERS AND AVOID CONFLICTS WITH EXISTING STRUCTURES. ENSURE AVERAGE MATURE WIDTH OF PLANT WILL REMAIN IN PLANTER WHEN ESTABLISHING LOCATIONS.
  - FINISH TOPSOIL GRADE:  
 FOLLOWING INSTALLATION OF SPRINKLERS AND PLANT MATERIALS AND BEFORE INSTALLATION OF THE PLANTER BED COVERING, ENSURE THAT ALL SOIL IS SETTLED THOROUGHLY AND FINAL SURFACES ARE RAKED SMOOTH WITH NO UNDULATIONS OR POCKETS FOR WATER ACCUMULATION.
  - INSTALLATION OF DECORATIVE ROCK SURFACE:  
 AT ALL PLANTER BEDS INSTALL 2" OF COMMERCIAL GRADE DECORATIVE ROCK OVER A COMMERCIAL GRADE WEED FABRIC.
  - INSTALLATION OF BOLLERS:  
 IF DETERMINED BY OWNER
  - INSTALLATION OF TURFGRASS SOD:  
 AT ALL LOCATIONS SHOWN 'COMPACTA' TALL FESCUE, AVAILABLE AT CLOVERDALE NURSERY (OR EQUAL).
  - INITIAL ESTABLISHMENT OF WATERING TIME AND TRANSFER OF WATER MANAGEMENT:  
 IT IS THE INSTALLING LANDSCAPE CONTRACTORS RESPONSIBILITY TO COORDINATE WITH THE SPRINKLER CONTRACTOR ON INITIAL WATERING TIMES FOR ALL PLANTER AREAS AS SOON AS THEY ARE INSTALLED. CONTRACTOR SHALL MONITOR WATER MANAGEMENT THROUGH MAINTENANCE PERIOD.  
 ESTABLISH AN AGREEMENT WITH THE OWNERS WATER MANAGER AS TO NOTIFICATION TO THE INSTALLING CONTRACTOR OF ANY PLANTS THAT ARE DOING POORLY DURING WARRANTY YEAR. ONCE MAINTENANCE IS TRANSFERRED TO THE OWNERS MAINTENANCE COMPANY, SO PREVENTATIVE ACTION MAY BE TAKEN.
  - PROJECT MAINTENANCE:  
 MAINTAIN ENTIRE PROJECT THROUGH DATE OF SUBSTANTIAL COMPLETION (COORDINATE THAT DATE WITH GENERAL CONTRACTOR).  
 A. ENSURE ALL PLANTS ARE BEING WATERED PROPERLY. RESET ANY PLANTS THAT ARE LEANING.  
 B. REMOVE ANY WEEDS AND DEBRIS THAT HAVE ACCUMULATED IN ANY OF THE LANDSCAPE AREAS.  
 C. MOW GRASS KEEPING IT BELOW 3" TALL.
  - TRANSFER OF LANDSCAPE MAINTENANCE TO OWNER:  
 AFTER SUBSTANTIAL COMPLETION IT IS THE INSTALLING CONTRACTORS RESPONSIBILITY TO CONTACT THE OWNER OR HIS REPRESENTATIVE AND TRANSFER THE MAINTENANCE OF THE LANDSCAPE TO THEM. INCLUDE AN ENTIRE EXPLANATION OF WHAT HAS BEEN DONE UP TO THAT TIME AND WHAT NEEDS IMMEDIATE ATTENTION. WALK THROUGH THE ENTIRE PROJECT WITH THE OWNER AND INSPECT FOR ACCEPTABILITY.
  - PLANT MATERIAL WARRANTY:  
 ALL TREES, SHRUBS, AND LAWN SHALL HAVE A ONE YEAR WARRANTY FROM THE DATE OF SUBSTANTIAL COMPLETION. ONE REPLACEMENT ONLY FOR ANY TREE, SHRUB OR LAWN AREA THAT DIES ESTABLISH THESE DATES WITH THE OWNER AND GENERAL CONTRACTOR.
  - METHOD OF IRRIGATION:  
 AUTOMATIC SPRINKLER SYSTEM.

# SPRINKLER NOTES

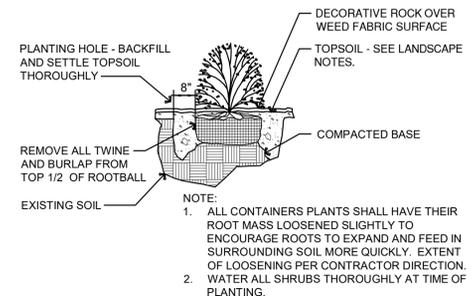
(FOR REFERENCE ONLY. MODIFY PER OWNER/CONTRACTOR AGREEMENT)

- GENERAL NOTES  
 A. THE LANDSCAPE SPRINKLER SYSTEM IS "BIDDER DESIGN" IN ASSOCIATION WITH CRITERIA DEFINED IN THESE NOTES AND DRAWINGS.  
 B. THE FOLLOWING INFORMATION IS PER BIDDER TO DETERMINE:  
 1.) POINT OF CONNECTION TO THE WATER SOURCE  
 2.) AUTOMATIC CONTROLLER LOCATION  
 3.) HEAD LOCATIONS  
 4.) SLEEVE LOCATIONS  
 5.) CONTRACTOR SHALL NOTE ANY FACTORS THAT WILL AFFECT BID PRICE BEFORE DOING ANY WORK WHERE A PRICE CHANGE WOULD BE REQUIRED.
- DESIGN FACTORS:  
 A. COORDINATE THE WATER SOURCE.  
 B. INCLUDE PROPER FOR DRAINAGE OF BACKFLOW PREVENTER, MAINLINE AND LATERALS.  
 C. PROVIDE ONE GATE VALVE WHICH TURNS THE SYSTEM ON/OFF, SEPARATE FROM THE BACKFLOW PREVENTER.  
 D. MAINLINE DEPTH: 18" (ALLOW FOR NO ROCKS NEXT TO MAINLINE) LATERAL DEPTH: 8"  
 E. PROVIDE ISOLATION VALVES AT ALL BRANCHES IN MAINLINE.  
 F. DO NOT EXCEED 6.0 PSI LOSS THROUGH ANY CIRCUIT CONTROL VALVE.  
 G. DO NOT EXCEED 5.0 FEET PER SECOND FLOW IN ANY MAIN OR CIRCUIT LINE.  
 H. USE COMMERCIAL GRADE 14 GAUGE U.F. WIRE FROM THE CONTROLLER TO THE CIRCUIT VALVES.  
 I. INSTALL ALL VALVES IN VALVE BOXES WITH LIDS, ACCEPTABLE MANUFACTURER: BROOKS OR EQUAL.  
 J. PROVIDE SLEEVES UNDER ALL CURBS, SIDEWALKS AND PAVED SURFACES. PLACE MAINLINE, LATERALS, AND WIRING IN SLEEVES AS APPROPRIATE. ALLOW 2" OF FREE SPACE - MAKING FOR EASE OF REMOVAL OF LINES.  
 K. HYDROSTATIC TEST: TEST MAINLINE AND VALVES. THEY SHALL HOLD 100 PSI FOR 10 MINUTES WITH A MAXIMUM LOSS OF 5 PSI. REPAIR ANY PIPE OR VALVE WHICH DOES NOT COMPLY.  
 L. FLUSH ALL LINES BEFORE APPLICATION OF NOZZLES.  
 M. CONNECT ALL HEADS TO LATERAL LINES USING FLEX TUBING AND SPIRAL BARB FITTINGS.  
 N. OBTAIN ALL NECESSARY PERMITS. COMPLY WITH PERTINENT UNIFORM PLUMBING CODE REQUIREMENTS.  
 O. COORDINATE WITH ALL OTHER TRADES.  
 P. PROVIDE OWNER WITH AN AS-BUILT DRAWING SHOWING ACTUAL LOCATIONS OF:  
 - P.O.C.  
 - BACKFLOW PREVENTER  
 - AUTOMATIC CONTROLLER  
 - MAINLINE ROUTING (DIMENSIONS AND SLEEVES AT HARD SURFACE CROSSINGS)  
 - VALVE BANKS  
 - LATERAL ROUTING (INDICATE WHICH VALVE RELATES TO WHICH CIRCUIT)  
 - HEAD LOCATIONS  
 - HOSE BIBS (HOSE CONNECTION POINTS FOR OWNER TO HAND WATER THE LANDSCAPE)
- BIDDER DESIGN AND PRICING RESPONSIBILITIES:  
 A. DYNAMIC WATER AVAILABILITY: CONFIRM AVAILABLE PSI AND GPM.  
 PSI = POUNDS PER SQUARE INCH  
 GPM = GALLONS PER MINUTE  
 B. IN ALL INSTANCES, SPRAY (NOT INFLUENCED BY WIND) IS TO FALL WITHIN THE LANDSCAPE BOUNDARIES. DO NOT THROW WATER ON BUILDINGS, WALKS OR DRIVES. IT IS UNDERSTOOD THAT MINOR OVER SPRAY WILL OCCUR. MINIMIZE AS MUCH AS POSSIBLE.  
 C. WINTERIZE THE SYSTEM THE FIRST YEAR FOLLOWING INSTALLATION AT NO ADDITIONAL COST.  
 D. CONTRACTOR SHALL INCLUDE ALL INCIDENTAL PARTS, NOT SPECIFICALLY DEFINED AS ARE REQUIRED TO INSTALL A PROPERLY OPERATING SPRINKLER SYSTEM AS PART OF BASE BID.
- SYSTEM WARRANTIES:  
 WARRANTY ENTIRE SYSTEM FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION. PARTS AND LABOR.

PLANT LEGEND					
TYPE	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	MATURE SIZE
SHRUBS, PERENNIALS & GRASSES	AJS	AUTUMN JOY SEDUM	SEDUM X 'AUTUMN JOY'	2 GAL.	18"-24" TALL & WIDE
	DAW	DWARF ARCTIC WILLOW	SALIX PURPUREA 'NANA'	5 GAL.	3'-5' TALL & WIDE
	RFCR	RED FLOWER CARPET ROSE	ROSA X 'NOARE'	2 GAL.	2'-3' TALL, 3' WIDE
	RS	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	5 GAL.	3'-5' TALL, 2'-4' WIDE
	CPB	CRIMSON PYGMY NINEBARK	BERBERIS THUNBERGII 'CRIMSON PYGMY'	2 GAL.	2'-3' TALL & WIDE
LS	LIMEMOUND SPIREA	SPIRAEA X BUMALDA 'MONHUB'	2 GAL.	3'-4' TALL & WIDE	
TREES	APWA	AUTUMN PURPLE WHITE ASH	FRAXINUS AMERICANA	2" CAL.	45'-60' TALL, 35'-50' WIDE
	SMHL	SHADEMASTER HONEYLOCUST	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SHADEMASTER'	2" CAL.	40'-50' TALL, 30'-40' WIDE
	WBJ	WICHITA BLUE JUNIPER	JUNIPERUS SCOPULORUM 'WICHITA BLUE'	5 GAL.	10'-15' TALL, 4'-6' WIDE

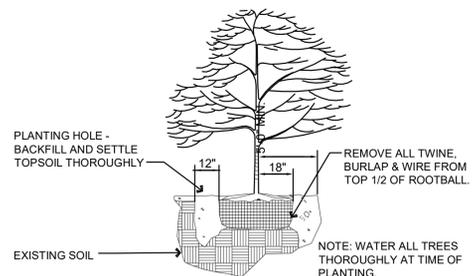
## SYMBOL LEGEND

- TURF GRASS
- DECORATIVE ROCK SURFACE OVER WEED FABRIC
- RIVER ROCK
- EXISTING TREE TO REMAIN
- PLANT MATERIAL IDENTIFICATION AND QUANTITY



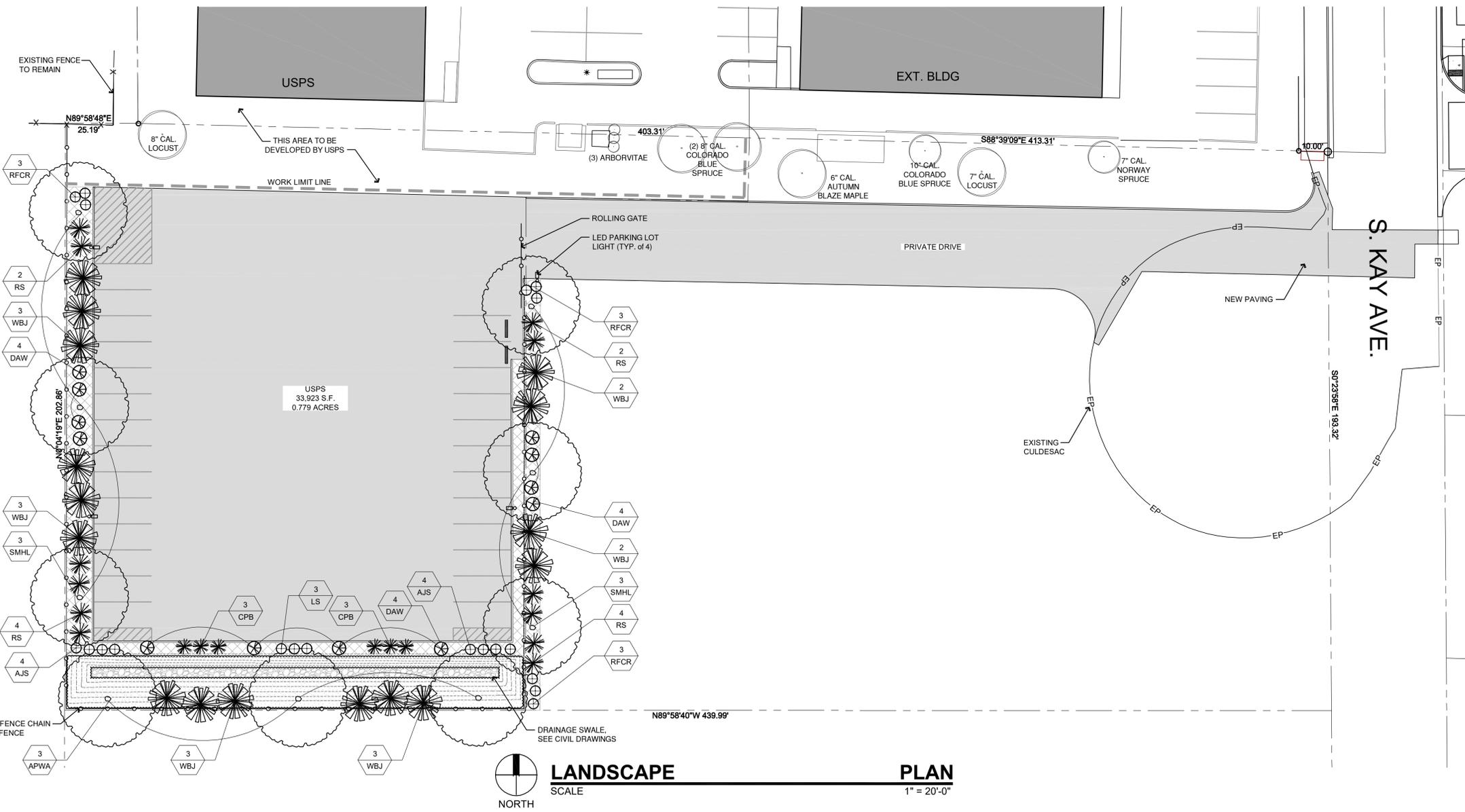
## SHRUB PLANTING DETAIL

SCALE NONE



## TREE PLANTING DETAIL

SCALE NONE



## LANDSCAPE PLAN

SCALE 1" = 20'-0"

REVISIONS	
DESCRIPTION	DATE

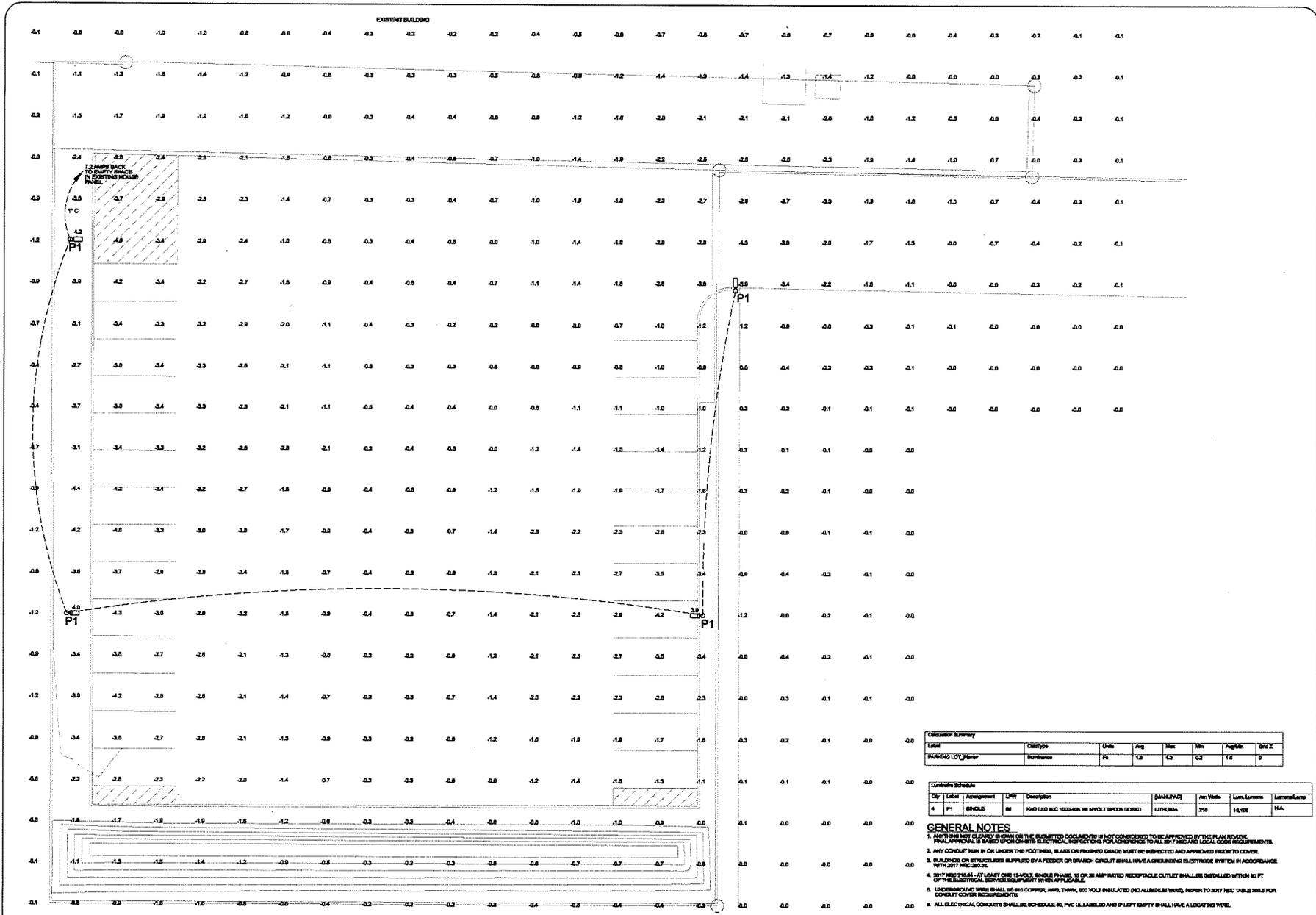
OWNER  
 NEW PARKING AREA FOR:  
**UNITED STATES POSTAL SERVICE**  
 199 S. KAY AVE., KUNA, ADA COUNTY, IDAHO 83634

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**M3 DESIGNS LLC**  
 DRAFTING AND DESIGN  
 P.O. Box 9845  
 Boise, ID 83707  
 (208) 394-2777  
 m3designs.net

SHEET DATA  
 DRAWN BY: MC  
 CHECKED BY: MC  
 SCALE: AS NOTED  
 DATE: 04.25.19  
 PROJECT #: 18015

SHEET NUMBER  
**L-1.0**



**SITE ELECTRICAL LIGHTING PLAN**  
SCALE 1"=10'

Label	Qty/Type	Units	Avg	Max	Min	Height	GRK
PARKING LOT/Floor	Surface	Fc	1.8	4.3	0.3	1.2	0

Qty	Label	Arrangement	DNV	Description	MANUFACT	Am. Watts	Lum. Lumens	Lumens/Lamp
4	P1	SHIELD	88	ROAD LEO REC 1000-40K 90 MVOLT SPDR DOBEO	LITONIA	210	16,100	N/A

- GENERAL NOTES**
1. ANYTHING NOT CLEARLY SHOWN ON THE SUBMITTED DOCUMENTS IS NOT CONSIDERED TO BE APPROVED BY THE PLAN REVIEW. FINAL APPROVAL IS BASED UPON THE ELECTRICAL INSPECTOR'S FINDINGS AND RESPONSE TO ALL CITY REC AND LOCAL CODE REQUIREMENTS.
  2. ANY CONDUIT RUN IN OR UNDER THE FOOTING, SLAB OR FINISHED GRADE MUST BE INSPECTED AND APPROVED PRIOR TO COVER.
  3. BUILDING OR STRUCTURES SUPPLIED BY A FEEDER OR BRANCH CIRCUIT SHALL HAVE A GROUNDING ELECTRODE SYSTEM IN ACCORDANCE WITH CITY REC 200.05.
  4. 307V REC 204.04 - AT LEAST ONE 15 AMP SINGLE PHASE, 15 OR 20 AMP RATED RECEPTACLE OUTLET SHALL BE INSTALLED WITHIN 60 FT OF THE ELECTRICAL SERVICE EQUIPMENT WHEN APPLICABLE.
  5. UNDERGROUND WIRE SHALL BE 90°C COPPER WIRE, THHN, 600 VOLT INSULATED (NO ALUMINUM WIRE), REFER TO CITY REC TABLE 200.04 FOR CONDUIT COVER REQUIREMENTS.
  6. ALL ELECTRICAL CONDUITS SHALL BE SCHEDULE 40, PVC UNLABLED AND IF LEFT EMPTY SHALL HAVE A LOCATING WIRE.

REVISION DATE	BY	DESCRIPTION



**KUNA USPS PARKING LOT**  
SITE PHOTOMETRIC

Sheet  
A1  
DATE PLOTTED  
1-11-19  
DATE AS SHOWN  
20 JAN 15 2019  
E-1

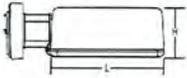


## KAD LED LED Area Luminaire



### Specifications

EPA: 1.2 ft  
0.37 lum  
Length: 37.1/2"  
48" max  
Width: 12.1/2"  
14.5" max  
Height: 7.1/8"  
10.5" max  
Weight: 26 lbs.  
15.4 kg



Ordering Information

Quantity: \_\_\_\_\_

Notes: \_\_\_\_\_

Date: \_\_\_\_\_

### Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.
- This luminaire is A+ Certified when ordered with DTL+ controls marked by a **shaded background**.
- DTL+ equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability.
- This luminaire is part of an A+ Certified solution for IQAMMP or Xpress™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a **shaded background**.

To learn more about A+, visit [www.acuitybrands.com/aaplus](http://www.acuitybrands.com/aaplus).

- See ordering tree for details.
- A+ Certified Solutions for IQAM require the order of one IQAM node per luminaire. Sold Separately. [Link to Node](#) [Link to DTL+](#).



### Ordering Information

EXAMPLE: KAD LED 40C 1000 40K RS MVOLT SPD04 D0BXD

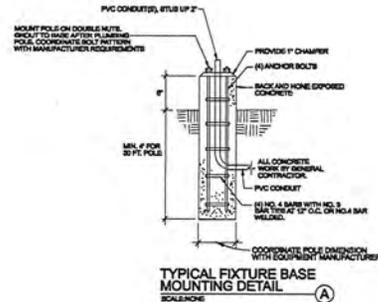
Item	SKU	Item Name	DT	Stock Status	Notes	Quantity	Notes
KAD LED	20C	20120	120	120W	40	120W	20120
	30C	30120	180	180W	40	180W	30120
	40C	40120	240	240W	40	240W	40120
	40K	40120	240	240W	40	240W	40120

Item	SKU	Item Name	DT	Stock Status	Notes	Quantity	Notes
KAD LED	20C	20120	120	120W	40	120W	20120
	30C	30120	180	180W	40	180W	30120
	40C	40120	240	240W	40	240W	40120
	40K	40120	240	240W	40	240W	40120



One Lithonia Way • Conley, Georgia 30127 • Phone 800.279.6381 • [www.lithonia.com](http://www.lithonia.com)

KAD LED  
Rev. 03/18/19






KUNA USPS PARKING LOT  
SITE LIGHTING DETAILS

DATE	10/15/19
BY	AS SHOWN
PROJECT	19-115
SCALE	E-2



**CITY OF KUNA**  
**P.O. BOX 13**  
**KUNA, ID 83634**  
[www.kunacity.id.gov](http://www.kunacity.id.gov)

Paul A. Stevens, P.E.  
Kuna City Engineer  
208-287-1727

## DESIGN REVIEW MEMORANDUM

**Date:** 6 May 2019  
**From:** Paul A. Stevens, P.E.  
**To:** Wendy Howell, Planning and Zoning Director  
**RE:** MICHAEL STAFFORD 19-12-DR

---

The Michael Stafford design review request dated May 1, 2019 has been reviewed. Reference is made to additional lots for commercial development however no formal submittal is present. The following narrative is limited to the design review request for the United States Postal Service parking lot and access driveway.

### 1. General

- a. The design review application shows a parking lot 149' 6" x 157' 6" and a driveway 270' x 28'. Street lights are required every 250 feet of street frontage. A street light should be considered at the intersection of S. Kay Street and the entrance to the parking lot.

### 2. On Site Stormwater Retention

- a. The Design Review Application shows a landscape buffer on sheet SP – 1. Storm water must be managed on site. It may be possible to utilize the landscape buffer to manage storm water.
  - i. Provide the subsurface seepage bed design with supporting calculations to the City Engineer's office for review before commencing construction.

### 3. Irrigation

- a. Pressurized irrigation is discussed in the cover letter which cites an arrangement with Cement Falls Park Subdivision for irrigation connection.
- b. Pressurized irrigation design and construction requires engineered plans that must be reviewed by the City of Kuna.
- c. Connection to the City potable water system for irrigation is generally not allowed.

### 4. Sewer

- a. A sewer mainline of sufficient capacity to service the proposed development on this property after the parking lot construction, is available in Cement Falls Park Subdivision.
- b. Provide engineered plans for the sewer extension to the City of Kuna.

### 5. Water

- a. Water mainline of sufficient capacity to service this property are available in S. Kay Street ROW on the east side of the subject property.



# City of Kuna

P.O. Box 13  
Phone: (208) 922-5274  
Fax: (208) 922-5989  
www.kunacity.id.gov

## Commission Findings of Fact & Conclusions of Law

**To:** Kuna Planning and Zoning Commission

**File Numbers:** 19-02-SUP MOD - (Special Use Permit) & 19-06-DR (Design Review); PiStem Academy

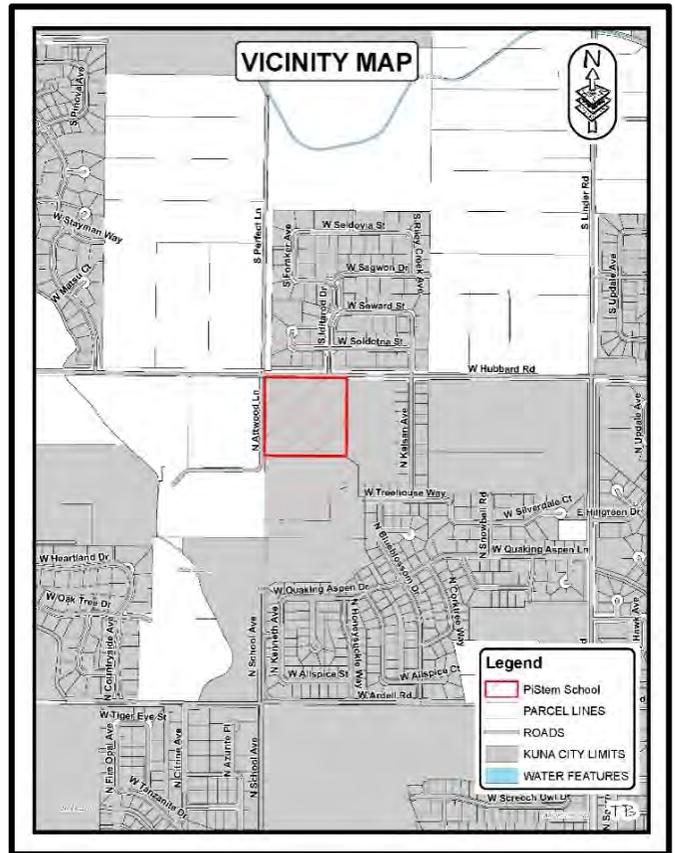
**Location:** 2273 W. Hubbard Rd.  
Kuna, Idaho 83634

**Planner:** Troy Behunin,  
Planner III

**Hearing date:** May 28, 2019

**Applicant:** **PISTEM Academy**  
Teresa Fleming—Board Chair  
2273 W. Hubbard Rd.  
Kuna, Idaho 83634  
208.576.4811  
[Tfleming@pistem.org](mailto:Tfleming@pistem.org)

**Representative:** Jeremy Terry  
2964 N. 920 E.  
North Logan, UT 84341  
435.671.9349  
[Jeremy@ensigndevelopmentgroup.com](mailto:Jeremy@ensigndevelopmentgroup.com)



### Table of Contents:

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| A. Course Proceedings    | G. Applicable Standards                 |
| B. Applicants Request    | H. Proposed Comprehensive Plan Analysis |
| C. Aerial map            | I. Proposed Findings of Fact            |
| D. History               | J. Proposed Kuna City Code Analysis     |
| E. General Project Facts | K. Proposed Conclusions of Law          |
| F. Staff Analysis        | L. Proposed Decision by the Commission  |

### A. Course of Proceedings:

1. In accordance with Kuna City Code (KCC); Title 5, Chapter 6, the applicant seeks approval of a Special Use Permit (SUP) MODIFICATION (MOD), in order to place additional modular classrooms and expand student enrollment for the PiSTEM Academy at 2275 W. Hubbard Road. The request for SUP MOD approval requires the public hearing process where the Commission is the decision making body.
2. KCC 5-4-2, Title 5, Chapter 4, Section 2, states that all new/additions to commercial shall also go through design review. A school is considered commercial. Accordingly, the applicant has submitted an

application for design review for the addition to the Pi Stem Academy site. The Commission is the decision making body for the design review application.

**a. Notifications**

- |                                     |                                       |
|-------------------------------------|---------------------------------------|
| i. Neighborhood Meeting             | March 16, 2019 (Two persons attended) |
| ii. Agencies                        | April 12, 2019                        |
| iii. 450' Notice to Property Owners | May 17, 2019                          |
| iv. Kuna, Melba Newspaper           | May 1, 2019                           |
| v. Site Posted                      | April 27, 2019                        |

**B. Applicants Request:**

The applicant, Teresa Fleming (Board Chairman, PiSTEM Academy), requests SUP Modification (MOD) approval in order to place two (2) additional portable buildings (approx. 28 feet x 64 feet each) for classroom and school purposes at their campus on Hubbard Rd.. If approved, the addition of the two modular's will bring the total to five (5) manufactured buildings on site, with a total of 429 students by fall of 2021. Applicant intends to have permanent buildings within three years after opening. The subject site is located at the southeast corner of Hubbard and School Ave., Kuna, ID 83634, within Section 14, T 2 N, R 1 W; (APN#S1314120891).

**C. Aerial Map:**



*@Copyrighted*

**D. History:** The property is within City limits and is zoned R-6 (Medium Density Residential). This parcel has historically been used for agriculture and residential uses. In 2018, approximately 5 acres became the PiSTEM Academy school site.

**E. General Project Facts:**

**1. Surrounding Land Uses:**

<b>North</b>	R-5	Medium Density Residential (MDR) – Kuna City
<b>South</b>	R-4	Medium Density Residential (MDR) – Kuna City
<b>East</b>	R-4	Medium Density Residential (MDR) – Kuna City
<b>West</b>	RR	Rural Residential – Ada County

**2. Parcel Sizes, Current Zoning, Parcel Numbers:**

- Parcel Size: Approximately 9.62 acres.
- Zoning: R-6 (Medium Density Residential [MDR] )
- Parcel #: S1314120890

**3. Services:**

Sanitary Sewer– City of Kuna	Domestic Water – City of Kuna
Irrigation District – Kuna Municipal District (KMID)	Pressurized Irrigation – Kuna Mun. Irr. System (KMIS)
Fire Protection – Kuna Rural Fire District	Police Protection – Kuna Police (Ada County Sheriff)
Sanitation Services – J & M Sanitation	

**4. Existing Structures, Vegetation and Natural Features:**

There are currently three modular buildings used for school purposes on approximately five acres of the 9.63 acre site, with vegetation on the remaining site that is typical for an Agriculture field.

**5. Transportation / Connectivity:**

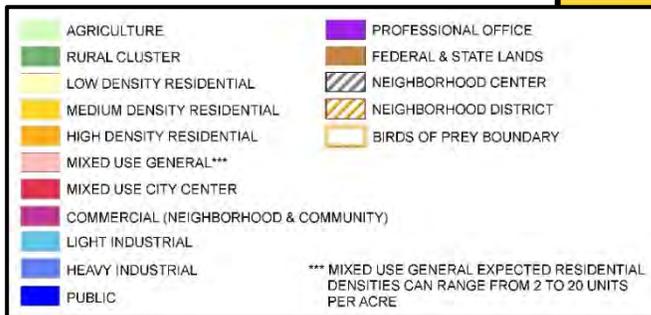
The site has significant frontage to Hubbard Road and future School Avenue. The project has ingress/egress from Hubbard at the east end of the site. There is also a recently improved new segment of School Avenue that is used for bus traffic and a turn-around

**6. Environmental Issues:**

Apart from being in the nitrate priority area, staff is not aware of any environmental issues, health or safety conflicts at this time. This site’s topography is generally flat.

**7. Comprehensive Future Land Use Map:**

The Future Land Use Map (FLU) identifies this site as MDR. Staff views this proposed Special Use request to be consistent with the stated use on the Council approved Comprehensive Plan Future Land Use Map.



**8. Agency Responses:**

The following agencies returned comments which are included as exhibits with this case file:

- City Engineer.....Exhibit B1
- Ada County Highway District .....Exhibit B2
- Central District Health Department .....Exhibit B3
- Department of Environmental Quality .....Exhibit B4
- Idaho Transpo. Department.....Exhibit B5

**F. Staff Analysis:**

The PiSTEM Academy School originally obtained a Special Use Permit (SUP) in June 2018, for three modular buildings (approximately 10,800 total SF for all three) for classrooms and administrative purposes with a student enrollment of 297 kids. In order to enlarge, expand, or change an SUP in anyway, it has been determined that the public hearing process must be applied for that modification (MOD). This proposed expansion makes it necessary to give the public a chance to voice their opinion in a public hearing setting.

The applicant requests approval to place two (2) additional modular classrooms (approximately 28 feet x 64 feet each, for a total of 3,584 additional SF) and expand the student enrollment to an ultimate number of 429. The applicant originally was approved for multiple phases in order to develop the nearly 10 acres of land and started by improving the first five (5) acres in the summer of 2018. The PiSTEM Academy started their first year of school with a school, a parking lot, playground and other supporting improvements in fall of 2018. Applicant anticipates that the modular units will be removed and brick and mortar building(s) will be built on site within three years of opening. The applicant Intends to construct permanent buildings within three (3) years from opening.

The applicant is appealing the conditions listed in the ACHD report (site specific conditions). Staff is unaware of when that hearing will take place.

This application includes a Design Review application for the buildings’ composition, color and materials. The packet has been assembled for the Commissions’ review, comments and suggestions. As the modular are similar to what was approved in 2018’s SUP, staff finds that the proposed materials for the building *generally* follow Kuna’s architectural guidelines. Staff would recommend that sod be placed again in the playground areas as needed. Last fall the sod placed did not have the time needed to take root. Staff noticed throughout the DRC inspections last fall that the new sod was suffering in some of the play areas. Staff notes that this application did not include an application for signage; staff reminds the applicant that all signage must also go through design review by the DRC.

Staff has determined that this application generally complies with Title 5, Chapters 4 and 6 of Kuna City Code, the Kuna Comprehensive Plan, and forwards a recommendation of approval for Case No’s 19-02-SUP and 19-06-DR to the Planning and Zoning Commission, subject to the recommended conditions of approval.

**G. Applicable Standards:**

1. Kuna City Code, Title 5, Zoning Regulations
2. City of Kuna Comprehensive Plan
3. Idaho Code, Title 67, Chapter 65, Local Land Use Planning Act

**H. Comprehensive Plan Analysis:**

The Kuna Planning and Zoning Commission may accept or reject the Comprehensive Plan components as described below:

1. The proposed Special Use Permit MOD application for the site is consistent with the following comprehensive plan components:

## 2.0 – Property Rights

**Goal 1: Ensure that the City of Kuna land use policies, restrictions, conditions and fees do not violate private property rights. Establish an orderly, consistent review process for the City of Kuna to evaluate whether proposed actions may result in private property “takings”.**

Policy: As part of a land use action review, the staff shall evaluate with guidance from the City’s attorney; The Idaho Attorney General’s six criteria established to determine the potential for property taking.

## 4.0 – School Facilities

**Goal 1: Provide high-quality education.**

Objective 1.1.a:

Provide adequate school capacity for present and future enrollment.

**Goal 3: Ensure that the location of school facilities is incorporated into the long range comprehensive planning process so that schools may serve as the neighborhood focal point.**

Objective 3.1: Support the efforts to the School District and Charter School to ensure that adequate school sites are provided.

## 6.0 – Land Use

**Goal 2: Encourage a balance of land uses to ensure that Kuna remains a desirable, stable and self-sufficient community**

Objective 2.2:

Plan for areas designed to accommodate a diverse range of businesses and commercial activity – within both the community-scale and neighborhood-scale centers – to strengthen the local economy and to provide more opportunities for social interaction.

### I. Findings of Fact:

1. Based on the record contained in Case No’s 19-02-SUP and 19-06-DR, including the exhibits, staff’s report and any public testimony at the public hearing, the Planning and Zoning Commission of Kuna, Idaho, hereby **approves/conditionally approves/denies** the Findings of Fact and Conclusions of Law, and the conditions of approval for Case No’s 19-02-SUP and 19-06-DR.
2. The Kuna Planning and Zoning Commission conditionally approves the facts as outlined in the staff report, the public testimony and the supporting evidence list presented.

**Comment:** *The Kuna Commission held a public hearing on the subject applications on May 28, 2019, to hear from the City staff, the applicant, and to accept public testimony. The decision by the Commission is based on the application, staff report and public testimony, both oral and written*

3. Based on the evidence contained in Case No’s 19-02-SUP and 19-06-DR, this proposal appears to generally comply with the Comprehensive Plan and Future Land Use Map.

**Comment:** *The Comp Plan Future Land Use Map designates the approximately 9.62 acres (project site) as MDR. The proposed school facility is allowed in this zone after obtaining and modifying their existing SUP.*

4. The Kuna Planning and Zoning Commission has the authority to approve these applications.

**Comment:** *On May 28, 2019, Kuna’s Planning and Zoning Commission voted to **approve/conditionally approve/deny** Case No’s 19-02-SUP and 19-06-DR.*

5. The public notice requirements were met and the public hearing was conducted within the guidelines of applicable Idaho Code and City Ordinances.

**Comment:** *As noted in the process and noticing section, notice requirements were met to hold a public hearing on May 28, 2019.*

**J. Kuna City Code Analysis:**

1. This request appears **to be/ not to be** consistent in compliance with all Kuna City Code (KCC).

**Comment:** *The proposed application adheres to the applicable requirements of Title 5, Chapters 4 and 6, of the KCC.*

2. The site **is/is not** physically suitable for the proposed new charter school.

**Comment:** *The approximately 9.62 acre project site remains suitable for a school facility.*

3. The Special Use Permit **is/is not** likely to cause substantial environmental damage or avoidable injury to wildlife or their habitat

**Comment:** *The land to house the school is not used as wildlife habitat. Roads, structures and open space already exist and will therefore not cause environmental damage or loss of habitat.*

4. The Special Use Permit application **is/ is not** likely to cause adverse public health problems.

**Comment:** *The proposed additional modular are hereby required to connect to Kuna public sewer and water eliminating the occurrence of adverse public health problems.*

5. The application appears to avoid detriment to the present and potential surrounding uses; to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing adjacent uses.

**Comment:** *The Special Use Permit MOD request considers the location of the property and adjacent uses. The adjacent uses are residential – as referenced in the Kuna Comprehensive Plan Future Land Use Map.*

6. The existing and proposed utility services in proximity to the site **are/are not** suitable and adequate for this use.

**Comment:** *Utility services are available and nearby to the school facility and adequate for this school.*

**K. Conclusions of Law:**

1. Based on the evidence contained in Case No's 19-02-SUP and 19-06-DR, Commission finds Case No's 19-02-SUP and 19-06-DR, generally comply with Kuna City Code.
2. Based on the evidence contained in Case No's 19-02-SUP and 19-06-DR, Commission finds Case No's 19-02-SUP and 19-06-DR are generally consistent with Kuna's Comprehensive Plan.
3. The public notice requirements have been met and the neighborhood meeting was conducted within the guidelines of applicable Idaho Code and City Ordinances.

**L. Decision by the Commission:**

**Note:** *19-02-SUP MOD (Special Use Permit Modified): This motion is for **approval, conditional approval or denial** of these requests. However, if the Planning and Zoning Commission wishes to approve or deny specific parts of these requests as detailed in the report, those changes must be specified.*

Note: **19-06-DR (Design Review):** This motion is for **approval, conditional approval or denial** of these requests. However, if the Planning and Zoning Commission wishes to approve or deny specific parts of these requests as detailed in the report, those changes must be specified.

Based on the facts and exhibits outlined in staff's report, the public testimony as presented, the Planning and Zoning Commission of Kuna, Idaho, hereby **approves / conditionally approves / denies** Case No's 19-02-SUP and 19-06-DR, a Design Review request by Teresa Fleming, with the PiSTEM Academy (Board Chair) with the following conditions of approval:

1. In the event the uses or the building on this parcel are enlarged, expanded upon or altered in anyway (even for temporary purposes), the landowner/applicant/developer, and any future assigns having interest in the subject property, shall seek an amendment to the approvals of this Special Use Permit through the public hearing process.
2. All easements and public right-of-way shall be dedicated and constructed to standards of the City and Ada County Highway District. Any work within the Ada County Highway District right-of-way requires a permit.
3. **Applicant shall pay all ACHD impact fees prior to issuance of a building permit from the City of Kuna.**
4. Applicant shall make/improve connections to city services and utilities, and pay any differences that may arise with the expansion of the building, for sewer, potable water and/or pressure Irrigation connection fees.
5. Installation of service facilities shall comply with the requirements of the public utility and irrigation district providing the services. All utilities shall be installed underground.
6. Compliance with Idaho Code, Section §31-3805, pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site.
7. Applicant shall provide/maintain eight foot (8') sidewalks along both road frontages.
8. Applicant shall provide/maintain street and parking lot LED lighting according to KCC.
9. This SUP is valid as long as the conditions of approval are adhered to continuously. In the event the conditions are not continuously followed; the SUP approval may be revoked by the Planning and Zoning Commission.
10. This development is subject to Design Review inspections for the landscaping, lighting, signage, parking and buildings (as applicable), prior to the issuance of any Certificate of Occupancy.
11. The applicant shall return for modification to this SUP at time of future expansion and/or alterations.
12. The site plan and landscape plans date stamped 3.18.19 shall be considered binding, except as altered and/or approved by the Design Review Committee.
13. Design Review is required for all signage through a separate application.
14. This SUP is not transferable to another property.
15. Applicant must work with the City Engineer to provide all utility easements and items necessary and as requested by him prior to C of O being issued for the new modulars.
16. All conditions of approval from the original SUP are still in effect, unless otherwise modified through the public hearing process with the Planning and Zoning Commission.
17. The applicant shall follow all staff and agency recommendations.
18. The applicant shall comply with all local, state and federal laws.

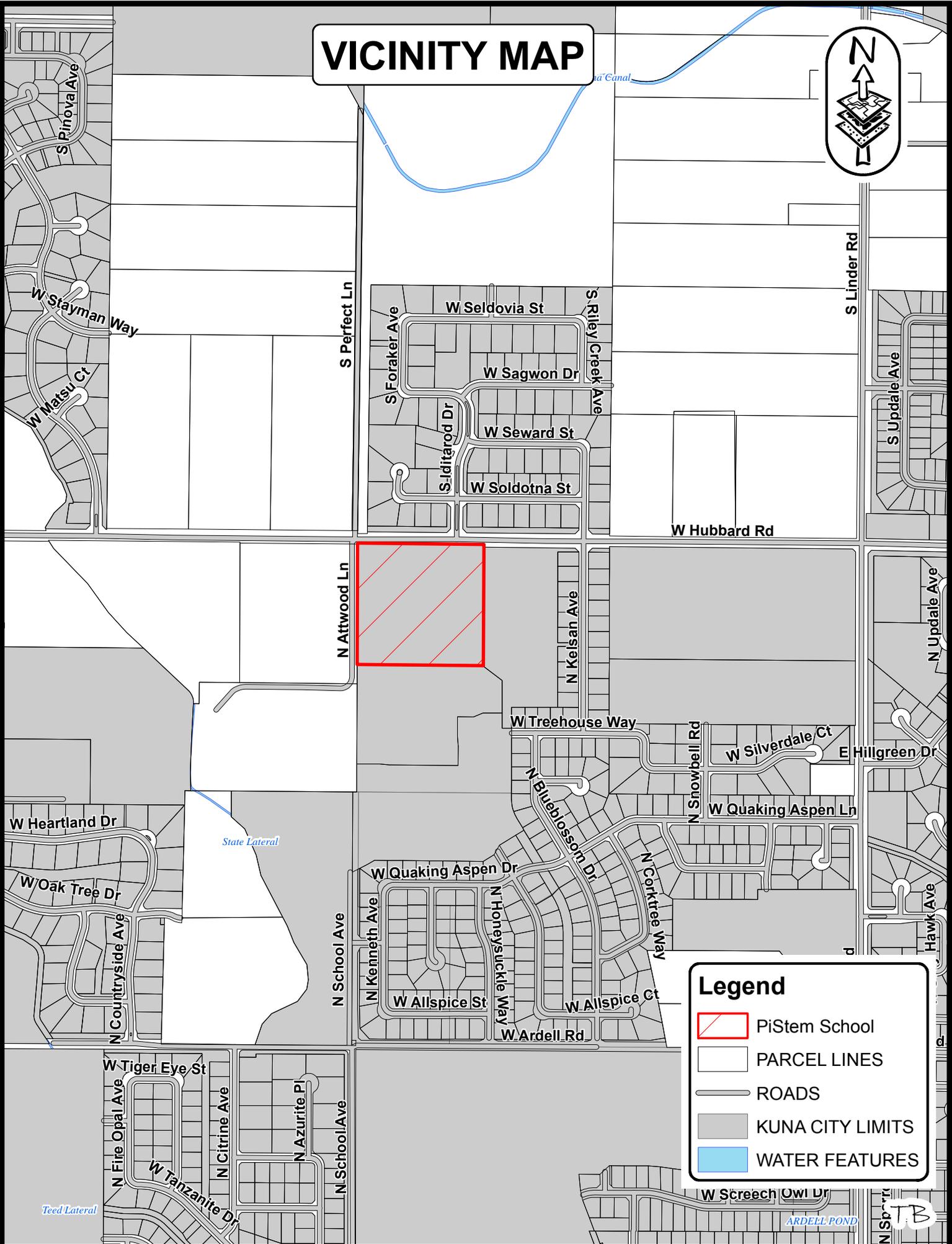
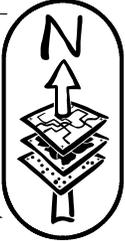
DATED: this \_\_\_\_\_, day of \_\_\_\_\_, 2019.

---

Lee Young, Chairman  
Kuna Planning and Zoning Commission

ATTEST: \_\_\_\_\_  
Troy Behunin, Planner III,  
Kuna Planning and Zoning Department

# VICINITY MAP



**Legend**

-  PiStem School
-  PARCEL LINES
-  ROADS
-  KUNA CITY LIMITS
-  WATER FEATURES



PiStem  
Academy



*“Invested in the life-long pursuit of knowledge.”*



**Project Impact STEM Academy**  
**Public Charter School in Kuna, ID**

April 10, 2019

Project Impact STEM Academy (Pi STEM)  
1577 N. Linder Road MB 162  
Kuna, Idaho 83634

Planning & Zoning Department  
751 W. 4<sup>th</sup> Street  
PO Box 13  
Kuna, Idaho 83634

Dear Sirs:

I am writing today to discuss Pi STEM’s recent request for review of its special use permit, provide an update on the school’s first year, and highlight the future plans.

When I last wrote your department, I shared with you the overwhelming desire found within the community for Pi STEM and its programs. And although the school has faced some initial hurdles, this desire from the community is still evident as we look forward to our upcoming lottery to be held in May. We are continuing to see the applications come in and fully anticipate the ability to fill the allowable capacity we have in the school’s charter for this year and each year after:

School Year	Grades	State allowed enrollment
2019 – 2020	K – 10 <sup>th</sup>	363
2020 – 2021	K – 11 <sup>th</sup>	396
2021 – beyond	K – 12 <sup>th</sup>	429

When we meet with you nearly a year ago, we discussed the school’s intended plan to build a permanent structure and develop the school’s vision to be a community center for learning. This goal has not changed, and the Board, administration and committees continue to work with this focus. While Phase I development has worked well in most aspects of our first year, we have determined a few areas for improvement.



The first of which relates to concerns from our parents, staff, and the surrounding community regarding the lack of a crosswalk area near the school and the park. We have had several discussions with both your offices and ACHD and will continue to review options to ensure the safety of the students.

We have also found our originally assessed classroom space needs were not adequate – in short, we need more space for the students and their instruction. For this reason, we are looking to rent additional portable space (4 classrooms) and add these on site for the upcoming school year.

It has been noted that the school site is not well recognized as a school with a lack of roadside signage. Our Building and Space committee is actively working on proposals for the Board to develop a roadside sign. We understand there is a necessary process with the city for this and will be sure to complete the necessary applications once a consensus has been reached.

The final Phase I/Year 1 improvements we are focusing on is the addition of a playground. The PTA has diligently been working to raise the necessary funding through both fundraisers as well a grant writing.

While the initial year was not completely without bumps, and certainly not perfect, we do feel we have reflected on the areas we can improve. We are working to develop solutions with our parents, staff and community to ensure the success of Pi STEM and continue to strongly believe in the benefits the school provides to students and the larger Kuna community.

Thank you for your consideration and I look forward to our continued efforts together.

Sincerely,

Teresa M. Fleming  
Board Chairman  
Project Impact STEM Academy  
tfleming@pistem.org

**received**  
3.18.19



City of Kuna  
Planning & Zoning  
Department  
P.O. Box 13  
Kuna, Idaho 83634  
208.922.5274  
Fax: 208.922.5989  
Website: www.cityofkuna.com

### Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

\*Please submit the appropriate checklist (s) with application

For Office Use Only	
File Number (s)	19-02-SUP & 19-06-DR
Project name	PI stem Addition
Date Received	3/18/19
Date Accepted/Complete	
Cross Reference Files	
Commission Hearing Date	
City Council Hearing Date	

**Type of Review (check all that apply):**

- Annexation
- Appeal
- Comprehensive Plan Amendment
- Design Review
- Development Agreement
- Final Planned Unit Development
- Final Plat
- Lot Line Adjustment
- Lot Split
- Planned Unit Development
- Preliminary Plat
- Rezone
- Special Use
- Temporary Business
- Vacation
- Variance

**Contact/Applicant Information**

Owners of Record: <u>PISA Land Holding</u>	Phone Number: <u>801-671-9349</u>
Address: <u>2694 N 920 E</u>	E-Mail: <u>jeremy@ensigndevelopmentgroup.com</u>
City, State, Zip: <u>North Logan, UT 84341</u>	Fax #: <u>n/a</u>
Applicant (Developer): <u>Teresa Fleming</u>	Phone Number: <u>208-576-4811</u>
Address: <u>1577 N. Linder Rd. MB162</u>	E-Mail: <u>tfleming@pistem.org</u>
City, State, Zip: <u>Kuna, ID 83634</u>	Fax #: <u>n/a</u>
Engineer/Representative: _____	Phone Number: _____
Address: _____	E-Mail: _____
City, State, Zip: _____	Fax #: _____

**Subject Property Information**

Site Address: <u>2275 W. Hubbard Rd.</u>	
Site Location (Cross Streets): <u>W. Hubbard + School Ave.</u>	
Parcel Number (s): <u>51314120890</u>	
Section, Township, Range: _____	
Property size: <u>9.62 acres</u>	
Current land use: <u>school</u>	Proposed land use: <u>school</u>
Current zoning district: <u>R6</u>	Proposed zoning district: <u>R6</u>

**Project Description**

Project / subdivision name: n/a

General description of proposed project / request: adjust current school SUP

Type of use proposed (check all that apply):

Residential \_\_\_\_\_

Commercial \_\_\_\_\_

Office \_\_\_\_\_

Industrial \_\_\_\_\_

Other School

Amenities provided with this development (if applicable): \_\_\_\_\_

**Residential Project Summary (if applicable)**

Are there existing buildings?  Yes  No

Please describe the existing buildings: 3 pit set portable classroom structures

Any existing buildings to remain?  Yes  No

Number of residential units: \_\_\_\_\_ Number of building lots: \_\_\_\_\_

Number of common and/or other lots: \_\_\_\_\_

Type of dwellings proposed:

Single-Family \_\_\_\_\_

Townhouses \_\_\_\_\_

Duplexes \_\_\_\_\_

Multi-Family \_\_\_\_\_

Other \_\_\_\_\_

Minimum Square footage of structure (s): \_\_\_\_\_

Gross density (DU/acre-total property): \_\_\_\_\_ Net density (DU/acre-excluding roads): \_\_\_\_\_

Percentage of open space provided: \_\_\_\_\_ Acreage of open space: \_\_\_\_\_

Type of open space provided (i.e. landscaping, public, common, etc.): \_\_\_\_\_

**Non-Residential Project Summary (if applicable)**

Number of building lots: 1 Other lots: 1

Gross floor area square footage: ~12,500 Existing (if applicable): ~10,800

Hours of operation (days & hours): 7-5 Building height: Phase 1 - 20'

Total number of employees: 20 Max. number of employees at one time: 20

Number and ages of students/children: \*see attached Seating capacity: 537

Fencing type, size & location (proposed or existing to remain): fence between developed + un developed to remain

Proposed Parking:

a. Handicapped spaces: 2 Dimensions: \_\_\_\_\_

b. Total Parking spaces: 32 Dimensions: \_\_\_\_\_

c. Width of driveway aisle: 25'

Proposed Lighting: completed / no additional

Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.): completed / no additional

Applicant's Signature: Luisa Fleming Date: 2/25/19

City of Kuna

Commission & Council Review Application

Special Use Request for Project Impact STEM Academy

Additional details regarding Number and Ages of students/children:

**2018-2019 (current SUP):**

K: 33  
1<sup>st</sup>: 33  
2<sup>nd</sup>: 33  
3<sup>rd</sup>: 33  
4<sup>th</sup>: 33  
5<sup>th</sup>: 33  
6<sup>th</sup>: 33  
7<sup>th</sup>: 33  
9<sup>th</sup>: 33  
**Total: 297**

**2019-2020:**

K: 33  
1<sup>st</sup>: 33  
2<sup>nd</sup>: 33  
3<sup>rd</sup>: 33  
4<sup>th</sup>: 33  
5<sup>th</sup>: 33  
6<sup>th</sup>: 33  
7<sup>th</sup>: 33  
8<sup>th</sup>: 33  
9<sup>th</sup>: 33  
10<sup>th</sup>: 33  
**Total: 363**

**2020-2021:**

K: 33  
1<sup>st</sup>: 33  
2<sup>nd</sup>: 33  
3<sup>rd</sup>: 33  
4<sup>th</sup>: 33  
5<sup>th</sup>: 33  
6<sup>th</sup>: 33  
7<sup>th</sup>: 33  
8<sup>th</sup>: 33  
9<sup>th</sup>: 33  
10<sup>th</sup>: 33  
11<sup>th</sup>: 33  
**Total: 396**

**2021-2022:**

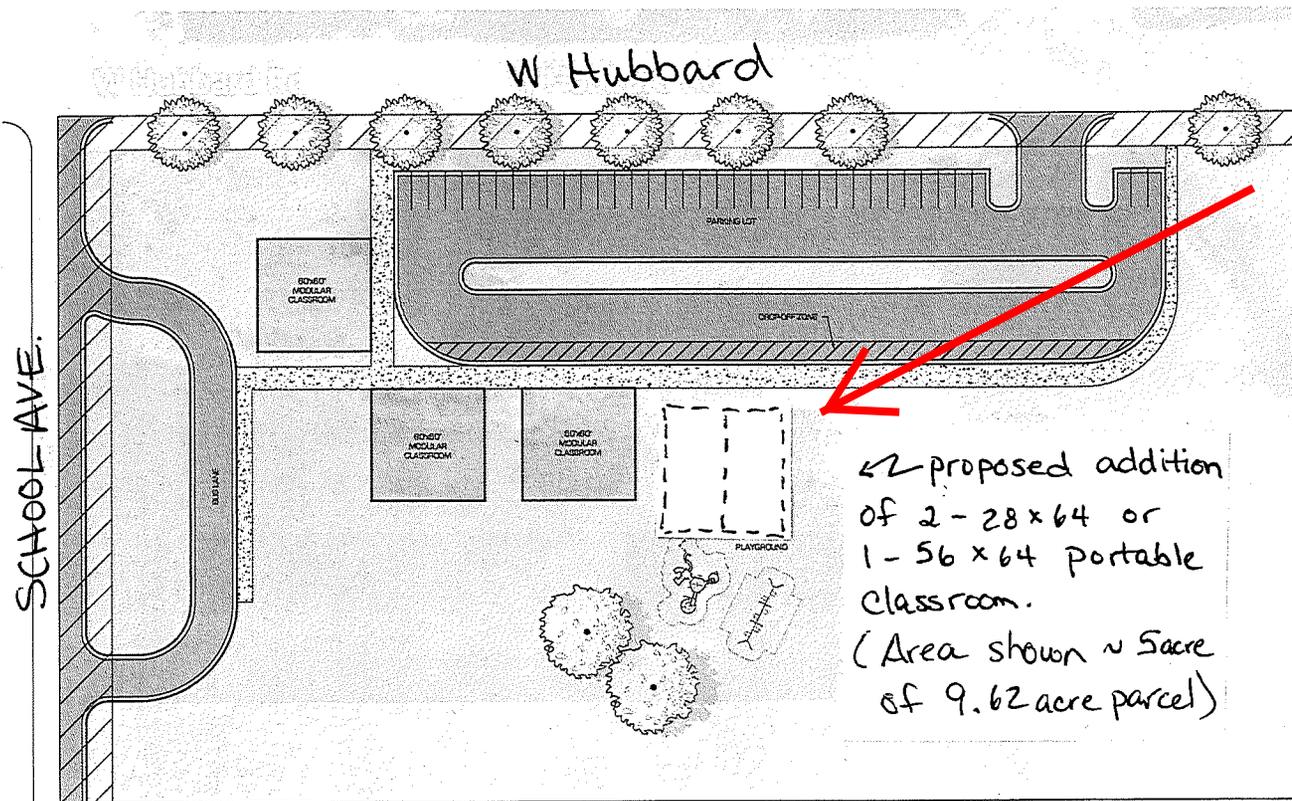
K: 33  
1<sup>st</sup>: 33  
2<sup>nd</sup>: 33  
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8<sup>th</sup>: 33  
9<sup>th</sup>: 33  
10<sup>th</sup>: 33  
11<sup>th</sup>: 33  
12<sup>th</sup>: 33  
**Total: 429**

# KUNA CHARTER SCHOOL - Project Impact STEM Academy

## CONCEPT 3

SCALE: 1"=30'

received  
3.18.19

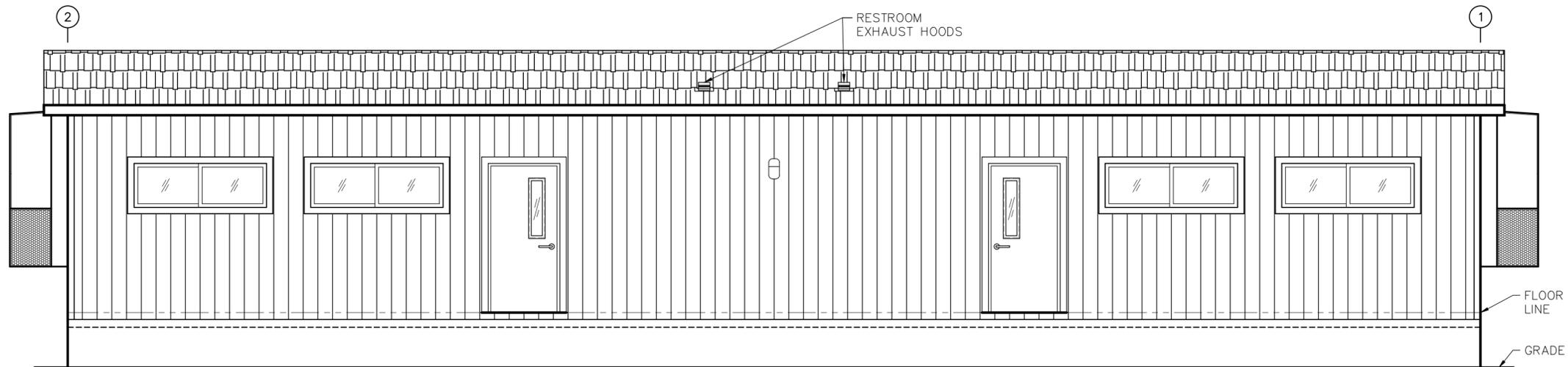


← proposed addition  
of 2 - 28 x 64 or  
1 - 56 x 64 portable  
classroom.  
(Area shown ~ 5acre  
of 9.62 acre parcel)

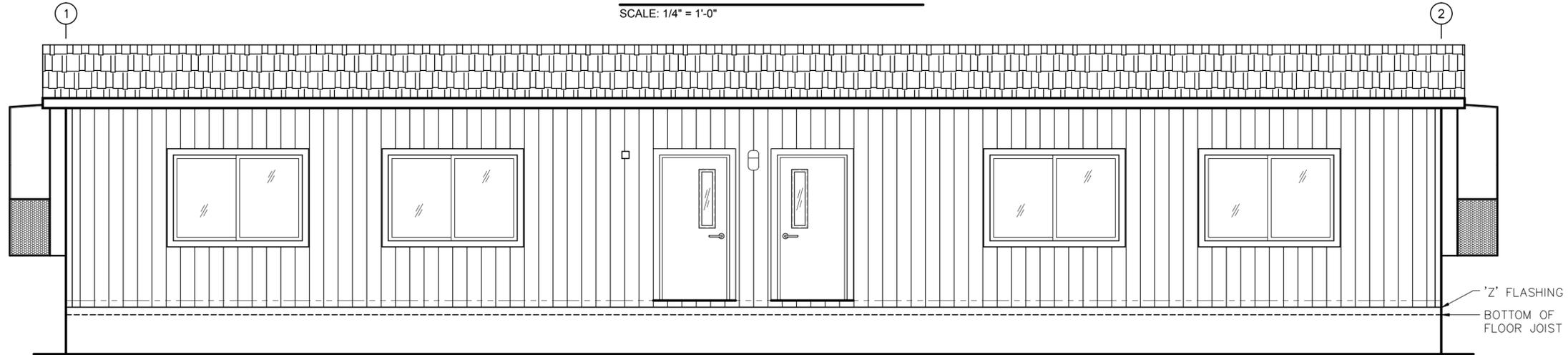


Know what's below.   
Call 811 before you dig.  
BLUE STAKES OF UTAH  
UTILITY NOTIFICATION CENTER, INC.  
www.bluestakes.org  
1-800-652-4111

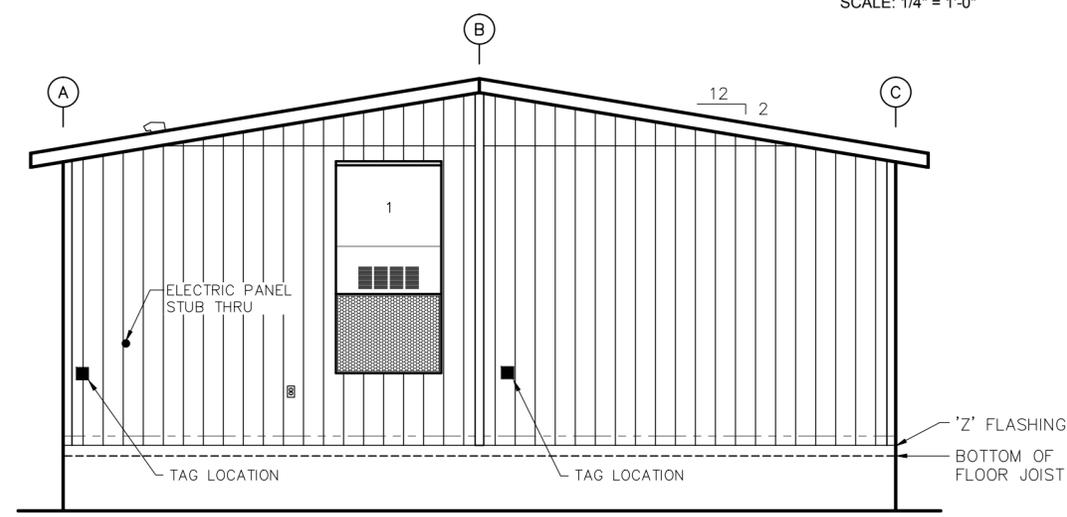
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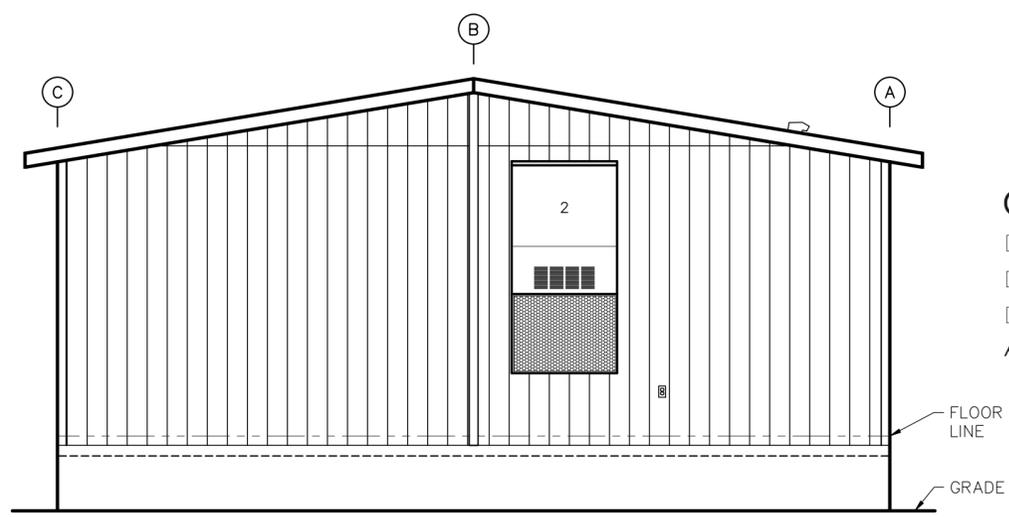
**WALL A ELEVATION**  
SCALE: 1/4" = 1'-0"



**WALL C ELEVATION**  
SCALE: 1/4" = 1'-0"



**WALL 1 ELEVATION**  
SCALE: 1/4" = 1'-0"



**WALL 2 ELEVATION**  
SCALE: 1/4" = 1'-0"

**CUSTOMER APPROVAL**  
 APPROVED  
 APPROVED EXCEPT AS NOTED  
 REVISE AS NOTED AND RESUBMIT  
 APPROVED By \_\_\_\_\_ Date \_\_\_\_\_

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

5-13-19	PLAN REVIEW - SP	TRO
DATE	REVISION	BY

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MODULAR  
28x64  
OR, WA, ID

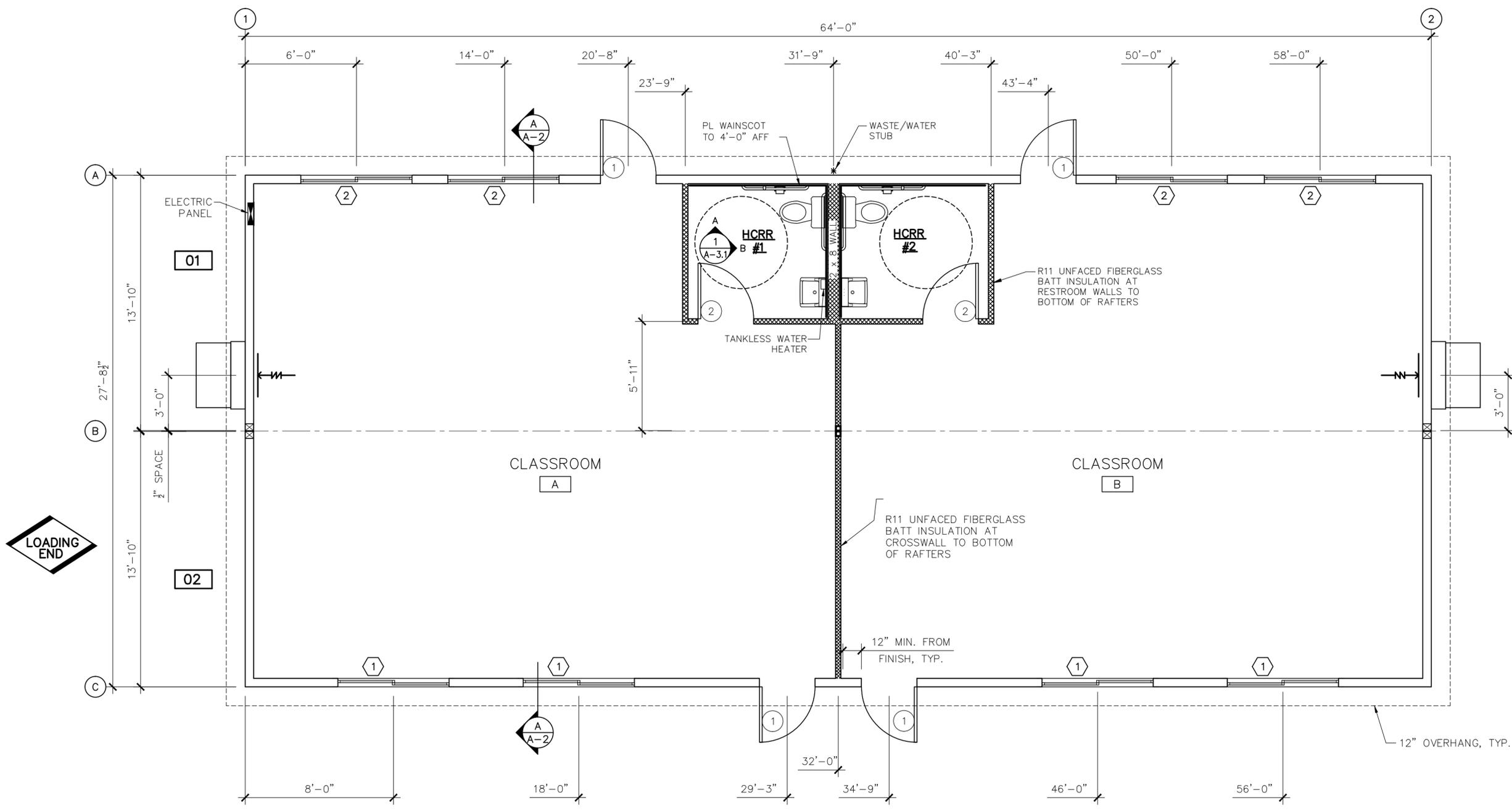
CLASSROOM / HCRR for:  
**Lease Unit**  
Pacific Mobile

Approved for Const:	Job No: 19447-48
File Copy:	<b>A-3</b>
Drawn By: TRO	
Issue Date: 5-13-19	

19 BLMP-36

R:\2019 Drawings\Classrooms and Daycares\19447-48 Lease Classroom HCRR 28x64.dwg, A-3, 5/13/2019 3:14:36 PM

R:\2019 Drawings\Classrooms and Daycares\19447-48 Lease Classroom HCRR 28x64.dwg, A-1, 5/13/2019 3:14:34 PM



# FLOOR PLAN

SCALE: 1/4" = 1'-0"

**CUSTOMER APPROVAL**

APPROVED

APPROVED EXCEPT AS NOTED

REVISE AS NOTED AND RESUBMIT

APPROVED By \_\_\_\_\_ Date \_\_\_\_\_

**PRELIMINARY**

NOT FOR CONSTRUCTION

5-13-19	PLAN REVIEW - SP	TRO
DATE	REVISION	BY

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MODULAR  
28x64  
OR, WA, ID

CLASSROOM / HCRR for:  
**Lease Unit**  
Pacific Mobile

19 BLMP-36

Approved for Const:	Job No: 19447-48
File Copy:	
Drawn By: TRO	
Issue Date: 5-13-19	

**A-1**



# Exhibit B 1



CITY OF KUNA  
P.O. BOX 13  
KUNA, ID 83634

Paul A. Stevens, P.E.  
Kuna City Engineer  
208-287-1727

## PISTEM SCHOOL EXPANSION MEMORANDUM Special Use Permit Modification

**To:** Wendy Howell – Director of Planning and Zoning  
**From:** Paul Stevens – City Engineer  
**RE:** Pi Stem School Project  
South of Hubbard Road and West of Arbor Ridge Park  
Addition of 2 Temporary classrooms  
19-02-SUP (Special Use Permit MODIFY)  
**Date:** 24 May 2019

---

Public works staff has reviewed the April 9, 2019 application # 19-02-SUP that proposes adding two modular classroom units estimated at 28' x 64' to the existing school facility.

The following comments supplement those comments originally submitted on May 14, 2018 in response to the first school approval request.

### 1. Sanitary Sewer System

- a. The additional classroom units will generate additional equivalent dwelling units (EDU).
- b. The number of equivalent dwelling units will be determined at the time of building permit application, at which time connection fees will be due and payable.

### 2. Potable Water System

- a. The Kuna Fire Department (KFD) must approve the final classroom layout.
- b. The Developer shall install additional fire hydrants if required by KFD.
- c. Additional EDUs will result from this expansion.
- d. The number of additional EDUs will be determined at the time of building permit application. Fees associated with the additional EDUs will be collected when issuing the building permit.

# Exhibit B 1

### 3. **Pressurized Irrigation:**

The proposed school expansion should not affect Pressurized Irrigation.

### 4. **Grading, Gravity Irrigation Storm Drainage**

Additional impervious areas/hardscape will result from the school expansion. Review the storm water retention facilities in accordance with the following items. Other items may apply. The engineer of record is responsible for any items not listed but that are necessary to complete the project as a high quality, well engineered system.

- a. Runoff from public right-of-way is regulated by ACHD. Plans are required to conform to ACHD standards.
- b. Design of the storm water disposal system for the private property portion of the development is subject to the review of the City Engineer and any affected drainage entity.
- c. Runoff shall be detained, treated and released at rates equal to historical runoff rates.
- d. Runoff quality shall be equal to or better than historical runoff quality.

### 5. **Public Works Inspection Fees**

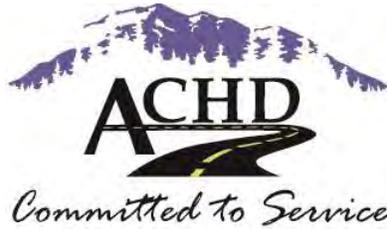
An inspection fee will be required for any public water, sewer and irrigation construction work associated with the expansion of this development. The developer shall contract with a qualified (Idaho P.E.), responsible engineer to provide inspections and certify to the City of Kuna that the project was completed in accordance with approved plans and specifications.

### 6. **Record (As-Built) Drawings**

The Pi Stem school's contract, qualified, responsible engineer shall provide accurate record (as-built) drawings to the City. Record drawings shall be required before occupancy is granted.

# Waiver Request

## In the back of the Packet.



Rebecca W. Arnold, President  
 Mary May, 1<sup>st</sup> Vice-President  
 Sara M. Baker, 2<sup>nd</sup> Vice-President  
 Jim D. Hansen, Commissioner  
 Kent Goldthorpe, Commissioner

May 17, 2019

To: Teresa Fleming  
 1577 N. Linder Road  
 Kuna, ID 83634

Subject: Trak It Number/ 19-02-SUP  
 2275 W. Hubbard Road  
 PiStem Academy Addition

*This is a special use permit application to allow for the addition of 4 portable buildings, 2 to be constructed in 2019 and 2 in 2020, which will allow for total enrollment to increase from 297 to 429 students.*

## A. Findings of Fact

### 1. Pedestrian Safety/Improvements

- a. **Staff Comments/Recommendations:** In June of 2018 ACHD reviewed and approved a special use permit application for PiStem Academy. As part of the prior application a school site checklist was provided to ACHD as required per Idaho Code. The school site check list did not recommend the installation of school zone flashers or crosswalks on Hubbard Road, noting that students will primarily arrive by bus and parent drop-off/pick-up.

Since the opening of the school in the fall of 2018, ACHD Traffic Services and Planning Review staff have received correspondence from parents regarding the lack of school zone flashers and a crosswalk on Hubbard Road, as students are crossing Hubbard Road from subdivisions on the north side of the roadway to access the school. With the additional portable classrooms enrollment will increase and it likely that there will be an increase in students crossing Hubbard Road to access the school.

To ensure safe pedestrian access to the school, prior to the occupancy of any new portable building the applicant should be required to install school zone flashers on Hubbard Road and to install a signalized HAWK crossing on Hubbard Road at Iditarod Drive. The crosswalk should be constructed on the east side of Iditarod Drive where there is a sidewalk that provides access to the school. This will eliminate the need for pedestrians to cross in front of a driveway to access the school site.

The PiStem Academy shall be responsible for all costs associated with the design, hardware, and construction of any additional pedestrian facilities needed to accommodate future pedestrian needs of the school. This includes flashing beacons, crosswalk striping and signage, and HAWK signals or RRFBs.

## 2. School Street

### a. Policy

**Collector Street Policy:** District policy 7206.2.1 states that the developer is responsible for improving all collector frontages adjacent to the site or internal to the development as required below, regardless of whether access is taken to all of the adjacent streets.

**Master Street Map and Typologies Policy:** District policy 7206.5 states that if the collector street is designated with a typology on the Master Street Map, that typology shall be considered for the required street improvements. If there is no typology listed in the Master Street Map, then standard street sections shall serve as the default.

**Street Section and Right-of-Way Policy:** District policy 7206.5.2 states that the standard right-of-way width for collector streets shall typically be 50 to 70-feet, depending on the location and width of the sidewalk and the location and use of the roadway. The right-of-way width may be reduced, with District approval, if the sidewalk is located within an easement; in which case the District will require a minimum right-of-way width that extends 2-feet behind the back-of-curb on each side.

The standard street section shall be 46-feet (back-of-curb to back-of-curb). This width typically accommodates a single travel lane in each direction, a continuous center left-turn lane, and bike lanes.

**Residential Collector Policy:** District policy 7206.5.2 states that the standard street section for a collector in a residential area shall be 36-feet (back-of-curb to back-of-curb). The District will consider a 33-foot or 29-foot street section with written fire department approval and taking into consideration the needs of the adjacent land use, the projected volumes, the need for bicycle lanes, and on-street parking.

**Half Street Policy:** District Policy 7206.2.2 required improvements shall consist of pavement widening to one-half the required width, including curb, gutter and concrete sidewalk (minimum 7-foot attached or 5-foot detached), plus 12-feet of additional pavement widening beyond the centerline established for the street to provide an adequate roadway surface, with the pavement crowned at the ultimate centerline. A 3-foot wide gravel shoulder and a borrow ditch sized to accommodate the roadway storm runoff shall be constructed on the unimproved side.

**Sidewalk Policy:** District policy 7206.5.6 requires a concrete sidewalks at least 5-feet wide to be constructed on both sides of all collector streets. A parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip. Sidewalks constructed next to the back-of-curb shall be a minimum of 7-feet wide.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

**ACHD Master Street Map:** ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, collector street requirements, and specific roadway features required through development. A new collector roadway was identified on the MSM with the street typology of Residential Collector. The new collector roadway should intersection Hubbard Road at the half mile between Ten Mile and Linder Road. The new collector should run along the west property line stubbing to the south. The

## EXHIBIT B 2

Residential Collector typology as depicted in the Livable Street Design Guide recommends a 2-lane roadway with bike lanes, and on street parking, a 36-foot street section within 54-feet of right-of-way.

- b. Staff Comments/Recommendations:** As part of prior application for PiStem Acacemy the applicant was required to construct half of a north/south collector roadway, School Street, abutting the site's west property line. The intent of ACHD's conditions were that School Street be constructed as half of a 36-foot wide collector roadway abutting the entire parcel owned by PiStem. While the right-of-way was dedicated abutting the entire west side of the parcel only a portion of the roadway was constructed.

Arbor Ridge Subdivision is located directly south of the PiStem parcel and has been constructing School Avenue from Ardell Road north as it develops. To ensure that School Avenue is completely constructed between Hubbard Road and Ardell Road and there are no gaps in pedestrian improvements, the applicant should be required to construct School Avenue abutting the site where it doesn't currently exist as half of a 36-foot collector street section with vertical curb, gutter, and sidewalk, plus 12-feet of additional pavement (to total 30-feet) widening beyond the centerline established for the street to provide an adequate roadway surface, with the pavement crowned at the ultimate centerline. A 3-foot wide gravel shoulder and a borrow ditch sized to accommodate the roadway storm runoff should be constructed on the west side of the roadway. To accommodate these improvements the applicant should be required to dedicate right-of-way to extend 2-feet behind the back of an attached sidewalk or 2-feet behind the back of the curb if the sidewalk is detached extending west to encompass the barrow ditch.

OR, in lieu of designing and constructing the road, provide ACHD with a road trust deposit in the amount of \$77,000 (design + construction) for the remaining 330-feet of roadway that needs to be constructed to complete School Avenue abutting their site. The developer of Arbor Ridge can then utilize the road trust deposit money to complete the construct of School Avenue abutting the PiStem site.

### **B. Site Specific Conditions of Approval**

1. Prior to the occupancy of any new portable building install school zone flashers on Hubbard Road.
2. Prior to the occupancy of any new building install a signalized HAWK crossing on Hubbard Road on the east side of Iditarod Drive.
3. Prior to the occupancy of any new building, complete the construction of School Avenue abutting the entire western property line as half of a 36-foot collector street section with vertical curb, gutter, and sidewalk, plus 12-feet of additional pavement (to total 30-feet) widening beyond the centerline established for the street to provide an adequate roadway surface, with the pavement crowned at the ultimate centerline. Construct a 3-foot wide gravel shoulder and a borrow ditch sized to accommodate the roadway storm runoff on the west side of the roadway. Dedicate right-of-way to extend 2-feet behind the back of an attached sidewalk or 2-feet behind the back of the curb if the sidewalk is detached extending west to encompass the barrow ditch.

OR, provide a road trust deposit in the amount of \$77,000 for the construction of School Avenue by others.

4. The PiStem Academy shall be responsible for all costs associated with the design, hardware, and construction of any additional pedestrian facilities needed to accommodate future pedestrian needs of the school. This includes flashing beacons, crosswalk striping and signage, and HAWK signals or RRFBs.
5. Submit civil plans to ACHD Development Services for review and approval.
6. Comply with the Standard Conditions of Approval as noted below.

### C. Traffic Information

#### Trip Generation

This development is estimated to generate 250 additional vehicle trips per day (561 existing); and 22 additional vehicle trips per hour in the PM peak hour (50 existing), based on the Institute of Transportation Engineers Trip Generation Manual, 10<sup>th</sup> edition.

**Condition of Area Roadways: *Traffic Count is based on Vehicles per hour (VPH)***

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service
Hubbard Road	665-feet	Minor Arterial	68	Better than "E"
Linder Road	N/A	Minor Arterial	333	Better than "E"
Ten Mile Road	N/A	Minor Arterial	370	Better than "E"

\* Acceptable level of service for a two-lane minor arterial is "E" (575 VPH).

#### Average Daily Traffic Count (VDT)

*Average daily traffic counts are based on ACHD's most current traffic counts.*

- The average daily traffic count for Hubbard Road east of Ten Mile Road was 1,666 on 9/20/16.
- The average daily traffic count for Linder Road south of Columbia Road was 7,444 on 3/22/17.
- The average daily traffic count for Ten Mile Road south of Columbia Road was 6,424 on 9/20/16.

### D. Attachments

1. Vicinity Map
2. Site Plan
3. Standard Conditions of Approval
4. Appeal Guidelines

EXHIBIT B 2

If you have any questions, please feel free to contact me at (208) 387-6178.

Sincerely,

A handwritten signature in blue ink that reads "Mindy Wallace".

Mindy Wallace, AICP  
Planner III  
Development Services

cc: City of Kuna

# VICINITY MAP

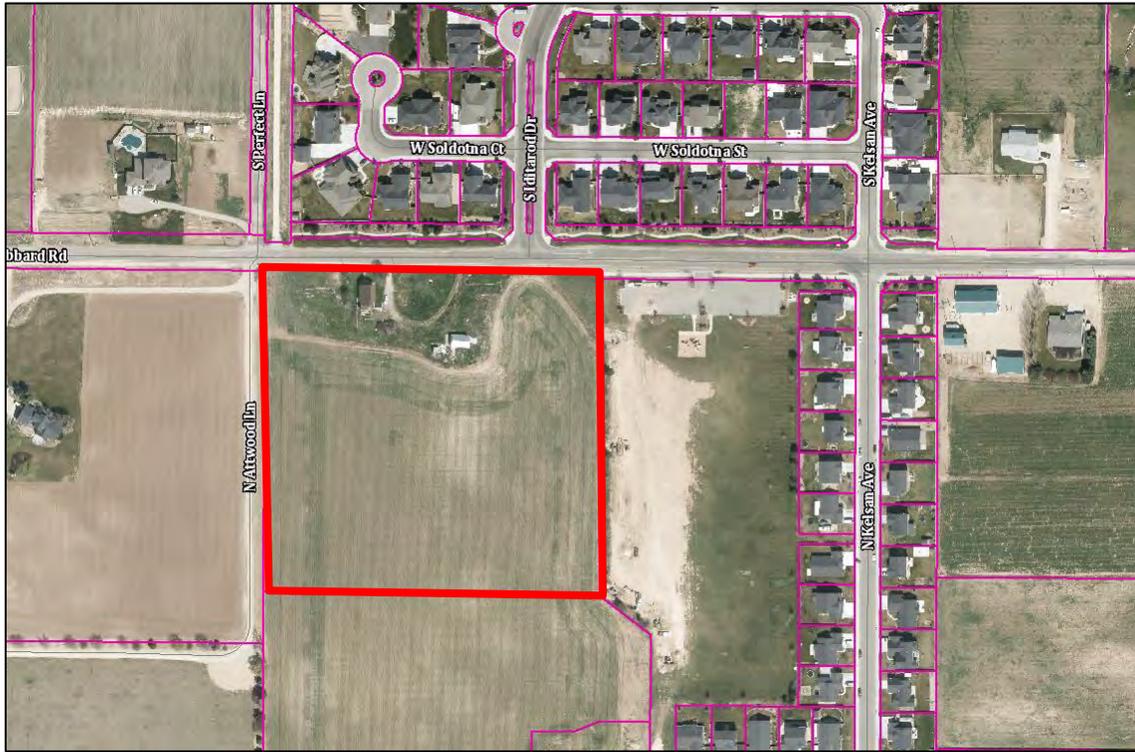
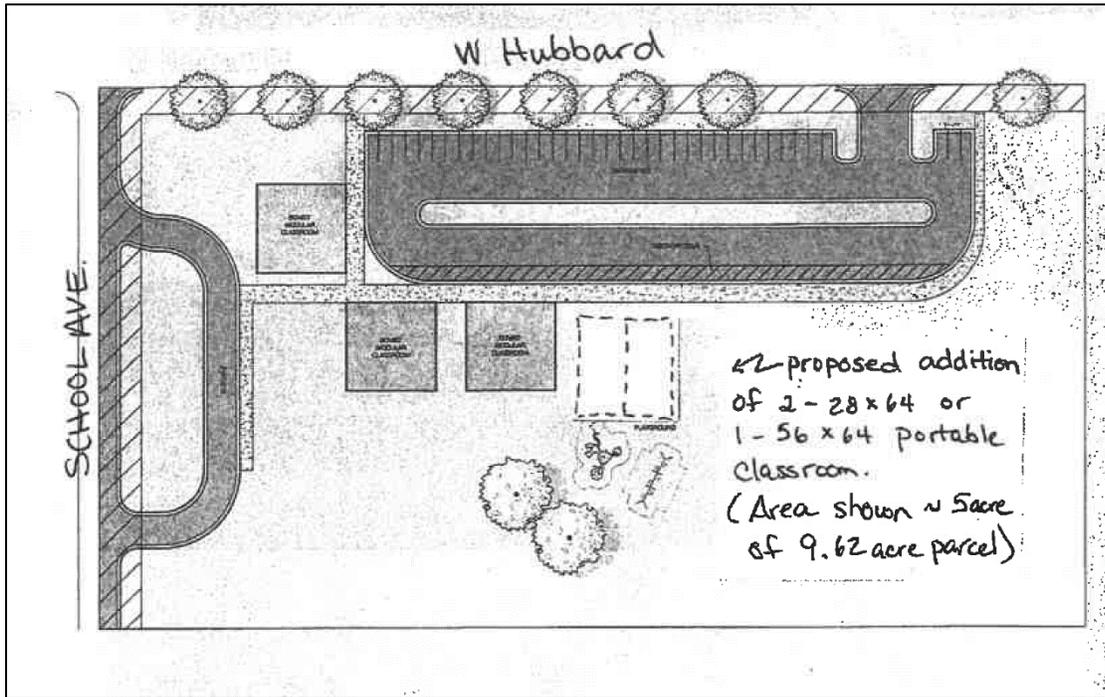


EXHIBIT B 2

SITE PLAN



## Standard Conditions of Approval

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).
2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
3. In accordance with District policy, 7203.6, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA) requirements. The applicant's engineer should provide documentation of ADA compliance to District Development Review staff for review.
4. Replace any existing damaged curb, gutter and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.
5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.
9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.
10. Construction, use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.
11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.
12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.

## Request for Appeal of Staff Decision

1. **Appeal of Staff Decision:** The Commission shall hear and decide appeals by an applicant of the final decision made by the Development Services Manager when it is alleged that the Development Services Manager did not properly apply this section 7101.6, did not consider all of the relevant facts presented, made an error of fact or law, abused discretion or acted arbitrarily and capriciously in the interpretation or enforcement of the ACHD Policy Manual.
  - a. **Filing Fee:** The Commission may, from time to time, set reasonable fees to be charged the applicant for the processing of appeals, to cover administrative costs.
  - b. **Initiation:** An appeal is initiated by the filing of a written notice of appeal with the Secretary and Clerk of the District, which must be filed within ten (10) working days from the date of the decision that is the subject of the appeal. The notice of appeal shall refer to the decision being appealed, identify the appellant by name, address and telephone number and state the grounds for the appeal. The grounds shall include a written summary of the provisions of the policy relevant to the appeal and/or the facts and law relied upon and shall include a written argument in support of the appeal. The Commission shall not consider a notice of appeal that does not comply with the provisions of this subsection.
  - c. **Time to Reply:** The Development Services Manager shall have ten (10) working days from the date of the filing of the notice of appeal to reply to the notice of the appeal, and may during such time meet with the appellant to discuss the matter, and may also consider and/or modify the decision that is being appealed. A copy of the reply and any modifications to the decision being appealed will be provided to the appellant prior to the Commission hearing on the appeal.
  - d. **Notice of Hearing:** Unless otherwise agreed to by the appellant, the hearing of the appeal will be noticed and scheduled on the Commission agenda at a regular meeting to be held within thirty (30) days following the delivery to the appellant of the Development Services Manager's reply to the notice of appeal. A copy of the decision being appealed, the notice of appeal and the reply shall be delivered to the Commission at least one (1) week prior to the hearing.
  - e. **Action by Commission:** Following the hearing, the Commission shall either affirm or reverse, in whole or part, or otherwise modify, amend or supplement the decision being appealed, as such action is adequately supported by the law and evidence presented at the hearing.

## Troy Behunin

---

**From:** Tom Ritthaler <TRitthaler@boiseproject.org>  
**Sent:** Monday, April 15, 2019 9:17 AM  
**To:** Troy Behunin  
**Subject:** RE: PiStem Academy Expansion 2019

Troy,  
Boise Project has no facilities in that location and has no opposition to the special use permit modification for the PiStem Academy Expansion.

Tom

---

**From:** Troy Behunin <tbehunin@kunaid.gov>  
**Sent:** Friday, April 12, 2019 12:32 PM  
**To:** ACHD <clittle@achdidaho.org>; Becky Rone - Kuna USPS Addressing <rebecca.i.rone@usps.gov>; Bob Bachman <bbachman@kunaid.gov>; Boise Project Brd Cntrl <TRitthaler@boiseproject.org>; Boise-Kuna Irrigation Distr. <laurenboehlke@yahoo.com>; Cable One Business <Adam.ingram@cableone.biz>; Cable One t.v. <cheryl.goettsche@cableone.biz>; Central District Health Dept. CDHD <lbadigia@cdhd.idaho.gov>; COMPASS <cmiller@compassidaho.org>; D. Reinhart <Dreinhart@kunschools.org>; DEQ <Alicia.martin@deq.idaho.gov>; Eric Adolfson <eadolfson@compassidaho.org>; Idaho Power <ahawkins@idahopower.com>; Idaho Power - Jacky Chris <easements@idahopower.com>; Intermountain Gas <robert.miller@mdu.com>; Intermountain Gas <bryce.ostler@intgas.com>; ITD <D3Development.Services@itd.idaho.gov>; J&M Sanitation - Chad Gordon <Chad.Gordon@jmsanitation.com>; Jim O. - KSD <Jim@kunaschools.org>; Julie Stanley - Regional Address Mgmt. <Julie.R.Stanley@usps.gov>; Kuna Police Chief <so4217@adaweb.net>; Kuna Postmaster - Marc C. Boyer <marc.c.boyer@usps.gov>; Kuna School District <kbekkedahl@kunaschools.org>; Kuna School District <wjohnson@kunaschools.org>; Kuna School District <bsaxton@kunaschools.org>; Mike Borzick <mborzick@kunaid.gov>; Nampa Meridian Irrigation District <nmid@nmid.org>; New York Irrigation District <terri@nyid.org>; Planning Mgr: Ada County Development Services <jboal@adaweb.net>; Terry Gammel <tgammel@kunafire.com>; Lisa Holland <lholland@kunaid.gov>; Mike Borzick <mborzick@kunaid.gov>  
**Subject:** PiStem Academy Expansion 2019

Everyone,  
Please review the packet for submitted for the PiStem Academy here in Kuna, and return relevant comments to our office. If you need additional information, please send me an email.  
Thank you,  
Troy

Troy Behunin  
Planner III  
City of Kuna  
751 W. 4<sup>th</sup> Street  
Kuna, ID 83634  
[TBehunin@KunaId.Gov](mailto:TBehunin@KunaId.Gov)

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STATE OF IDAHO  
DEPARTMENT OF ENVIRONMENTAL QUALITY  
BOISE REGIONAL OFFICE  
1445 North Orchard Street•Boise, ID 83706-2239•(208) 373-0550

## *DEQ Response to Request for Environmental Comment*

Date: April 26, 2019  
Agency Requesting Comments: City of Kuna  
Date Request Received: April 12, 2019  
Applicant/Description: PiStem Academy Modification, 19-02-SUP

*Thank you for the opportunity to respond to your request for comment. While DEQ does not review projects on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at <http://www.deq.idaho.gov/ieg/>.*

*The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:*

### **1. Air Quality**

- *Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), trade waste burning (58.01.01.600-617), and odor control plans (58.01.01.776).*

*The property owner, developer, and their contractor(s) must ensure that reasonable controls to prevent fugitive dust from becoming airborne are utilized during all phases of construction activities per IDAPA 58.01.01.651.*

*Per IDAPA 58.01.01.600-617, the open burning of any construction waste is prohibited. The property owner, developer, and their contractor(s) are responsible for ensuring no prohibited open burning occurs during construction.*

*For questions, contact David Luft, Air Quality Manager, at 373-0550.*

### **2. Wastewater and Recycled Water**

- *DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.*
- *IDAPA 58.01.16 and IDAPA 58.01.17 are the sections of Idaho rules regarding wastewater and recycled water. Please review these rules to determine whether this or future projects will require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the district health department.*

*All projects for construction or modification of wastewater systems require preconstruction approval. Recycled water projects and subsurface disposal projects require separate permits as well.*

- *DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss potential for development of a community treatment system along with best management practices for communities to protect ground water.*
- *DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.*

*For questions, contact Todd Crutcher, Engineering Manager, at 373-0550.*

### **3. Drinking Water**

- *DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.*
- *IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.*

*All projects for construction or modification of public drinking water systems require preconstruction approval.*

- *DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system (refer to the DEQ website at <http://www.deq.idaho.gov/water-quality/drinking-water.aspx>). For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.*
- *If any private wells will be included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.*
- *DEQ recommends using an existing drinking water system whenever possible or construction of a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for protection of ground water resources.*
- *DEQ recommends cities and counties develop and use a comprehensive land use management plan which addresses the present and future needs of this area for adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.*

*For questions, contact Todd Crutcher, Engineering Manager at 373-0550.*

### **4. Surface Water**

- *A DEQ short-term activity exemption (STAE) from this office is required if the project will involve de-watering of ground water during excavation and discharge back into surface water, including a description of the water treatment from this process to prevent excessive sediment and turbidity from entering surface water.*
- *Please contact DEQ to determine whether this project will require a National Pollution Discharge Elimination System (NPDES) Permit. If this project disturbs more than one acre, a stormwater permit from EPA may be required.*

- *If this project is near a source of surface water, DEQ requests that projects incorporate construction best management practices (BMPs) to assist in the protection of Idaho's water resources. Additionally, please contact DEQ to identify BMP alternatives and to determine whether this project is in an area with Total Maximum Daily Load stormwater permit conditions.*
- *The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call 208-334-2190 for more information. Information is also available on the IDWR website at: <http://www.idwr.idaho.gov/WaterManagement/StreamsDams/Streams/AlterationPermit/AlterationPermit.htm>*
- *The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.*

*For questions, contact Lance Holloway, Surface Water Manager, at 373-0550.*

#### **5. Hazardous Waste And Ground Water Contamination**

- ***Hazardous Waste.*** *The types and number of requirements that must be complied with under the federal Resource Conservation and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.*
- *No trash or other solid waste shall be buried, burned, or otherwise disposed of at the project site. These disposal methods are regulated by various state regulations including Idaho's Solid Waste Management Regulations and Standards, Rules and Regulations for Hazardous Waste, and Rules and Regulations for the Prevention of Air Pollution.*
- ***Water Quality Standards.*** *Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA 58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.02.851 and 852).*

*Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.02.851.01 and 04. Hazardous material releases to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.*

- ***Ground Water Contamination.*** *DEQ requests that this project comply with Idaho's Ground Water Quality Rules (IDAPA 58.01.11), which states that "No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water quality standard to be exceeded, injures a beneficial use of ground water, or is not in accordance with a permit, consent order or applicable best management practice, best available method or best practical method."*

*For questions, contact Albert Crawshaw, Waste & Remediation Manager, at 373-0550.*

**6. Additional Notes**

- *If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, the site should be evaluated to determine whether the UST is regulated by DEQ. EPA regulates ASTs. UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at 373-0550, or visit the DEQ website (<http://www.deq.idaho.gov/waste-mgmt-remediation/storage-tanks.aspx>) for assistance.*
- *If applicable to this project, DEQ recommends that BMPs be implemented for any of the following conditions: wash water from cleaning vehicles, fertilizers and pesticides, animal facilities, composted waste, and ponds. Please contact DEQ for more information on any of these conditions.*

*We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any of our technical staff at 208-373-0550.*

Sincerely,



Aaron Scheff  
[aaron.scheff@deg.idaho.gov](mailto:aaron.scheff@deg.idaho.gov)  
Regional Administrator  
Boise Regional Office  
Idaho Department of Environmental Quality

ec: CM#2019AEK85



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Your Economic Opportunity**

**IDAHO TRANSPORTATION DEPARTMENT**

P.O. Box 8028 • Boise, ID 83707-2028

(208) 334-8300 • itd.idaho.gov

May 8, 2019

Troy Behunin  
City of Kuna, Planning and Zoning Department  
P.O. Box 13  
Kuna, ID 83634

**VIA EMAIL**

Development Application	19-02-SUP
Project Name	PISTEM ACADEMY
Project Location	2275 West Hubbard Road, west of SH-69 milepost 4.08
Project Description	Modify Special Use Permit for the Project Impact Stem Academy. Add a total of four additional 60' x60' buildings (approximately 3600 sqft each) for classroom and school purposes to their site at Hubbard Road and School Avenue for a total of 6 manufactured buildings. Applicant was approved for 297 students. Addition of four buildings will bring enrollment to 429 students in 2021. Applicant intends to add permanent buildings within three years of opening.
Applicant	Jerry Taylor with Ensign Development
Representing	PISA Land Holdings

The Idaho Transportation Department (ITD) reviewed the referenced special use permit application and has the following comments:

1. This project does not abut the State highway system, however, per Idaho Code 67-6508, section C (attached), and Idaho Code 67-6519, section 3 (attached), the Commission shall request assistance from ITD and/or the appropriate local highway jurisdiction to review the application for impacts to the highway and local road systems. ITD did not receive any information regarding bus route plans or trip generation information with the previous application or with this application, therefore ITD cannot determine what impacts to the State Highway system may result from the proposed charter school. ITD respectfully requests copies of the documentation for traffic impacts and mitigation, and reserves the right to make further comments upon review of any additionally submitted documents.



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(208) 334-8300 • [itd.idaho.gov](http://itd.idaho.gov)

2. IDAPA 39.03.60 rules govern advertising along the State highway system. The applicant may contact Justin Pond, Right-of-Way Section Program Manager, at (208) 334-8832 for more information.
3. Idaho Code 40-1910 does not allow advertising within the right-of-way of any State highway.
4. ITD objects to the proposed application due to concerns about how traffic impacts for the initial application (Kuna 18-08-SUP) were determined and how the proposed expansion will impact the State and Local road system. ITD respectfully requests that the City provide documentation to ITD regarding how traffic impacts from the initial development were determined, and how impacts from this modification to the Special Use Permit will be documented and mitigated. ITD will withdraw any objection to the proposed application once all traffic concerns have been addressed with ITD Staff.

If you have any questions, you may contact Sarah Arjona at (208) 334-8338 or me at (208) 332-7190.

Sincerely,

A handwritten signature in blue ink that reads 'Ken Couch'.

Ken Couch  
Development Services Coordinator  
[Ken.Couch@itd.idaho.gov](mailto:Ken.Couch@itd.idaho.gov)

---

## Troy Behunin

---

**From:** Ken Couch <Ken.Couch@itd.idaho.gov>  
**Sent:** Tuesday, May 14, 2019 12:33 PM  
**To:** Teresa Fleming  
**Cc:** Sarah Arjona; Jeremy; Troy Behunin; Wendy Howell; Erika Bowen  
**Subject:** RE: [EXTERNAL] Re: Pi STEM 19-02-SUP

**Categories:** Agency Comments

Thank you Teresa! I will pass this on to our Technical Engineer for review.

*Thanks!*  
*Ken Couch*

Permits Coordinator  
Idaho Transportation Department  
District 3  
208-332-7190 Office  
Ken.Couch@itd.idaho.gov

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**From:** Teresa Fleming <tfleming@pistem.org>  
**Sent:** Tuesday, May 14, 2019 8:15 AM  
**To:** Ken Couch <Ken.Couch@itd.idaho.gov>  
**Cc:** Sarah Arjona <Sarah.Arjona@itd.idaho.gov>; Jeremy <jeremy@ensigndevelopmentgroup.com>; Troy Behunin <tbehunin@kunaid.gov>; whowell@kunaid.gov  
**Subject:** [EXTERNAL] Re: Pi STEM 19-02-SUP

--- This email is from an external sender. Be cautious and DO NOT open links or attachments if the sender is unknown. ---

Mr. Couch,

Good morning. I contacted Brown Busing and as I had thought it is too early to know the bus routes for next year. They did however note that they would not expect it to be much different than this year's. Below is a link to this year's busing route plan.

Please let me know if there is anything else you need.

Thank you!

Brown Bus Pi STEM route plan:

[http://www.brownbuscompany.com/pdf\\_files/pdf\\_year\\_charter/ProjectImpact.pdf](http://www.brownbuscompany.com/pdf_files/pdf_year_charter/ProjectImpact.pdf)

**Teresa Fleming**  
Chairman of the Board  
Project Impact STEM Academy  
[www.PiSTEM.org](http://www.PiSTEM.org)

On May 9, 2019, at 11:09 AM, Teresa Fleming <[tfleming@pistem.org](mailto:tfleming@pistem.org)> wrote:

Mr. Couch,

Hello. Thank you again for taking the time this morning to speak with me and answer my questions. I truly appreciated that you would take the time to do this for our students and families!

As discussed, the project as described in the summary is not necessarily accurate from my application. Pi STEM is seeking the modification to its current SUP to increase our enrollment from 297 to 363 for the upcoming 2019-2020 school year. The phasing of the grade roll up will not have the school at 429 until its 4th year of operations in the 2021-2022 school year. Also, the school has only noted the addition of two 28 x 64 rented portable classrooms for next year, not four additional 60 x 60 buildings.

I also mentioned that it is my understanding that the original traffic study was done in relation to the full roll out model, full capacity of 429 students. I have attached the traffic study with the comments from ACHD below as well as a link to the full application documentation that can be found online at the Kuna Planning & Zoning website.

I have reached out to Brown Busing, our contracted busing service, and requested a busing plan from them to provide to you. I will send this as soon as I receive it, but also do not anticipate the current plan (~100 student riders and 4 buses) will change.

Thank you again for your efforts - I know everyone from our students, families, staff and administrators are all very excited to move forward for next year!

***Teresa Fleming***

Chairman of the Board

Project Impact STEM Academy

[www.PiSTEM.org](http://www.PiSTEM.org)

<KUNA18-0014 PiStem.pdf>

Full hearing packet can be found: <https://kunacity.id.gov/ArchiveCenter/ViewFile/Item/1456>

received  
3.18.19



# Neighborhood Meeting Certification

CITY OF KUNA PLANNING & ZONING \* 763 W. Avalon, Kuna, Idaho, 83634 \* [www.cityofkuna.com](http://www.cityofkuna.com) \* (208) 922-5274 \* Fax: (208) 922-5989

## GENERAL INFORMATION:

You must conduct a neighborhood meeting prior to application for variance, conditional use, zoning ordinance map amendment, expansion or extension of a nonconforming use, and/or a subdivision. Please see Section 8-7A-3 of the Kuna City Code or ask one of our planners for more information on neighborhood meetings.

The meeting must be held either on a weekend between 10 a.m. and 7 p.m., or a weekday between 6 p.m. and 8 p.m. Meetings cannot be conducted on holidays, holiday weekends, or the day before or after a holiday or holiday weekend. The meeting must be held at one of the following locations:

- The Subject Property;
- The nearest available public meeting place (Examples include fire stations, libraries and community centers);
- An office space within a 1-mile radius of the subject property.

The meeting cannot take place more than 6 months prior to acceptance of the application and the application will not be accepted before the neighborhood meeting is conducted. You are required to send written notification of your meeting, allowing a reasonable amount of time before your meeting for property owners to plan to attend. Contacting and/or meeting individually with residents will not fulfill Neighborhood Meeting requirements.

You may request a list of the people you need to invite to the neighborhood meeting from our department. This list includes property owners within 300 feet of the subject property. Once you have held your neighborhood meeting, please complete this certification form and include it with your application.

**Please Note: The neighborhood meeting must be conducted in one location for attendance by all neighboring residents. Contacting and/or meeting individually with residents does not comply with the neighborhood meeting requirements.**

**Please include a copy of the sign-in sheet for your neighborhood meeting, so we have written record of who attended your meeting and the letter of intent sent to each recipient. In addition, provide any concerns that may have been addressed by individuals that attended the meeting.**

Description of proposed project: Expansion for Project Impact STEM Academy

Date and time of neighborhood meeting: March 16, 2019 at 2PM

Location of neighborhood meeting: 2275 W. Hubbard Road, Kuna Idaho 83634

## SITE INFORMATION:

Location: Quarter: \_\_\_\_\_ Section: 14 Township: 2N Range: 1W Total Acres: 9.62

Subdivision Name: \_\_\_\_\_

Lot: \_\_\_\_\_ Block: \_\_\_\_\_

Site Address: 2275 W. Hubbard Road  
Kuna, Idaho 83634

Tax Parcel Number(s): \_\_\_\_\_  
51314120890

Please make sure to include all parcels & addresses included in your proposed use.

## CURRENT PROPERTY OWNER:

Name: PISA Land Holding

Address: 2694 N 920 E City: North Logan State: UT Zip: 84341

## CONTACT PERSON (Mail recipient and person to call with questions):

Name: Teresa Fleming Business (if applicable): Project Impact STEM Academy

Address: 1577 N. Linder Rd. MB 162 City: Kuna State: ID Zip: 83634

**PROPOSED USE:**

***Application Type***

***Brief Description***

Annexation

Re-zone

Subdivision (Sketch Plat and/or Prelim. Plat)

Special Use

Variance

Expansion of Extension of a Nonconforming Use

Zoning Ordinance Map Amendment

Expansion of current public charter school SUP

**APPLICANT:**

Name: Teresa Fleming

Address: 1577 N. Linder Road MB 162

City: Kuna

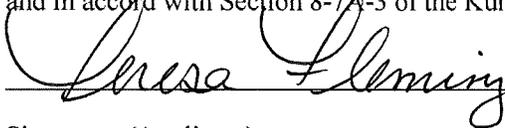
State: ID

Zip: 83634

Telephone: 208-576-4811

Fax: \_\_\_\_\_

I certify that a neighborhood meeting was conducted at the time and location noted on this form and in accord with Section 8-7A-3 of the Kuna City Code.



Signature: (Applicant)

Date 3/16/19

# SIGN IN SHEET

PROJECT NAME: PI STEM SWP

Date: 3/16/19

	<u>Name</u>	<u>Address</u>	<u>Zip</u>	<u>Phone</u>
1	DuWaine Emmons	2835 W Hubbard Rd	83634	208-850-9987
2	Ashley Johnson	2805 N. Kelsan Ave	83634	208-240-2825
3				
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## NEIGHBORHOOD MEETING MINUTES

Meeting Date: 3/16/19 Number of Attendees: 3

Meeting Location: 2275 W Hubbard Rd. Kuna

Description of Project Presented:

re-application for SUP - to show grade expansions  
addition of (rental) portable classrooms for 2019-2020

Attendee's comments:

- very happy to have a school as a neighbor
- fitting for the growth of Kuna
- cons: need entrance to park + road speed/danger

I hereby certify that the above information is complete and correct to the best of my knowledge.

Teresa Fleming

Printed Name

Teresa Fleming

Signature

3/16/19

Date

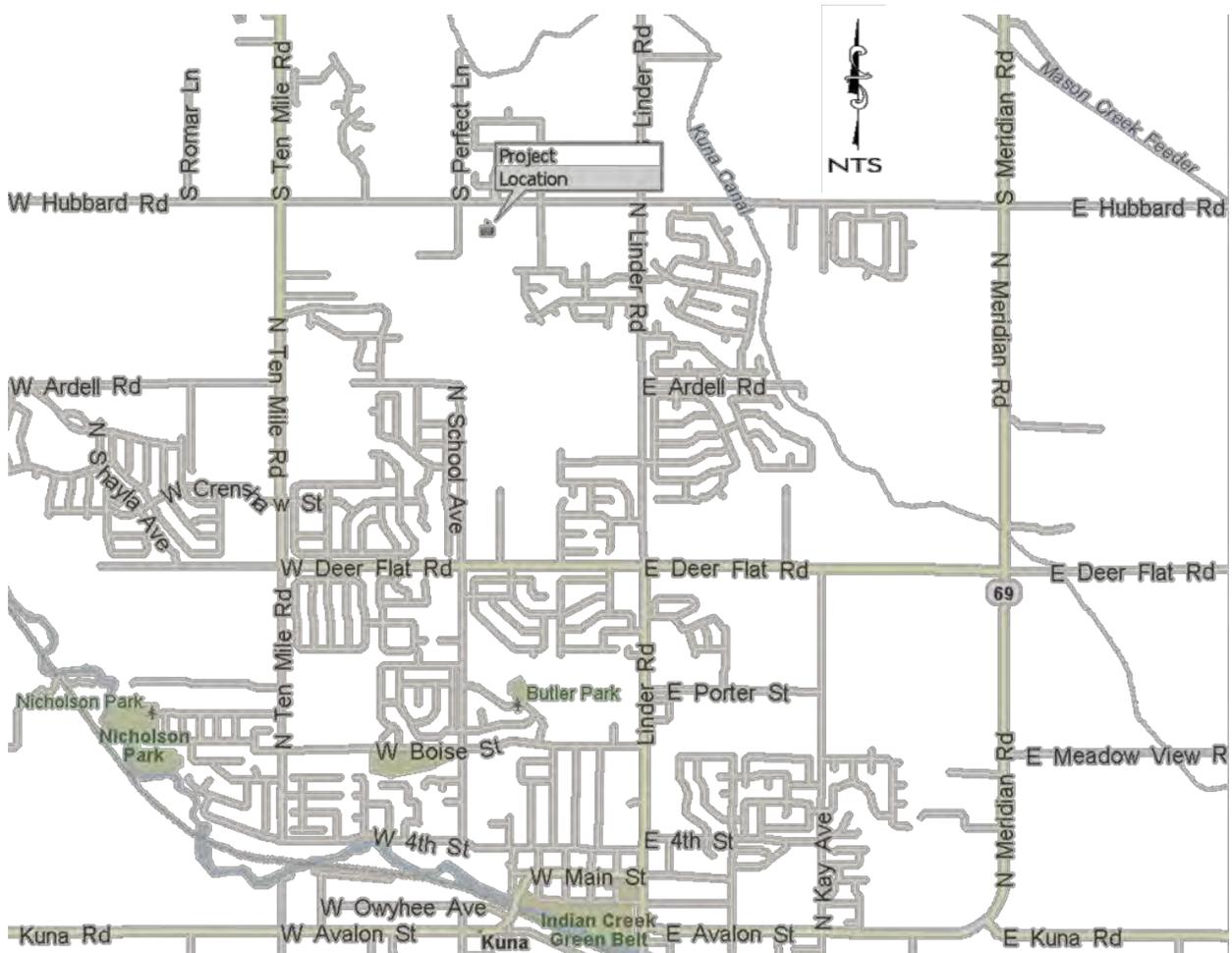
March 29, 2018

Christy Little  
Ada County Highway District  
3775 Adams St  
Garden City ID 83714

RE: Hubbard Road Charter School  
Kuna, Idaho

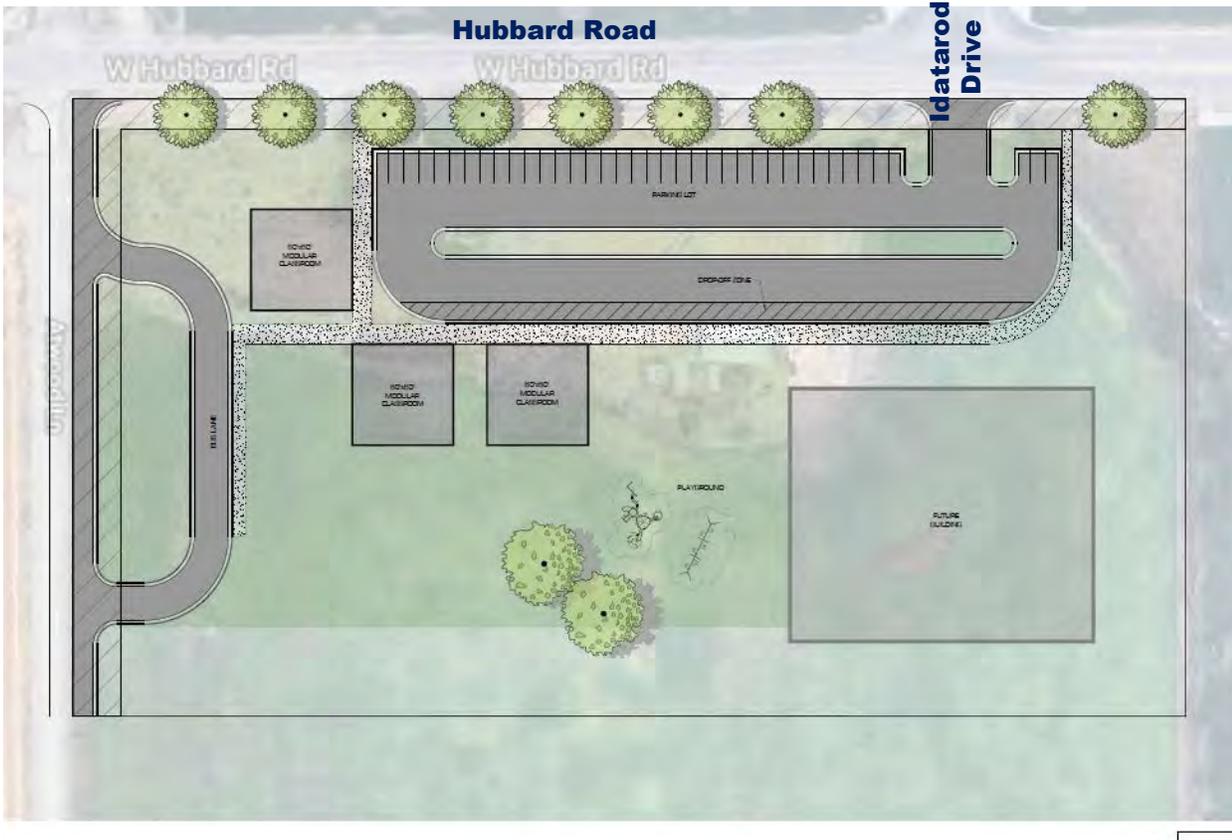
Dear Ms. Little:

Thompson Engineers, Inc. has been retained to review the site plan for the above referenced charter school, and offer an assessment of the impact on increased vehicular, bicycle and pedestrian volumes on adjacent roads and highways. The proposed school site is located on Hubbard Road between Linder Road and Ten Mile Road in Kuna, Idaho. The location is shown on the vicinity map below.



The school is anticipated to serve up to 420 students in grades K-8. Our assessment will address each item on the School Site Checklist in Idaho Code 67-6519(3) as follows:

1. Land Use Master Plan: The proposed school site is located on a vacant parcel. The proposed site plan is shown below.



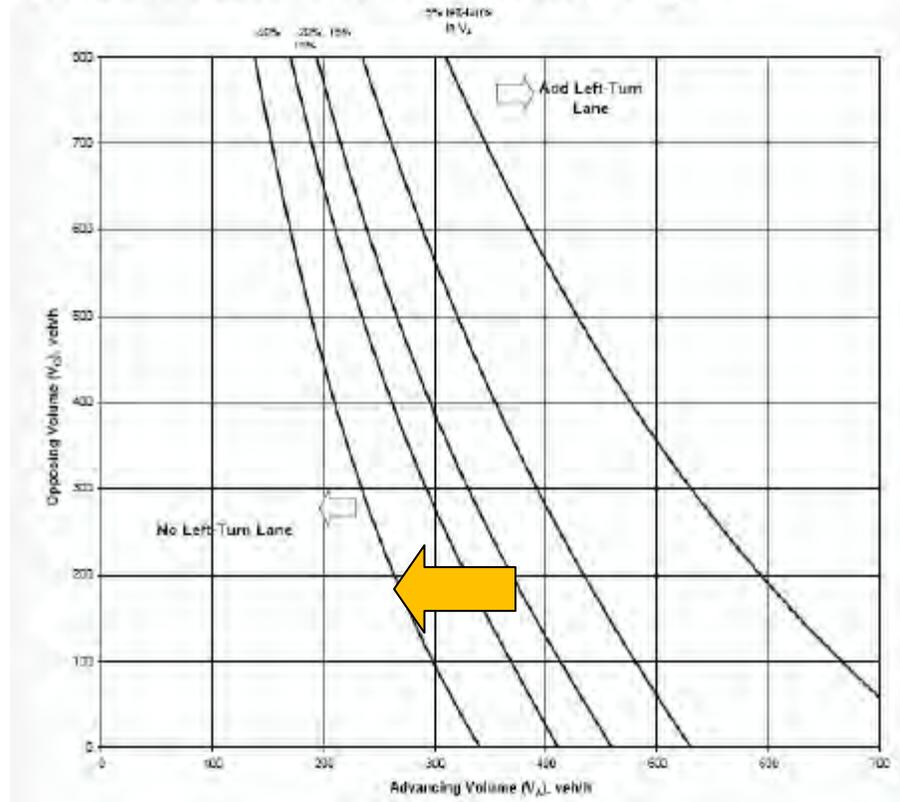
2. School Bus Plan: The school will have four buses to provide bus service for approximately 100 of the students. The bus drop-off location will be along the western side of the site on Atwood Lane and will be completely separated from the parking lot and parent drop-off/pick-up area.
3. Access Safety: Children will be able to exit the bus and enter the school on the west side without any vehicle conflicts. Parents will drop off children on the north side of the building at a designated drop-off/pick-up area. This will allow children to enter and exit vehicles on the passenger side of the vehicle and enter the school without any conflicts with other vehicles.
4. Pedestrian Plan: The project is proposing to install sidewalk on their frontage on Hubbard Road. This will connect to the existing sidewalk east of the site. There is also a separated sidewalk on the north side of Hubbard Road. A logical crossing of Hubbard Road would be at Kelsan Avenue, just east of the site, which serves existing subdivisions north and south of the site.

5. Crossing Guard Plan: Children will come to the school primarily via bus and automobile. A small number of students may come from the nearby neighborhood. Students that do walk to and from the school should be accompanied by an adult.
6. Barriers between Highways and Schools: Hubbard Road is an arterial road. In front of the school it has two lanes with a posted speed limit of 45 mph. ACHD has a published traffic count of 1,666 vehicles per day in September of 2016. Students should be discouraged from accessing Hubbard Road directly. A fence on the property frontage is recommended.
7. Location of School Zone: Any school zone should follow Kuna School District Policy, which basically states that all schools should have a school zone. A school zone should be created with the installation of flashing beacons in accordance with the ACHD standard practices.
8. Need for a Flashing Beacon: The Ada County Highway District requires that school zones be delineated with a flashing beacon. Therefore the flashing beacon should be installed in accordance with ACHD standards to delineate the school zone.
9. Need for a Traffic Control Signal: The nearest cross street intersections are Hubbard Road and Ten Mile Road, and Hubbard Road and Linder Road. The Manual on Uniform Traffic Control Devices (MUTCD) recommends a minimum of 20 students to meet a signal warrant for a school. These intersections should not have significant student pedestrian traffic to warrant a signal.
10. Anticipated Future Improvements: At this time, there are no anticipated improvements to the transportation system in the vicinity of the school. In the 20 year plan, the intersection of Hubbard Road and Ten Mile Road is anticipated to be a roundabout.
11. Speed on Adjacent Highways: The posted speed limit on Hubbard Road is 45 mph.
12. Traffic Volumes on Adjacent Highways: The published traffic count on Hubbard Road is 1,666 vehicles per day, with 211 in the AM peak hour and 133 in the PM peak hour. A print out of the traffic data is enclosed with this report. The peak hour volumes fall well below the acceptable level of traffic for a two-lane arterial per the ACHD Development Policy Manual.
13. Effect Upon the Highway's Level of Service: An overview of the traffic impacts can be summarized by the increase in traffic on the existing street. Based on the Trip Generation Manual published by the Institute of Transportation Engineers, the number of trips generated by the site can be estimated using the number of students for a charter school. 100 students are expected to ride the bus and were excluded in the trip generation estimate. A copy of the calculations are attached to this report.

Based on this value, this site will add 247 entering vehicles in the AM peak hour. If 70% of the traffic travels from the east, this will add 173 vehicles to the existing westbound volume of 95 vehicles, for a total of 268 vehicles per hour. The eastbound direction will add 74 new trips to the existing 116, for a total of 190 trips per hour. The site will have 219 exiting vehicles. Adding 70% of this traffic to the existing eastbound volume of 116 will result in a total of 306 vehicles per hour. The maximum volume allowed by ACHD on a 2 lane arterial road is 690 vehicles per hour in the peak direction. This volume will not be exceeded. The level of service will be LOS D or better.

14. Need for Acceleration and Deceleration Lanes: Based on the above data, in the AM peak hour, there will be 173 left turning vehicles, 95 through vehicles and 190 opposing vehicles at the entrance to the site. This point is plotted on the ACHD Guideline for Left Turn Lanes below. A left turn lane is warranted for eastbound Hubbard Road to the entrance to the site.

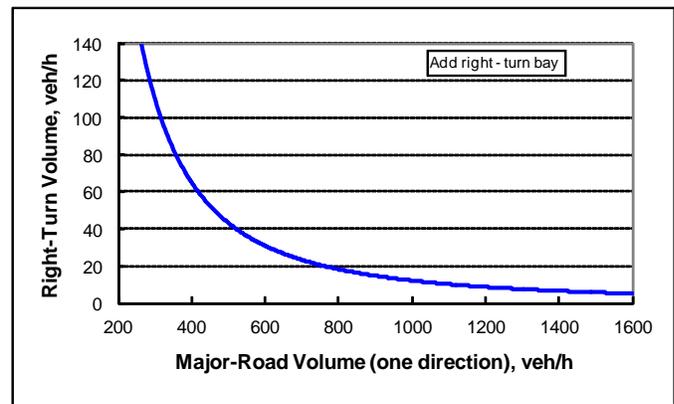
- Left-Turn Lane Guidelines for Two-Lane Roads, 45 mph



The right turn is analyzed using the automated version of the ACHD Guideline for a Right Turn Lane. In the eastbound direction there are 190 through vehicles with 74 turning left. Based on this review, a right turn lane is not warranted on eastbound Hubbard Road at the entrance to the site.

Figure 2 - 6. Guideline for determining the need for a major-road right-turn bay at a two-way stop-controlled intersection.

INPUT	
Roadway geometry:	2-lane roadway
Variable	Value
Major-road speed, mph:	45
Major-road volume (one direction), veh/h:	190
Right-turn volume, veh/h:	74
OUTPUT	
Variable	Value
Limiting right-turn volume, veh/h:	254
<b>Guidance for determining the need for a major-road right-turn bay for a 2-lane roadway:</b>	
<b>Do NOT add right-turn bay.</b>	



15. Internal Traffic Circulation: The proposed plan is to have vehicles enter the site from Hubbard Road and queue in the parking aisle while waiting to pick up and drop off children.

They would exit without having to cross a drive aisle. The bus drop off is separate from the parent drop off. There are no conflicts in the circulation plan.

16. **Anticipated Development on Surrounding Undeveloped Parcels:** The adjacent surrounding properties are essentially undeveloped. It is likely that these areas will be developed with residential subdivisions within the next ten years.
17. **Zoning in the Vicinity:** The site is classified as mixed use in the Kuna Comprehensive Plan. A school would be an acceptable use under this classification.
18. **Access Control on Adjacent Highways:** Hubbard Road is an arterial road with access control. The proposed school is planning to access the site about 550 feet from Atwood Lane, and align with an existing approach, Iditarod Drive.
19. **Required Striping and Signing Modifications:** The school zone should be signed and striped in accordance with MUTCD and ACHD standards.
20. **Funding of Highway Improvements to Accommodate Development:** No highway improvements are required due to the construction of the proposed school.
21. **Proposed Highway Projects in the Vicinity:** No Highway projects are proposed in the vicinity which would alter traffic patterns.

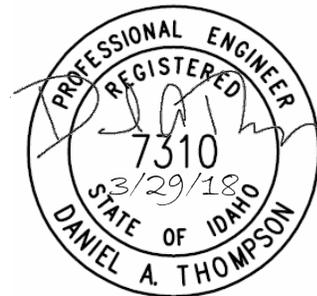
**Any Other Issues:** Parents queuing to pick up and drop off their children usually creates congestion on public streets. This usually only occurs for a brief period of time and is difficult to mitigate. The site provides a drive aisle for queuing that is over 300 feet long, and a pick up/drop off area that is also over 300 feet. The long pick up/drop off area will allow up to 12 cars to drop off children at a time, which should reduce the length of the queue. The drivers could double stack in the queue to provide additional storage. The anticipated circulation plan is attached to this report.

Should you have any question, please feel free to call.

Sincerely,  
Thompson Engineers, Inc.



Daniel A. Thompson, P.E.  
Idaho Civil Engineer 7310



Enclosures  
cc

**Table 1A - Summary of Trip Generation**

Average Weekday Driveway Volumes

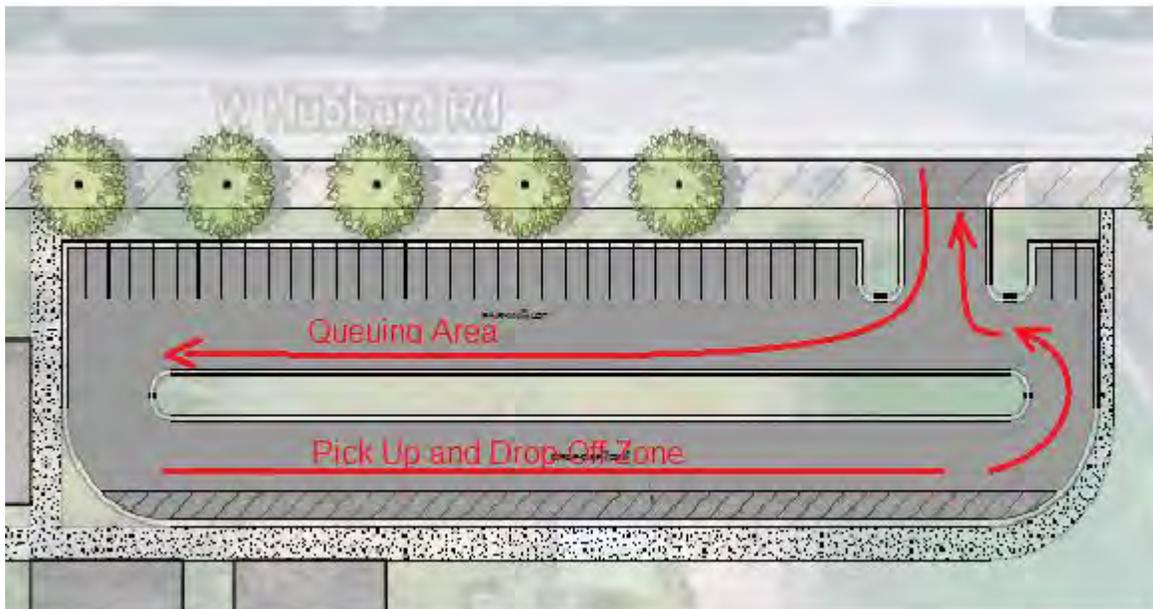
ITE Code	Land Use	No.	Units	24 hr 2-Way		Total
				Rate	Total	
537	Charter School	420	Students	1.85	777	777

Average Weekday **AM** Peak Hour Driveway Volumes

ITE Code	Land Use	No.	Units	Enter		Enter Total	Exit		Exit Total	Total
				Rate	Total		Rate	Total		
537	Charter School	420	Students	0.59	247	247	0.52	219	219	466

Average Weekday **PM** Peak Hour Driveway Volumes

ITE Code	Land Use	No.	Units	Enter		Enter Total	Exit		Exit Total	Total
				Rate	Total		Rate	Total		
537	Charter School	420	Students	0.05	21	21	0.09	38	38	59





# Traffic Counts

AM Peak is 7:00 - 9:00 and PM Peak is 4:00 - 6:00



Counts are compiled by Traffic Engineering from traffic data collected by ACHD and ITD. Traffic counts are updated on a regular basis.

**Download Traffic Counts in PDF format** ([/../../../../Documents/Traffic/TrafficCounts.pdf](#))

STREETS	LOCATION	CITY	DATE	24 HR COUNT	DIRECTION	AM PEAK	PM PEAK
HUBBARD RD	EAST OF CLOVERDALE RD Classification	Ada County	12/15/15	1283	EB WB	148 9	20 185
HUBBARD RD	WEST OF CLOVERDALE RD Approach & Total	Ada County	12/08/15	1128	EB WB	127 33	32 152
HUBBARD RD	WEST OF LOCUST GROVE RD Approach & Total	Ada County	10/27/15	301	EB WB	30 4	7 27
HUBBARD RD	EAST OF LINDER RD Approach & Total	Kuna	01/20/18	3076	EB WB	174 73	63 267
HUBBARD RD	EAST OF TEN MILE RD Approach & Total	Kuna	09/20/18	1866	EB WB	116 95	68 65



# Project Impact STEM Academy

*Invested in the life-long pursuit of knowledge.*

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May 23, 2019

Ada County Highway District

RE: 19-02-SUP

Dear Commissioners:

Project Impact STEM Academy (Pi STEM) would like to formally request a waiver regarding the recent Finding of Fact and site-specific conditions presented by your offices for the 19-02-SUP request.

Support for Pi STEM's waiver request is further presented below. If the Commission has questions, or requires additional information, the school will happily provide such information to the best of its ability.

Thank you in advance for your time and consideration.

Sincerely,

Teresa M. Fleming  
Board Chairman  
Project Impact STEM Academy  
tfleming@PISTEM.org

It is the opinion of Project Impact STEM Academy charter school that a waiver should be granted by ACHD for each noted specific condition of approval.

Pi STEM believes the recently legislation, signed by Governor Little and placed in effect by emergency clause on March 12, 2019, ensures public charter schools are now included in the “development” exemption alongside the previously exempted standard school districts. We believe the alteration of this definition provides an overarching reason for our request for an exemption for the conditions.

Idaho Code 67-8203 (7), by way off House Bill NO. 91, has been altered and now states as the following:

(7) “Development” means any construction or installation of a building or structure, or any change in use of a building or structure, or any change in the use, character or appearance of land, which creates additional demand and need for public facilities or the subdivision of property that would permit any change in the use, character or appearance of land. As used in this chapter, “development” shall not include activities that would otherwise be subject to payment of the development impact fee if such activities are undertaken by a taxing district, as defined in section 63-201, Idaho Code, or by an authorized public charter school, as defined in section 33-5202A, Idaho Code, in the course of carrying out its statutory responsibilities, unless the adopted impact fee ordinance expressly includes taxing districts or public charter schools as being subject to development impact fees.

As defined in Idaho Code 33-5202A (9) (shown below), Pi STEM is, for all intents and purposes, an Idaho Public Charter School, supported by the State Department of Education, and funded by Idaho taxpayers.

(9) “Public charter school” means a school that is authorized under this chapter to deliver public education in Idaho.

Additionally, the site-specific conditions of approval noted in the letter would cause an extreme financial hardship on the school and its ability to operate. In total, it is estimated the first three conditions would cost the school nearly 20% of its total operating budget for the year. If required to complete these works, the impact to the budget would be severe and ultimately require the closure of the school as it would not have the capability to hire staff, nor fund the operations

necessary to adequately educate its students. Additionally, the inability to adhere to such conditions would likely cause a failure for the school to obtain the requested modifications to its SUP therefore rendering the school unable to expand its grade levels. While this inability to expand may not immediately cause a necessary closure, it certainly would cause an immediate impact to families that applied and have been accepted for positions that would now need to be turned away from the school.

More specifically regarding the conditions 1 & 2; the purchase and installation of school zone flashers and a signalized HAWK crossing on Hubbard Rd; while Pi STEM agrees with ACHD's desire to ensure and improve pedestrian safety, the school does not believe the request for Pi STEM to fund the purchase and installation of such devices aligns with ACHD's standard practices and relationships with other schools.

In ACHD's most recent Integrated Five-Year Work Plan (IFYWP) noted for fiscal years 2019-2023 and adopted on September 26, 2018, the department highlights its primary focus areas to include IFYWP Safety Projects: 40 Safe Routes to School projects, 37 pedestrian crossings, 2 school zone enhancements, 47 sidewalk projects, and 24 low stress bike routes. The page describing ACHD's "Safe Routes to Schools" plan can be seen below in Figure 1.

SAFE ROUTES TO SCHOOLS

ACHD's efforts to provide safe routes to schools are focused on ensuring appropriate facilities exist to allow for children to access their educational opportunities using active transportation modes. In 2008, the citizens of Ada County approved an increase in vehicle registration fees with the commitment that half of that increase would be dedicated toward providing safe routes to schools. Since that time, ACHD has completed 122 projects targeted at meeting this goal.



ACHD 2019-2023 Integrated Five-Year Work Plan  
ADOPTED SEPTEMBER 26, 2018

5

*Figure 1: ACHD 2019-2023 IFYWP (linked to full plan)*

In this current IFYWP and years prior, numerous works have been approved to improve student safety near and around schools. In many of these cases, no payment or financial contribution was required of the school. Yet because of the partnerships between ACHD, the schools, and cities, these improvements were approved, funded, and completed.

Pi STEM would request that conditions 1 & 2 in ACHD's letter therefore be waived. Pi STEM would like to develop a partnership with ACHD as such has been done with other schools. And with such

relationship, determine immediate solutions that can be implemented that may not be as cost prohibitive and provide a benefit to not only pedestrian students of Pi STEM but to all those that visit the adjacent Arbor Ridge City Park. Some ideas include a review of Hubbard Road's current speed limit of 45 mph, and possibly the installation of a standard painted crosswalk at the intersection of the School Ave stub and Hubbard Road with the addition of the red flags individuals can carry as they cross. Pi STEM has already submitted one grant proposal for systems such as the HAWK system and is willing to continue to seek additional funding for such a project.

The site-specific condition 3, the additional construction of some 330' of School Ave or the requirement of a road trust deposit of \$77,000, was described as an original intent by ACHD during the prior SUP application. It was further explained in a phone conversation with Ms. Wallace that ACHD was concerned this may be the "last opportunity" to request such work be completed by the developer. She explained that the subdivision to the south of the school was building School Ave. from the south, and if we were not required to build the entire length of the property there would then be a gap in the roadway.

As previously described, Pi STEM should no longer be considered a "developer" in relation to the work it does to improve the educational facility. Although this clarification in law was not made until after the school's original SUP application, we believe the site plan provided during that application clearly showed the proposed development, including the School Ave. construction, to remain within the north 5-acre area of the property. In Figure 2 the terminus of the School Ave. creation is represented and does terminate at the bus loop.

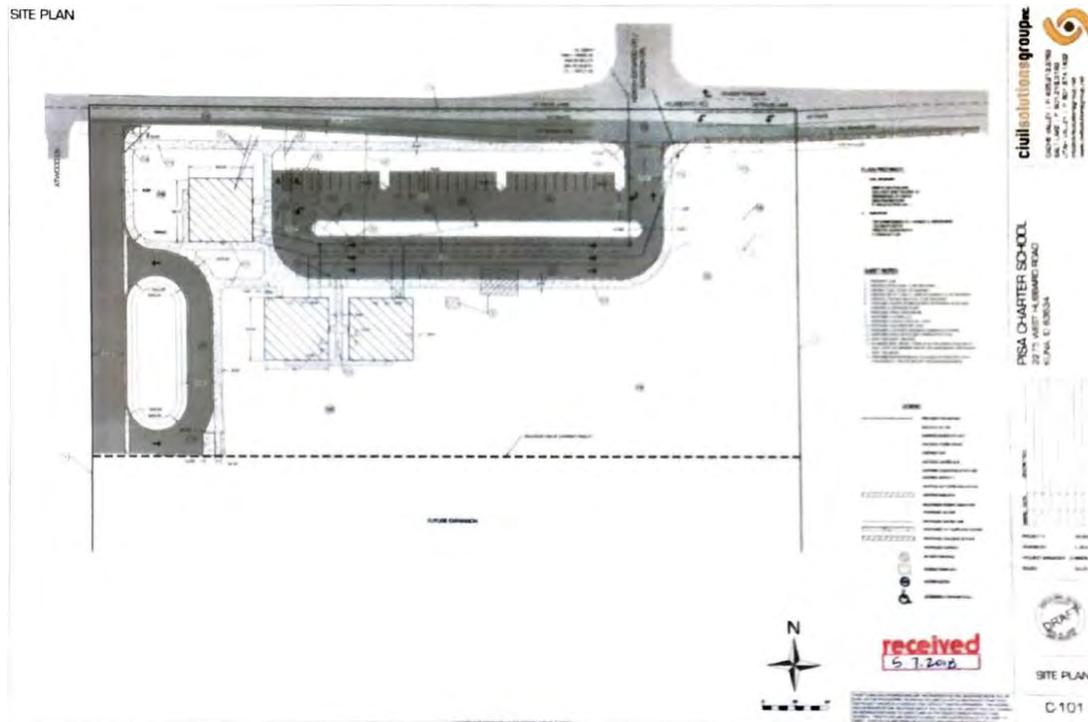


Figure 2: 18-08 SUP Site Plan image

The statement from ACHD regarding the 18-08 SUP application, specifically the Stub Street, also indicates the understanding that the bus loop would indeed be the planned terminus of the School Ave. construction:

“The applicant’s proposal meets District policy and should be approved, as proposed. The applicant should be required to install a sign at the terminus of the sub street stating that, ‘THIS IS A DESIGNATED COLLECTOR ROADWAY. THIS STREET WILL BE EXTENDED AND WIDENED IN THE FUTURE.’ Typically, a temporary cul-de-sac turnaround would be required at the terminus of the sub street, as it is greater than 150-feet in length. In lieu of constructing a temporary cul-de-sac turnaround at the terminus of the stub street, the applicant should be required to provide a public use easement over the bus loop driveway which will allow the public turnaround at the end of the street. The easement may be removed when the stub street is extended.”

The school has investigated the subdivision proposals for Arbor Ridge Subdivision. It appears this project has been broken into 7 different phases of development, and the abutting section to the

Pi STEM property is the last planned phase of work for the developer. In a recent call to the developer, we have learned that no plans have even been considered for Phase 7 at this time, and they would not expect to do so for at least 3 years from now.

The ACHD response to the 2014 plan can be reviewed here: [2014 Arbor Ridge Subdivision](#)

In this response, there is no mention of a requirement of the continuation of School Ave. by the developer. In the 2016, Phase 3 response ([2016 Arbor Ridge Subdivision](#)), ACHD does discuss work regarding School Ave.:

“Construct School Avenue as abutting the commercial lots as a 40-foot street section with curb, gutter and 5-foot wide concrete sidewalk, tapering to a 36-foot street section north of Lot 16, Block 19. A temporary turnaround is required at the north end of the roadway where the road is stubbed to the north property line. The City of Kuna may have different collector road standards. ACHD does not oppose these standards as long as the ACHD requirement is the minimum.”

Pi STEM would wish to partner with ACHD, and the Arbor Ridge Subdivision developer, to ensure the concerns of a gap in the completion of School Ave. does not occur. The school however believes that the requirement to incorporate the School Ave. work at this time is unnecessary as it will likely be several years before the Arbor Ridge Subdivision section(s) of School Ave. are reviewed, and therefore this condition should be waived until such time, at minimum, as the school submits for the construction of a permanent facility.

In conclusion I would like to thank you for your willingness to consider our waiver request, and patience with us as we are not developers, and do not understand the complexities and processes necessary – we are merely a public school attempting to make an improvement in our community, and for our community.

We look forward to the opportunity to developing a partnership with ACHD and sharing in the works for a better Kuna.



# City of Kuna

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Phone: (208) 922-5274  
Fax: (208) 922-5989  
Kunacity.id.gov

## Planning & Zoning Commission Staff Report

**To:** Planning and Zoning Commission

**Case Numbers:** 19-02-AN (Annex), 19-01-ZC (Rezone), 19-01-S (Subdivision), & 19-08-DR (Design Review): Greyhawk West Subdivision

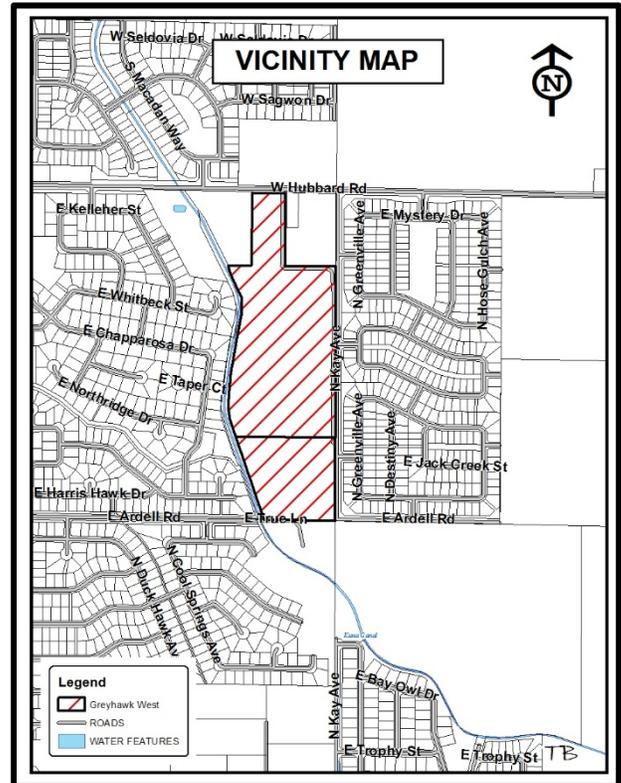
**Location:** Southwest Corner (SEC) of Hubbard and Kay Ave. Roads, Kuna, Idaho 83634

**Planner:** Troy Behunin, Planner III

**Hearing Date:** May 28, 2019

**Representative:** **Kent Brown**  
3161 E. Springwood Dr.  
Meridian, Idaho 83642  
208.871.6842  
[Kentlkb@gmail.com](mailto:Kentlkb@gmail.com)

**Owner:** **Providence Properties, LLC**  
701 S Allen St. STE 104  
Meridian, ID 83642  
208.695.2000  
[Marmuth@hubblehomes.com](mailto:Marmuth@hubblehomes.com)



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| D. Site History          | K. Proposed Findings of Fact and Conclusions of Law |
| E. General Project Facts | L. Commission's Recommendation                      |
| F. Staff Analysis        | M. Recommended Conditions of Approval               |
| G. Applicable Standards  |                                                     |

### A. Process and Noticing:

1. Kuna City Code (KCC), Title 1, Chapter 14, Section 3, states that design reviews are designated as *public meetings*, with the Planning and Zoning Commission (acting as the Design Review Board) as the decision-making body; and that annexations, rezones and subdivision applications are designated as *public hearings*, with the Planning and Zoning Commission as the recommending body, and the City Council as the decision-making body.
2. These land use applications were given proper public notice and have followed the requirements set forth in Idaho Code, Chapter 65, Local Land Use Planning Act (LLUPA).

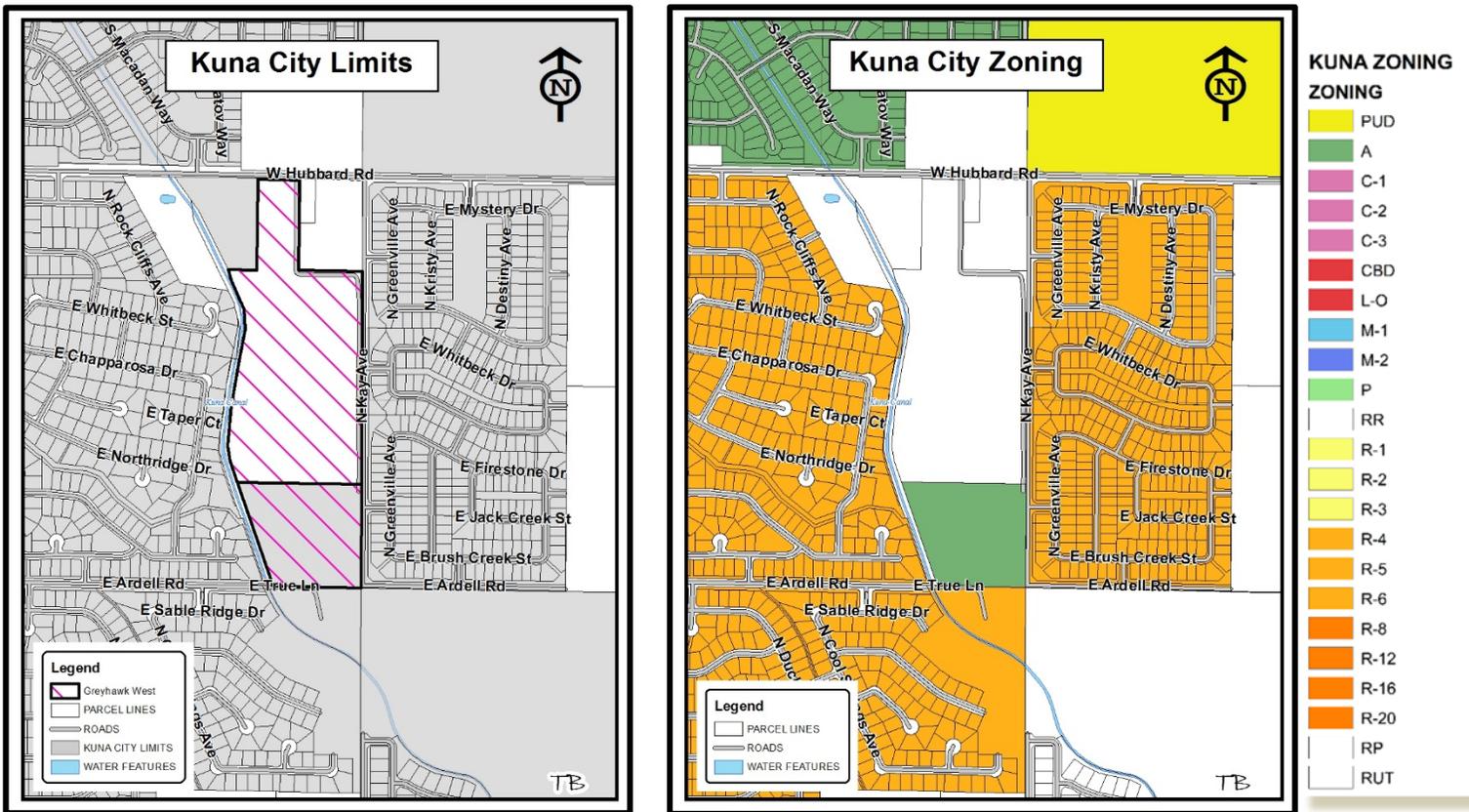
**a. Notifications**

- |                           |                                         |
|---------------------------|-----------------------------------------|
| i. Neighborhood Meeting   | February 6, 2019 (Ten persons attended) |
| ii. Agencies              | April 1, 2019                           |
| iii. 450' Property Owners | May 17, 2019                            |
| iv. Kuna, Melba Newspaper | May 1, 2019                             |
| v. Site Posted            | May 16, 2019                            |

**B. Applicant Request:**

1. The applicant, Providence Properties, LLC, requests to annex approximately 29.15 acres into Kuna City with an R-6, (Medium Density Residential) zone, and to rezone approx. 10.45 acres currently in Kuna City limits from Ag to R-6 (MDR) and to subdivide the approx. 39.33 acres into 174 total lots and have reserved the name *Greyhawk West Subdivision*. A Design Review application for the common areas and buffer landscaping accompanies this application. The site is near the Southwest Corner of Hubbard and Kay Ave., Kuna, Idaho; In Section 13, T 2N, R 1W, APN #'s: S1313212470 & S1313244650.

**C. Exhibit Maps:**



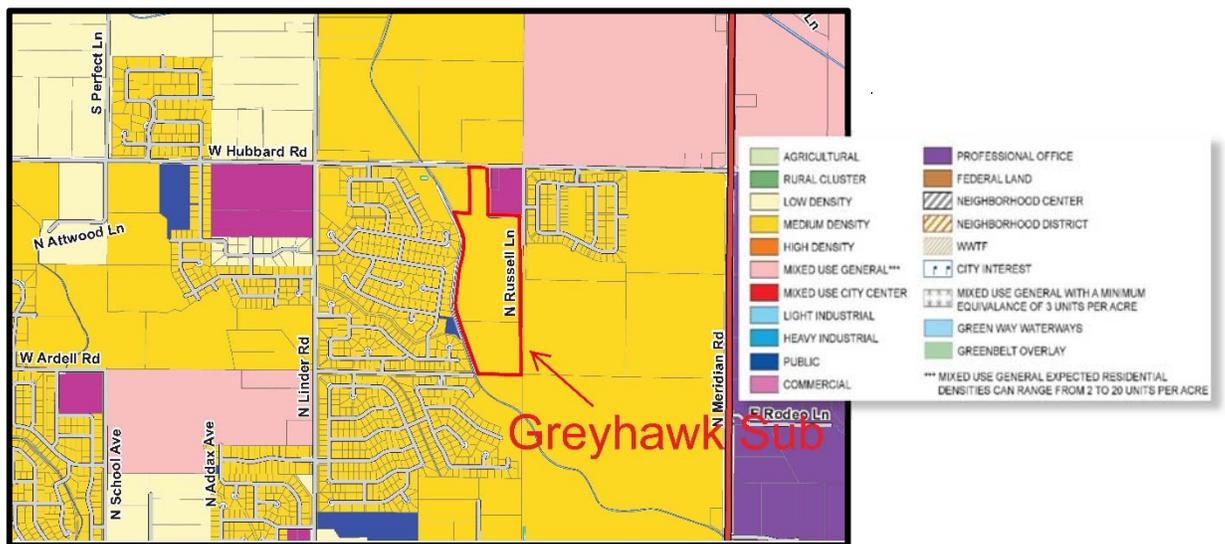


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**D. History:** The subject site is comprised of two parcels; parcel one is approximately 29.15 acres, parcel 2 is approximately 10.45 acres. Parcel one is currently in Ada County and zoned Rural Residential (RR), however, it is contiguous to Kuna City limits on four sides, and has historically been used for a single family residence and for Agricultural purposes. Parcel two has also historically been used for Ag purposes, without a residence, and is already in Kuna City limits, zoned Agriculture.

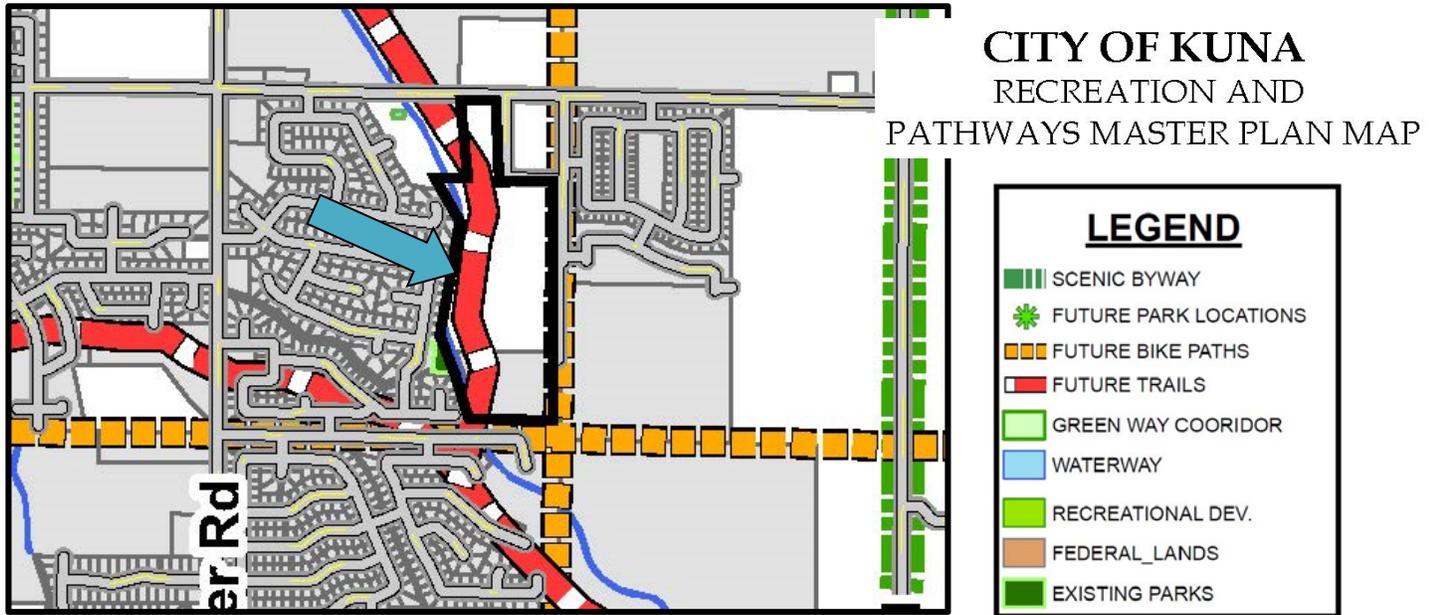
**E. General Projects Facts:**

- 1. Comprehensive Plan Designation:** The Future Land Use Map (Comp Plan Map) is intended to serve as a *guide* for the decision-making body for the City. The Comp Plan map indicates land use designations generally speaking, it is not the actual zone. The Future Land Use Map identifies the approx. 39.33-acre site as Medium Density Residential (4-8 DUA).



2. **Kuna Recreation and Pathways Master Plan Map:**

The Kuna Recreation and Master Pathways Plan map identifies a future bike and walking trail on the west side of the project.



3. **Surrounding Existing Land Uses and Zoning Designations:**

<b>North</b>	RR, R-6	Rural Residential – Ada County <b>AND</b> Med. Den. Resident. - KUNA CITY
<b>South</b>	R-6	Medium Density Residential - KUNA CITY
<b>East</b>	R-6	Medium Density Residential - KUNA CITY
<b>West</b>	R-4, R-5, R-6	Medium Density Residential – KUNA CITY

4. **Parcel Sizes, Current Zoning, Parcel Numbers:**

Property Owner	Parcel Size	Current Zone	Parcel Number
Bradford Waters	Approx. 29.15 ac.	RR - County	S1313212470
Cortland Walker	Approx. 10.46 ac.	Ag. - Kuna	S1313244650

5. **Services:**

Sanitary Sewer– City of Kuna	Fire Protection – Kuna Rural Fire District
Potable Water – City of Kuna	Police Protection – Kuna City Police (A.C.S.O.)
Irrigation District – Boise-Kuna Irrigation District	Sanitation Services – J & M Sanitation
Pressurized Irrigation – Kuna Mun. Irr. System (KMIS)	

6. **Existing Structures, Vegetation and Natural Features:** Currently there is a residence on the Waters’ parcel, with approximately four out-buildings, with agriculture uses on site. The Walker parcel is an agriculture field with no structures currently. This parcels are generally flat and on-site vegetation is consistent with typical residence and agricultural fields.

**Transportation / Connectivity:** The site has limited frontage along Hubbard Road. Applicant shall connect to existing Kay Avenue and the developing Saranda Subdivision (north and west of the site) to serve the

connection/traffic needs of the site. Applicant shall satisfy Kuna City and ACHD's requirements for roadway improvements, including road widening and vertical/ rolled curb, gutter and sidewalks appropriately.

There is an existing stub connection in Saranda Subdivision and staff recommends conditioning the developer to connect to it, as shown on their proposed preliminary plat (dated 5.21.19). ACHD has also provided a condition requiring this connection (*Site Specific Condition No. 10*).

7. **Environmental Issues:** Staff is not aware of any environmental issues, health or safety conflicts. Idaho Department of Environmental Quality (DEQ) has provided recommendations for surface and groundwater protection practices and requirements for development of the site.
8. **Agency Responses:** The following responding agency comments are included as exhibits with this case file:
  - City Engineer (Paul Stevens) - Exhibit B 1
  - Ada County Highway District (ACHD) - Exhibit B 2
  - Boise Project Board of Control – Exhibit B 3
  - Central District Health Department (CDHD) – Exhibit B 4
  - COMPASS - Exhibit B 5
  - Department of Environmental Quality (DEQ) – Exhibit B 5
  - Idaho Transportation Department (ITD) – Exhibit B 6
  - Kuna Rural Fire District (KRFD) - Exhibit B 7
  - Kuna School District No. 3 (KSD 3) - Exhibit B 8

**F. Staff Analysis:**

Applicant requests approval to annex approximately 29.15 acres into Kuna City limits with an R-6 (Medium Density Residential -MDR) zone. Currently parcel one is zoned Rural Residential (RR) in Ada County. Applicant also proposes rezoning parcel two (approx. 10.45 acres) from Agriculture TO R-6, MDR. Applicant proposes to subdivide these combined (approx.) 39.33 acres in order to create a 174 lot, subdivision known as *Greyhawk West* Subdivision.

The applicant proposes annexation applying the category "A" method, and as it touches current City limits on all sides of the project, the site is eligible for annexation. Applicant is proposing at least three (3) phases of development which will largely be driven by the consumer market.

The applicant proposes to rezone approximately 10.45 acres from Agriculture to R-6 MDR. Parcel one under consideration was a participant in the Local Improvement District (LID), which anticipated residential uses (at least as earlier as 2007). The current and proposed Comp Plan Map for Kuna identifies both parcels as Medium Density Residential uses, or four (4) to eight (8) dwellings per acre (DUA). This preliminary plat proposes a gross density of 3.97 DUA and net density at 5.04 DUA.

Public utilities will be provided at the developers cost, by extending existing City/Utility facilities. Applicant proposes 174 total lots over Approx. 39.33 acres in an R-6 zone (Med. Density) and as such, staff views this proposal compliant with the Comp Plan Map. Staff recommends the applicant be conditioned to provide street lights throughout the Sub that comply with KCC for distance, style and wattage, including street lights at all intersections and hydrants.

A Homeowners Association (HOA) will be established for the care and maintenance for the common lots and landscape buffers. The Parks and Rec. Dept. (Bobby Withrow) and applicant have discussed the creation of a pathway/greenbelt along the entire west side of the property by the developer and then dedicating it to the City, and if approved, the City would take ownership and maintenance responsibility.

A design review application accompanies the applicant's request for the common area landscaping and buffers. Staff finds the proposed landscape plan generally complies with KCC 5-17, except as otherwise noted in this report. Staff notes that a monument sign for the subdivision was not included with the design review application noting that all monument signs are required to go through design review. This process can be accomplished at a later date without any delay to the project. Staff recommends the applicant be conditioned to place sod between the pathway and the lots along the entire greenbelt on the west side of the project. Staff also notes that the planting details should be changed to reflect KCC; which are requested in the proposed conditions of approval (Condition #13). Staff recommends that the applicant resubmit a PDF of the plan bearing these changes.

Applicant is hereby notified that this project is subject to design review inspection fees. Required inspections (post construction), are to verify landscaping compliance prior to signature on the final plat. It is also noted that any changes to the landscape or street light plans must receive staff approval *prior* to changes being made. At the time of inspections, if field conditions are different than the approved plans, changes will be required until field conditions are compliant, and will be made at developers' expense.

Staff has determined these applications comply with Title 5 of the Kuna City Code; Idaho Statute §50-222; and the Kuna Comprehensive Plan; and forwards Case No's 19-02-AN, 19-01-ZC, 19-01-S and 19-08-DR, to the Kuna Commission with recommended conditions of approval listed in section 'M' of this report.

**G. Applicable Standards:**

1. City of Kuna Zoning Ordinance Title 5.
2. City of Kuna Subdivision Ordinance Title 6.
3. City of Kuna Comprehensive Plan.
4. Idaho Code, Title 67, Chapter 65- the Local Land Use Planning Act.

**H. Factual Summary:**

This site is located near the southwest corner (SEC) of Hubbard Rd. and Kay Avenue. Applicant proposes to annex approximately 29.15 acres into the City of Kuna with an R-6 MDR zone. Applicant proposes to rezone approx. 10.45 acres from A to R-6 MDR. Applicant has submitted a preliminary plat to subdivide the parcel into 174 total lots and proposes full improvements for all classified roads, and all internal Roads to City and ACHD standards.

**I. Proposed Comprehensive Plan Analysis:**

The Kuna Planning and Zoning Commission may accept or reject the Comprehensive Plan components, and has determined the proposed combination preliminary and final plat request for the site *is/is not* consistent with the following Comprehensive Plan components as described below:

The comprehensive plan is a living document, intended for use as a guide to governmental bodies. The plan is not law that must be strictly adhered to in the most stringent sense; it is to be used by public officials to assist their decision making for the City.

**2.0 – Property Rights and Summary**

***Goal 1: Ensure the City land use policies, restrictions, conditions and fees do not violate private property rights and ensure that land use actions, decisions, and regulations do not effectively eliminate all economic value of the subject property. Ensure that City land use actions, decisions, and regulations do not prevent a private property owner from taking advantage of a fundamental property right and evaluate with guidance from the City attorney and the Idaho Attorney General's six criterion established to determine the potential for property "takings".***

**Comment:** Utilizing the Idaho Attorney Generals criteria, and a review by the City Attorney, the proposed project does not constitute a “takings” and the economic value is intact.

**5.0 Economic Development Goals and Objectives - Summary:**

Ensure an adequate supply of housing for all income levels and facilitate pedestrian connections, both visually and physically, to enhance pedestrian movement.

**Comment:** The proposed application complies with the comprehensive plan by providing a mix of lot sizes, sidewalks, pathways and open spaces throughout to meet this goal.

**6.0 Land Use Goals and Objectives - Summary:**

Adopt a future land use plan and map that includes natural and developed open spaces, while providing a variety of housing densities and types to accommodate various lifestyles, ages and economic groups. Protect existing neighborhoods and ensure new development is sustainable and keeps Kuna desirable. Develop cohesive neighborhoods with character and quality while incorporating a variety of densities and styles.

**Comment:** The project complies with the land use plan as adopted by the City by incorporating the following; landscape buffers, a pathway/greenbelt, sidewalks, varied housing densities and types and promotes desirable, cohesive community character and a possibility for a quality neighborhood.

**8.0 - Public Services, Facilities and Utilities Goals and Objectives - Summary:**

Provide adequate services, facilities, and utilities for all City residents and annex contiguous properties who request City services. Ensure that development within Kuna connects into the City’s sanitary sewer and potable water systems and continue expansion of the City’s sewer systems as resources allow.

**Comment:** Kuna has adequate services for this development and the authority to annex the requested lands into the City. This application will expand the City’s sanitary sewer system, potable water and adds to the pressure irrigation mainline in an orderly fashion and adds a new segment of recreational pathway on the west side

**9.0 - Transportation Goals and Objectives - Summary:**

Work with Kuna City, ACHD and COMPASS to promote and encourage bicycling and walking as transportation modes. Develop a transportation strategy and identify future transit corridors while requiring developers to preserve rights-of-way, to improve mobility on major routes while balancing land use planning with transportation needs.

**Comment:** The project meets the transportation goals of the City by extending and improving full-width public rights-of-way on north for Kay Avenue and internal roads to create additional transportation connections.

**12.0 - Housing Goals and Objectives - Summary:**

Encourage developers to provide high-quality development with a variety of lot sizes, dwelling types, densities and price points to meet the needs of current and future population while creating safe and aesthetically-pleasing neighborhoods. Ensure housing is available throughout the community for all income levels and those with special needs. Encourage logical and orderly residential development while discouraging developers from developing land divisions greater than one half acre because large lot subdivisions increase municipal costs, require public subsidy and create sprawl.

**Comment:** Applicant has proposed 174 total lots which will possibly contribute to high-quality lots of varied sizes to be developed in a logical and orderly manner. The development connects to existing subdivisions, creating a pleasant neighborhood environment.

**13.0 - Community Design Goals and Objectives - Summary:**

Strengthen Kuna's Image through good community and urban design principles that create self-sufficient neighborhoods. Foster good community design concepts that incorporate landscape features to serve as buffers between incompatible uses while reducing scale and create a sense of place.

*Comment: The application incorporates sound community design and landscape features to buffer different uses to create a sense of place for the community to foster neighborhood interactions and activities.*

**J. Proposed Kuna City Code Analysis:**

1. This request **appears/doesn't appear** to be consistent **and/or** in compliance with Kuna City Code (KCC).  
*Comment: The proposed project meets the land use and area standards in Chapter 3, Title 5 of KCC. Staff also finds that the proposed project meets all applicable requirements of Title 6 of KCC.*
2. The site **is / is not** physically suitable for a subdivision.  
*Comment: The approx. 39.33 acre subdivision has sufficient size to include a mix of lot sizes, community landscape buffer(s).*
3. The annexation and subdivision uses **are / are not** likely to cause substantial environmental damage or avoidable injury to wildlife or their habitat.  
*Comment: The land to be annexed is not used as wildlife habitat. Roads, homes and open spaces are planned for construction according the City requirements and best practices. Staff is not aware of any environmental damage or loss of habitat associated with the proposed development.*
4. The annexation and subdivision application **is / is not** likely to cause adverse public health problems.  
*Comment: The annexation of the property requires a zoning designation per Kuna Code 5-13-9. The medium density zone requires connection to public sewer and water, therefore eliminating the occurrence of adverse public health problems. Through correspondence with public service providers and application evaluation, this project appears to avoid detriment to surrounding uses.*
5. The application **does/does not** appear to avoid detriment to the present and potential surrounding uses; to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing adjacent uses.  
*Comment: The annexation, rezone and subdivision design did consider the location of the property, classified roadways (Hubbard & Kay Avenue) and the system. The subject property can be connected to the City's public sewer, water and pressure irrigation facilities. The adjacent uses are complimentary uses (Kuna) as proposed in the Kuna Comprehensive Plan Future Land Use Map.*
6. The existing and proposed street and utility services in proximity to the site **are/are not** suitable and adequate for residential purposes.

**K. Proposed Commission Findings of Fact:**

Based upon the record contained in Case No's 19-02-AN, 19-01-ZC, 19-01-S and 19-08-DR including the Comprehensive Plan, Kuna City Code, Staff's Memorandums, including the exhibits, and the testimony during the public hearing, the Kuna Commission hereby recommends **approval/conditional approval/denial** of the Findings of Fact and Conclusions of Law, and conditions of approval for Case No's 19-02-AN, 19-01-ZC, 19-01-S and 19-08-DR a request for annexation, rezone, preliminary plat and design review approval by Providence Properties, LLC.:

1. The Kuna Planning and Zoning Commission **approves/conditionally approves/denies** the facts as outlined in the staff report, the public testimony and the supporting evidence list presented.

**Comment:** The Kuna Planning and Zoning Commission held a public hearing on the subject applications on May 28, 2019, to hear from City staff, the applicant and to accept public testimony. The decision by the Commission is based on the application, staff report and public testimony, both oral and written.

2. Based on the evidence contained in Case No's 19-02-AN, 19-01-ZC, 19-01-S and 19-08-DR, this proposal **does/does not** generally comply with the Comprehensive Plan and City Code.

**Comment:** Kuna's Comprehensive Plan (Comp Plan), encourages a variety of housing types for all income levels numerous times throughout the document. The City attempts to balance all housing types within the City. Additionally, the Comprehensive Plan encourages the Integration of sidewalks, bike lane systems into community life and development patterns. The applicant has proposed a significant addition of sidewalks through the Sub, and connection to an existing Sub and provided for additional stub/street connections.

3. Based on the evidence contained in Case No's 19-02-AN, 19-01-ZC, 19-01-S and 19-08-DR, this proposal **does/does not** generally comply with the City Code.

**Comment:** The applicant has submitted a complete application, and following staff review the application appears to be in general compliance with the design requirements, public improvement requirements, objectives and considerations listed in Kuna City Code Title 5 and Title 6.

4. The Kuna Planning and Zoning Commission has the authority to **approve, conditionally approve or deny** Case No. 19-08-DR and to recommend **approval, conditionally approve or denial** of Case No's 19-02-AN, 19-01-ZC and 19-01-S to Council.

**Comment:** On December 11, 2018, the Commission voted to **approve/conditionally approve/deny** Case No. 19-08-DR and recommend **approval / conditional approval / denial** for Case No's 19-02-AN, 19-01-ZC and 19-01-S.

5. The public notice requirements have been met and the neighborhood meeting was conducted within the guidelines of applicable Idaho Code and City Ordinances.

**Comment:** Neighborhood Notices were mailed out to residents within 450-FT of the proposed project site on May 17, 2019, and a legal notice was published in the Kuna Melba Newspaper on May 1, 2019. The applicant placed a sign on the property on May 16, 2019.

Based upon the record in 19-02-AN, 19-01-ZC, 19-01-S and 19-08-DR, including the Comprehensive Plan, Kuna City Code, Staff's report, including the exhibits, and the testimony elicited during the public hearing, the Commission hereby recommends **approval/conditional approval/denial** for Case No's 19-02-AN, 19-01-ZC and 19-01-S, a request for annexation and subdivision preliminary plat to Council, and **approves/conditionally approves/denies** Case No. 19-08-DR Subdivision Design Review request by the applicant as follows:

The Commission concludes that the Application **does/does not** comply with the City of Kuna's Zoning regulations (Title 5) of KCC and/or the Subdivision regulations outlined in title 6 of KCC and/or the Landscape Code in title 5.

**L. Proposed Order of Decision by the Commission:**

Note: These motions are for the approval, conditional approval or denial of the design review application and the recommendation of approval or denial of the annexation and preliminary plat applications. However, if the

*planning and Zoning Commission wishes to approve or deny specific parts of these requests as detailed in the report, those changes must be specified.*

Based on the facts outlined in staff's report and public testimony during the public hearing the Planning and Zoning Commission of Kuna, Idaho, hereby recommends (**approval / conditional approval / denial**) for Case No's 19-02-AN (Annexation ), 19-01-ZC (Rezone) and 19-01-S; (Preliminary Plat) a subdivision request from Providence Properties, LLC to annex 29.15 acres, rezone 10.45 acres and subdivide approximately 39.33 acres into 174 total lots and hereby (**approves / conditionally approves / denies**) 19-08-DR; Design Review subject to the following conditions of approval listed in section "M" of this staff report.

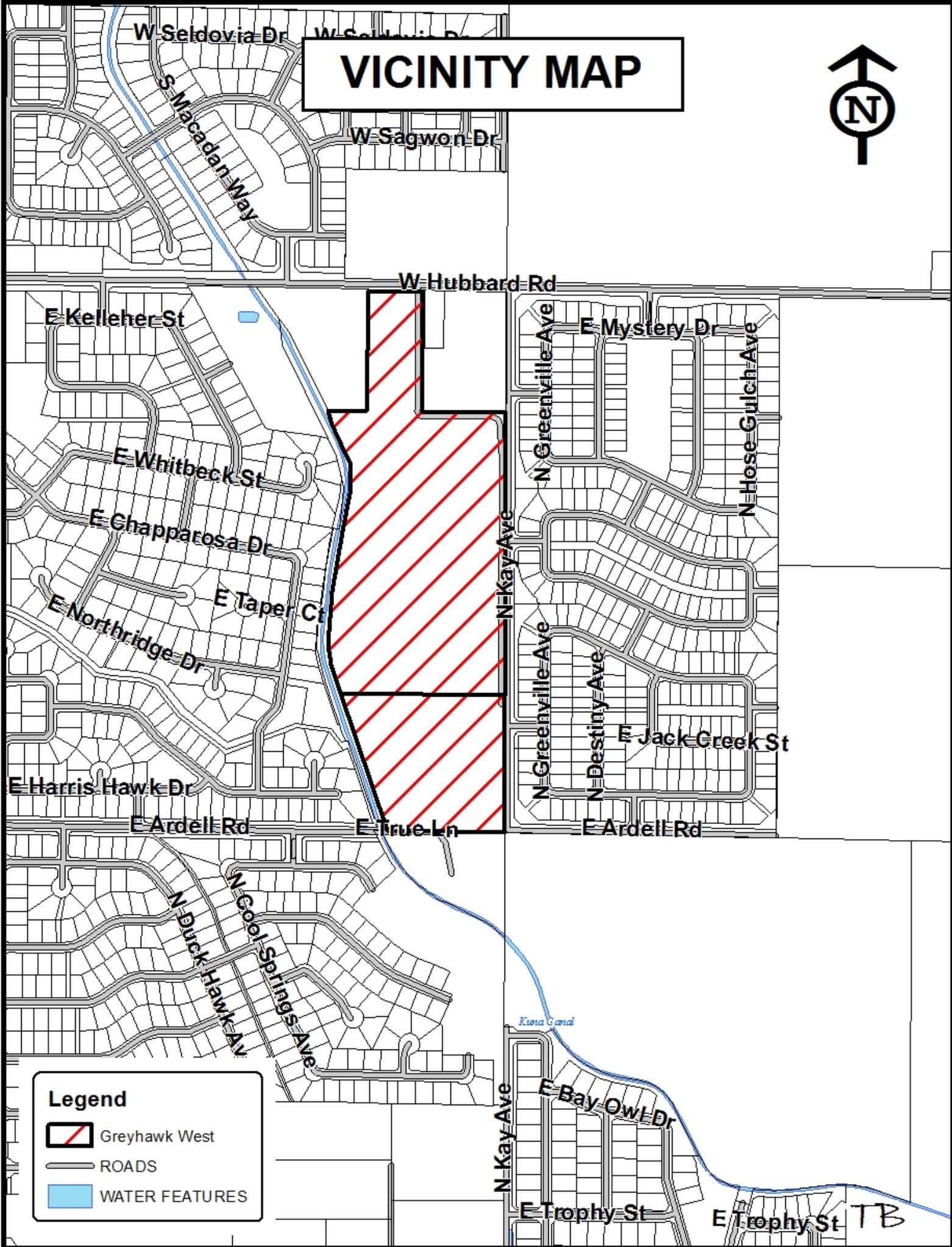
**M. Recommended Conditions of Approval:**

1. The applicant and/or owner shall obtain written approval on letterhead or may be written/stamped on the approved plans of the construction plans from the agencies noted below. All submittals are required to include the lighting, landscaping, drainage, and development plans. All site improvements are prohibited prior to approval of the following agencies:
  - a. The City Engineer shall approve the sewer hook-ups.
  - b. The City Engineer shall approve drainage and grading plans.
  - c. Central District Health Department recommends the plan be designed and constructed in conformance with standards contained in, "Catalog for Best Management Practices for Idaho Cities and Counties".
  - d. No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of the drainage plan.
  - e. The Kuna Fire District shall approve fire flow requirements and/or building plans. Installation of fire protection facilities as required by Kuna Fire District is required.
  - f. The *Boise Project and Board of Control* shall approve any modifications to the existing irrigation system.
  - g. Approval from Ada County Highway District shall be obtained and Impact Fees must be paid prior to issuance of any building permit.
  - h. Idaho Transportation Department. No public street construction may be commenced without the approval and permit from Ada County Highway District and Idaho Transportation Department.
  - i. All public rights-of-way shall be dedicated and constructed to standards of the City, Ada County Highway District,
2. Installation of utility service facilities shall comply with requirements of the public utility or irrigation district providing services. All utilities shall be installed underground, see KCC 6-4-2-W.
3. Compliance with Idaho Code, Section §31-3805 pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site.
4. Street lighting shall use LED lights, with spacing and wattages meeting KCC 5-4-6; applicant shall coordinate a street light plan for P & Z approval in concert with the prepared construction drawings for the project.
5. Parking within the site shall comply with KCC 5-9-3.
6. Fencing within and around the site shall comply with Kuna City standards – KCC 5-5-5- A-J and KCC 6-4-2-E.
7. A sign permit is required prior to any subdivision entrance sign construction and shall comply with KCC 5-10-4. *Monument signs will require a separate design review.*
8. All required landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace unhealthy or dead plant material within three days or as the planting season permits as required to meet KCC 5-17-7 standards. Maintenance and planting within public rights-of-way shall be approved from the public entities owning the property.
9. Submit a petition to the City consenting to the pooling of irrigation surface water rights for delivery purposes and requesting to annex the irrigation surface water rights appurtenant to the property to the Kuna Municipal Pressure Irrigation system of the City (KMID) prior to requesting final plat signature from the City Engineer.

10. The land owner/applicant/developer and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the Commission and/or Council, or seek amending them through public hearing processes.
11. The applicant's proposed preliminary plat (dated 05/21/19) shall be considered a binding site plan, or as modified and approved through the public hearing process.
12. The applicant's proposed landscape plan (dated 01/16/2019) shall be considered a binding site plan, or as modified and approved through the Design Review process.
13. Applicant shall add the following notes to the landscape plans and resubmit a PDF for Planning and Zoning approved plans, bearing the changes.
  - 13.1 – Landscape contractor shall remove all twine/ropes and burlap from root balls.
  - 13.2 – Landscape contractor shall remove the wire basket from the top 1/2 of the root ball.
  - 13.3 – Place SOD between the pathway and the lots along the entire greenbelt on the west side.
14. Applicant shall follow staff, city engineer and other agency recommended requirements as applicable.
15. Compliance with all local, state and federal laws is required.

**DATED:** This \_\_\_\_ day of \_\_\_\_\_, 2019.

# VICINITY MAP



**Legend**

-  Greyhawk West
-  ROADS
-  WATER FEATURES

E Trophy St TB



# KENT BROWN PLANNING SERVICES

March 4, 2019

Kuna City Planning & Development Services  
PO Box 13  
Kuna, ID 83634

**RE: Greyhawk Subdivision 197 W. Hubbard Road  
Applications for annexation, rezoning and preliminary plat**

Dear Planning Staff:

On behalf of developer, Providence Properties LLC., please accept the attached applications for annexation, rezone and preliminary plat of the Greyhawk Subdivision. The site is located on the south side of Hubbard Road between N. Kay Ave and the Kuna Canal.

**Annexation**

The annexation request is for the property located at 197 W. Hubbard Road (Waters property #S1313212470) with a zoning designation of R6. The parcel has an existing home and associated out buildings, all of which will remain. The 29.14 acre parcel is currently located in Ada County with a zoning designation of RR. We are requesting annexation with a zoning with a designation of R6.

**Rezone**

The rezone request is for Walker property #S1313244650 with a zoning designation of R6. It is located south of the Waters property at 197 W Hubbard Road. The parcel does not have any buildings and is 10.45 acres in size and has zoning designation of A. We are requesting a rezone with a zoning designation of R6.

**Property**

Both the zoning designation for annexation and the rezone are in compliance with the zoning designation in the Kuna Comprehensive Planning. The designation for this area is Medium Density Residential. The Kuna Comprehensive Plan designation describes this area for residential development; where densities shall be in the general range from four to seven units per acre. This area is to be made up of single family homes, but may include townhomes, row houses and duplexes.

**Preliminary Plat**

Greyhawk Subdivision has been designed to comply with all the zoning regulations and dimensional standards for the R6 zone in the Kuna City Code. There is total of 174 lots in the Greyhawk Subdivision with 156 single family lots and 18 common lots. The buildable lots will have front yard setbacks are 20 ft, rear yard setbacks are 15ft, interior side yards are 5 ft and street side yards are 20 ft. Lot sizes are all larger than the minimum 4500SF; with sizes ranging

from 5400+ SF to 74,000+SF, and an average size of 7,161SF. The list of lots and lot sizes are shown on the preliminary plat. We have 3.97 dwellings per acre even though the R6 zone will allow up to 6 dwelling units per acre.

### **Buffers and Open Space**

A thirty (30ft) wide landscape buffer is planned along W. Hubbard Road; with twenty (20ft) wide landscape buffers on E. Ardell Street and N. Kay Ave. Additional open space and

The Kuna Canal runs along the western boundary of the property. The Kuna Recreation and Pathways Master Plan shows a future trail along the Kuna Canal. We have designed the pathway to not be placed in the easement for the Kuna Canal maintenance and access. As shown on the preliminary plat, the maintenance access to the canal is on the east side of the Canal, adjacent to Greyhawk Subdivision.

### **Neighborhood meeting**

The neighborhood meeting was held on Wednesday, February 6, 2019, at 6pm at the Kuna Library. Meeting lasted a half hour with discussions, about a large existing tree adjacent to our site and irrigation ditches and our street connection to Hubbard Road. The existing tree is located near our site in the right of way of N. Kay Ave. The tree is an old popular tree and will be required by ACHD to be removed when N. Kay Ave is widen in the future. The existing irrigation ditches will be replaced with irrigation piping to make sure the irrigation water is delivered to all those who have received their water across this property. Connection to Hubbard we explained to the neighbors will not be made if the Saranda Subdivision is installed before we build the phase with that connection in it.

If you have any questions regarding this application for Greyhawk Subdivision feel free to contact me.

Sincerely,



Kent Brown  
Planner



City of Kuna  
 Planning & Zoning  
 Department  
 P.O. Box 13  
 Kuna, Idaho 83634  
 208.922.5274  
 Fax: 208.922.5989  
 Website: www.kunacity.id.gov

## Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

\*Please submit the appropriate checklist (s) with application

### Type of Review (check all that apply):

- Annexation
- Appeal
- Comprehensive Plan Amendment
- Design Review
- Development Agreement
- Final Planned Unit Development
- Final Plat
- Lot Line Adjustment
- Lot Split
- Planned Unit Development
- Preliminary Plat
- Rezone
- Special Use
- Temporary Business
- Vacation
- Variance

For Office Use Only	
File Number (s)	19-02-AN, 19-01-S 19-01-ZC & 19-08- DR
Project name	Grayhawk (2019) Subdivision
Date Received	3/4/19
Date Accepted/ Complete	
Cross Reference Files	
Commission Hearing Date	5.14.2019
City Council Hearing Date	

### Contact/Applicant Information

Owners of Record: <u>see attached</u>	Phone Number: _____
Address: _____	E-Mail: _____
City, State, Zip: _____	Fax #: _____
Applicant (Developer): <u>Providence Properties LLC</u>	Phone Number: <u>208-695-2000</u>
Address: <u>701 S Allen St</u>	E-Mail: <u>MARMUTH@HUBBLEHOME</u>
City, State, Zip: <u>MERIDIAN ID 83642</u>	Fax #: _____
Engineer/Representative: <u>KENT BROWN</u>	Phone Number: <u>208-871-6842</u>
Address: <u>3161 E SPRINGWOOD DR</u>	E-Mail: <u>KENTLKB@GMAIL.COM</u>
City, State, Zip: <u>MERIDIAN ID 83642</u>	Fax #: _____

### Subject Property Information

Site Address: <u>197 W HUBBARD ROAD</u>
Site Location (Cross Streets): <u>NEAR THE SW CORNER OF KAY AVE AND HUBBARD RD</u>
Parcel Number (s): <u>S1313244650 &amp; S1313212470</u>
Section, Township, Range: <u>SEC 13 T2N R1W</u>
Property size : <u>39.33 ACRES</u>
Current land use: <u>RESIDENTIAL ACREAGE</u> Proposed land use: <u>RESIDENTIAL</u>
Current zoning district: <u>A (CITY) &amp; RR (COUNTY)</u> Proposed zoning district: <u>R6</u>

**Project Description**

Project / subdivision name: GREYHAWK SUBDIVISION (PHASES 9-11)

General description of proposed project / request: PRELIMINARY PLAT FOR 156 SINGLE FAMILY LOTS WITH 12.99% OF OPEN SPACE IN A R6 ZONE

Type of use proposed (check all that apply):

Residential SINGLE FAMILY

Commercial \_\_\_\_\_

Office \_\_\_\_\_

Industrial \_\_\_\_\_

Other \_\_\_\_\_

Amenities provided with this development (if applicable): City regional pathway along the Kuna Canal  
2 pocket parks with micro path and tot playground

**Residential Project Summary (if applicable)**

Are there existing buildings?  Yes  No

Please describe the existing buildings: EXISTING SINGLE FAMILY HOME AND OUT BUILDINGS

Any existing buildings to remain?  Yes  No

Number of residential units: 156 Number of building lots: 156

Number of common and/or other lots: 18

Type of dwellings proposed:

Single-Family \_\_\_\_\_

Townhouses \_\_\_\_\_

Duplexes \_\_\_\_\_

Multi-Family \_\_\_\_\_

Other \_\_\_\_\_

Minimum Square footage of structure (s): \_\_\_\_\_

Gross density (DU/acre-total property): 3.97 Net density (DU/acre-excluding roads): 5.04

Percentage of open space provided: 12.99 Acreage of open space: 5.11AC

Type of open space provided (i.e. landscaping, public, common, etc.): regional pathway, street buffers  
2 pocket parks

**Non-Residential Project Summary (if applicable) N/A**

~~Number of building lots: \_\_\_\_\_ Other lots: \_\_\_\_\_  
Gross floor area square footage: \_\_\_\_\_ Existing (if applicable): \_\_\_\_\_  
Hours of operation (days & hours): \_\_\_\_\_ Building height: \_\_\_\_\_  
Total number of employees: \_\_\_\_\_ Max. number of employees at one time: \_\_\_\_\_  
Number and ages of students/children: \_\_\_\_\_ Seating capacity: \_\_\_\_\_  
Fencing type, size & location (proposed or existing to remain): \_\_\_\_\_  
Proposed Parking: a. Handicapped spaces: \_\_\_\_\_ Dimensions: \_\_\_\_\_  
b. Total Parking spaces: \_\_\_\_\_ Dimensions: \_\_\_\_\_  
c. Width of driveway aisle: \_\_\_\_\_  
Proposed Lighting: \_\_\_\_\_  
Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.): \_\_\_\_\_~~

Applicant's Signature: [Signature]

Date: 2-18-19

# GREYHAWK SUBDIVISION

## VICINITY MAP

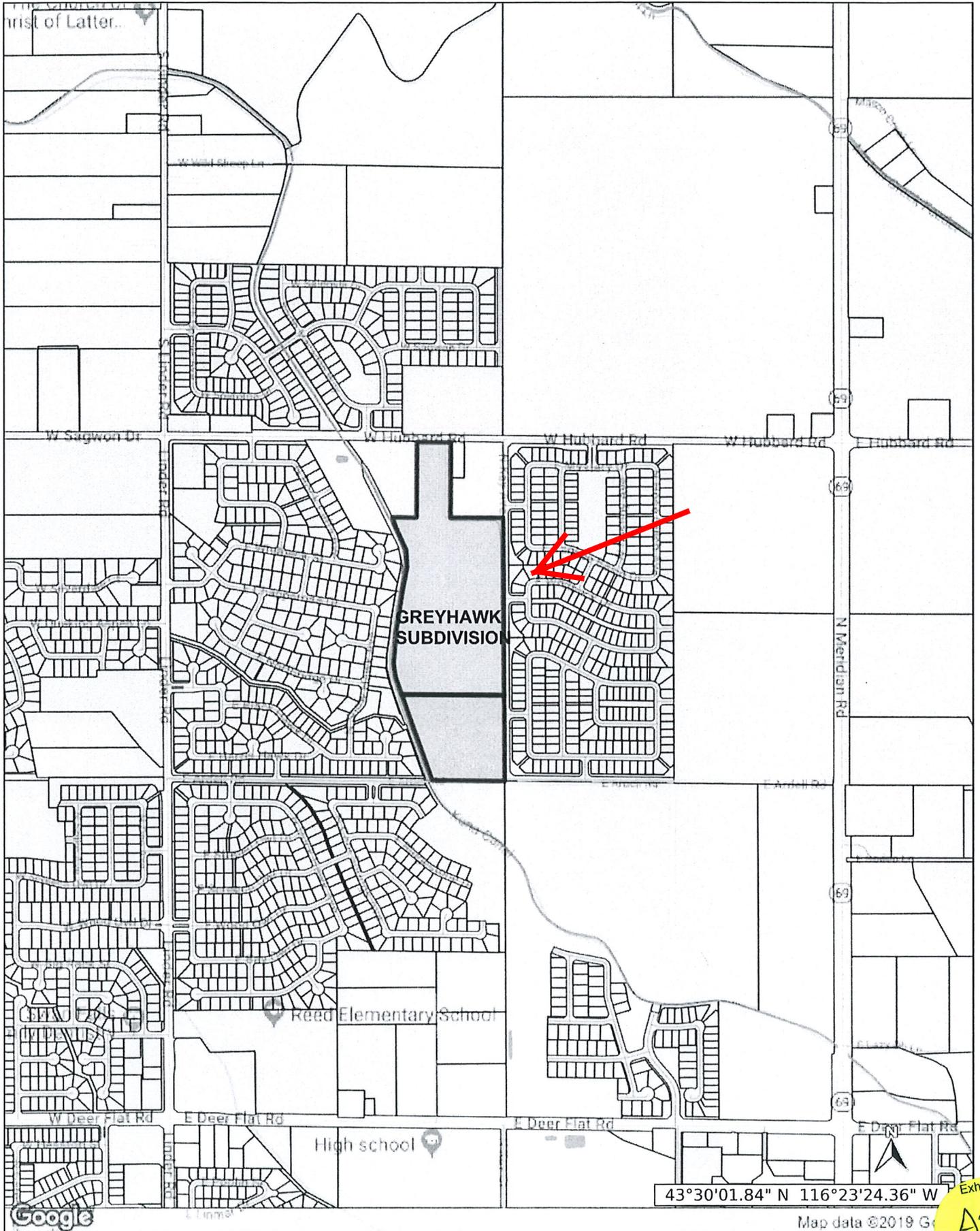
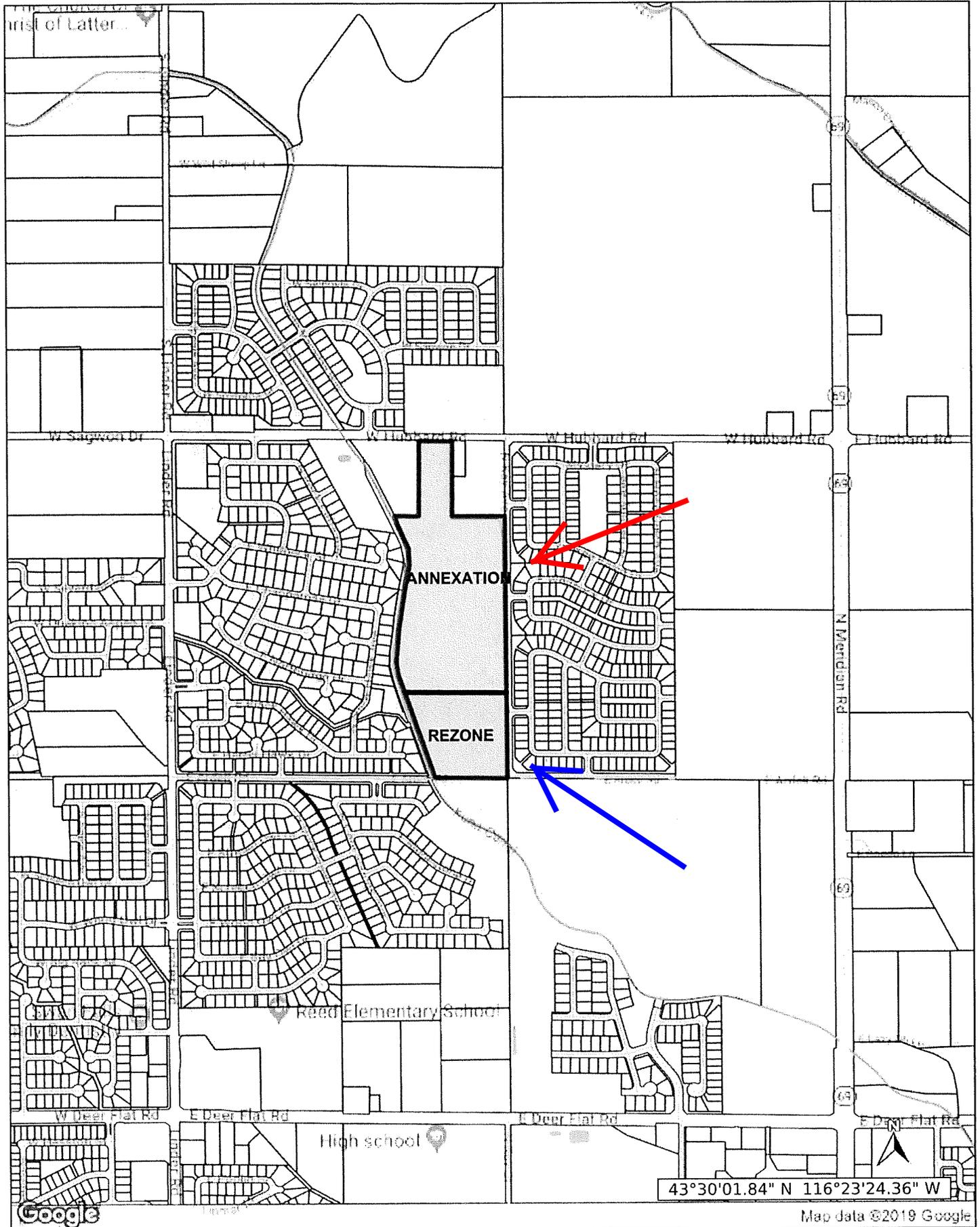


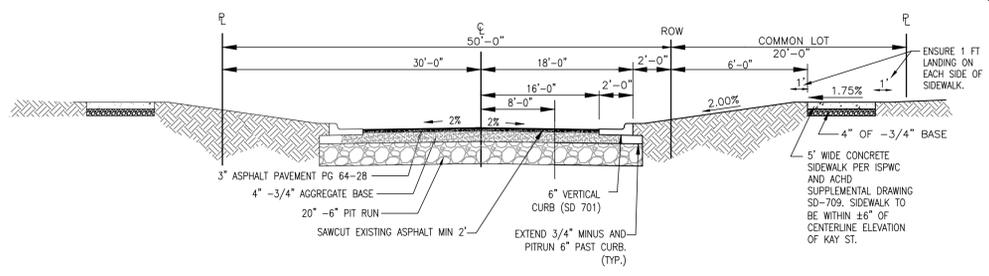
Exhibit  
A2b

# GREY HAWK SUBDIVISION VICINITY MAP

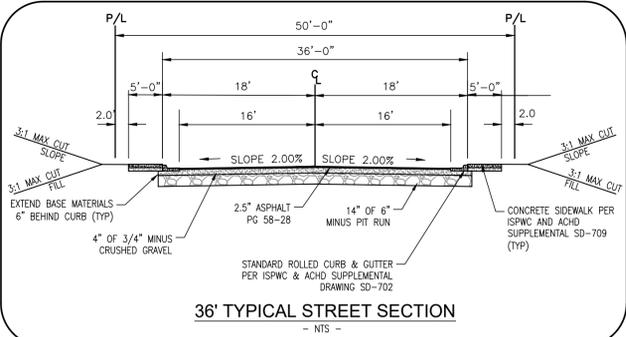


# PRELIMINARY PLAT FOR GREYHAWK SUBDIVISION

THE WEST 1/2 OF THE NE 1/4 OF SECTION 13  
TOWNSHIP 2 NORTH, RANGE 1 WEST, BOISE MERIDIAN  
KUNA, ADA COUNTY, IDAHO  
2019

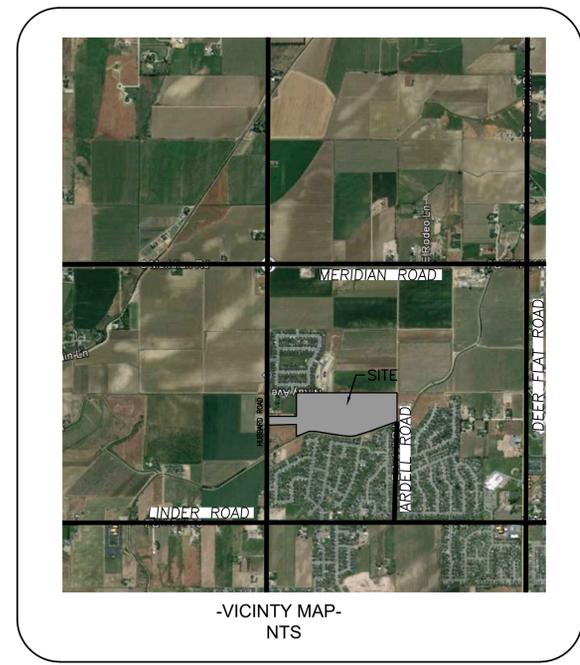


**1 KAY ST TYPICAL STREET SECTION**  
Scale: NOT TO SCALE

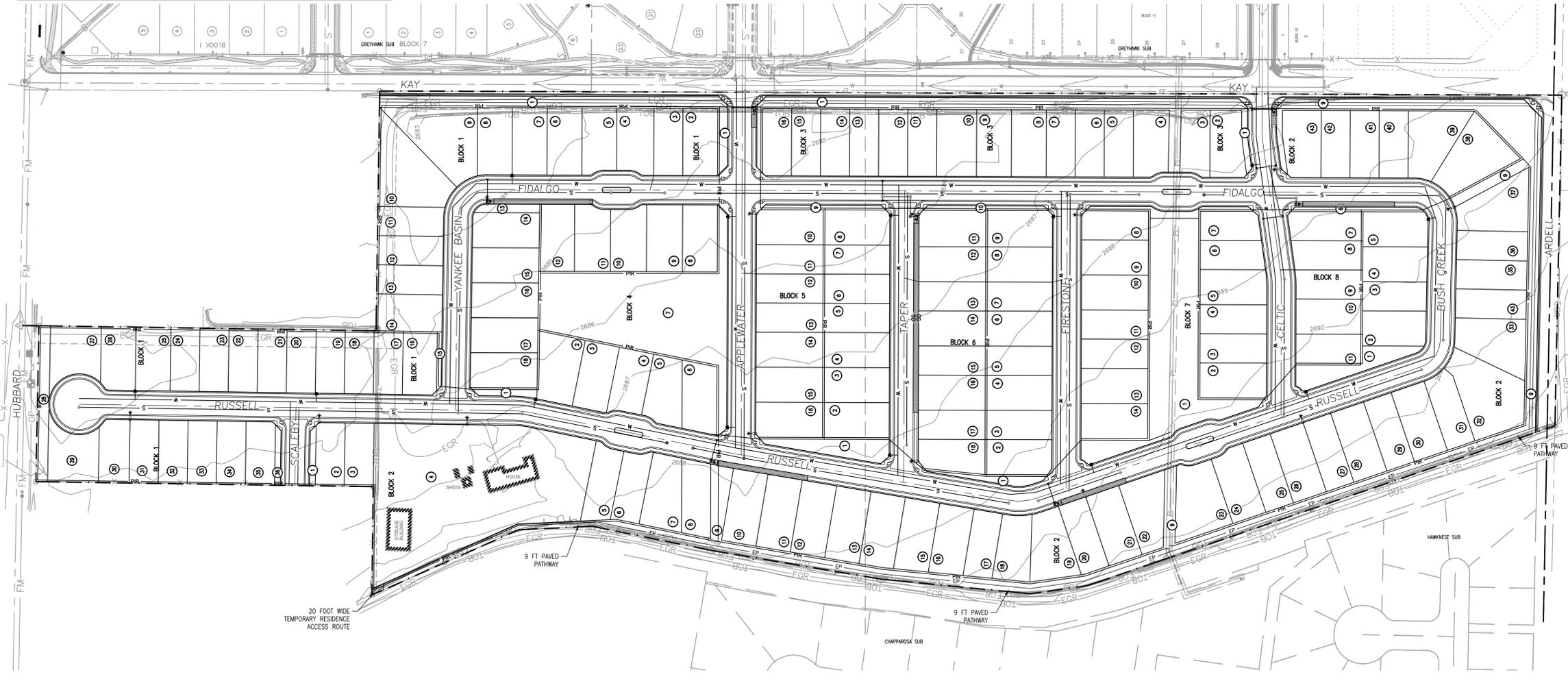
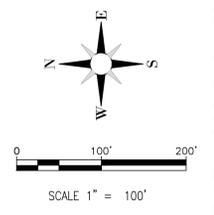


**36' TYPICAL STREET SECTION**  
- NTS -

- NOTES:**
1. ALL LOT LINES COMMON TO A PUBLIC RIGHT OF WAY HAVE A 10' UTILITY EASEMENT.
  2. A 10' UTILITY EASEMENT IS LOCATED ADJACENT TO THE EXTERIOR BOUNDARY.
  3. ALL SIDE YARD LOT LINES HAVE A 5' DRAINAGE & IRRIGATION EASEMENT ON EACH SIDE OF THE LOT LINE UNLESS OTHERWISE SHOWN.
  4. MUNICIPAL SEWER, WATER AND PRESSURE IRRIGATION SERVICES SHALL BE PROVIDED TO EACH LOT.
  5. DRAINAGE FOR THE PUBLIC STREETS WILL BE COLLECTED IN STORM DRAIN CATCH BASINS AND ROUTED THROUGH SAND AND GREASE TRAPS TO SEEPAGE BEDS.
  6. ALL LOTS WITHIN THIS SUBDIVISION ARE SINGLE FAMILY RESIDENTIAL LOTS, WITH THE EXCEPTION OF LOTS 1, 15, 28, & 36 BLOCK 1, LOTS 1 & 9 BLOCK 2, LOT 1 BLOCK 3, LOTS 1, 7 & 13 BLOCK 4, LOTS 1 & 9 BLOCK 5, LOT 1 & 10 BLOCK 6, LOT 1 BLOCK 7, LOTS 1 & 6 BLOCK 8, WHICH ARE COMMON AREA LOTS ALL OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION. ALL SAID COMMON LOTS SHALL HAVE A BLANKET UTILITY AND DRAINAGE EASEMENT.
  7. THIS SUBDIVISION IS SUBJECT TO COMPLIANCE WITH IDAHO CODE SECTION 31-3805 CONCERNING IRRIGATION WATER. PRESSURE IRRIGATION WILL BE SUPPLIED TO ALL LOTS IN THIS SUBDIVISION.
  8. NO DIRECT ACCESS TO HUBBARD, KAY AND ARDELL WILL BE ALLOWED UNLESS APPROVED BY CITY OF KUNA AND ADA COUNTY HIGHWAY DISTRICT.



-VICINITY MAP-  
NTS



**DEVELOPMENT FEATURES**

**ACREAGE**  
TOTAL PARCEL - 39.33 ACRES  
TOTAL LOTS - 172  
BUILDABLE LOTS - 155  
COMMON LOTS - 17  
DENSITY DU/ACRE - 3.94  
COMMON AREA - 222,485 sqft  
5.11 ACRES/12.99%

**ZONING**  
EXISTING - RR & A  
PROPOSED - R6

**SEWAGE DISPOSAL**  
KUNA CITY SEWER

**WATER SUPPLY**  
KUNA CITY WATER

**CITY**  
CITY OF KUNA

**SCHOOL DISTRICT**  
KUNA

**FIRE DISTRICT**  
KUNA FIRE

**IRRIGATION DISTRICT**  
NEW YORK IRRIGATION DISTRICT

**DEVELOPER**  
PROVIDENCE PROPERTIES LLC  
MITCH ARMUTH  
701 S ALLEN ST #104  
MERIDIAN, ID 83642  
(208)-433-8800

**ENGINEER**  
CHAD KINKELA P.E.  
CK-ENGINEERING, PC  
1300 E STATE ST., SUITE 102  
EAGLE, ID 83616  
(208)-639-1992

**SURVEYOR**  
GREG CARTER, P.L.S.  
IDAHO SURVEY GROUP  
9955 EMERALD STREET  
BOISE, ID 83704  
(208)-846-8570

**PLANNER/CONTACT**  
KENT BROWN  
(208)-871-6842

**LANDSCAPE ARCHITECT**  
JOHN ROTERS, P.L.A.  
SOUTH LANDSCAPE ARCHITECTURE  
2002 S. VISTA AVE  
BOISE, ID 83705  
(208)-342-2999

BEFORE DIGGING, CALL DIGLINE AT 1-800-342-1585

REVISIONS:  
REVISED SUB NAME 1/29/19  
ADD CIL-DE-SEC LOT # & BLD NO. 5/21/19

GREYHAWK SUBDIVISION  
SECTION 13, T.2N., R.1W., B.M.  
KUNA, ADA COUNTY, IDAHO

PRELIMINARY PLAT

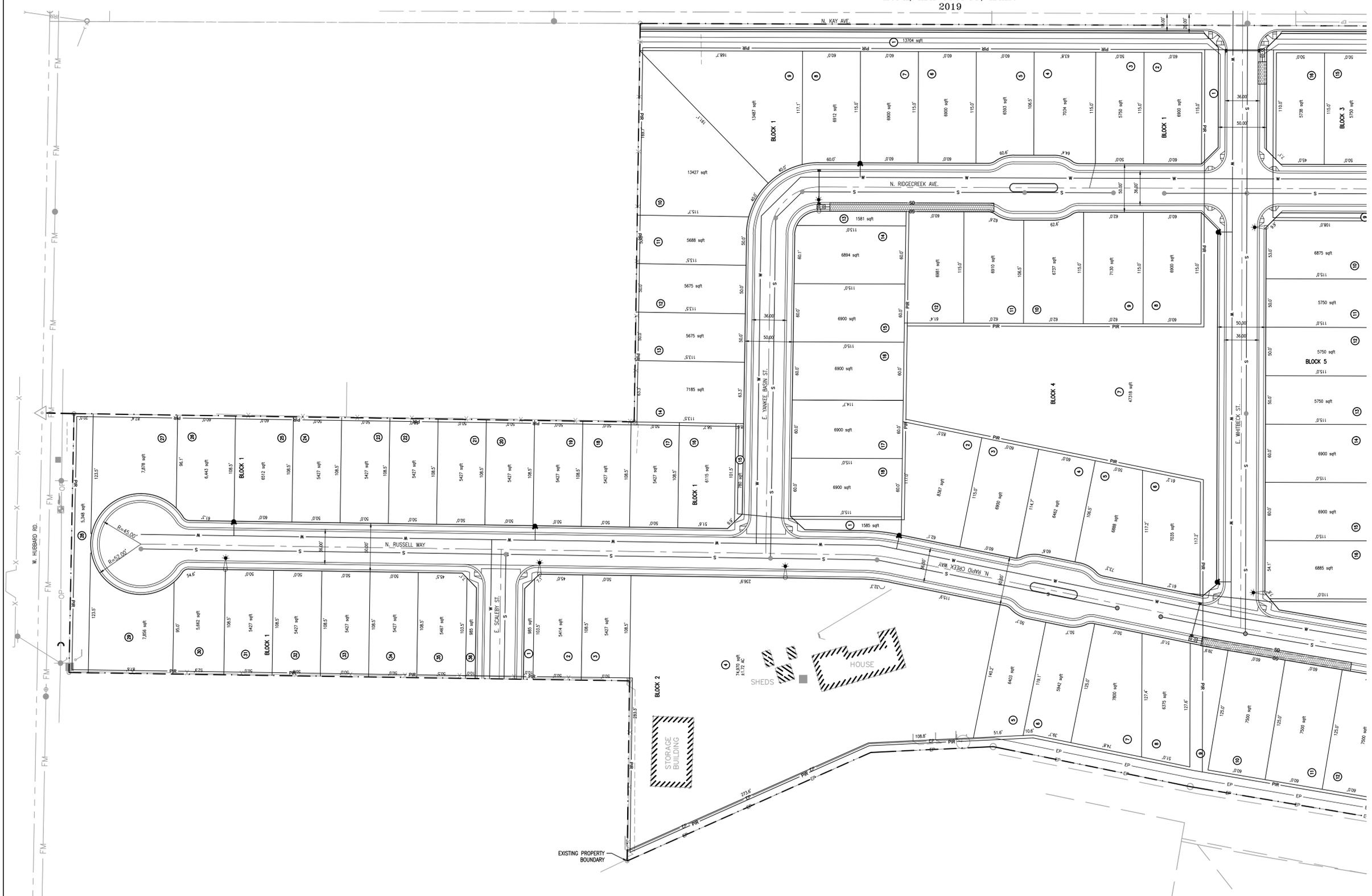
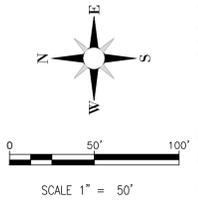
**CK ENGINEERING**  
1300 E. STATE ST., SUITE 102  
EAGLE, ID 83616  
PHONE 208-639-1992

DRAWN BY: CSK  
CHECKED BY: CSK  
DATE: 5/21/19  
FILE: D:\SUBDIVISIONS\GREYHAWK WEST\CK-ENVS\PRELIMINARY PLAT



SHEET  
**C1.0**

**PRELIMINARY PLAT FOR  
GREYHAWK SUBDIVISION**  
THE WEST 1/2 OF THE NE 1/4 OF SECTION 13  
TOWNSHIP 2 NORTH, RANGE 1 WEST, BOISE MERIDIAN  
KUNA, ADA COUNTY, IDAHO  
2019



**BEFORE DIGGING, CALL DIGLINE AT 1-800-342-1585**

REVISIONS:

△	REVISED SUB NAME 1/29/19.
△	ADD CIL-DE-SAC LOT # & BIK NO. 5/21/19.

GREYHAWK SUBDIVISION  
SECTION 13, T.2N., R.1W., B.M.  
KUNA, ADA COUNTY, IDHAO

PRELIMINARY PLAT

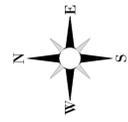
**CK ENGINEERING**  
1300 E. STATE ST., SUITE 102  
EAGLE, ID 83616  
PHONE 208-639-1992  
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DATE: 5/21/19  
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SHEET  
**C1.1**

# PRELIMINARY PLAT FOR GREYHAWK SUBDIVISION

THE WEST 1/2 OF THE NE 1/4 OF SECTION 13  
TOWNSHIP 2 NORTH, RANGE 1 WEST, BOISE MERIDIAN  
KUNA, ADA COUNTY, IDAHO  
2019



SCALE 1" = 50'



BEFORE DIGGING, CALL DIGLINE AT 1-800-342-1585

REVISIONS:

1	REVISED SUB NAME 1/29/19
2	ADD CIL-DE-SAC LOT # & BLK NO. 5/21/19

GREYHAWK SUBDIVISION  
SECTION 13, T.2N., R.1W., B.M.  
KUNA, ADA COUNTY, IDAHO

PRELIMINARY PLAT

CK ENGINEERING

1300 E. STATE ST., SUITE 102  
EAGLE, ID 83616  
PHONE 208-639-1992

DRAWN BY: DES  
CHECKED BY: CSK  
DATE: 5/21/19  
FILE: D:\BIBBLE\GREYHAWK WEST\CK - DMS\PRELIMINARY PLAT



SHEET  
C1.2

# Greyhawk Subdivision



Site Location Map

<b>* ACREAGE</b>	
TOTAL PARCEL:	39.33 ACRES
TOTAL LOTS:	174
BUILDABLE LOTS:	156
COMMON LOTS:	18
DENSITY DU/ACRE:	3.97
COMMON AREA:	222,485 sf. 5.12 ACRES (12.99%)
<b>* ZONING</b>	
EXISTING:	RR & A
PROPOSED:	R6
<b>* SEWAGE DISPOSAL</b>	
KUNA CITY SEWER	
<b>* WATER SUPPLY</b>	
KUNA CITY WATER	
<b>* CITY</b>	
CITY OF KUNA	
<b>* SCHOOL DISTRICT</b>	
KUNA	
<b>* FIRE DISTRICT</b>	
KUNA FIRE	
<b>* IRRIGATION DISTRICT</b>	
NEW YORK IRRIGATION DISTRICT	

Site Information

<b>OWNER</b>	<b>DEVELOPER</b>
PROVIDENCE PROPERTIES, LLC 701 S. ALLEN ST., STE #104 MERIDIAN, ID 83642 208-695-2401	HUBBLE HOMES MITCHELL S. ARMUTH DIRECTOR, LAND DEVELOPMENT 701 S. ALLEN ST., STE #104 MERIDIAN, ID 83642 208-695-2401
<b>ENGINEER</b>	<b>PLANNER/CONTACT</b>
CK-ENGINEERING CHAD KINKELA 860 HEADWATERS DR. EAGLE, ID 83616 208-869-0590	KENT BROWN PLANNING SERVICES KENT BROWN 3161 E. SPRINGWOOD DR. MERIDIAN, ID 83642 208-871-6842
	

Project Team

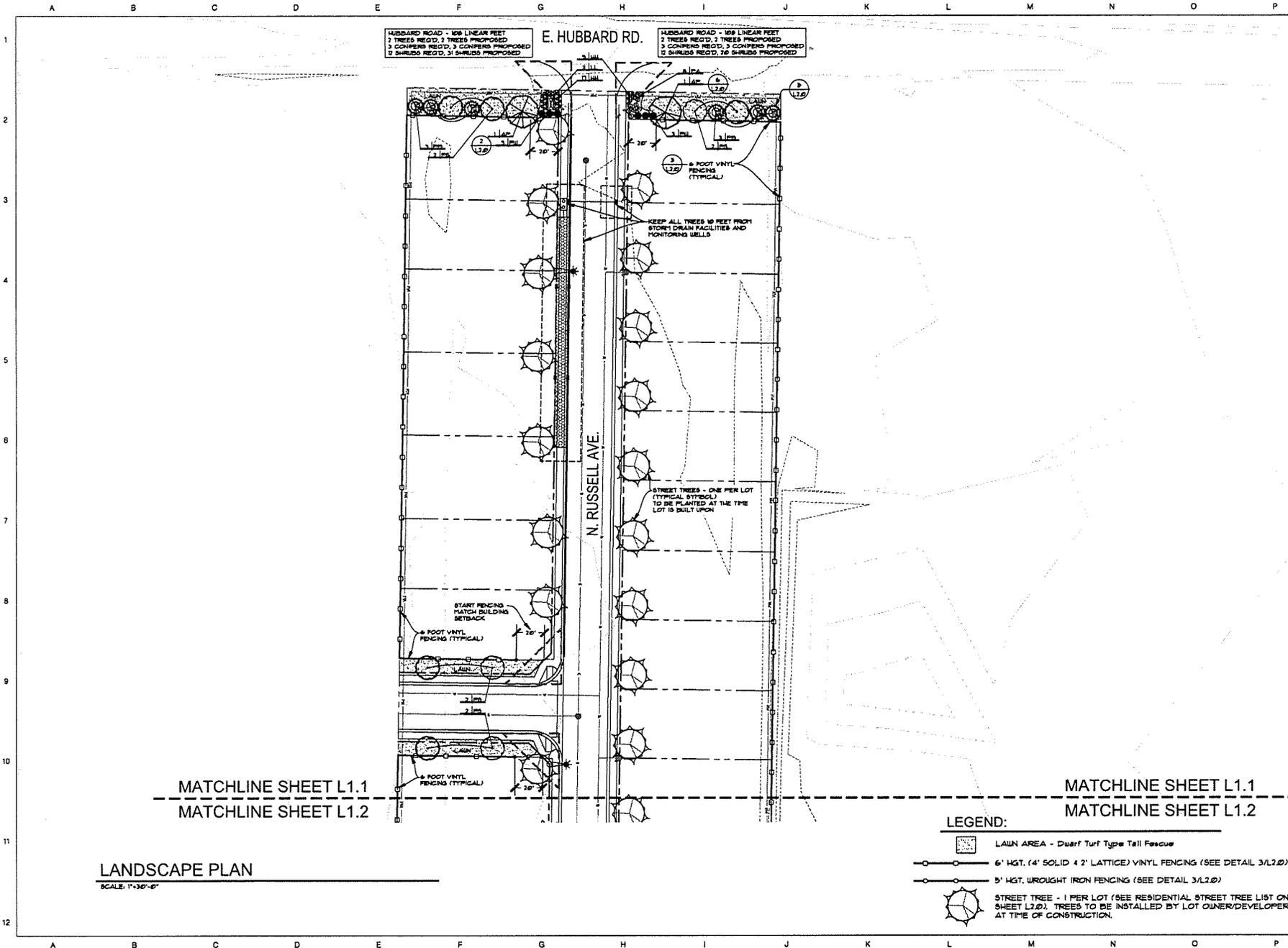


SCALE: 1" = 75'-0"



GREYHAWK SUBDIVISION

GREYHAWK SUBDIVISION



DATE: 1/16/2019

South Landscape Architecture P.C.  
 202 S. Vista Ave  
 33870 BUDDE COURT  
 WATSONVILLE, CA 95076

208.342.2959 Office



REVISIONS:

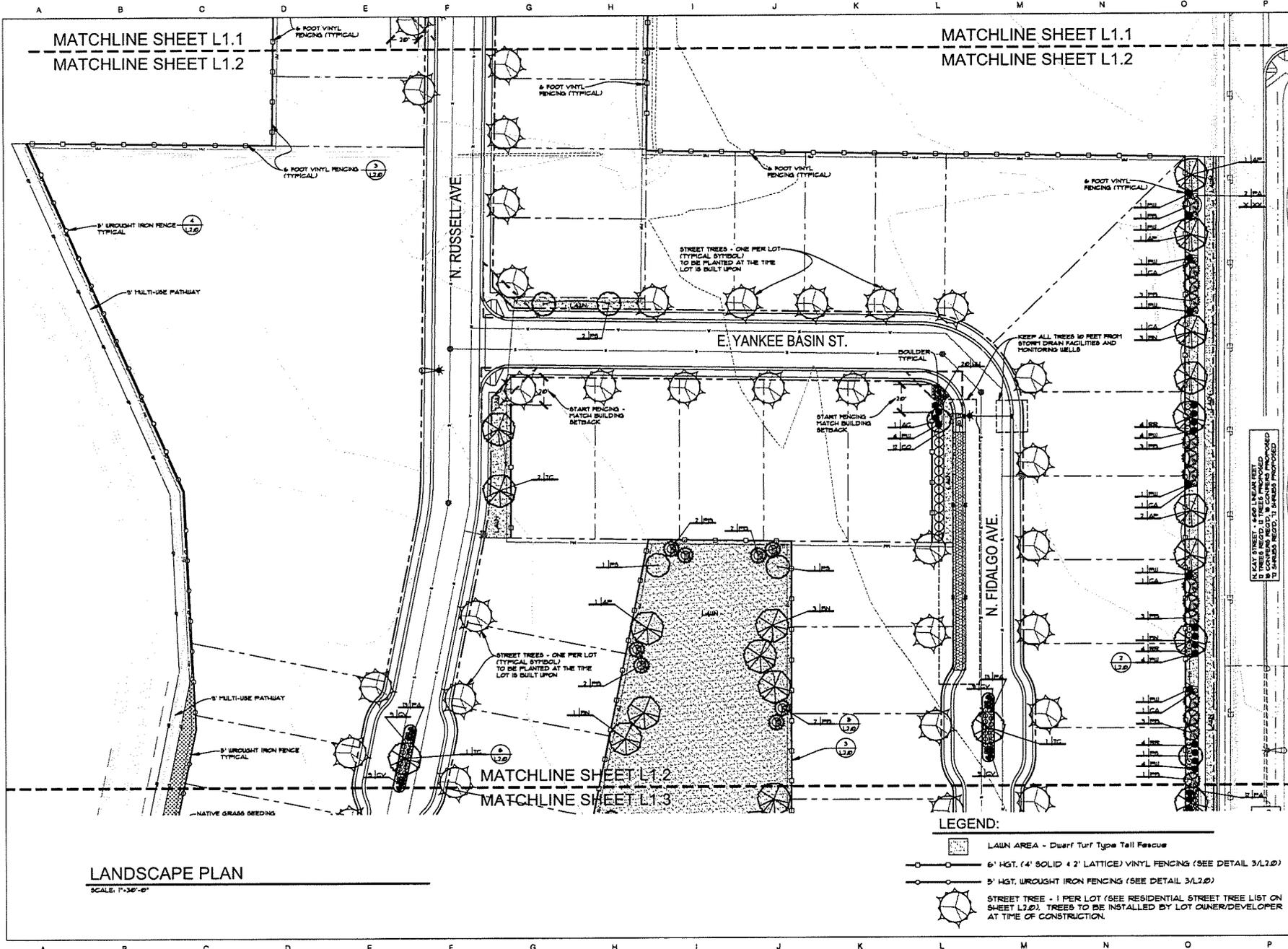
**LANDSCAPE PLANS**  
**Greyhawk West**  
 Sub-division

Idaho

Kuna

DRAWN BY: JAG  
 CHECKED BY: JDR  
 PROJECT NUMBER: -

SHEET: **L1.1**



DATE: 1/16/2015

South Landscape Architecture P.C.  
 2003 S. W. Beck & Baird Lane  
 Boise, ID 83705  
 www.slaib.com



REVISIONS:

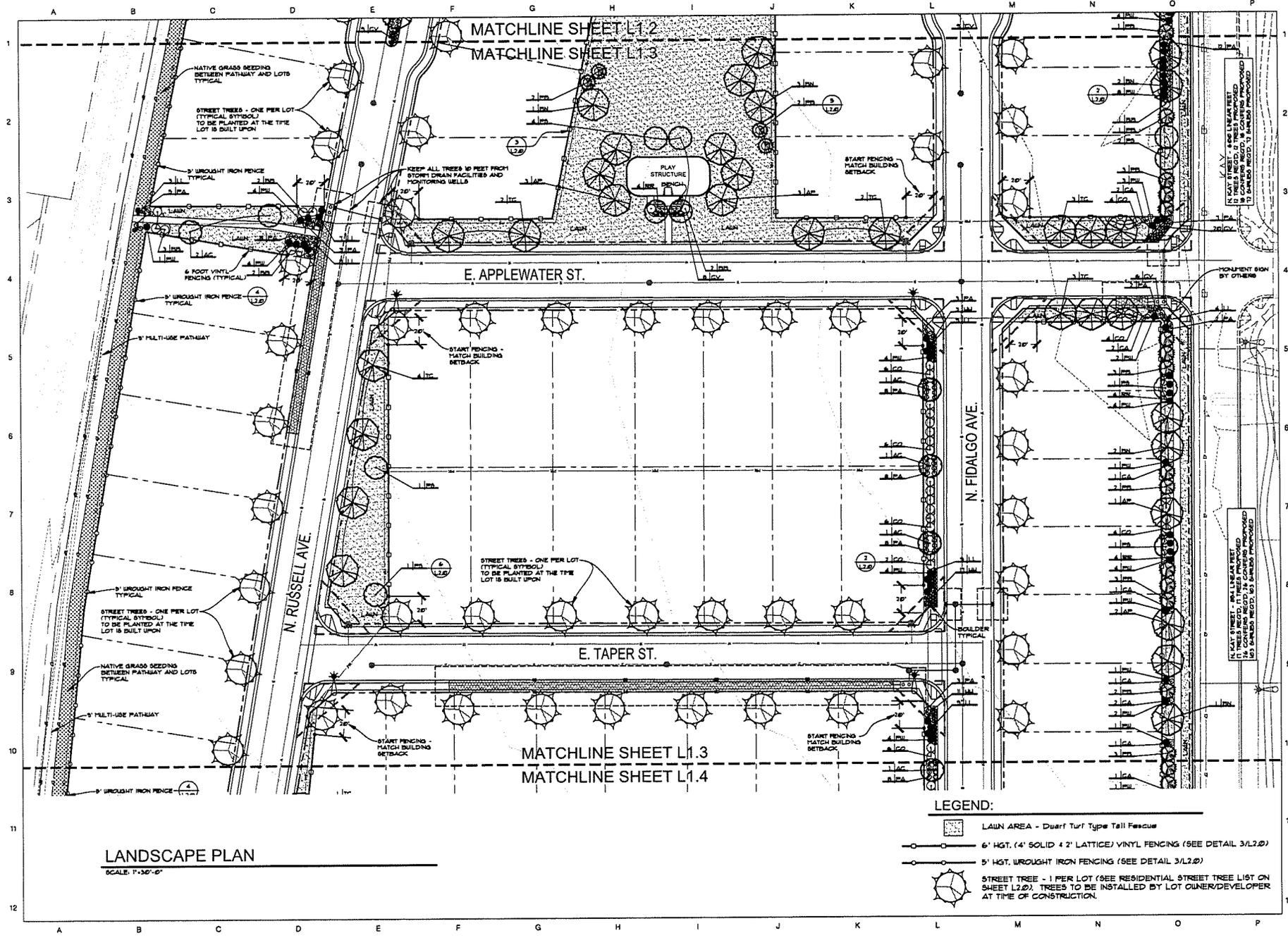
**LANDSCAPE PLANS**  
**Greyhawk West**  
 Sub-division

Idaho

Kuna

DRAWN BY: JAG  
 CHECKED BY: JDR  
 PROJECT NUMBER: -  
 SHEET:

**L1.2**



**LANDSCAPE PLAN**  
SCALE: 1"=30'-0"

- LEGEND:**
- LAWN AREA - Dwarf Turf Type Tall Fescue
  - 6' HGT. (4" SOLID 4 2" LATTICE) VINYL FENCING (SEE DETAIL 3/L2.2)
  - 5' HGT. WROUGHT IRON FENCING (SEE DETAIL 3/L2.2)
  - STREET TREE - 1 PER LOT (SEE RESIDENTIAL STREET TREE LIST ON SHEET L1.2). TREES TO BE INSTALLED BY LOT OWNER/DEVELOPER AT TIME OF CONSTRUCTION.



DATE: 1/16/2015  
 South Landscape Architecture P.C.  
 Das South Beck & Baird Landscape Architecture P.C.  
 800 S. 10th St., Suite 200  
 Boise, ID 83705  
 208.342.2999 Office  
 208.342.2999 Cell



REVISIONS:

**LANDSCAPE PLANS**  
**Greyhawk West**  
 Sub-division

Idaho  
 Kuna

DRAWN BY: JAG  
 CHECKED BY: JDR  
 PROJECT NUMBER:  
 SHEET:

**L1.3**

MATCHLINE SHEET L1.3  
 MATCHLINE SHEET L1.4

MATCHLINE SHEET L1.4  
 MATCHLINE SHEET L1.5

E. FIRESTONE ST.

N. FIDALGO AVE.

N. RUSSELL AVE.

LANDSCAPE PLAN  
 SCALE: 1"=30'-0"

LEGEND:

-  LAWN AREA - Dwarf Turf Type Tall Fescue
-  6' HGT. 1 1/2" SOLID 4 1/2" LATTICE VINYL FENCING (SEE DETAIL 3/L2.0)
-  5' HGT. WROUGHT IRON FENCING (SEE DETAIL 3/L2.0)
-  STREET TREE - 1 PER LOT (SEE RESIDENTIAL STREET TREE LIST ON SHEET L2.0). TREES TO BE INSTALLED BY LOT OWNER/DEVELOPER AT TIME OF CONSTRUCTION.



DATE: 1/6/2015  
 South Landscape Architecture P.C.  
 Dba South Beck & Baird Landscape Architecture P.C.  
 202 E. 19th St.  
 Boise, ID 83705  
 208.342.2999 Office  
 208.342.2999 Cell  
 208.342.2999 Fax  
 WWW.SLBASPCA.COM  
 WWW.SBECK&BAIRD.COM



REVISIONS:

LANDSCAPE PLANS  
 Greyhawk West  
 Sub-division  
 Idaho  
 Kuna

DRAWN BY: JAG  
 CHECKED BY: JDR  
 PROJECT NUMBER:  
 SHEET:

L1.4

MATCHLINE SHEET L1.4

MATCHLINE SHEET L1.5

E. CELTIC ST.

E. BUSH CREEK ST.

E. ARDELL ST.

N. RUSSELL AVE.

N. FIDALGO AVE.

N. KAY AVENUE

BLOCK 13

BLOCK 14

LANDSCAPE PLAN

SCALE: 1"=30'-0"

LEGEND:

-  LAWN AREA - Dwarf Turf Type Tall Fescue
-  6' HGT. (4' SOLID 4" LATTICE) VINYL FENCING (SEE DETAIL 3/L2.0)
-  5' HGT. WROUGHT IRON FENCING (SEE DETAIL 3/L2.0)
-  STREET TREE - 1 PER LOT (SEE RESIDENTIAL STREET TREE LIST ON SHEET L2.0). TREES TO BE INSTALLED BY LOT OWNER/DEVELOPER AT TIME OF CONSTRUCTION.

E. ARDELL STREET - 340 LINEAR FEET  
11 TREES REQ'D, 8 TREES PROPOSED  
11 CONIFERS REQ'D, 11 CONIFERS PROPOSED  
48 SHRUBS REQ'D, 48 SHRUBS PROPOSED

N. KAY AVENUE - 400 LINEAR FEET  
15 TREES REQ'D, 8 TREES PROPOSED  
15 CONIFERS REQ'D, 15 CONIFERS PROPOSED  
48 SHRUBS REQ'D, 48 SHRUBS PROPOSED

KEEP ALL TREES 10 FEET FROM  
STORM DRAIN FACILITIES AND  
MONITORING WELLS

KEEP ALL TREES 10 FEET FROM  
STORM DRAIN FACILITIES AND  
MONITORING WELLS

STREET TREES - ONE PER LOT  
(TYPICAL SYMBOL)  
TO BE PLANTED AT THE TIME  
LOT IS BUILT UPON

STREET TREES - ONE PER LOT  
(TYPICAL SYMBOL)  
TO BE PLANTED AT THE TIME  
LOT IS BUILT UPON

NATIVE GRASS SEEDING  
BETWEEN PATHWAY AND LOTS  
TYPICAL

8' MULTI-USE PATHWAY

8' WROUGHT IRON FENCE  
TYPICAL

8' MULTI-USE PATHWAY

8' WROUGHT IRON FENCE  
TYPICAL



DATE: 1/16/2019

South Landscape Architecture P.C.  
200 South Beck & Baird Landscape Architecture P.C.  
2002 S. 7000 AVE  
SALT LAKE CITY, UT 84119  
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REVISIONS:

Idaho

LANDSCAPE PLANS  
Greyhawk West  
Sub-division

Kuna

DRAWN BY: JAG

CHECKED BY: JDR

PROJECT NUMBER

SHEET:

L1.5

**PLANT SCHEDULE** (NOTE: ALL TREES TO BE GRADE "0")

KEY	BOTANICAL NAME COMMON NAME	PLANTING SIZE	MATURE SIZE	CLASS
<b>TREES</b>				
AC	Acer platanoides 'Columnar' Columnar Norway Maple	1 1/2" DBH	30' hgt. 30' wide	CLASS II
AP	Acer platanoides 'Dobrosh'	2" DBH	30' hgt. 30' wide	CLASS II
BN	Betula nigra River Birch	1 1/2" DBH MULTI-TRUNK	30' hgt. 20' wide	CLASS II
PD	Pinus pungens 'Bachari' Bachari Spruce	6" hgt. DBH	12' hgt. 10' wide	CONIFER
PC	Prunus serotina 'Schumieri' Columnar Sargent Cherry	2" DBH	30' hgt. 30' wide	CLASS I
TC	Tilia americana 'Greenapple' Greenapple Linden	2" DBH	30' hgt. 30' wide	CLASS II
<b>SHRUBS</b>				
DB	Euonymus alatus 'Compactus' Dwarf Burning Bush	2 Gal.	4' hgt. x 4' wide	
CO	Cornus alba 'Winter White' Ivory Halo Dogwood	2 Gal.	4' hgt. x 4' wide	
FW	Pinus strobus 'Blue Thing' Blue Thing Eastern White Pine	3 Gal.	4' hgt. x 4' wide	
RR	Rosa x 'Flower Carpet' Marion Flower Carpet Rose	2 Gal.	3' hgt. x 4' wide	
<b>GROUND COVER, GRASSES, PERENNIALS</b>				
CA	Galatragrostis x. acutiflora 'Overland' Dwarf Feather Grass	1 Gal. x 36" O.C.	3' hgt. x 2' wide	
CV	Corynepolia verticillata 'Zagrab' Zagrab Thymefruit Thistleseed	1 Gal. x 36" O.C.	12" hgt. x 18" wide	
HH	Hemerocallis x 'Stella De Oro' Stella De Oro Daylily	1 Gal. x 36" x 48" O.C.	18" hgt. x 2' wide	
LL	Lavandula angustifolia 'Munstead Leigh' Munstead English Lavender	1 Gal. x 36" O.C.	12" hgt. x 18" wide	
PA	Pennisetum alopecuroides 'Nasehi' Hawaii Dwarf Fountain Grass	1 Gal. x 36" O.C.	2' hgt. x 3' wide	
BB	Beckmannia 'Razzleberry' Razzleberry Dwarf Fountain Grass	1 Gal. x 36" O.C.	12" hgt. x 18" wide	

**RESIDENTIAL STREET TREE LIST**

BOTANICAL NAME COMMON NAME	PLANTING SIZE	MATURE SIZE
<b>TREES</b>		
Acer platanoides 'Fratinus' Fratinus Maple	2" DBH	45' hgt. 30' wide
Fraxinus pennsylvanica 'Urbanite' Urbanite Green Ash	2" DBH	30' hgt. 30' wide
Prunus caryocarpa 'Hortford' Blackford Flowering Pear	2" DBH	30' hgt. 30' wide
Quercus rubra Red Oak	2" DBH	30' hgt. 20' wide

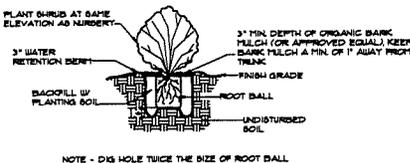
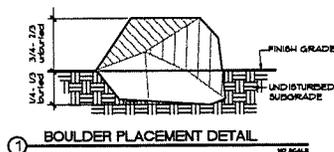
NOTE - RESIDENTIAL STREET TREES SHALL BE SELECTED FROM THE ABOVE LIST AND INSTALLED BY LOT OWNER/DEVELOPER AT THE LOTS ARE BUILT ON EACH LOT.

**LANDSCAPE NOTES**

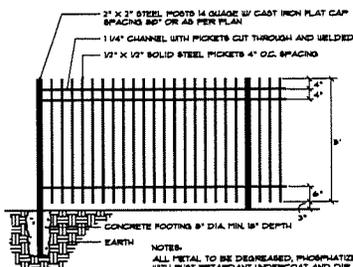
- All plant material shall conform to the American Nurseryman Standards for type and size shown. Plants will be rejected if not in a sound and healthy condition. All plant material shall be Grade "A" or better.
- All planting beds and tree wells in lawn areas (wells to be 3' in diameter) shall be covered with a minimum of 2" of well bank dress, mesh edging. Substr. sample for approval.
- All lawn areas shall be hydro-seeded with 100% Turf Type Tall Fescue (Festuca arundinacea). Lawn to be seeded @ a rate of 8 lbs. per 1000 sq. ft. OR per seed manufacturer's recommendations. Contractor shall provide (at time of bid) an estimate price per square foot for seed in place of lawn seeding AND complete installation with the owner.
- All plant material shall be guaranteed for a period of one year beginning at the date of acceptance by Owner. Replace all plant material found dead or not in a healthy condition immediately with the same size and species at no cost to the Owner.
- Planting backfill for trees and planting beds shall be 3 parts topsoil and 1 part compost with aeration. Stake all trees per details.
- All lawn areas shall have 6" of topsoil and all planting beds shall have 12" of topsoil. Topsoil shall be a loose, friable, sandy loam, clean and free of toxic materials, noxious weeds, seed heads, rocks, grass, or other foreign material larger than 1" in any dimension, a pH from 6.5 to 7.0. Top soil from site shall be used, if meeting these standards. Place 1/2" compost over all landscaped areas and rototill into top 4". Spread, compact, and fine grade topsoil to a smooth and uniform grade, 1" below surface of walks and curbs. In areas to be sodded and 3" in planting bed areas.
- Handle all trees and shrubs with "Agrifilm" planting tables, 21 gal. Quantity per manufacturer's recommendation.
- Plant material shall not be substituted without the written permission of Owner. Substr. names of trees suppliers contacted if substitution is requested and plant material specified is not available.
- Shrub planting beds shall be shovel edged to create a distinct separation of landscape types.
- Immediately clean up any topsoil, or other debris on site created from landscape operation and dispose of properly off site.
- All common landscape areas shall have an automatic underground sprinkler system which houses complete coverage and a properly zoned for required water uses. Mainline pipes shall have low water usage Hunter Pro-Cipry heads and the common area shall have 4" MPX-AD3 gear driven heads with head to head coverage. All shrub beds shall be drip irrigated per manufacturer's recommendation. The irrigation system shall be design built by a qualified irrigation contractor.
- Coordinate all drainage areas and utilities with tree locations and adjust per field conditions.
- No trees shall be planted within the 10 foot clear zone of all storm drain pipe, structures, or facilities.
- Seeding beds shall be protected from any and all contamination during the construction and installation of the landscape irrigation system.
- All trees to be located a minimum of 3 feet or greater from the back of any sidewalk.
- Keep all sand windows in drainage areas open at all times.

**GENERAL LANDSCAPE NOTES**

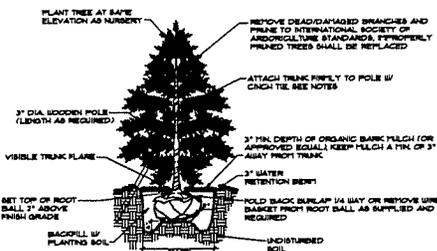
- NO TREES SHALL BE PLANTED WITHIN THE 10 FOOT CLEAR ZONE OF ALL ACID STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
- CONSTRUCTION BEDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.
- ALL TREES TO BE LOCATED A MINIMUM OF 3 FEET OR GREATER FROM THE BACK OF ANY SIDEWALK.
- KEEP ALL SAND WINDOWS IN DRAINAGE AREAS OPEN AT ALL TIMES.



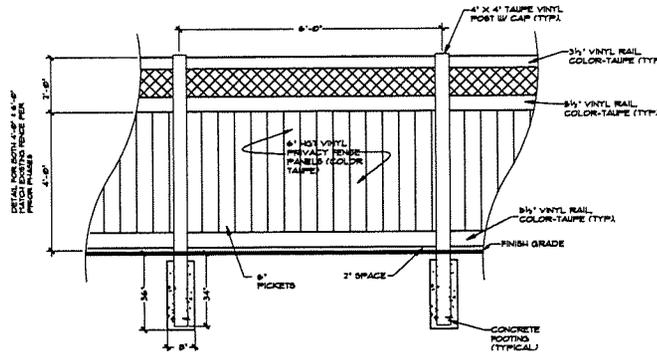
② SHRUB PLANTING DETAIL



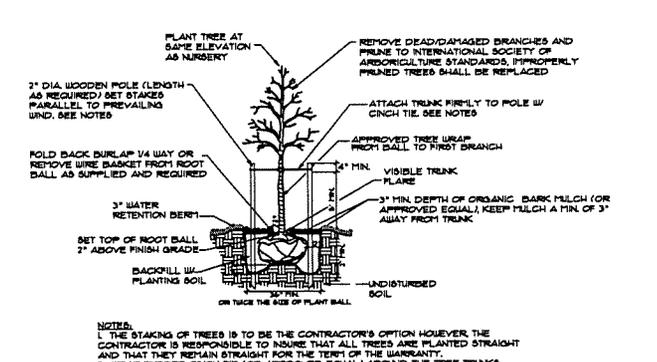
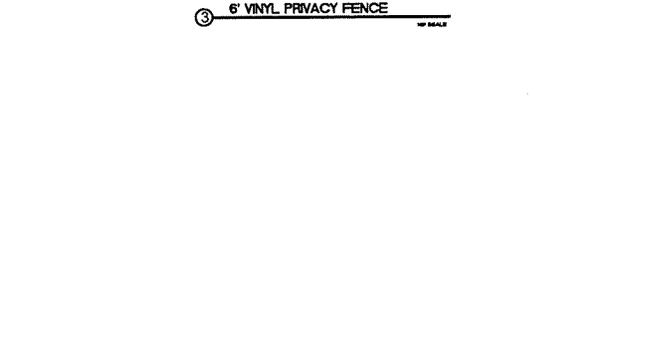
④ 5\"/>



⑤ CONIFEROUS TREE PLANTING DETAIL



⑥ DECIDUOUS TREE PLANTING DETAIL



⑦ 6\"/>



DATE: 1/16/2015  
 South Landscape Architecture P.C.  
 202 S. South Beach & Baird Landscape Architecture P.C.  
 202 S. South Beach & Baird  
 ID: 83705  
 208.342.2999-0001



REVISIONS:

Idaho

**LANDSCAPE PLANS**  
 Greyhawk West  
 Sub-division

Idaho

DRAWN BY: JAG  
 CHECKED BY: JDR  
 PROJECT NUMBER: -  
 SHEET: -

L2.0

# GREYHAWK WEST PROPERTY IRRIGATION DISTRICT MAP

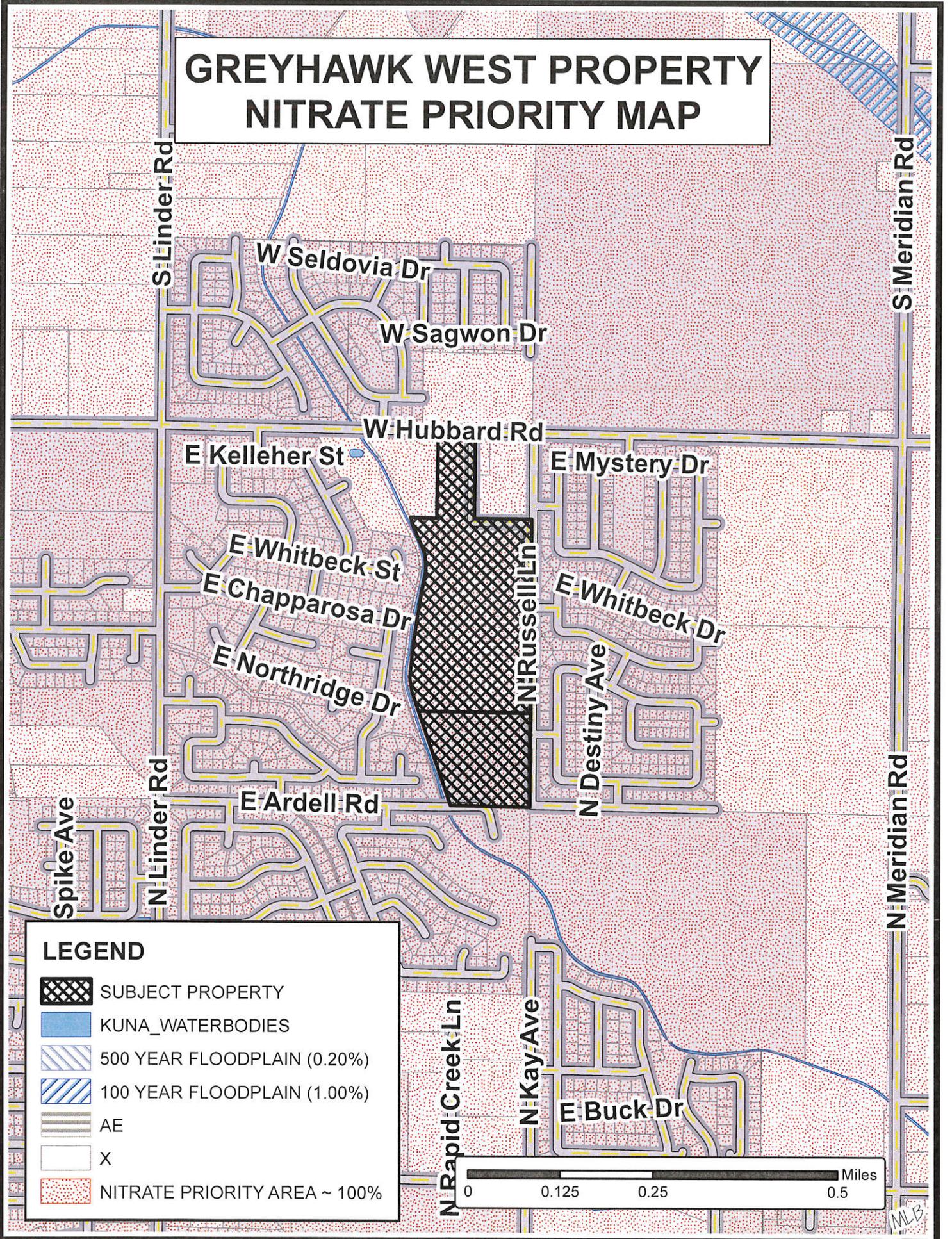


**LEGEND**

-  SUBJECT PROPERTY
- BOISE PROJECT BOARD OF CONTROL  
IRRIGATION DISTRICT**
-  BOISE KUNA IRRIGATION DISTRICT
-  NEW YORK IRRIGATION DISTRICT ~ 100% WR

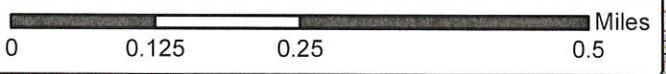
MLB

# GREYHAWK WEST PROPERTY NITRATE PRIORITY MAP



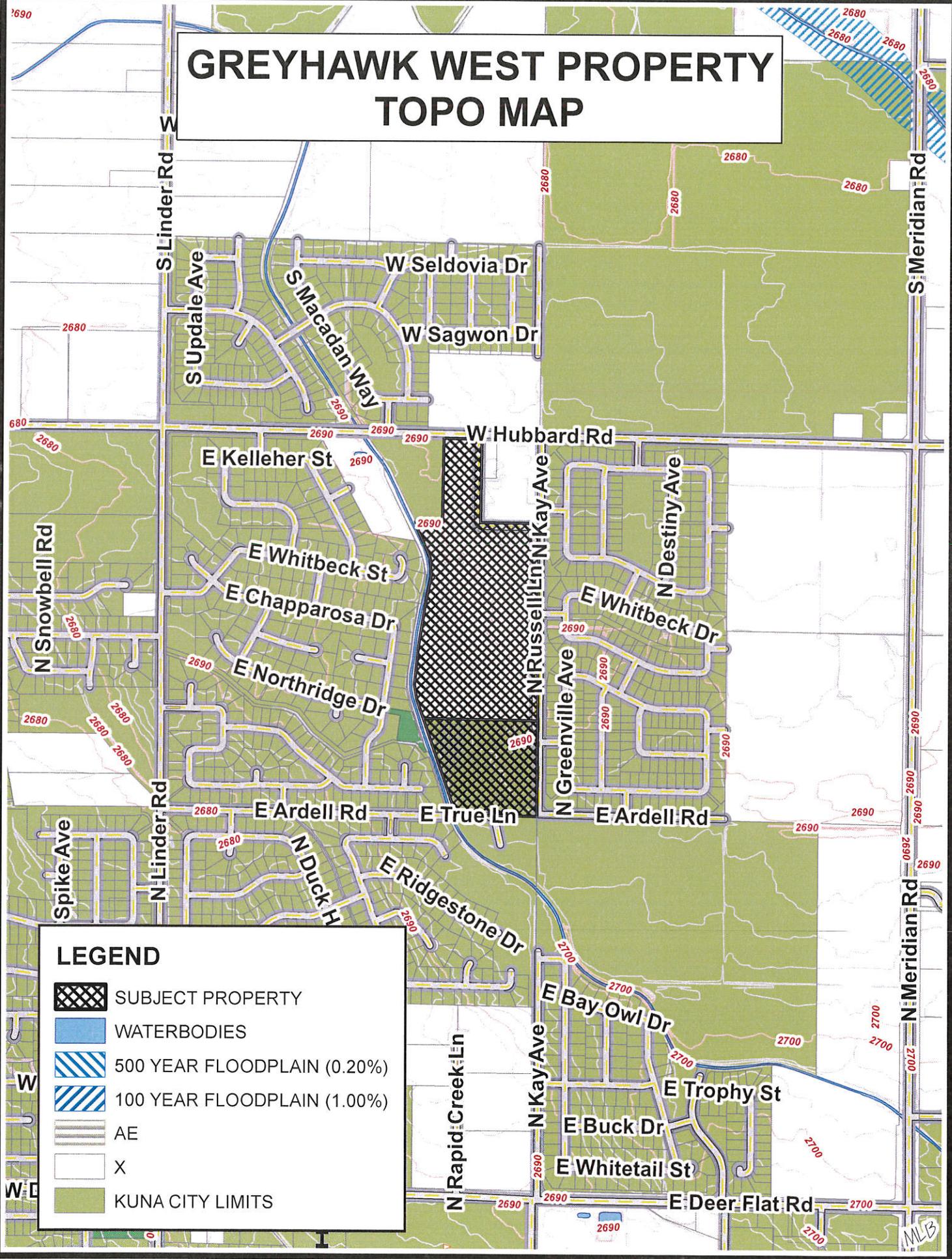
**LEGEND**

-  SUBJECT PROPERTY
-  KUNA\_WATERBODIES
-  500 YEAR FLOODPLAIN (0.20%)
-  100 YEAR FLOODPLAIN (1.00%)
-  AE
-  X
-  NITRATE PRIORITY AREA ~ 100%



MLB

# GREYHAWK WEST PROPERTY TOPO MAP

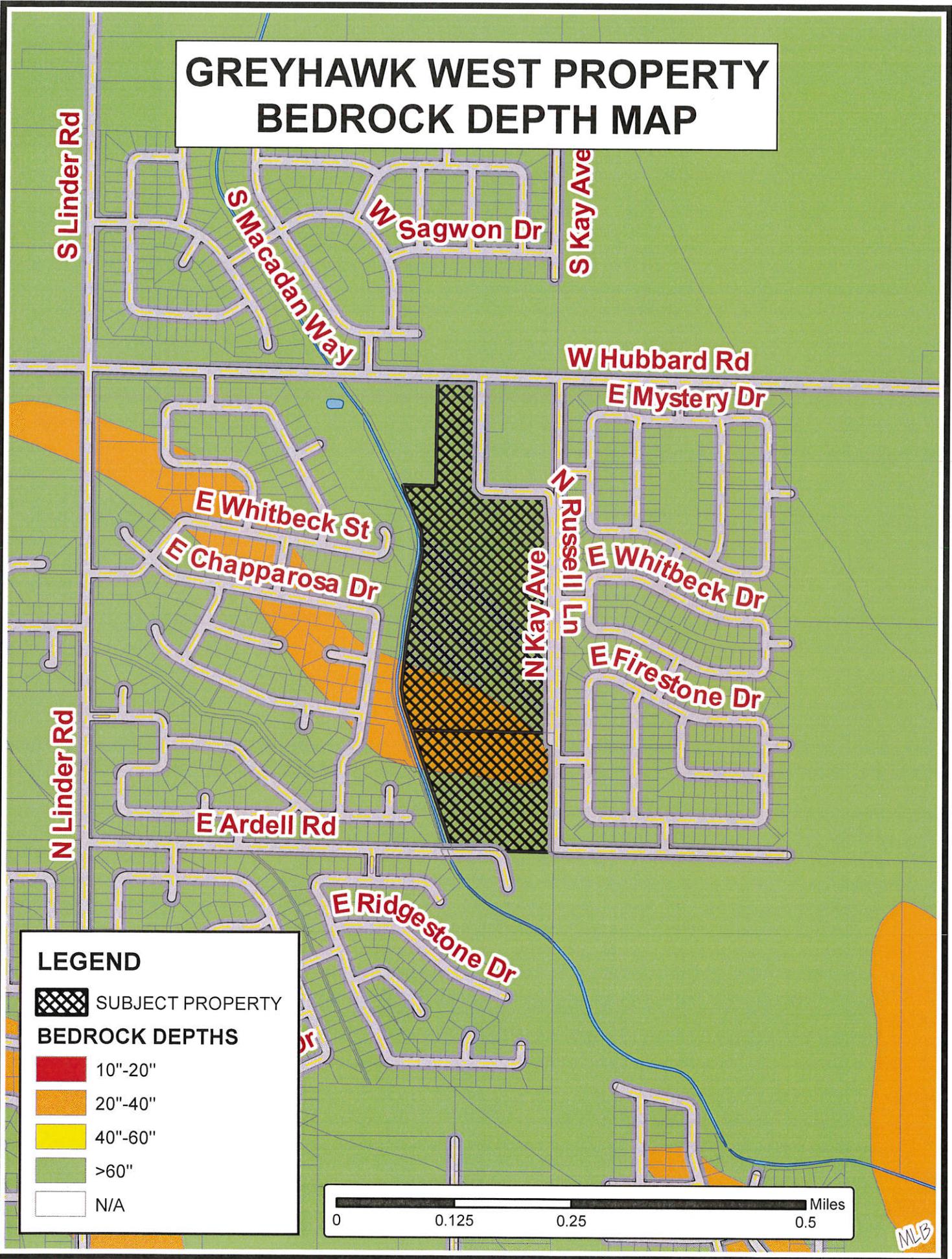


## LEGEND

-  SUBJECT PROPERTY
-  WATERBODIES
-  500 YEAR FLOODPLAIN (0.20%)
-  100 YEAR FLOODPLAIN (1.00%)
-  AE
-  X
-  KUNA CITY LIMITS

MLB

# GREYHAWK WEST PROPERTY BEDROCK DEPTH MAP



## LEGEND

 SUBJECT PROPERTY

### BEDROCK DEPTHS

 10"-20"

 20"-40"

 40"-60"

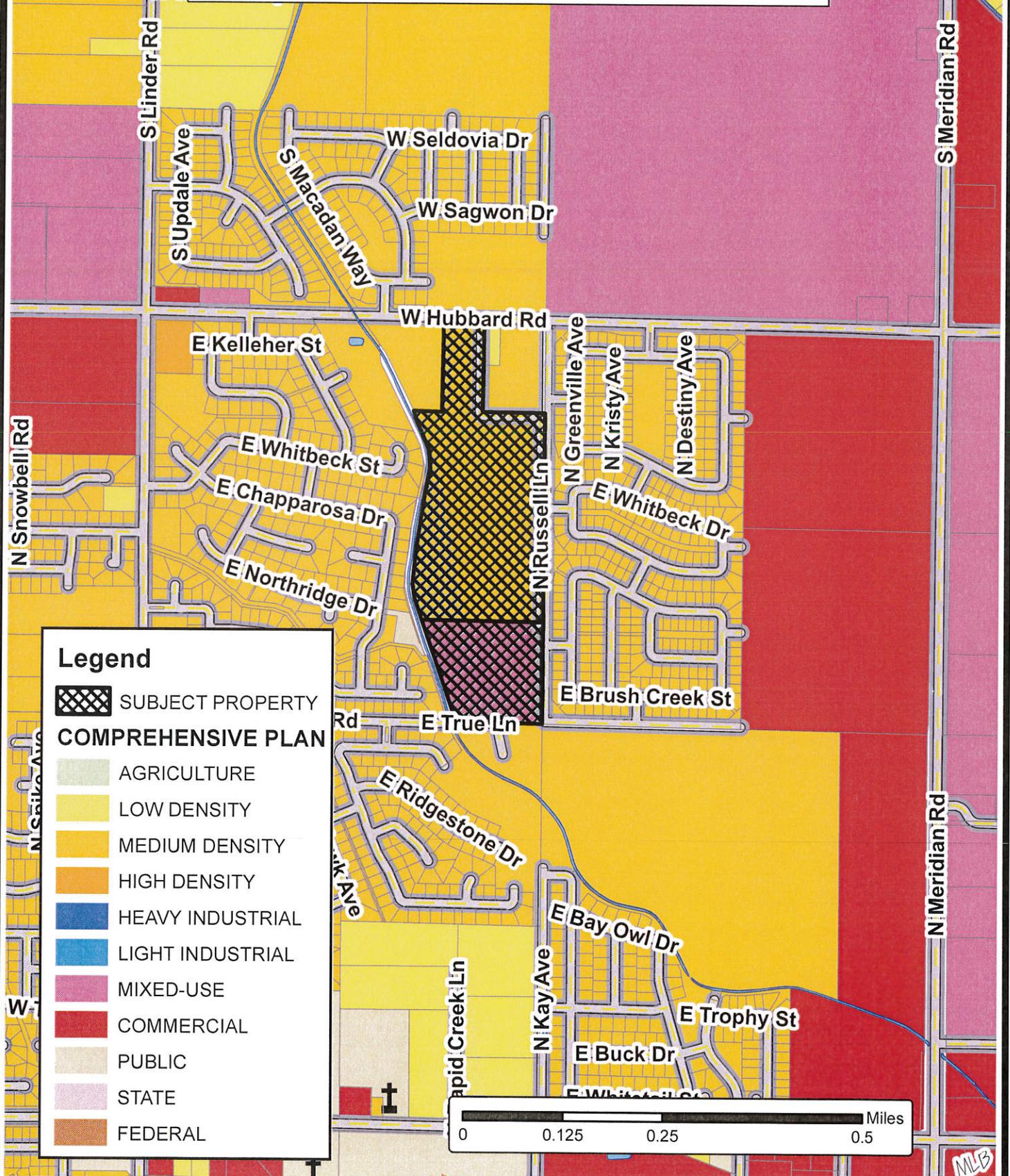
 >60"

 N/A



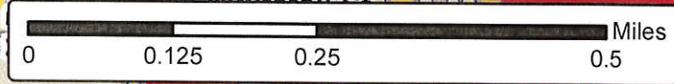
MLB

# GREYHAWK WEST PROPERTY COMPREHENSIVE PLAN MAP



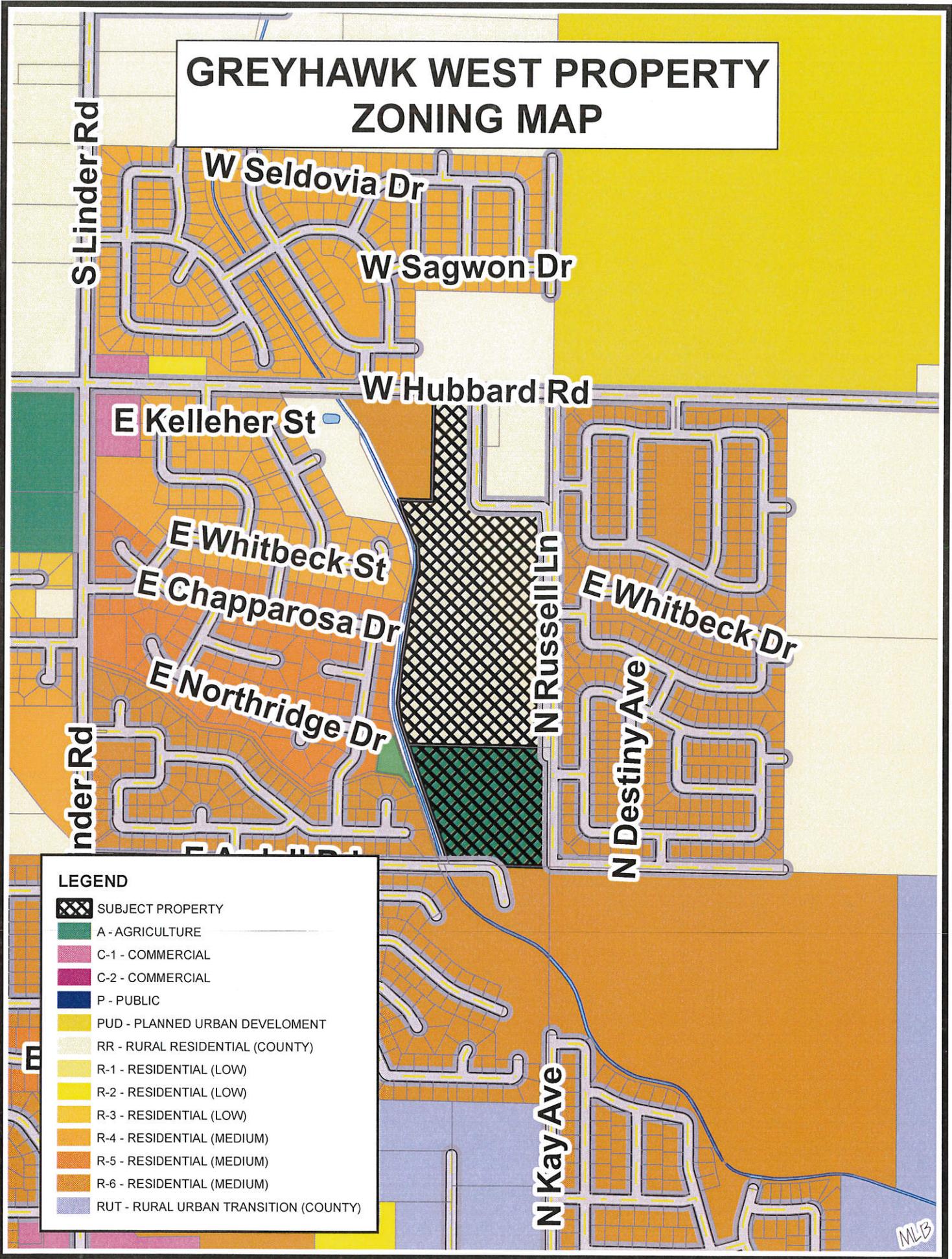
**Legend**

-  SUBJECT PROPERTY
- COMPREHENSIVE PLAN**
-  AGRICULTURE
-  LOW DENSITY
-  MEDIUM DENSITY
-  HIGH DENSITY
-  HEAVY INDUSTRIAL
-  LIGHT INDUSTRIAL
-  MIXED-USE
-  COMMERCIAL
-  PUBLIC
-  STATE
-  FEDERAL



MLB

# GREYHAWK WEST PROPERTY ZONING MAP

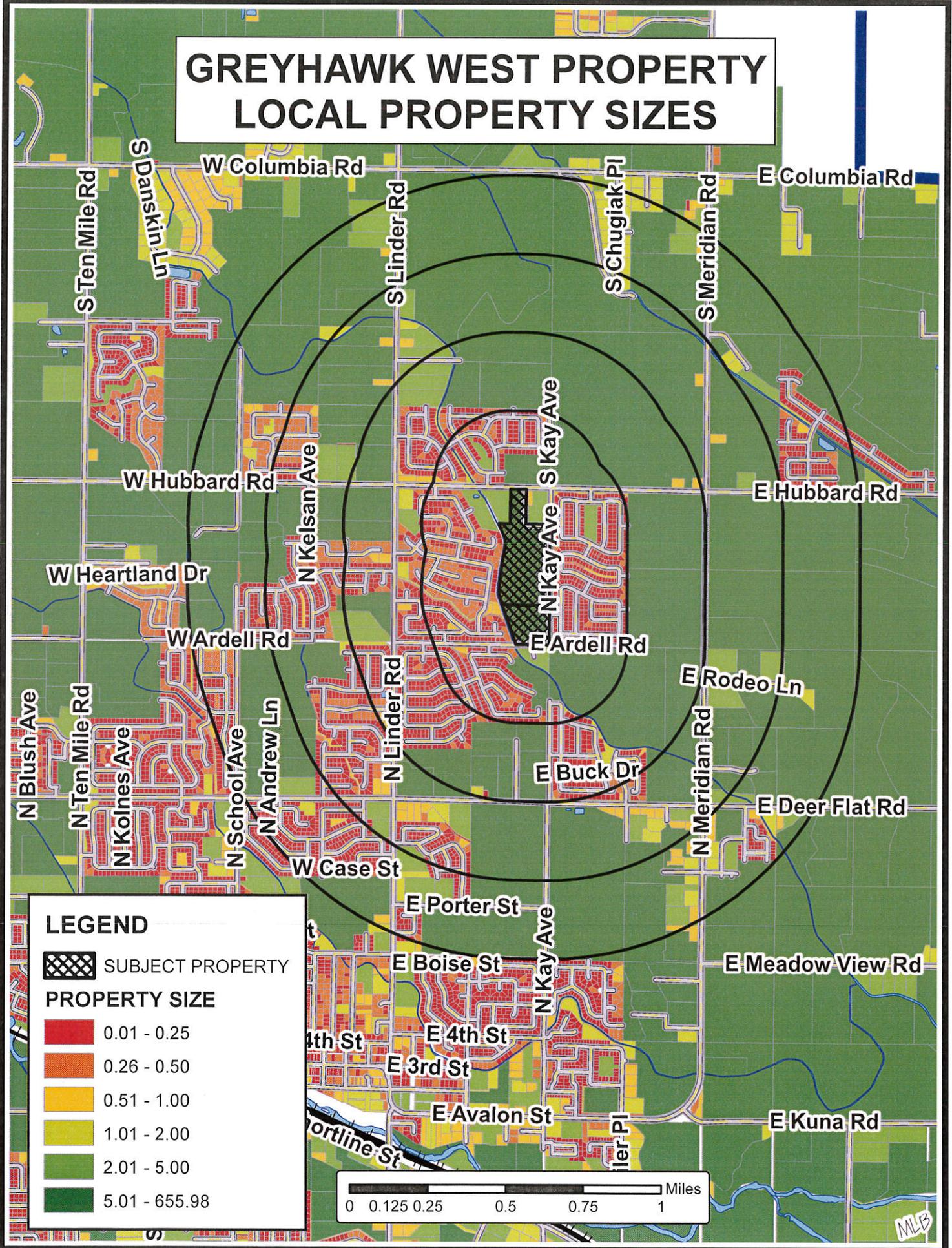


## LEGEND

-  SUBJECT PROPERTY
-  A - AGRICULTURE
-  C-1 - COMMERCIAL
-  C-2 - COMMERCIAL
-  P - PUBLIC
-  PUD - PLANNED URBAN DEVELOPMENT
-  RR - RURAL RESIDENTIAL (COUNTY)
-  R-1 - RESIDENTIAL (LOW)
-  R-2 - RESIDENTIAL (LOW)
-  R-3 - RESIDENTIAL (LOW)
-  R-4 - RESIDENTIAL (MEDIUM)
-  R-5 - RESIDENTIAL (MEDIUM)
-  R-6 - RESIDENTIAL (MEDIUM)
-  RUT - RURAL URBAN TRANSITION (COUNTY)

MLB

# GREYHAWK WEST PROPERTY LOCAL PROPERTY SIZES

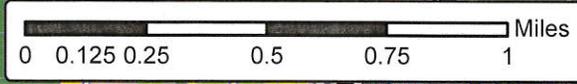


## LEGEND

 SUBJECT PROPERTY

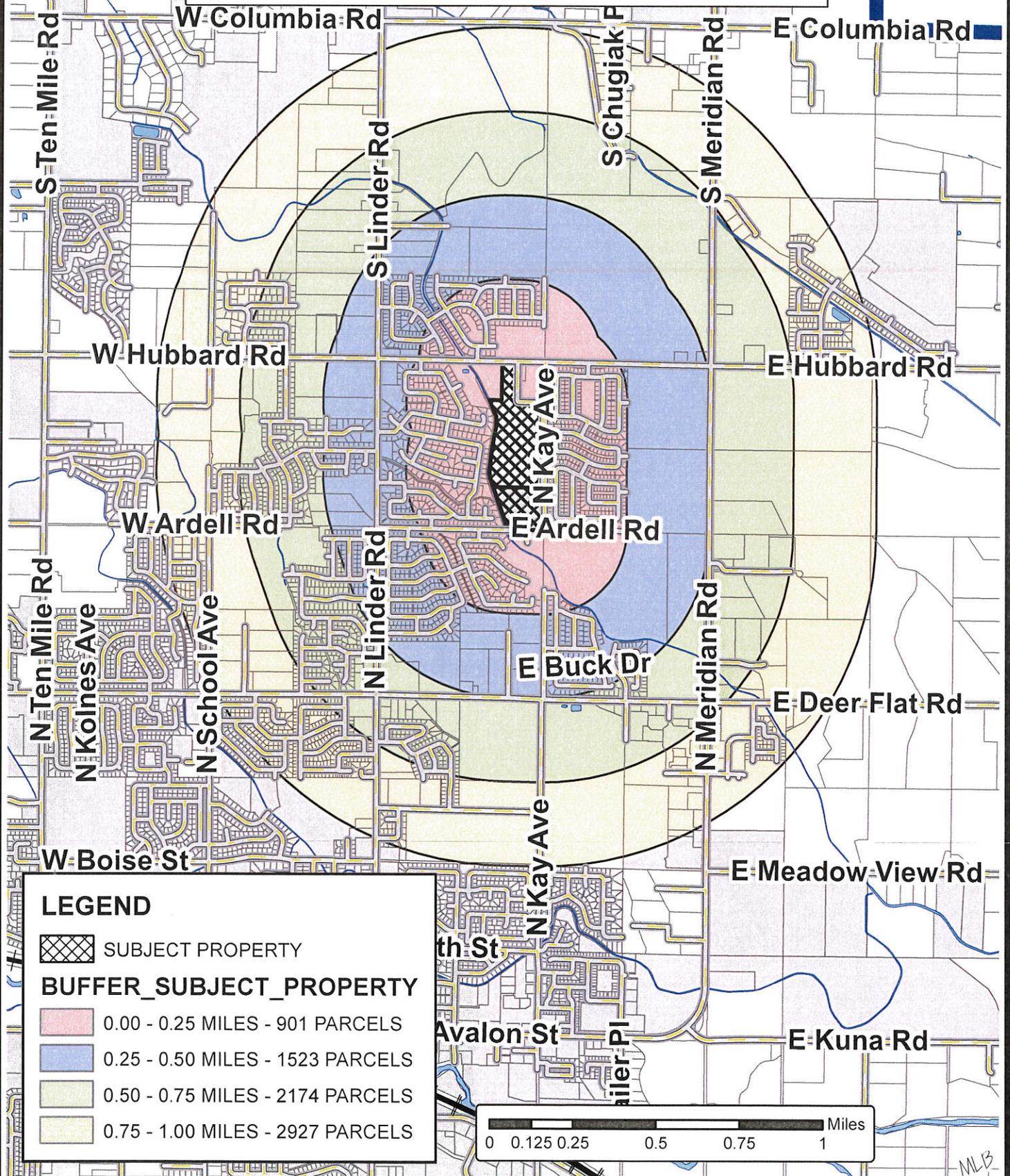
### PROPERTY SIZE

-  0.01 - 0.25
-  0.26 - 0.50
-  0.51 - 1.00
-  1.01 - 2.00
-  2.01 - 5.00
-  5.01 - 655.98



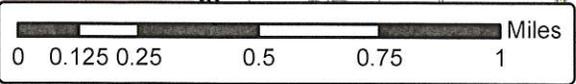
MLB

# GREYHAWK WEST PROPERTY PROPERTY RANGE MAP



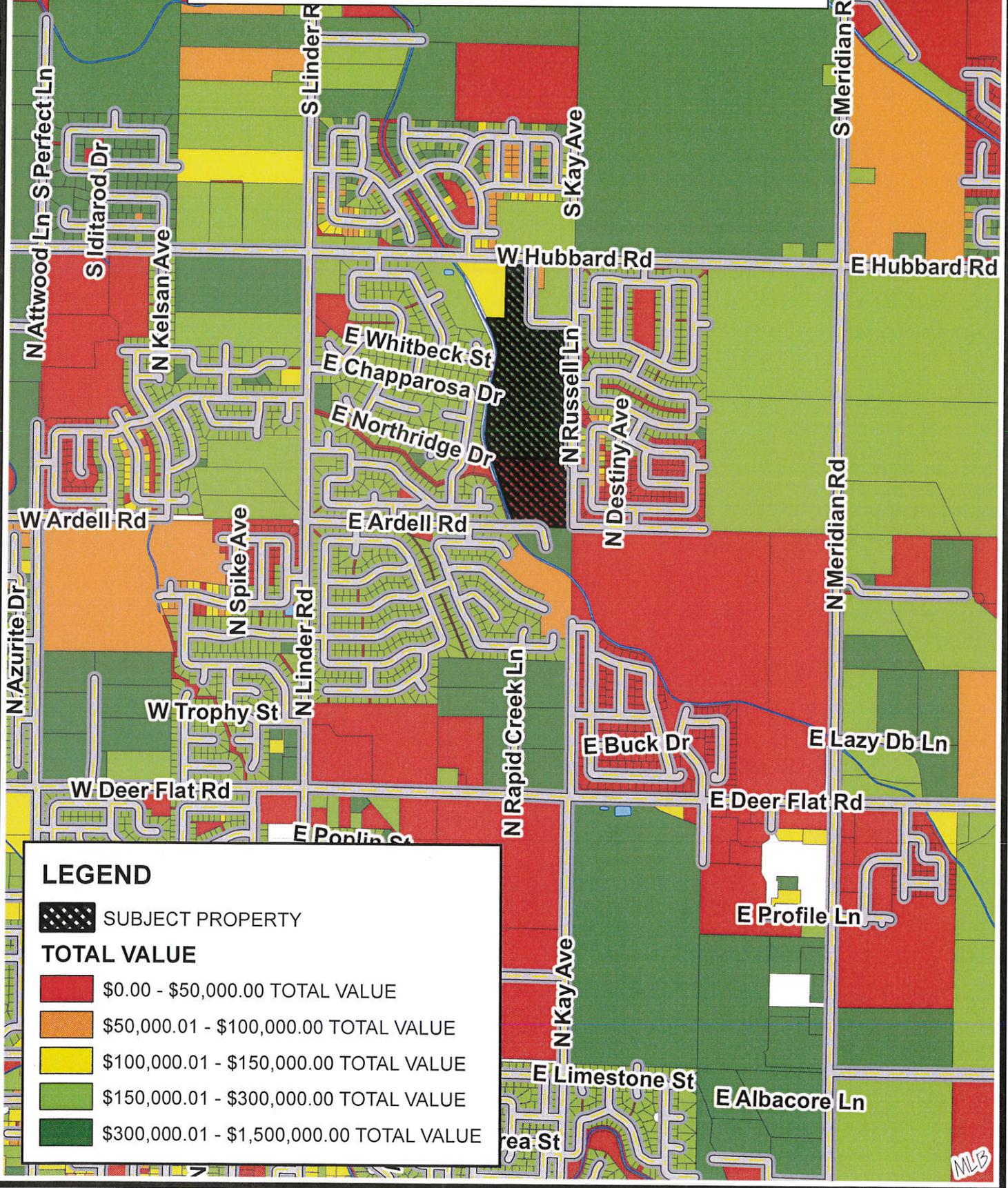
## LEGEND

-  SUBJECT PROPERTY
- BUFFER\_SUBJECT\_PROPERTY**
-  0.00 - 0.25 MILES - 901 PARCELS
-  0.25 - 0.50 MILES - 1523 PARCELS
-  0.50 - 0.75 MILES - 2174 PARCELS
-  0.75 - 1.00 MILES - 2927 PARCELS



MLB

# GREYHAWK WEST PROPERTY LOCAL PROPERTY VALUES



**LEGEND**

 SUBJECT PROPERTY

**TOTAL VALUE**

-  \$0.00 - \$50,000.00 TOTAL VALUE
-  \$50,000.01 - \$100,000.00 TOTAL VALUE
-  \$100,000.01 - \$150,000.00 TOTAL VALUE
-  \$150,000.01 - \$300,000.00 TOTAL VALUE
-  \$300,000.01 - \$1,500,000.00 TOTAL VALUE



# EXHIBIT B 1

**CITY OF KUNA**  
**P.O. BOX 13**  
**KUNA, ID 83634**  
[www.kunacity.id.gov](http://www.kunacity.id.gov)

Paul A. Stevens, P.E.  
Kuna City Engineer  
208-287-1727

## **ANNEXATION, REZONE, & PRELIMINARY PLAT REVIEW** **MEMORANDUM**

**Date:** 5 April 2019  
**From:** Paul A. Stevens, P.E. *P.S.*  
**To:** Wendy Howell, Planning and Zoning Director  
**RE:** 19-01-AN, 19-01-ZC, 19-01-S Greyhawk West Subdivision

---

The Greyhawk West Subdivision Preliminary Plat, Annexation, and Rezone request for the West ½ of the Northeast ¼ of Section 13, Township 2 North, Range 1 West, Boise Meridian, Kuna, Ada County, Idaho has been reviewed. The following narrative is limited to the preliminary plat, annexation, and rezone request as it affects public works infrastructure and operations.

### **1. General**

- a. With the addition of Greyhawk West into the corporate limits of Kuna and its potential connection to pressurized irrigation, sewer, and water utilities, this property will be placing demand on constructed facilities and on water rights provided by others. It is expected that this property shall transfer to the City, at time of annexation, all conveyable water rights by deed and "Change of Ownership" form from the Idaho Department of Water Resources (IDWR). It is further expected that the irrigation water rights shall provide a sufficient quantity of irrigation water to service the described property.
- b. A plan approval letter will be required if this project affects any local irrigation districts or its facilities.
- c. The City reserves the right of prior approval to all agreements involving the applicant, successors & assigns and the irrigation or drainage district related to the property of this application and any attempt to abandon surface water rights.
- d. Greyhawk West's irrigation needs shall be met from the New York Irrigation District. Map attached.
- e. Greyhawk West Subdivision is in a Nitrate priority area. Map attached.
- f. Topographic relief across Greyhawk West is minimal. Topographical map attached. Pressurized irrigation, sewer, are available in W. Hubbard Road and N Kay Ave.
- g. Zoning change requested is from Rural Residential (ADA County) to R-6 (City of Kuna).
- h. R-6 is defined as six dwellings per net acre. Or about 7,260 square feet per lot. This is considered medium density development by the City of Kuna Code (5-2-2, B).
- i. It is anticipated that the existing homestead will connect to City Utility Services as the utilities become available - in accordance with City of Kuna Code. The phase map shows the existing homestead in Phase III of the overall development.

# EXHIBIT B 1

## 2. Property Description

- a. The applicant provided a metes and bounds property description (legal description) of the subject parcel for annexation. The legal description pertains to the gross area and the property boundaries of the described land.
- b. The applicant provided a metes and bounds description for the rezone request separately from the annexation request because the rezone area is a subset of the gross annexation metes and bounds description.
- c. A preliminary plat has been provided. The preliminary plat shows a general lot layout configuration that incorporates the existing homestead, single family lots, and open spaces.
- d. The preliminary plat appears to conform with the City of Kuna's requirements such that City utilities can be extended using good engineering practices that will result with a long lived, high quality, compliant infrastructure.

## 3. Irrigation

- a. The attached City of Kuna utility map shows that pressurized irrigation has been extended along E. Hubbard Road and N. Kay Street

## 4. Sewer

- a. The attached City of Kuna utility map shows that sewer main lines have been constructed in E. Hubbard Road and N. Kay Street.

## 5. Water

- a. The attached City of Kuna utility map shows that water main lines have been constructed in E. Hubbard Road and N. Kay Street.



**Project/File:** **Greyhawk West Subdivision/ KPP19-0001/ City File Number**  
*This is an annexation, rezone, and preliminary plat to allow for the development of a 174-lot subdivision on approximately 39 acres. The site is located at 197 W. Hubbard Road.*

**Lead Agency:** City of Kuna

**Site address:** 197 W. Hubbard Road

**Staff Approval:** May 20, 2019

**Applicant:** Mitch Armuth  
 Providence Properties, LLC  
 701 S. Allen Street  
 Meridian, ID 83642

**Representative:** Kent Brown  
 Kent Brown Planning Services  
 3161 E. Springwood Drive  
 Meridian, ID 83642

**Staff Contact:** Mindy Wallace, AICP  
 Phone: 387-6178  
 E-mail: [mwallace@achdidaho.org](mailto:mwallace@achdidaho.org)

## **A. Findings of Fact**

- Description of Application:** The applicant is requesting approval of an annexation, rezone, and preliminary plat application to allow for the development of a 174-lot subdivision, consisting of 156 single family building lots and 18 common lots on approximately 39 acres. The site is located at 197 W. Hubbard Road.

The applicant's proposal is consistent with the City of Kuna's comprehensive plan which calls for medium density residential land uses on the site.

- Description of Adjacent Surrounding Area:**

<b>Direction</b>	<b>Land Use</b>	<b>Zoning</b>
North	Single family residential	RR/R-4
South	Single family residential	R-6
East	Single family residential	R-6
West	Single family residential	R-5

- Site History:** ACHD has not previously reviewed this site for a development application.

4. **Adjacent Development:** The following developments are pending or underway in the vicinity of the site:
  - Saranda Subdivision, consisting of 18 building lots is located directly west of the site, was approved by ACHD on September 21, 2017.
  - Winfield Springs Subdivision, consisting of 348 building lots is located south east of the site and was approved by ACHD on April 5, 2017.
  - Greyhawk Subdivision, consisting of 355 building lots is located directly east of the site and was approved by ACHD on September 5, 2006.
5. **Transit:** Transit services are not available to serve this site.
6. **New Center Lane Miles:** The proposed development includes 1.6 centerline miles of new public road.
7. **Impact Fees:** There will be an impact fee that is assessed and due prior to issuance of any building permits. The assessed impact fee will be based on the impact fee ordinance that is in effect at that time. The impact fee assessment will not be released until the civil plans are approved by ACHD.
8. **Capital Improvements Plan (CIP)/ Integrated Five Year Work Plan (IFYWP):**
  - The intersection of Linder Road and Deer Flat Road is scheduled in the IFYWP to be widened to 5-lanes on the north leg, 4-lanes on the south, 5-lanes east, and 5-lanes on the west leg, and reconstructed/signalized in 2020.
  - The intersection of Hubbard Road and State Highway 69 (Meridian Road) is listed in the CIP to be widened to 6-lanes on the north leg, 5-lanes on the south, 4-lanes east, and 3-lanes on the west leg, and signalized between 2031 and 2035.
  - The intersection of Hubbard Road and Ten Mile is listed in the CIP to be widened to 2-lanes on the north leg, 2-lanes on the south, 2-lanes east, and 2-lanes on the west leg, and constructed as a single lane roundabout between 2031 and 2035.

## **B. Traffic Findings for Consideration**

1. **Trip Generation:** This development is estimated to generate 1,472 vehicle trips per day; 154 vehicle trips per hour in the PM peak hour, based on the traffic impact study.

2. **Traffic Impact Study**

CR Engineering, Inc. prepared a traffic impact study for the proposed Greyhawk West Subdivision. Below is an executive summary of the findings **as presented by CR Engineering, Inc.** The following executive summary is **not the opinion of ACHD staff**. ACHD has reviewed the submitted traffic impact study for consistency with ACHD policies and practices and may have additional requirements beyond what is noted in the summary.

All study area intersections and roadways are anticipated to operate at an acceptable planning level of service threshold under existing, 2025 background and 2025 total traffic conditions.

Turn lanes are not warranted at any of the site access points.

**Staff Comments/Recommendations:** Traffic Services and Planning Review staff have reviewed and generally agree with the findings and recommendations of the submitted traffic impact study.

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## 3. Condition of Area Roadways

Traffic Count is based on Vehicles per hour (VPH)

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service
Hubbard Road	265-feet	Minor Arterial	339	Better than "E"
Kay Avenue	2,030-feet	Collector	65	Better than "D"

\* Acceptable level of service for a two-lane minor arterial is "E" (575 VPH).

\* Acceptable level of service for a two-lane collector is "D" (425 VPH).

## 4. Average Daily Traffic Count (VDT)

*Average daily traffic counts are based on ACHD's most current traffic counts.*

- The average daily traffic count for Hubbard Road west of SH-69 was 5,068 on 12/12/18.
- The average daily traffic count for Kay Avenue south of Hubbard Road was 1,028 on 12/12/18.

## C. Findings for Consideration

### 1. Hubbard Road

a. **Existing Conditions:** Hubbard Road is improved with 2-travel lanes and no curb, gutter or sidewalk abutting the site. There is 57-feet of right-of-way for Hubbard Road (30-feet from centerline).

b. **Policy:**

**Arterial Roadway Policy:** District Policy 7205.2.1 states that the developer is responsible for improving all street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

**Master Street Map and Typology Policy:** District Policy 7205.5 states that the design of improvements for arterials shall be in accordance with District standards, including the Master Street Map and Livable Streets Design Guide. The developer or engineer should contact the District before starting any design.

**Street Section and Right-of Way Width Policy:** District Policy 7205.2.1 & 7205.5.2 states that the standard 3-lane street section shall be 46-feet (back-of-curb to back-of-curb) within 70 feet of right-of-way. This width typically accommodates a single travel lane in each direction, a continuous center left-turn lane, and bike lanes.

**Right-of-Way Dedication:** District Policy 7205.2 states that The District will provide compensation for additional right-of-way dedicated beyond the existing right-of-way along arterials listed as impact fee eligible in the adopted Capital Improvements Plan using available impact fee revenue in the Impact Fee Service Area.

No compensation will be provided for right-of-way on an arterial that is not listed as impact fee eligible in the Capital Improvements Plan.

The District may acquire additional right-of-way beyond the site-related needs to preserve a corridor for future capacity improvements, as provided in Section 7300.

**Sidewalk Policy:** District Policy 7205.5.7 requires a concrete sidewalk at least 5-feet wide to be constructed on both sides of all arterial streets. A parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip. Sidewalks constructed next to the back-of-curb shall be a minimum of 7-feet wide.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

**Frontage Improvements Policy:** District Policy 7205.2.1 states that the developer shall widen the pavement to a minimum of 17-feet from centerline plus a 3-foot wide gravel shoulder adjacent to the entire site. Curb, gutter and additional pavement widening may be required (See Section 7205.5.5).

**ACHD Master Street Map:** ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, arterial street requirements, and specific roadway features required through development. This segment of Hubbard Road is designated in the MSM as a Residential Arterial with 3-lanes and on-street bike lanes, a 46-foot street section within 74-feet of right-of-way.

- c. **Applicant Proposal:** The applicant hasn't proposed any improvements to Hubbard Road abutting the site.
- d. **Staff Comments/Recommendations:** The applicant should be required to dedicate additional right-of-way to total 37-feet of right-of-way from the centerline of Hubbard Road abutting the site. The applicant will not be compensated for this right-of-way dedication as this segment of Hubbard Road is not listed in the CIP or IFWYP.

The applicant should be required to widen the pavement on Hubbard Road to a minimum of 17-feet from centerline plus a 3-foot wide gravel shoulder adjacent to the entire site. The applicant should be required to construct a 5-foot wide detached concrete sidewalk located a minimum of 30-feet from the centerline of Hubbard Road abutting the site.

## 2. Kay Avenue

- a. **Existing Conditions:** Kay Avenue is improved with 2-travel lanes, vertical curb, gutter, and 5-foot wide detached concrete sidewalks on the east side of the roadway across from the site. There is no curb, gutter or sidewalk abutting the site. There is 42-feet of right-of-way for Kay Avenue (12-feet from centerline).

- b. **Policy:**

**Collector Street Policy:** District policy 7206.2.1 states that the developer is responsible for improving all collector frontages adjacent to the site or internal to the development as required below, regardless of whether access is taken to all of the adjacent streets.

**Master Street Map and Typologies Policy:** District policy 7206.5 states that if the collector street is designated with a typology on the Master Street Map, that typology shall be considered for the required street improvements. If there is no typology listed in the Master Street Map, then standard street sections shall serve as the default.

**Street Section and Right-of-Way Policy:** District policy 7206.5.2 states that the standard right-of-way width for collector streets shall typically be 50 to 70-feet, depending on the location and width of the sidewalk and the location and use of the roadway. The right-of-way width may

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be reduced, with District approval, if the sidewalk is located within an easement; in which case the District will require a minimum right-of-way width that extends 2-feet behind the back-of-curb on each side.

The standard street section shall be 46-feet (back-of-curb to back-of-curb). This width typically accommodates a single travel lane in each direction, a continuous center left-turn lane, and bike lanes.

**Residential Collector Policy:** District policy 7206.5.2 states that the standard street section for a collector in a residential area shall be 36-feet (back-of-curb to back-of-curb). The District will consider a 33-foot or 29-foot street section with written fire department approval and taking into consideration the needs of the adjacent land use, the projected volumes, the need for bicycle lanes, and on-street parking.

**Sidewalk Policy:** District policy 7206.5.6 requires a concrete sidewalks at least 5-feet wide to be constructed on both sides of all collector streets. A parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip. Sidewalks constructed next to the back-of-curb shall be a minimum of 7-feet wide.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

**Minor Improvements Policy:** District Policy 7203.3 states that minor improvements to existing streets adjacent to a proposed development may be required. These improvements are to correct deficiencies or replace deteriorated facilities. Included are sidewalk construction or replacement; curb and gutter construction or replacement; replacement of unused driveways with curb, gutter and sidewalk; installation or reconstruction of pedestrian ramps; pavement repairs; signs; traffic control devices; and other similar items.

**ACHD Master Street Map:** ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, collector street requirements, and specific roadway features required through development. This segment of Kay Avenue is designated in the MSM as a Residential Collector with 2-lanes and on-street bike lanes, a 36-foot street section within 54-feet of right-of-way.

- c. **Applicant Proposal:** The applicant has proposed to improve Kay Avenue with pavement widening, vertical curb, gutter, a 6-foot wide planter strip and 5-foot wide detached concrete sidewalk abutting the site.
- d. **Staff Comments/Recommendations:** The applicant's proposal generally meets District policy and should be approved, as proposed. The applicant should be required to complete Kay Avenue as a 36-foot wide collector street section abutting the site with vertical curb and gutter. If street trees are desired, then an 8-foot wide planter strip should be provided. The applicant should be required to provide a permanent right-of-way easement for detached sidewalks located outside of the dedicated right-of-way.

### 3. Ardell Road

a. **Existing Conditions:** Ardell Road is not constructed abutting the site.

b. **Policy:**

**Collector Street Policy:** District policy 7206.2.1 states that the developer is responsible for improving all collector frontages adjacent to the site or internal to the development as required below, regardless of whether access is taken to all of the adjacent streets.

**Master Street Map and Typologies Policy:** District policy 7206.5 states that if the collector street is designated with a typology on the Master Street Map, that typology shall be considered for the required street improvements. If there is no typology listed in the Master Street Map, then standard street sections shall serve as the default.

**Street Section and Right-of-Way Policy:** District policy 7206.5.2 states that the standard right-of-way width for collector streets shall typically be 50 to 70-feet, depending on the location and width of the sidewalk and the location and use of the roadway. The right-of-way width may be reduced, with District approval, if the sidewalk is located within an easement; in which case the District will require a minimum right-of-way width that extends 2-feet behind the back-of-curb on each side.

The standard street section shall be 46-feet (back-of-curb to back-of-curb). This width typically accommodates a single travel lane in each direction, a continuous center left-turn lane, and bike lanes.

**Residential Collector Policy:** District policy 7206.5.2 states that the standard street section for a collector in a residential area shall be 36-feet (back-of-curb to back-of-curb). The District will consider a 33-foot or 29-foot street section with written fire department approval and taking into consideration the needs of the adjacent land use, the projected volumes, the need for bicycle lanes, and on-street parking.

**Sidewalk Policy:** District policy 7206.5.6 requires a concrete sidewalk at least 5-feet wide to be constructed on both sides of all collector streets. A parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip. Sidewalks constructed next to the back-of-curb shall be a minimum of 7-feet wide.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

**Minor Improvements Policy:** District Policy 7203.3 states that minor improvements to existing streets adjacent to a proposed development may be required. These improvements are to correct deficiencies or replace deteriorated facilities. Included are sidewalk construction or replacement; curb and gutter construction or replacement; replacement of unused driveways with curb, gutter and sidewalk; installation or reconstruction of pedestrian ramps; pavement repairs; signs; traffic control devices; and other similar items.

**ACHD Master Street Map:** ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, collector street requirements, and specific roadway features required through development. This segment of Ardell Road is designated in the MSM as a Residential Collector with 2-lanes and on-street bike lanes, a 36-foot street section within 54-feet of right-of-way.

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- c. **Applicant Proposal:** The applicant has proposed to improve Ardell Road as ½ of a 36-foot street section with vertical curb, gutter, a 6-foot wide planter strip and 5-foot wide detached concrete sidewalk within 35-feet of right-of-way abutting the site.
- d. **Staff Comments/Recommendations:** The applicant's proposal generally meets District policy however staff does not recommend the construction of this segment of Ardell Road at this time. The Kuna Canal abuts the site's west property line and Ardell Road does not currently extend across the canal to the site. On the west side of the Kuna Canal Ardell Road is offset to the south. The parcel south of the site has not developed, prohibiting the construction of Ardell Road in the correct alignment and across the Kuna Canal to the site.

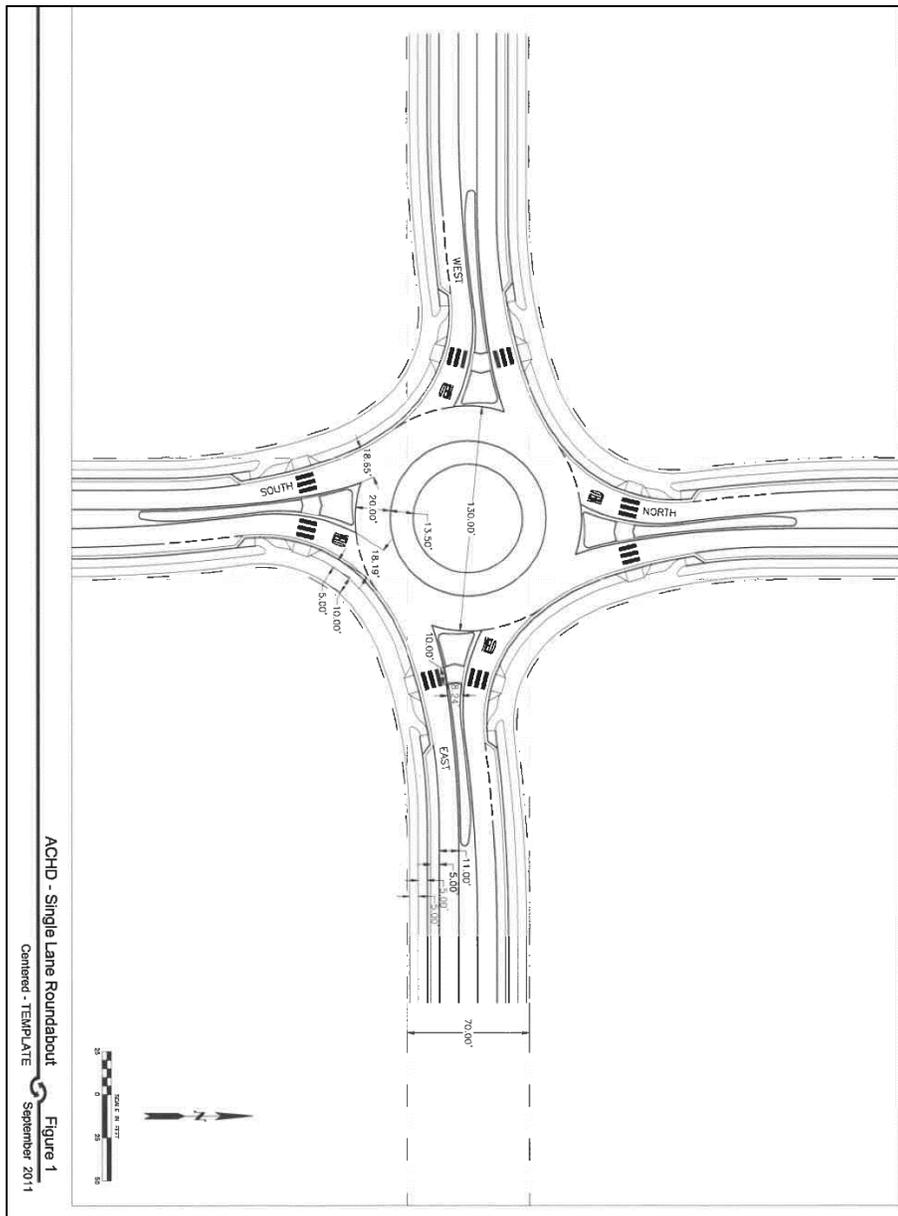
To allow for the future extension of Ardell Road across the Kuna Canal the applicant should be required to dedicate 35-feet of right-of-way north from the south property line, as proposed. Additionally, a 12-foot wide slope easement tapering to the right-of-way should be provided abutting the site's east property line to allow for the bridge crossing of the Kuna Canal. A road trust deposit in the amount of \$52,400 (\$85.00 X 560-feet X 10%) should be provided for half of Ardell Road (18-feet of pavement, vertical curb, and gutter). The road trust deposit will be refunded after 10 years with interest if the improvements are not constructed.

The applicant should be required to construct a 5-foot wide detached concrete sidewalk located outside of the dedicated right-of-way, as proposed. Provide a permanent right-of-way easement for the detached sidewalk located outside of the dedicated right-of-way.

A road trust deposit for the future bridge crossing of the Kuna Canal is not required, as this parcel does not extend to the middle of the canal.

## 4. Kay Avenue/Ardell Road Intersection

- a. **Policy:**
  - ACHD Master Street Map:** ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, collector street requirements, roundabout requirements, and specific roadway features required through development. A new roundabout was identified on the MSM. The new single lane roundabout is planned at the mid-mile at the Kay Avenue/Ardell Road intersection.
- b. **Staff Comments/Recommendations:** As noted above, the intersection of Kay Avenue and Ardell Road is shown as a single lane roundabout on the MSM. To accommodate the future construction of the single lane roundabout, the applicant should be required to dedicate additional right-of-way at the northwest corner of Kay Avenue/Ardell Road intersection as shown on the image below. The applicant will not be compensated for this right-of-way dedication, as this intersection is not listed in ACHD's CIP or scheduled in the IFYWP.



## 5. Internal Local Streets

a. **Existing Conditions:** There are no internal local streets within the site. There is one stub street to the site's west property line, Rhonda Street.

b. **Policy:**

**Local Roadway Policy:** District Policy 7207.2.1 states that the developer is responsible for improving all local street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

**Street Section and Right-of-Way Policy:** District Policy 7207.5 states that right-of-way widths for all local streets shall generally not be less than 47-feet wide and that the standard street section shall be 33-feet (back-of-curb to back-of-curb).

**Standard Urban Local Street—33-foot Street Section and Right-of-way Policy:** District Policy 7207.5.2 states that the standard street section shall be 33-feet (back-of-curb to back-of-curb) for developments with any buildable lot that is less than 1 acre in size. This street section

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shall include curb, gutter, and minimum 5-foot wide concrete sidewalks on both sides and shall typically be constructed within 47-feet of right-of-way.

For the City of Kuna and City of Star: Unless otherwise approved by Kuna or Star, the standard street section shall be 36-feet (back-of-curb to back-of-curb) for developments with any buildable lot that is less than 1 acre in size. This street section shall include curb, gutter, and minimum 5-foot wide concrete sidewalks on both sides and shall typically be constructed within 50-feet of right-of-way.

**Continuation of Streets Policy:** District Policy 7207.2.4 states that an existing street, or a street in an approved preliminary plat, which ends at a boundary of a proposed development shall be extended in that development. The extension shall include provisions for continuation of storm drainage facilities. Benefits of connectivity include but are not limited to the following:

- Reduces vehicle miles traveled.
- Increases pedestrian and bicycle connectivity.
- Increases access for emergency services.
- Reduces need for additional access points to the arterial street system
- Promotes the efficient delivery of services including trash, mail and deliveries.
- Promotes appropriate intra-neighborhood traffic circulation to schools, parks, neighborhood commercial centers, transit stops, etc.
- Promotes orderly development.

**Sidewalk Policy:** District Policy 7207.5.7 states that five-foot wide concrete sidewalk is required on both sides of all local street, except those in rural developments with net densities of one dwelling unit per 1.0 acre or less, or in hillside conditions where there is no direct lot frontage, in which case a sidewalk shall be constructed along one side of the street. Some local jurisdictions may require wider sidewalks.

The sidewalk may be placed next to the back-of-curb. Where feasible, a parkway strip at least 8-feet wide between the back-of-curb and the street edge of the sidewalk is recommended to provide increased safety and protection of pedestrians and to allow for the planting of trees in accordance with the District's Tree Planting Policy. If no trees are to be planted in the parkway strip, the applicant may submit a request to the District, with justification, to reduce the width of the parkway strip.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

**Landscape Medians Policy:** District policy 7207.5.16 states that landscape medians are permissible where adequate pavement width is provided on each side of the median to accommodate the travel lanes and where the following is provided:

- The median is platted as right-of-way owned by ACHD.
- The width of an island near an intersection is 12-feet maximum for a minimum distance of 150-feet. Beyond the 150-feet, the island may increase to a maximum width of 30-feet.
- At an intersection that is signalized or is to be signalized in the future, the median width shall be reduced to accommodate the necessary turn lane storage and tapers.

- The Developer or Homeowners Association shall apply for a license agreement if landscaping is to be placed within these medians.
  - The license agreement shall contain the District’s requirements of the developer including, but not limited to, a “hold harmless” clause; requirements for maintenance by the developer; liability insurance requirements; and restrictions.
  - Vertical curbs are required around the perimeter of any raised median. Gutters shall slope away from the curb to prevent ponding.
- c. Applicant’s Proposal:** The applicant has proposed to extend Rhonda Street into the site and to construct all of the internal local streets as 36-foot street sections with curb, gutter, and a 5-foot attached concrete sidewalk. The applicant has proposed to construct 10-foot wide center landscape islands with 21-feet of pavement on either side through out the development to provide traffic calming.
- d. Staff Comments/Recommendations:** The applicant’s proposal meets District policy and should be approved, as proposed. The right-of-way should extend 2-feet behind the back of the attached sidewalks. The center landscape island should be platted as right-of-way owned by ACHD. The applicant or the future owner’s association should enter into a license agreement for any landscaping proposed to be placed within the islands.

The right-of-way for Russell Street abutting Block 2, Lot 4 should extend to the property line to allow for future public street access to that lot when it redevelops.

## 6. Roadway Offsets

- a. Existing Conditions:** There are no roadways within the site.
- b. Policy:**
- Local Street Intersection Spacing on Minor Arterials:** District policy 7205.4.3 states that new local streets should not typically intersect arterials. Local streets should typically intersect collectors. If it is necessary, as determined by ACHD, for a local street to intersect an arterial, the minimum allowable offset shall be 660-feet as measured from all other existing roadways as identified in Table 1a (7205.4.6).
- Local Offset Policy:** District policy 7206.4.5, requires local roadways to align or offset a minimum of 330-feet from a collector roadway (measured centerline to centerline).
- District policy 7207.4.2, requires local roadways to align or provide a minimum offset of 125-feet from any other street (measured centerline to centerline).
- c. Applicant’s Proposal:** The applicant has proposed to construct one local street, Russell Street to intersect Hubbard Road located approximately 135-feet west of the east property line.
- The applicant has proposed two new local streets to intersect Kay Avenue, Applewater Street, located approximately 1,245-feet south of Hubbard Road and Celtic Street located approximately 2,140 south of Hubbard Road. Both roadways are proposed to align with roadways on the east side of Kay Avenue across from the site and to offset by 895-feet.
- d. Staff Comments/Recommendations:** The applicant’s proposal to construct Russell Street to intersect Hubbard Road does not meet District policy and should not be approved, as proposed. The site will have access to Hubbard Road through the extension of Rhonda Street into the site. Additionally, the access to the site will be provided via two local street connections to Kay Avenue, a lesser classified street. The applicant should be required to terminate Russell Street at Hubbard Road with the construction of a cul-de-sac turnaround with a minimum radius of 45-feet.

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The applicant's proposal to construct two local streets, Applewater Street and Celtic Street to intersect Kay Avenue meets District policy and should be approved, as proposed.

## 7. Traffic Calming

- a. **Speed Control and Traffic Calming Policy:** District policy 7207.3.7 states that the design of local street systems should discourage excessive speeds by using passive design elements. If the design or layout of a development is anticipated to necessitate future traffic calming implementation by the District, then the District will require changes to the layout and/or the addition of passive design elements such as horizontal curves, bulb-outs, chokers, etc. The District will also consider texture changes to the roadway surface (i.e. stamped concrete) as a passive design element. These alternative methods may require maintenance and/or license agreement.
- b. **Applicant's Proposal:** The applicant has proposed to construct 4 center landscape islands within the site to provide traffic calming.
- c. **Staff Comments/Recommendations:** Staff is supportive of the applicant's proposal to construct a center landscape island through out the development to provide traffic calming, however, the islands are proposed to be spaced between 1,200 and 1,000-feet allowing for long straight segment of roadway. Additional traffic calming should be provided at intervals no greater than 750-feet or the site should be redesigned to eliminate the long straight streets.

Valley gutter and stop signs will not be considered traffic calming.

## 8. Tree Planters

**Tree Planter Policy:** Tree Planter Policy: The District's Tree Planter Policy prohibits all trees in planters less than 8-feet in width without the installation of root barriers. Class II trees may be allowed in planters with a minimum width of 8-feet, and Class I and Class III trees may be allowed in planters with a minimum width of 10-feet.

## 9. Landscaping

**Landscaping Policy:** A license agreement is required for all landscaping proposed within ACHD right-of-way or easement areas. Trees shall be located no closer than 10-feet from all public storm drain facilities. Landscaping should be designed to eliminate site obstructions in the vision triangle at intersections. District Policy 5104.3.1 requires a 40-foot vision triangle and a 3-foot height restriction on all landscaping located at an uncontrolled intersection and a 50-foot offset from stop signs. Landscape plans are required with the submittal of civil plans and must meet all District requirements prior to signature of the final plat and/or approval of the civil plans.

## 10. Other Access

Hubbard Road is classified as a minor arterial roadway. Kay Avenue and Ardell Road are classified as collector roadways. Other than the access specifically approved with this application, direct lot access is prohibited to these roadways and should be noted on the final plat.

## D. Site Specific Conditions of Approval

1. Dedicate additional right-of-way to total 37-feet of right-of-way from the centerline of Hubbard Road abutting the site. The applicant will not be compensated for this right-of-way dedication.
2. Widen the pavement on Hubbard Road to a minimum of 17-feet from centerline plus a 3-foot wide gravel shoulder abutting the site.
3. Construct a 5-foot wide detached concrete sidewalk located a minimum of 30-feet from the centerline of Hubbard Road abutting the site.

4. Complete Kay Avenue as a 36-foot wide collector street section abutting the site with vertical curb, gutter and a 5-foot wide detached concrete sidewalk. If street trees are desired, then an 8-foot wide planter strip shall be provided. Provide a permanent right-of-way easement for detached sidewalks located outside of the dedicated right-of-way.
5. Dedicate 35-feet of right-of-way north from the south property line for to allow for the future extension of Ardell Road.
6. Provide a 12-foot wide slope easement tapering to the right-of-way for Ardell Road abutting the site's east property line to allow for the bridge crossing of the Kuna Canal.
7. Provide a road trust deposit in the amount of \$52,400 for half of Ardell Road (18-feet of pavement, vertical curb, and gutter).
8. Construct a 5-foot wide detached concrete sidewalk located outside of the dedicated right-of-way for Ardell Road, as proposed. Provide a permanent right-of-way easement for the detached sidewalk located outside of the dedicated right-of-way.
9. Dedicate additional right-of-way at the northwest corner of Kay Avenue/Ardell Road intersection to accommodate the future construction of a single lane roundabout as shown on page 8. The applicant will not be compensated for this right-of-way dedication.
10. The applicant has proposed to extend Rhonda Street, as proposed.
11. Construct the internal local streets as 36-foot street sections with rolled curb, gutter, and 5-foot wide attached concrete sidewalks within 50-feet of right-of-way.
12. The right-of-way for Russell Street abutting Block 2, Lot 4 shall extend to the property line.
13. Terminate Russell Street at Hubbard Road with the construction of a cul-de-sac turnaround with a minimum radius of 45-feet.
14. Construct Applewater Street to intersect Kay Avenue, located 1,245-feet south of Hubbard Road, as proposed.
15. Construct Celtic Street to intersect Kay Avenue located 2,140 south of Hubbard Road, as proposed.
16. Construct center landscape islands or other passive design elements though out the development to provide traffic calming at interval no greater than 750-feet or redesigned to eliminate the long straight streets.
17. If center landscape islands are constructed, they shall be 10-foot wide with 21-feet of pavement on either side. Plat the center landscape islands as right-of-way owned by ACHD. The applicant or the future owner's association shall enter into a license agreement with ACHD is landscaping is desired within the center landscape island.
18. Direct lot access to Hubbard Road, Kay Avenue, and Ardell Road is prohibited and shall be noted on the final plat.
19. Submit civil plans to ACHD Development Services for review and approval. The impact fee assessment will not be released until the civil plans are approved by ACHD.
20. Payment of impact fees is due prior to issuance of a building permit.
21. Comply with all Standard Conditions of Approval.

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## **E. Standard Conditions of Approval**

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).
2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
3. In accordance with District policy, 7203.3, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA) requirements. The applicant's engineer should provide documentation of ADA compliance to District Development Review staff for review.
4. Replace any existing damaged curb, gutter and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.
5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.
9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.
10. Construction, use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.
11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.
12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.

## **F. Conclusions of Law**

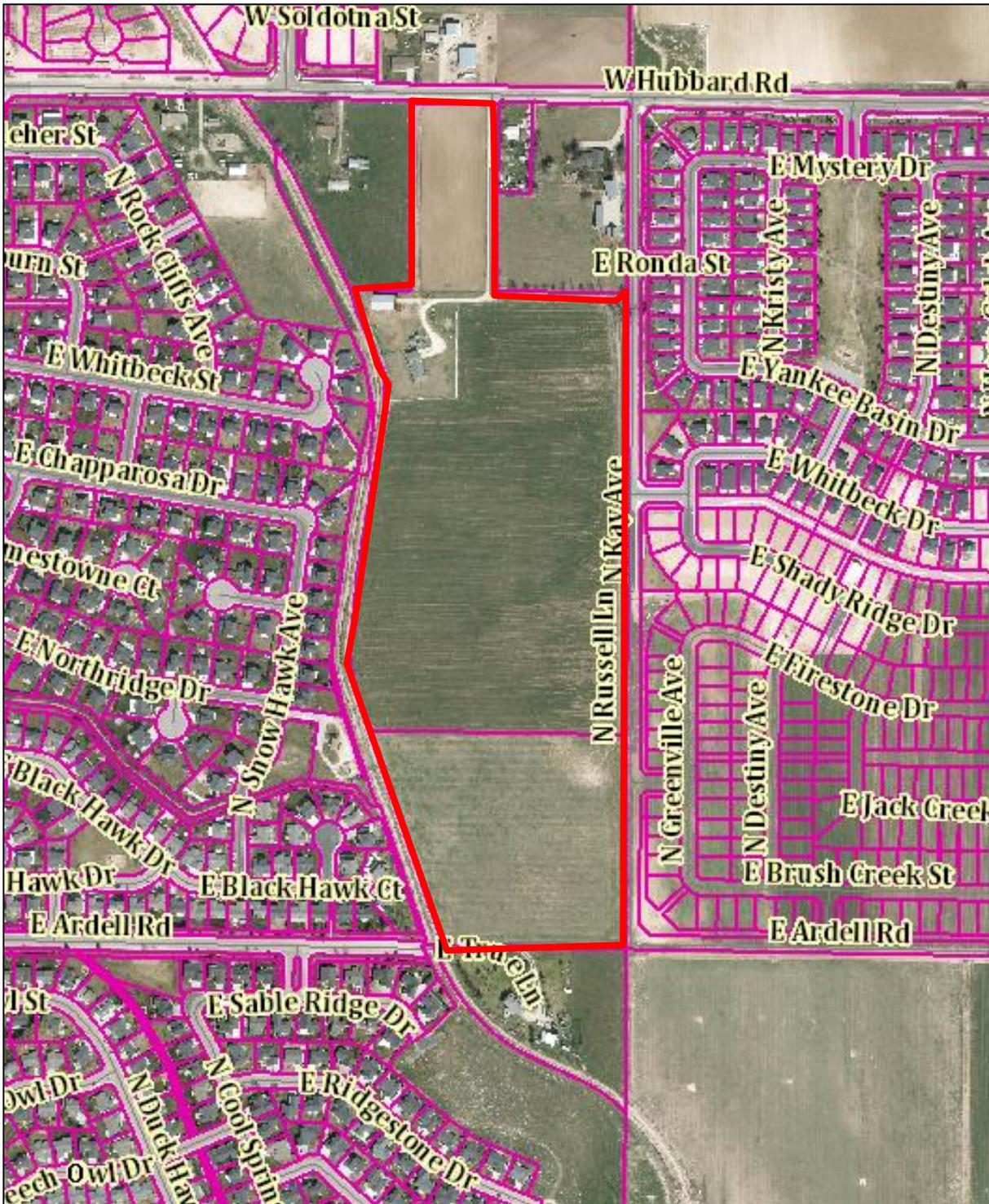
1. The proposed site plan is approved, if all of the Site Specific and Standard Conditions of Approval are satisfied.
2. ACHD requirements are intended to assure that the proposed use/development will not place an undue burden on the existing vehicular transportation system within the vicinity impacted by the proposed development.

## **G. Attachments**

1. Vicinity Map
2. Site Plan
3. Utility Coordinating Council
4. Development Process Checklist
5. Request for Reconsideration Guidelines

# EXHIBIT B 2

## VICINITY MAP



SITE PLAN



# EXHIBIT B 2

## Ada County Utility Coordinating Council

### Developer/Local Improvement District Right of Way Improvements Guideline Request

*Purpose: To develop the necessary avenue for proper notification to utilities of local highway and road improvements, to help the utilities in budgeting and to clarify the already existing process.*

- 1) **Notification:** Within five (5) working days upon notification of required right of way improvements by Highway entities, developers shall provide written notification to the affected utility owners and the Ada County Utility Coordinating Council (UCC). Notification shall include but not be limited to, project limits, scope of roadway improvements/project, anticipated construction dates, and any portions critical to the right of way improvements and coordination of utilities.
- 2) **Plan Review:** The developer shall provide the highway entities and all utility owners with preliminary project plans and schedule a plan review conference. Depending on the scale of utility improvements, a plan review conference may not be necessary, as determined by the utility owners. Conference notification shall also be sent to the UCC. During the review meeting the developer shall notify utilities of the status of right of way/easement acquisition necessary for their project. At the plan review conference each company shall have the right to appeal, adjust and/or negotiate with the developer on its own behalf. Each utility shall provide the developer with a letter of review indicating the costs and time required for relocation of its facilities. Said letter of review is to be provided within thirty calendar days after the date of the plan review conference.
- 3) **Revisions:** The developer is responsible to provide utilities with any revisions to preliminary plans. Utilities may request an updated plan review meeting if revisions are made in the preliminary plans which affect the utility relocation requirements. Utilities shall have thirty days after receiving the revisions to review and comment thereon.
- 4) **Final Notification:** The developer will provide highway entities, utility owners and the UCC with final notification of its intent to proceed with right of way improvements and include the anticipated date work will commence. This notification shall indicate that the work to be performed shall be pursuant to final approved plans by the highway entity. The developer shall schedule a preconstruction meeting prior to right of way improvements. Utility relocation activity shall be completed within the times established during the preconstruction meeting, unless otherwise agreed upon.

**Notification to the Ada County UCC can be sent to:** 50 S. Cole Rd. Boise 83707, or Visit [iducc.com](http://iducc.com) for e-mail notification information.

# Development Process Checklist

## Items Completed to Date:

- Submit a development application to a City or to Ada County
- The City or the County will transmit the development application to ACHD
- The ACHD **Planning Review Section** will receive the development application to review
- The **Planning Review Section** will do one of the following:
  - Send a “**No Review**” letter to the applicant stating that there are no site specific conditions of approval at this time.
  - Write a **Staff Level** report analyzing the impacts of the development on the transportation system and evaluating the proposal for its conformance to District Policy.
  - Write a **Commission Level** report analyzing the impacts of the development on the transportation system and evaluating the proposal for its conformance to District Policy.

## Items to be completed by Applicant:

- For **ALL** development applications, including those receiving a “**No Review**” letter:
  - The applicant should submit one set of engineered plans directly to ACHD for review by the **Development Review Section** for plan review and assessment of impact fees. (Note: if there are no site improvements required by ACHD, then architectural plans may be submitted for purposes of impact fee assessment.)
  - The applicant is required to get a permit from Construction Services (ACHD) for **ANY** work in the right-of-way, including, but not limited to, driveway approaches, street improvements and utility cuts.
- Pay Impact Fees prior to issuance of building permit. Impact fees cannot be paid prior to plan review approval.

### DID YOU REMEMBER:

#### *Construction (Non-Subdivisions)*

##### **Driveway or Property Approach(s)**

- Submit a “Driveway Approach Request” form to ACHD Construction (for approval by Development Services & Traffic Services). There is a one week turnaround for this approval.

##### **Working in the ACHD Right-of-Way**

- Four business days prior to starting work have a bonded contractor submit a “Temporary Highway Use Permit Application” to ACHD Construction – Permits along with:
  - a) Traffic Control Plan
  - b) An Erosion & Sediment Control Narrative & Plat, done by a Certified Plan Designer, if trench is >50’ or you are placing >600 sf of concrete or asphalt.

#### *Construction (Subdivisions)*

##### **Sediment & Erosion Submittal**

- At least one week prior to setting up a Pre-Construction Meeting an Erosion & Sediment Control Narrative & Plan, done by a Certified Plan Designer, must be turned into ACHD Construction to be reviewed and approved by the ACHD Stormwater Section.

##### **Idaho Power Company**

- Vic Steelman at Idaho Power must have his IPCO approved set of subdivision utility plans prior to Pre-Con being scheduled.

- Final Approval from Development Services is required** prior to scheduling a Pre-Con.

# EXHIBIT B 2

## Request for Appeal of Staff Decision

1. **Appeal of Staff Decision:** The Commission shall hear and decide appeals by an applicant of the final decision made by the Development Services Manager when it is alleged that the Development Services Manager did not properly apply this section 7101.6, did not consider all of the relevant facts presented, made an error of fact or law, abused discretion or acted arbitrarily and capriciously in the interpretation or enforcement of the ACHD Policy Manual.
  - a. **Filing Fee:** The Commission may, from time to time, set reasonable fees to be charged the applicant for the processing of appeals, to cover administrative costs.
  - b. **Initiation:** An appeal is initiated by the filing of a written notice of appeal with the Secretary and Clerk of the District, which must be filed within ten (10) working days from the date of the decision that is the subject of the appeal. The notice of appeal shall refer to the decision being appealed, identify the appellant by name, address and telephone number and state the grounds for the appeal. The grounds shall include a written summary of the provisions of the policy relevant to the appeal and/or the facts and law relied upon and shall include a written argument in support of the appeal. The Commission shall not consider a notice of appeal that does not comply with the provisions of this subsection.
  - c. **Time to Reply:** The Development Services Manager shall have ten (10) working days from the date of the filing of the notice of appeal to reply to the notice of the appeal, and may during such time meet with the appellant to discuss the matter, and may also consider and/or modify the decision that is being appealed. A copy of the reply and any modifications to the decision being appealed will be provided to the appellant prior to the Commission hearing on the appeal.
  - d. **Notice of Hearing:** Unless otherwise agreed to by the appellant, the hearing of the appeal will be noticed and scheduled on the Commission agenda at a regular meeting to be held within thirty (30) days following the delivery to the appellant of the Development Services Manager's reply to the notice of appeal. A copy of the decision being appealed, the notice of appeal and the reply shall be delivered to the Commission at least one (1) week prior to the hearing.
  - e. **Action by Commission:** Following the hearing, the Commission shall either affirm or reverse, in whole or part, or otherwise modify, amend or supplement the decision being appealed, as such action is adequately supported by the law and evidence presented at the hearing.

# EXHIBIT B 3

## Troy Behunin

---

**From:** Lauren Boehlke <laurenboehlke@yahoo.com>  
**Sent:** Tuesday, April 02, 2019 6:55 AM  
**To:** Troy Behunin  
**Subject:** Re: Greyhawk West Sub Agency Comments Requested

This property is under New York Irrigation District, therefore Boise-Kuna has no comments or concerns.  
Lauren

Lauren S Boehlke  
Sec.-Treasurer  
Boise-Kuna Irrigation District  
Phone# 922-5608  
Fax# 922-5659

On Monday, 1 April 2019, 5:01:28 pm MDT, Troy Behunin <tbehunin@kunaid.gov> wrote:

Afternoon Greetings everyone,

Please review the packet attached with this email and return relevant agency comments to our office about the services your agency provides, and how this proposed subdivision will impact your service.

If you have questions, *need more time* or need additional info or a packet mailed to your office, please let me know.

Thank you in advance, ☺

Troy

Troy Behunin  
Planner III  
City of Kuna  
751 W. 4<sup>th</sup> Street  
Kuna, ID 83634

[TBehunin@Kunald.Gov](mailto:TBehunin@Kunald.Gov)

### CONFIDENTIALITY NOTICE

This e-mail and any attachments may contain confidential or privileged information. If you are not the intended recipient, you are not authorized to use or distribute any information included in this e-mail or its attachments. If you receive this e-mail in error, please delete it from your system and contact the sender.

# EXHIBIT B 4



## CENTRAL DISTRICT HEALTH DEPARTMENT Environmental Health Division

Return to:

- ACZ
- Boise
- Eagle
- Garden City
- Kuna
- Meridian
- Star

Rezone # \_\_\_\_\_

Conditional Use # \_\_\_\_\_

Preliminary / Final / Short Plat 19-01-S

Greyhawk West

RECEIVED  
APR 15 2019  
CITY OF KUNA

- 1. We have No Objections to this Proposal.
- 2. We recommend Denial of this Proposal.
- 3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
- 4. We will require more data concerning soil conditions on this Proposal before we can comment.
- 5. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
  - high seasonal ground water
  - bedrock from original grade
  - waste flow characteristics
  - other \_\_\_\_\_
- 6. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
- 7. This project shall be reviewed by the Idaho Department of Water Resources concerning well construction and water availability.
- 8. After written approval from appropriate entities are submitted, we can approve this proposal for:
  - central sewage
  - interim sewage
  - individual sewage
  - community sewage system
  - central water
  - individual water
  - community water well
- 9. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
  - central sewage
  - sewage dry lines
  - community sewage system
  - central water
  - community water
- 10. This Department would recommend deferral until high seasonal ground water can be determined if other considerations indicate approval.
- 11. If restroom facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
- 12. We will require plans be submitted for a plan review for any:
  - food establishment
  - beverage establishment
  - swimming pools or spas
  - grocery store
  - child care center
- 13. Infiltration beds for storm water disposal are considered shallow injection wells. An application and fee must be submitted to CDHD.

14. \_\_\_\_\_ Reviewed By: \_\_\_\_\_

Paul Brady  
Date: 4/2/19

# EXHIBIT B 5

## Communities in Motion 2040 2.0 Development Review

The Community Planning Association of Southwest Idaho (COMPASS) is the metropolitan planning organization (MPO) for Ada and Canyon Counties. COMPASS has developed this review as a tool for local governments to evaluate whether land developments are consistent with the goals of *Communities in Motion 2040 2.0* (CIM 2040), the regional long-range transportation plan for Ada and Canyon Counties. This checklist is not intended to be prescriptive, but rather a guidance document based on CIM 2040 2.0 goals.

**Development Name: Greyhawk West (19-01-AN)**

**Agency: Kuna**

**CIM Vision Category: Future Neighborhoods**

**New households: 156**

**New jobs: 0**

**Exceeds CIM forecast: Yes**

	<p>CIM Corridor: <b>None</b>          Pedestrian level of stress: <b>PG-13: Hubbard</b>          Bicycle level of stress: <b>R: Hubbard</b></p>	<p>Level of Stress considers facility type, number of vehicle lanes, and speed. Roads with <b>G or PG</b> ratings better support bicyclists and pedestrians of all ages and comfort levels.</p>
	<p>Housing within 1 mile: <b>1,620</b>          Jobs within 1 mile: <b>220</b>          Jobs/Housing Ratio: <b>0.1</b></p>	<p>A good jobs/housing balance – a ratio between <b>1 and 1.5</b> – reduces traffic congestion. Higher numbers indicate the need for more housing and lower numbers indicate an employment need.</p>
	<p>Nearest police station: <b>2.8 miles</b>          Nearest fire station: <b>2 miles</b></p>	<p>Developments within <b>1.5 miles</b> of police and fire stations ensure that emergency services are more efficient and reduce the cost of these important public services.</p>
	<p>Farmland consumed: <b>Yes</b>          Farmland within 1 mile: <b>1,018 acres</b></p>	<p>Farmland contributes to the local economy, creates additional jobs, and provides food security to the region. Development in farm areas decreases the productivity and sustainability of farmland.</p>
	<p>Nearest bus stop: <b>&gt;4 miles</b>          Nearest public school: <b>2.1 miles</b>          Nearest public park: <b>3.3 miles</b>          Nearest grocery store: <b>1.8 miles</b></p>	<p>Residents who live or work less than <b>½ mile</b> from critical services have more transportation choices. Walking and biking reduces congestion by taking cars off the road, while supporting a healthy and active lifestyle.</p>

### Recommendations

This proposal exceeds growth forecasted for this area. Transportation infrastructure may not be able to support the new transportation demands. The proposal is on the fringe of urban development in an area removed from employment centers and existing public transportation. The closest transit services are located more than two miles away.

The site is not currently served by public transportation. The ValleyConnect 2.0 Growth Scenario Conceptual Network proposes an Express bus route from downtown Kuna to the Boise Research Center via downtown Meridian with 20-minute frequencies. The closest bus stop would be less than ½ mile in distance when that route is operational. The development proposes a pathway along the Kuna Canal per the Kuna Master Plan.

More information about COMPASS and *Communities in Motion 2040 2.0*:

Web: [www.compassidaho.org](http://www.compassidaho.org)

Email [info@compassidaho.org](mailto:info@compassidaho.org)

More information about the development review process:

<http://www.compassidaho.org/dashboard/devreview.htm>



# EXHIBIT B 6



STATE OF IDAHO  
DEPARTMENT OF ENVIRONMENTAL QUALITY  
BOISE REGIONAL OFFICE  
1445 North Orchard Street•Boise, ID 83706-2239•(208) 373-0550

## *DEQ Response to Request for Environmental Comment*

Date: April 11, 2019  
Agency Requesting Comments: City of Kuna  
Date Request Received: April 1, 2019  
Applicant/Description: 19-01-AN, 19-01-ZC, & 19-01-S Greyhawk West  
Subdivision

*Thank you for the opportunity to respond to your request for comment. While DEQ does not review projects on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at <http://www.deq.idaho.gov/ieg/>.*

*The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:*

### **1. Air Quality**

- *Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), trade waste burning (58.01.01.600-617), and odor control plans (58.01.01.776).*

*The property owner, developer, and their contractor(s) must ensure that reasonable controls to prevent fugitive dust from becoming airborne are utilized during all phases of construction activities per IDAPA 58.01.01.651.*

*Per IDAPA 58.01.01.600-617, the open burning of any construction waste is prohibited. The property owner, developer, and their contractor(s) are responsible for ensuring no prohibited open burning occurs during construction.*

*For questions, contact David Luft, Air Quality Manager, at 373-0550.*

### **2. Wastewater and Recycled Water**

- *DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.*
- *IDAPA 58.01.16 and IDAPA 58.01.17 are the sections of Idaho rules regarding wastewater and recycled water. Please review these rules to determine whether this or future projects will require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the district health department.*

*All projects for construction or modification of wastewater systems require preconstruction approval. Recycled water projects and subsurface disposal projects*

*require separate permits as well.*

- *DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss potential for development of a community treatment system along with best management practices for communities to protect ground water.*
- *DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.*

*For questions, contact Todd Crutcher, Engineering Manager, at 373-0550.*

### **3. Drinking Water**

- *DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.*
- *IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.*

*All projects for construction or modification of public drinking water systems require preconstruction approval.*

- *DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system (refer to the DEQ website at <http://www.deq.idaho.gov/water-quality/drinking-water.aspx>). For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.*
- *If any private wells will be included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.*
- *DEQ recommends using an existing drinking water system whenever possible or construction of a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for protection of ground water resources.*
- *DEQ recommends cities and counties develop and use a comprehensive land use management plan which addresses the present and future needs of this area for adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.*

*For questions, contact Todd Crutcher, Engineering Manager at 373-0550.*

### **4. Surface Water**

- *A DEQ short-term activity exemption (STAE) from this office is required if the project will involve de-watering of ground water during excavation and discharge back into surface water, including a description of the water treatment from this process to prevent excessive sediment and turbidity from entering surface water.*
- *Please contact DEQ to determine whether this project will require a National Pollution Discharge Elimination System (NPDES) Permit. If this project disturbs more than one*

# EXHIBIT B 6

acre, a stormwater permit from EPA may be required.

- *If this project is near a source of surface water, DEQ requests that projects incorporate construction best management practices (BMPs) to assist in the protection of Idaho's water resources. Additionally, please contact DEQ to identify BMP alternatives and to determine whether this project is in an area with Total Maximum Daily Load stormwater permit conditions.*
- *The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call 208-334-2190 for more information. Information is also available on the IDWR website at: <http://www.idwr.idaho.gov/WaterManagement/StreamsDams/Streams/AlterationPermit/AlterationPermit.htm>*
- *The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.*

*For questions, contact Lance Holloway, Surface Water Manager, at 373-0550.*

## **5. Hazardous Waste And Ground Water Contamination**

- **Hazardous Waste.** *The types and number of requirements that must be complied with under the federal Resource Conservations and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.*
- *No trash or other solid waste shall be buried, burned, or otherwise disposed of at the project site. These disposal methods are regulated by various state regulations including Idaho's Solid Waste Management Regulations and Standards, Rules and Regulations for Hazardous Waste, and Rules and Regulations for the Prevention of Air Pollution.*
- **Water Quality Standards.** *Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA 58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.02.851 and 852).*

*Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.02.851.01 and 04. Hazardous material releases to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.*

- **Ground Water Contamination.** *DEQ requests that this project comply with Idaho's Ground Water Quality Rules (IDAPA 58.01.11), which states that "No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water quality standard to be exceeded, injures a beneficial use of ground water, or is not in*

*accordance with a permit, consent order or applicable best management practice, best available method or best practical method.”*

*For questions, contact Albert Crawshaw, Waste & Remediation Manager, at 373-0550.*

**6. Additional Notes**

- *If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, the site should be evaluated to determine whether the UST is regulated by DEQ. EPA regulates ASTs. UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at 373-0550, or visit the DEQ website (<http://www.deq.idaho.gov/waste-mgmt-remediation/storage-tanks.aspx>) for assistance.*
- *If applicable to this project, DEQ recommends that BMPs be implemented for any of the following conditions: wash water from cleaning vehicles, fertilizers and pesticides, animal facilities, composted waste, and ponds. Please contact DEQ for more information on any of these conditions.*

*We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any our technical staff at 208-373-0550.*

Sincerely,



Aaron Scheff  
[aaron.scheff@deq.idaho.gov](mailto:aaron.scheff@deq.idaho.gov)  
Regional Administrator  
Boise Regional Office  
Idaho Department of Environmental Quality

ec: CM2019AEK76

# EXHIBIT B 7



**Your Safety • Your Mobility  
Your Economic Opportunity**

**IDAHO TRANSPORTATION DEPARTMENT**  
P.O. Box 8028 • Boise, ID 83707-2028  
(208) 334-8300 • itd.idaho.gov

April 12, 2019

Troy Behunin  
City of Kuna, Planning and Zoning Department  
P.O. Box 13  
Kuna, ID 83634

## VIA EMAIL

<b>Development Application</b>	<b>19-01-AN, 19-01-ZC, 19-01-S</b>
<b>Project Name</b>	<b>GREYHAWK WEST SUBDIVISION</b>
<b>Project Location</b>	West of North Kay Avenue and approximately 0.25 miles south of the intersection of West Hubbard Road and North Kay Avenue, west of SH-69 milepost 3.90
<b>Project Description</b>	<ul style="list-style-type: none"><li>• Annexation of approximately 29.15 acres into Kuna zoned as R-6</li><li>• Rezone approximately 10.45 acres from Agricultural to R-6</li><li>• Approve construction of a subdivision consisting of 174 residential lots</li></ul>
<b>Applicant</b>	Kent Brown

The Idaho Transportation Department (ITD) reviewed the referenced annexation, zoning, rezone, and preliminary plat applications and has the following comments:

1. This project does not abut the State highway system.
  2. Traffic generation numbers were not provided with this application. Based on the size of this proposed subdivision and its proximity to SH-69, ITD is requesting that the applicant provide a Traffic Impact Study (TIS) which includes the intersection of SH-69 and East Hubbard Road. The site plan does not clearly indicate if the connection between Kay Avenue/ Ardell Road or East Ardell Road/ West Ardell Road is being constructed as part of this development. If the either connection is planned, the applicant shall contact ITD for a more detailed scope of work for the TIS. ITD needs more information on the trip generations to determine what mitigations, if any, that the applicant may be required to construct on the State Highway system. Any necessary mitigation for traffic impacts identified by the Traffic Impact Study shall be the responsibility of the applicant to install. ITD reserves the right to make further comments upon review of any submitted traffic generation data or other documents.
-

# EXHIBIT B 7



**Your Safety • Your Mobility  
Your Economic Opportunity**

**IDAHO TRANSPORTATION DEPARTMENT**

P.O. Box 8028 • Boise, ID 83707-2028

(208) 334-8300 • [itd.idaho.gov](http://itd.idaho.gov)

3. The Idaho Administrative Procedures Act (IDAPA) 39.03.60 governs advertising along the State highway system. The applicant may contact Justin Pond, Right-of-Way Section Program Manager, at (208) 334-8832 for more information.
4. Idaho Code 40-1910 does not allow advertising within the right-of-way of any State highway.
5. ITD objects to the proposed application due to traffic concerns as noted in item 2.
6. Once traffic concerns have been addressed with ITD staff, ITD will withdraw any objection to the proposed application.

If you have any questions, you may contact Ken Couch at (208) 332-7190 or me at (208) 334-8338.

Sincerely,

A handwritten signature in blue ink that reads 'Sarah Arjona'.

Sarah Arjona  
Development Services Coordinator  
[Sarah.Arjona@itd.idaho.gov](mailto:Sarah.Arjona@itd.idaho.gov)



# EXHIBIT B 8

## Troy Behunin

---

**From:** Terry Gammel <deputychiefgammel@outlook.com>  
**Sent:** Monday, April 01, 2019 7:29 PM  
**To:** Troy Behunin; Bob Bachman; Paul Stevens; 'Christy Little'; agilman@adaweb.net; Amanda Morse; Jason Boal; Lauren Boehlke; tpage@boiseproject.org; bcarter@boiseproject.org; cheryl.goettsche@cableone.biz; Lori Badigian; Carl Miller; alicia.martin@deq.idaho.gov; malandt@idahopower.com; ahawkins@idahopower.com; bryce.ostler@intgas.com; D3 Development Services; Chad Gordon; ppalmer@kunafire.com; Terry D. Gammel; Mike Borzick; Kim Bekkedahl; Brenda Saxton; Boyer, Marc C - Boise, ID; Jon McDaniel; Jim Obert; David Reinhart  
**Subject:** Re: Greyhawk West Sub Agency Comments Requested

Kuna Fire has no objections or comments as long as all Emergency services needs are meet.

Terry D. Gammel  
Deputy Fire Chief  
Kuna Fire District  
150 West Boise St  
Kuna Idaho 83634  
208-922-1144

---

**From:** Troy Behunin <tbehunin@kunaid.gov>  
**Sent:** Monday, April 1, 2019 5:01 PM  
**To:** Bob Bachman; Paul Stevens; 'Christy Little'; agilman@adaweb.net; Amanda Morse; Jason Boal; Lauren Boehlke; tpage@boiseproject.org; bcarter@boiseproject.org; cheryl.goettsche@cableone.biz; Lori Badigian; Carl Miller; alicia.martin@deq.idaho.gov; malandt@idahopower.com; ahawkins@idahopower.com; bryce.ostler@intgas.com; D3 Development Services; Chad Gordon; ppalmer@kunafire.com; Terry D. Gammel; Mike Borzick; Kim Bekkedahl; Brenda Saxton; Boyer, Marc C - Boise, ID; Jon McDaniel; Mike Borzick; Jim Obert; David Reinhart  
**Subject:** Greyhawk West Sub Agency Comments Requested

Afternoon Greetings everyone,  
Please review the packet attached with this email and return relevant agency comments to our office about the services your agency provides, and how this proposed subdivision will impact your service.  
If you have questions, *need more time* or need additional info or a packet mailed to your office, please let me know.  
Thank you in advance, 😊  
Troy

Troy Behunin  
Planner III  
City of Kuna  
751 W. 4<sup>th</sup> Street  
Kuna, ID 83634  
[TBehunin@KunaId.Gov](mailto:TBehunin@KunaId.Gov)

#### CONFIDENTIALITY NOTICE

This e-mail and any attachments may contain confidential or privileged information. If you are not the intended recipient, you are not authorized to use or distribute any information included in this e-mail or its attachments. If you receive this e-mail in error, please delete it from your system and contact the sender.

# EXHIBIT B 9

## Kuna School District

*Inspiring each student to become a lifelong learner and a contributing, responsible citizen.*



April 8, 2019

Dear Honorable Members of the Planning and Zoning Commission,

Kuna School District has experienced approximately 2% growth over the last few years. Based on the 2016 Kuna School District Growth Report and Demographic Forecast, we predict that these homes, when completed, will house 121 school aged children based on our calculation of .65 students per household which is the Ada County standard calculation. Approval of the Greyhawk West Subdivision will affect enrollments at the following schools:

	Enrollment	Capacity
Reed Elementary School	602	600
Fremont Middle School	410	430
Kuna High School	1609	1500

As you notice from the above numbers, Reed Elementary School is currently at capacity. This development was not a part of our master plan will require additional school and activity space as homes are built. In order to accommodate these additional students, there may be a need for a future bond to be passed and/or partnership from developers. We request a meeting with the developer to discuss options to address the needs of students that will be added to this school zone.

The safety of our students is our first and foremost priority. With this in mind, we ask that you encourage the developer to also provide safe walkways, bike paths and pedestrian access for our students. School capacity and transportation is addressed in Idaho Code 67-6508.

Thank you for considering the needs of students in this request.

Regards,

District Planners

Jim Obert and David Reinhart

711 E. Porter Rd., Kuna, Idaho 83634

Phone: (208) 922-1000

FAX: (208) 922-5646

Wendy Johnson  
Superintendent

Kim Bekkedahl  
Assistant Superintendent

Dr. Catherine Beals  
Administrator of CIA

Eileen O'Shea  
Administrator of Student  
Services

David Reinhart  
Administrator of HR

# EXHIBIT B 9 a

## Kuna School District

*Inspiring each student to become a lifelong learner and a contributing, responsible citizen.*



April 17, 2019

Subject: Greyhawk Subdivision

Dear Honorable Members of the Planning and Zoning Commission,

This letter is an amendment of our letter dated April 8, 2019. We met with the developers on April 6, 2019 to discuss our concerns.

We shared with them that our primary concern was student safety. To this they addressed possible lit bus stops on Kay St. They had an openness to providing striping as well for a crosswalk.

After talking with our Transportation Director, Brenda Saxton, it was determined that painted crosswalks would not be helpful because their own transportation systems. Her department, along with Superintendent Johnson are asking the developer to install and pay for two covered bus stops at each of the entrees off Kay St.

Our transportation department is beginning to move toward picking up children at one or two common points on the outside of sub-divisions. Because of this, we will be asking other developers to do the same. It keeps students in a well lit and marked area which makes them visible and keeps them in a safe environment.

Regards,

Jim Obert

David Reinhart

711 E. Porter Rd., Kuna, Idaho 83634

Phone: (208) 922-1000

FAX: (208) 922-5646

Wendy Johnson  
Superintendent

Kim Bekkedahl  
Assistant Superintendent

Dr. Catherine Beals  
Administrator of CIA

Eileen O'Shea  
Administrator of Student  
Services

David Reinhart  
Administrator of HR

**REZONE DESCRIPTION FOR  
WALKER PROPERTY  
GREYHAWK WEST SUBDIVISION**

A parcel of land located in the NW 1/4 of Section 13, T.2N., R.1W., B.M., Ada County, Idaho, more particularly described as follows:

Commencing at the North 1/4 corner of said Section 13, from which the Northwest corner of said Section 13 bears North 88°53'13" West, 2642.77 feet;

thence along the North-South centerline of said Section 13 South 00°11'49" West, 1982.46 feet to the **REAL POINT OF BEGINNING**;

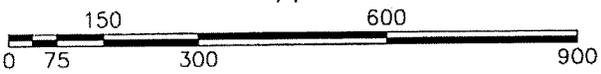
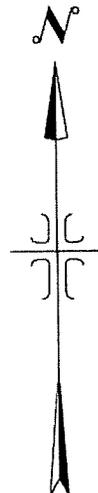
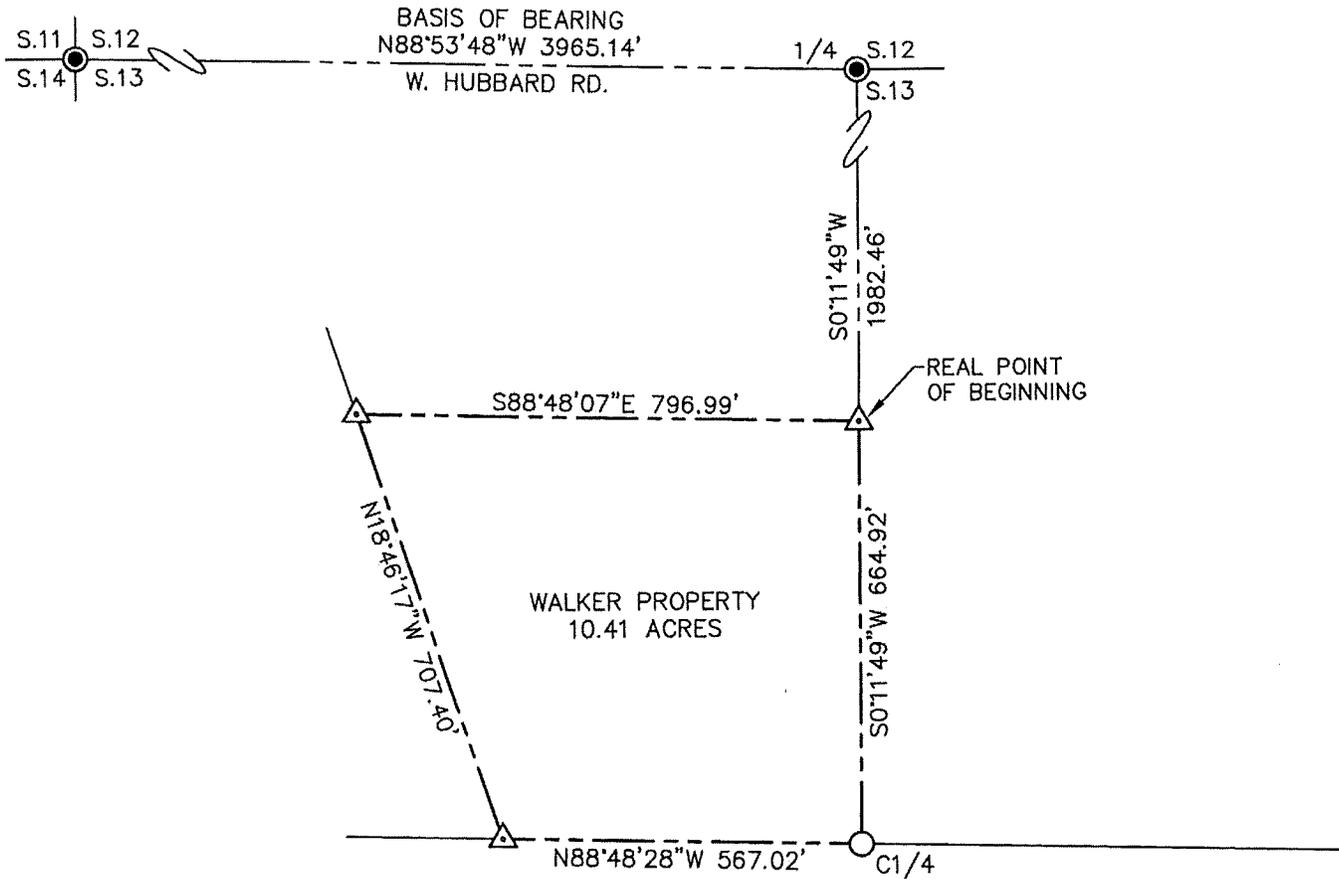
thence continuing along said North-South centerline South 00°11'49" West, 664.92 feet to the C1/4 corner of said Section 13;

thence along the East-West centerline of said Section 13 North 88°48'28" West, 567.02 feet;

thence leaving said East-West centerline North 18°46'17" West, 707.40 feet;

thence South 88°48'07" East, 796.99 feet to the **REAL POINT OF BEGINNING**. Containing 10.41 acres, more or less.





SCALE: 1" = 300'



P:\Greyhawk West Topo 18-367.dwg\Rezone exhibit.dwg 3/2/2019 11:02:12 AM



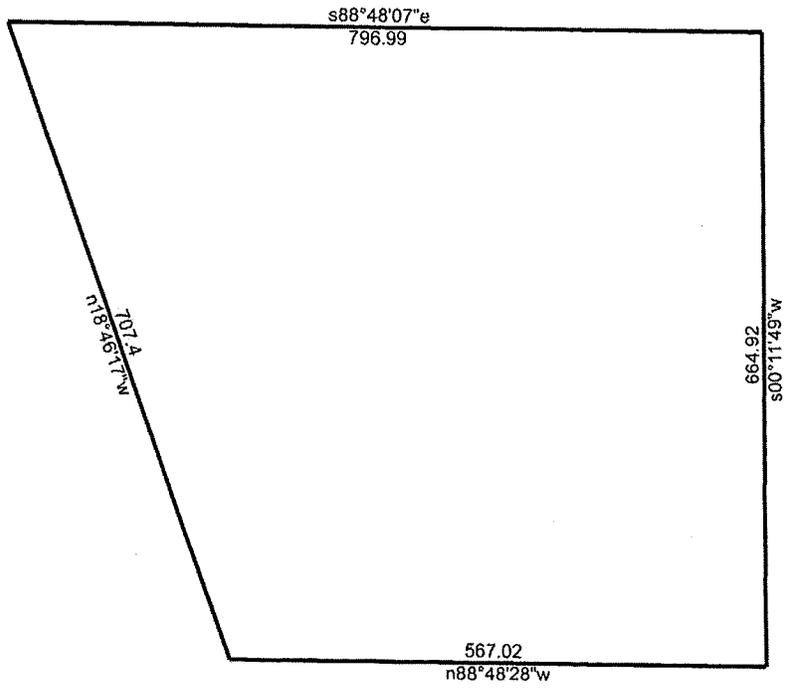
**IDAHO SURVEY GROUP, LLC**

9955 W. EMERALD ST.  
BOISE, IDAHO 83704  
(208) 846-8570

REZONE EXHIBIT DRAWING FOR  
**WALKER PROPERTY**  
GREYHAWK WEST SUBDIVISION

LOCATED IN THE NW 1/4 OF SECTION 13, T.2N., R.1W., B.M.,  
ADA COUNTY, IDAHO

JOB NO. 18-367
SHEET NO. 1
DWG. DATE 3/2/2019



Walker Property Rezone Closure Sheet

3/2/2019

Scale: 1 inch= 200 feet

File:

Tract 1: 10.4093 Acres, Closure: n21.0552e 0.01 ft. (1/294369), Perimeter=2736 ft.

- 01 s00.1149w 664.92
- 02 n88.4828w 567.02
- 03 n18.4617w 707.4
- 04 s88.4807e 796.99

**ANNEXATION DESCRIPTION FOR  
WATERS PROPERTY  
GREYHAWK WEST SUBDIVISION**

A parcel of land located in the NW 1/4 of Section 13, T.2N., R.1W., B.M., Ada County, Idaho, more particularly described as follows:

Commencing at the North 1/4 corner of said Section 13, from which the Northwest corner of said Section 13 bears North 88°53'13" West, 2642.77 feet;

thence along the North-South centerline of said Section 13 South 00°11'49" West, 612.01 feet to the **REAL POINT OF BEGINNING**;

thence continuing along said North-South centerline South 00°11'49" West, 1,370.45 feet;

thence leaving said North-South centerline North 88°48'07" West, 796.99 feet;

thence North 18°46'17" West, 143.20 feet;

thence North 08°03'02" West, 99.25 feet;

thence North 05°35'18" East, 258.00 feet;

thence North 09°33'16" East, 297.30 feet;

thence North 11°25'03" East, 208.36 feet;

thence North 02°42'42" West, 126.88 feet;

thence North 23°53'52" West, 276.32 feet;

thence South 89°13'32" East, 185.79 feet;

thence North 00°50'58" East, 613.99 feet to a point on the North boundary line of said Section 13;

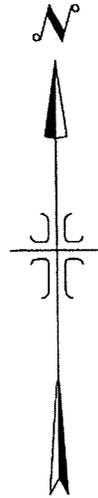
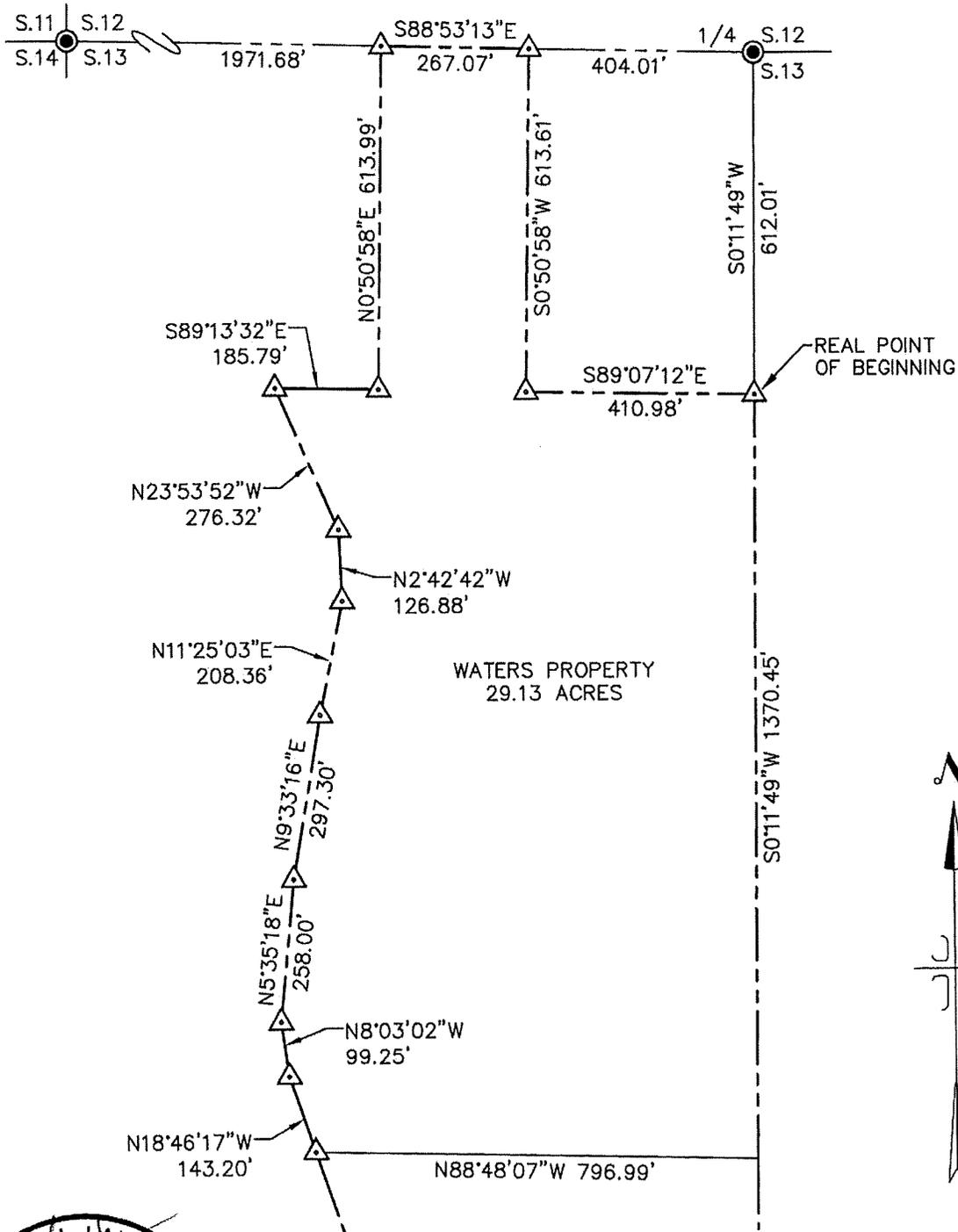
thence along said North boundary line South 88°53'13" East, 267.07 feet;

thence leaving said North boundary line South 00°50'58" West, 613.61 feet;

thence South 89°07'12" East, 410.98 feet to the **REAL POINT OF BEGINNING**. Containing 29.13 acres, more or less.



W. HUBBARD RD.  
BASIS OF BEARING  
N88°53'13"W 2642.77'



SCALE: 1" = 300'



P:\Greyhawk West Topo 18-367\dwg\Rezone exhibit.dwg 3/2/2019 10:47:10 AM

**IDAHO SURVEY GROUP, LLC**

9955 W. EMERALD ST.  
BOISE, IDAHO 83704  
(208) 846-8570

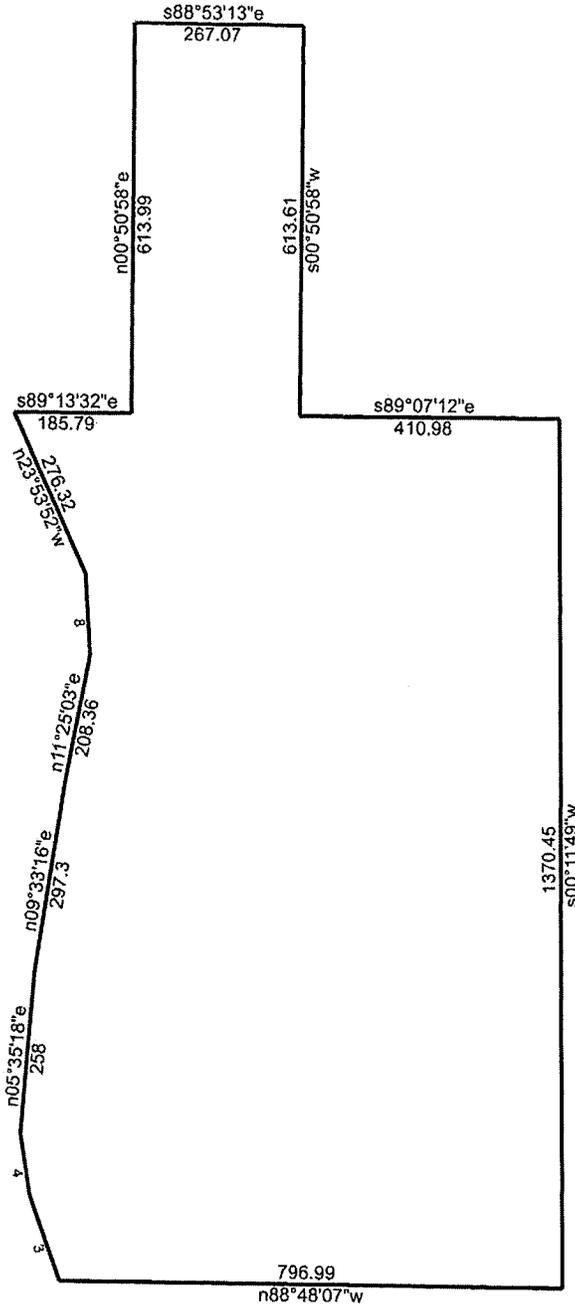
ANNEXATION EXHIBIT DRAWING FOR  
WATERS PROPERTY  
GREYHAWK WEST SUBDIVISION

LOCATED IN THE NW 1/4 OF SECTION 13, T.2N., R.1W., B.M.,  
ADA COUNTY, IDAHO

JOB NO.  
18-367

SHEET NO.  
1

DWG. DATE  
3/2/2019



# Waters Property Annexation Closure Sheet

3/2/2019

Scale: 1 inch= 300 feet

File:

Tract 1: 29.1276 Acres, Closure: n00.0000e 0.00 ft. (1/999999), Perimeter=5668 ft.

- 01 s00.1149w 1370.45
- 02 n88.4807w 796.99
- 03 n18.4617w 143.2
- 04 n08.0302w 99.25
- 05 n05.3518e 258
- 06 n09.3316e 297.3
- 07 n11.2503e 208.36
- 08 n02.4242w 126.88
- 09 n23.5352w 276.32
- 10 s89.1332e 185.79

- 11 n00.5058e 613.99
- 12 s88.5313e 267.07
- 13 s00.5058w 613.61
- 14 s89.0712e 410.98



# City of Kuna AFFIDAVIT OF LEGAL INTEREST

City of Kuna  
P.O. Box 13  
Kuna, Idaho 83634  
Phone: (208) 922-5274  
Fax: (208) 922-5989  
Web: www.cityofkuna.com

State of Idaho )  
County of Ada )

I, BRAD WATERS, 197 W HUBBARD RD  
Name Address  
KUNA ID 83634  
City State Zip Code

being first duly sworn upon oath, depose and say:

(If Applicant is also Owner of Record, skip to B)

A. That I am the record owner of the property described on the attached, and I grant my permission to KENT BROWN 3161 E SPRINGWOOD DR MERIDIAN ID 83642  
Name Address

to submit the accompanying application pertaining to that property.

B. I agree to indemnify, defend and hold City of Kuna and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.

C. I hereby grant permission to the City of Kuna staff to enter the subject property for the purpose of site inspections related to processing said application(s).

Dated this 8TH day of JAN., 2019

Brad Waters  
Signature

Subscribed and sworn to before me the day and year first above written.

Linda Torrez  
Notary Public for Idaho

Residing at: Kuna, Idaho

My commission expires: 5-8-23

LINDA TORREZ  
Notary Public - State of Idaho  
Commission Number 8418  
My Commission Expires May 8, 2023



# City of Kuna AFFIDAVIT OF LEGAL INTEREST

City of Kuna  
P.O. Box 13  
Kuna, Idaho 83634

Phone: (208) 922-5274  
Fax: (208) 922-5989  
Web: www.cityofkuna.com

State of Idaho )  
                          )  
County of Ada )

I, Portland Walker, 1300 So. Heidi Pl.  
Name Address  
Meridian Idaho 83642  
City State Zip Code

being first duly sworn upon oath, depose and say:

(If Applicant is also Owner of Record, skip to B)

A. That I am the record owner of the property described on the attached, and I grant my  
permission to KENT BROWN 3161 E SPRINGWOOD DR MERIDIAN ID 83642  
Name Address

to submit the accompanying application pertaining to that property.

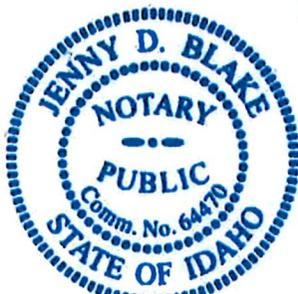
B. I agree to indemnify, defend and hold City of Kuna and its employees harmless from any  
claim or liability resulting from any dispute as to the statements contained herein or as to  
the ownership of the property which is the subject of the application.

C. I hereby grant permission to the City of Kuna staff to enter the subject property for the purpose  
of site inspections related to processing said application(s),

Dated this 9<sup>th</sup> day of January, 2019

Portland Walker  
Signature

Subscribed and sworn to before me the day and year first above written.



J. Blake  
Notary Public for Idaho

Residing at: Boise, ID

My commission expires: 10/23/2020



# Neighborhood Meeting Certification

CITY OF KUNA PLANNING & ZONING \* 763 W. Avalon, Kuna, Idaho, 83634 \* www.kunacity.id.gov \* (208) 922-5274 \* Fax: (208) 922-5989

### GENERAL INFORMATION:

You must conduct a neighborhood meeting prior to application for variance, conditional use, zoning ordinance map amendment, expansion or extension of a nonconforming use, and/or a subdivision. Please see Section 8-7A-3 of the Kuna City Code or ask one of our planners for more information on neighborhood meetings.

The meeting must be held either on a weekend between 10 a.m. and 7 p.m., or a weekday between 6 p.m. and 8 p.m. Meetings cannot be conducted on holidays, holiday weekends, or the day before or after a holiday or holiday weekend. The meeting must be held at one of the following locations:

- The Subject Property;
- The nearest available public meeting place (Examples include fire stations, libraries and community centers);
- An office space within a 1-mile radius of the subject property.

The meeting cannot take place more than 2 months prior to acceptance of the application and the application will not be accepted before the neighborhood meeting is conducted. You are required to send written notification of your meeting, allowing a reasonable amount of time before your meeting for property owners to plan to attend. Contacting and/or meeting individually with residents will not fulfill Neighborhood Meeting requirements.

You may request a list of the people you need to invite to the neighborhood meeting from our department. This list includes property owners within 300 feet of the subject property. Once you have held your neighborhood meeting, please complete this certification form and include it with your application.

**Please Note: The neighborhood meeting must be conducted in one location for attendance by all neighboring residents. Contacting and/or meeting individually with residents does not comply with the neighborhood meeting requirements.**

**Please include a copy of the sign-in sheet for your neighborhood meeting, so we have written record of who attended your meeting and the letter of intent sent to each recipient. In addition, provide any concerns that may have been addressed by individuals that attended the meeting.**

Description of proposed project: GREYHAWK SUBDIVISION (PHASES 9-11)

Date and time of neighborhood meeting: FEBRUARY 6TH AT 6PM

Location of neighborhood meeting: KUNA LIBRARY

### SITE INFORMATION:

Location: Quarter: NW Section: 13 Township: 2N Range: 1W Total Acres: 39.33

Subdivision Name: GREYHAWK SUBDIVISION Lot: \_\_\_\_\_ Block: \_\_\_\_\_

Site Address: 197 W Hubbard RD Tax Parcel Number(s): S1313212470  
S1313244650

Please make sure to include all parcels & addresses included in your proposed use.

### CURRENT PROPERTY OWNER:

Name: CORTLAND WALKER / BRADFORD WATERS  
1300 S. HEDI PL Meridian 83642  
Address: 197 W. Hubbard Rd City: Kuna State: ID Zip: 83634

### CONTACT PERSON (Mail recipient and person to call with questions):

Name: KENT BROWN Business (if applicable): \_\_\_\_\_  
Address: 3161 E SPRINGWOOD DR City: MERIDIAN State: ID Zip: 83642



**PROPOSED USE:**

I request a neighborhood meeting list for the following proposed use of my property (check all that apply):

**Application Type**

**Brief Description**

Annexation

Approximately 29.14 acres to R6

Re-zone

Approximately 10.45 acres from A to R6

Subdivision (Sketch Plat and/or Prelim. Plat)

Preliminary plat for 156 single family lots

Special Use

Variance

Expansion of Extension of a Nonconforming Use

Zoning Ordinance Map Amendment

**APPLICANT:**

Name: PROVIDENCE PROPERTIES

Address: 701 S ALLEN ST

City: MERIDIAN State: ID Zip: 83642

Telephone: 208-695-2000 Fax: \_\_\_\_\_

I certify that a neighborhood meeting was conducted at the time and location noted on this form and in accord with Section 5-1A-2 of the Kuna City Code

Signature: (Applicant)



Date 3-4-19

January 28, 2019

**RE: Notice of Neighborhood Meeting for Greyhawk Subdivision**

Dear Land Owner:

Kuna City Code requires a meeting between the applicants of proposed applications to the city and land owners within 300 feet of the proposed property. This letter is notice of a meeting to review: the details of a Preliminary Plat for a residential neighborhood, and rezoning and annexation of the site to R-6 zoning. The site is located at 197 W. Hubbard Road.

This is not a public hearing; public officials will not be present. If you have any questions regarding this Kuna City Code neighborhood meeting requirement, please contact the Development Services at (208) 922-5274. If you have questions regarding the application, please contact me, Kent Brown.

Purpose: To review proposed Annexation of 29.2 acres to R-6 zone, and Rezone of 10.45 acres to R-6 zone. And review a preliminary plat for 159 single family homes at 197 W. Hubbard Road.

When: Wednesday, February 6, 2019 starting at 6pm

Where: Kuna Library 457 Locust Ave Kuna ID (conference room)

Description: Annexation of 29.2 acres from RUT to R-6 zone 10.45 acres from A to R-6 zone and preliminary plat review, with 159 single family homes on 39.33 acres with 5.01 acres of common area or 12.99%.

If you have any questions about the meeting or the proposed development project, please contact:

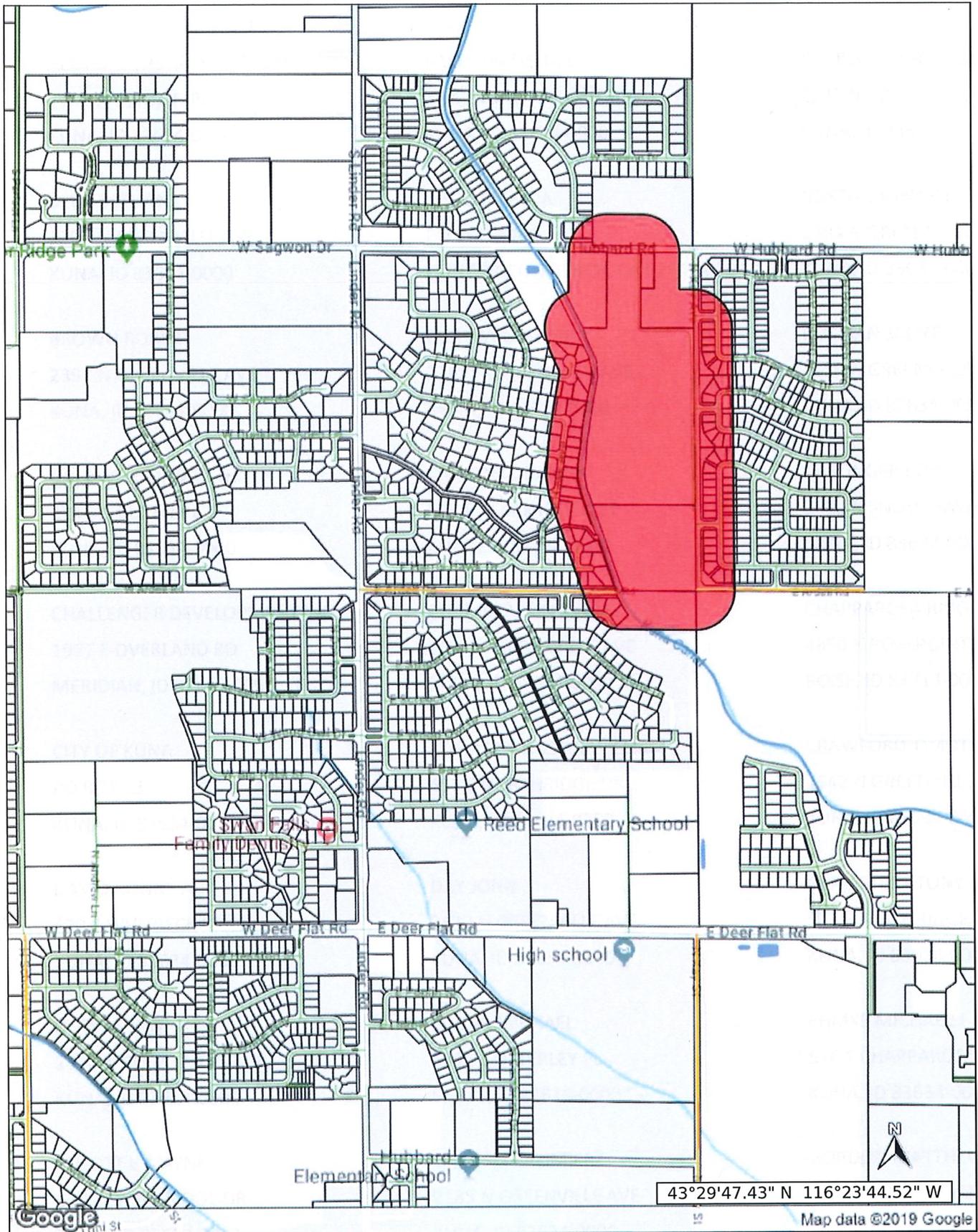
Kent Brown  
(208) 871-6842

Sincerely,



Kent Brown  
Project Planner

# NEIGHBORHOOD MEETING MAILING MAP



GREEN JOSEPH R  
884 E FIRESTONE DR  
KUNA, ID 83634-0000

GREYHAWK SOUTH HOMEOWNERS  
ASSOCIATION INC  
PO BOX 2654  
EAGLE, ID 83616-0000

HDP GREYHAWK LLC  
708 MAIN ST  
EVANSTON, IL 60202-0000

HOARD JEFFREY MARTIN  
966 E WHITBECK DR  
KUNA, ID 83634-0000

HODDER MARC R  
2280 N GREENVILLE AVE  
KUNA, ID 83634-0000

HURST DANIEL S  
2622 N LORTON PL  
KUNA, ID 83634-0000

JAGARD DENNIS S  
2693 N LORTON PL  
KUNA, ID 83634-0000

JULIUS TODD E  
973 E WHITBECK DR  
KUNA, ID 83634-0000

KEZAR RYAN P  
15968 GREYMILL MANOR DR  
HAYMARKET, VA 20169-0000

LENZ JAIME F  
2413 N GREENVILLE AVE  
KUNA, ID 83634-0000

GREYHAWK HOA  
PO BOX 1246  
MERIDIAN, ID 83680-0000

HARRISON KAY E  
1069 W SOLDOTNA ST  
KUNA, ID 83634-0000

HEINRICH DERRICK S  
1047 W SOLDOTNA ST  
KUNA, ID 83634-0000

HOBBS BRADEN NICHOLAS  
2265 N GREENVILLE AVE  
KUNA, ID 83634-0000

HORTON ROBERT P  
935 W HUBBARD RD  
MERIDIAN, ID 83642-7115

HUST KLINTON RANDALL  
2152 N GREENVILLE AVE  
KUNA, ID 83634-0000

JARVIS AUSTIN  
2274 N BUTEO PL  
KUNA, ID 83634-0000

KASERMAN WILLIAM P  
902 E FIRESTONE DR  
KUNA, ID 83634-0000

LEASY TRACEY T  
2382 N SNOW HAWK AVE  
KUNA, ID 83634-0000

LEON MARGURITE FAMILY TRUST  
2912 STOKES CIR  
RIVERSIDE, CA 92503-0000

GREYHAWK SOUTH HOA  
PO BOX 968  
MERIDIAN, ID 83680-0000

HAWKS NEST NEIGHBORHOOD  
PO BOX 1987  
BOISE, ID 83701-1987

HENKE JEFF  
859 E SHADY RIDGE DR  
KUNA, ID 83634-0000

HOBBS BRIAN L  
2264 N GREENVILLE AVE  
KUNA, ID 83634-0000

HURLEY DANIEL  
2587 N GREENVILLE AVE  
KUNA, ID 83634-0000

ISAACSON ERIK J  
2480 N SNOW HAWK AVE  
KUNA, ID 83634-0000

JEPSEN SHANE  
PO BOX 152  
KUNA, ID 83634-0000

KENISON TRAVIS H  
528 E BLACK HAWK CT  
KUNA, ID 83634-0000

LEE SARA N  
2586 N GREENVILLE AVE  
KUNA, ID 83634-0000

LOWE BRETT EUGENE  
2280 N BUTEO PL  
KUNA, ID 83634-0000

LRP INVESTMENTS LLC  
2030 V ST  
SACRAMENTO, CA 95818-1730

MADDOX BOBBY  
989 E YANKEE BASIN DR  
KUNA, ID 83634-0000

MERCADO BRYAN  
866 E FIRESTONE DR  
KUNA, ID 83634-0000

MONTAGUE JANA M  
583 E BLACK HAWK CT  
KUNA, ID 83634-0000

NELL CLAYTON R  
2266 N BUTEO PL  
KUNA, ID 83634-0000

PARKER ANDREW  
2653 N GREENVILLE AVE  
KUNA, ID 83634-0000

PETERSON BAILEY J  
967 E YANKEE BASIN DR  
KUNA, ID 83634-0000

POWELL INVESTMENTS LLC  
690 W RIODOSA DR  
MERIDIAN, ID 83642-0000

ROBERTS RYAN  
988 E WHITBECK DR  
KUNA, ID 83634-0000

SABLE RIDGE HOMEOWNERS  
8919 W ARDENE ST  
BOISE, ID 83709-0000

LUPPENS JOSEPH HOOPER & DOROTHY  
2263 N BUTEO PL  
KUNA, ID 83634-0000

MAGSTADT STEVEN LEE  
578 E BLACK HAWK CT  
KUNA, ID 83634-0000

MINEGAR RYAN C  
901 E SHADY RIDGE DR  
KUNA, ID 83634-0000

MORGAN AMY L  
484 E NORTHRIDGE DR  
KUNA, ID 83634-0000

ORCUTT EILEEN  
877 E SHADY RIDGE DR  
KUNA, ID 83634-0000

PAYNE JUDITH E  
1285 W HUBBARD RD  
MERIDIAN, ID 83642-0000

POCKERT RICHARD  
2136 N GREENVILLE AVE  
KUNA, ID 83634-0000

POYTHRESS RICHARD  
2277 N BUTEO PL  
KUNA, ID 83634-0000

ROBERTS TROY  
613 E SABLE RIDGE DR  
KUNA, ID 83634-0000

SAGEWOOD DEVELOPMENT CORP  
1056 SHEARWATER LN  
EAGLE, ID 83616-0000

LUTON PATRICK  
2281 N GREENVILLE AVE  
KUNA, ID 83634-0000

MATENAER STEVEN  
2217 N GREENVILLE AVE  
KUNA, ID 83634-0000

MINNICK JONAH PAUL  
2216 N GREENVILLE AVE  
KUNA, ID 83634-0000

MORINO RICHARD E  
855 W HUBBARD RD  
MERIDIAN, ID 83642-0000

OTSTOT JEREMY N  
494 E CHAPPAROSA DR  
KUNA, ID 83634-0000

PERUCCA JAMIE  
2458 N SNOW HAWK AVE  
KUNA, ID 83634-0000

POWELL EDWARD MICHAEL  
2674 N GREENVILLE AVE  
KUNA, ID 83634-0000

RITTBERG-SNUFFER JANICE  
1030 KOELLE BLVD  
SECAUCUS, NJ 07094-0000

ROCKWELL MATTHEW J  
492 E WHITBECK ST  
KUNA, ID 83634-0000

SAWYER RYAN  
2457 N GREENVILLE AVE  
KUNA, ID 83634-0000

SCHROEDER COURTNEY E  
608 E SABLE RIDGE DR  
KUNA, ID 83634-0000

SEWELL RANDY A  
2652 N GREENVILLE AVE  
KUNA, ID 83634-0000

STEWART AUSTIN  
2249 N GREENVILLE AVE  
KUNA, ID 83634-0000

TALBOT ROBERT SCOTT  
570 E SABLE RIDGE DR  
KUNA, ID 83634-0000

THOMPSON COTY S  
876 E SHADY RIDGE DR  
KUNA, ID 83634-0000

TIPPETTS WILLIAM  
11635 W TUSTIN LN  
KUNA, ID 83634-0000

WALKER CORTLAND E  
1300 S HEIDI PL  
MERIDIAN, ID 83642-2457

WEST KIMBERLY  
2123 W GLADE CREEK ST  
MERIDIAN, ID 83646-0000

YOUNG ADAM DEAN  
2675 N GREENVILLE AVE  
KUNA, ID 83634-0000

SCHULTSMEIER PROPERTIES LLC  
8393 SOUTHSIDE BLVD  
NAMPA, ID 83686-0000

SHAW JASON D  
2640 N LORTON PL  
KUNA, ID 83634-0000

STOCKWELL MANFRED  
2565 N GREENVILLE AVE  
KUNA, ID 83634-0000

TAYLOR KIRT I  
2254 N JUSTIN WAY  
MERIDIAN, ID 83646-8070

THOMPSON PATRICK SHAYNE  
541 E BLACK HAWK CT  
KUNA, ID 83634-0000

TOLL ID I LLC  
250 GIBRALTAR RD  
HORSHAM, PA 19044-0000

WATERS BRADFORD A  
197 W HUBBARD RD  
KUNA, ID 83634-0000

WHITING MARIA LIVING TRUST  
1095 W SOLDOTNA ST  
KUNA, ID 83634-0000

ZABALA DAVID I  
592 E SABLE RIDGE DR  
KUNA, ID 83634-0000

SENNETT CATHERINE  
2233 N GREENVILLE AVE  
KUNA, ID 83634-0000

SMITH AMY J  
3823 W MAGIC SPRUCE DR  
MERIDIAN, ID 83642-0000

STRICKLER ROBERT R  
2400 N SNOW HAWK AVE  
KUNA, ID 83634-0000

THOMAS SHARON  
2502 N SNOW HAWK AVE  
KUNA, ID 83634-0000

TIMBERMIST HOA INC  
3140 W BELLTOWER DR  
MERIDIAN, ID 83646-0000

TRUE TERRY L  
887 E TRUE LN  
KUNA, ID 83634-0000

WEAVER KORY S  
900 E SHADY RIDGE DR  
KUNA, ID 83634-0000

WITHERSPOON CLINT L  
497 E TAPER CT  
KUNA, ID 83634-0000

ZEITMAN FAMILY TRUST  
2535 HUERTO CT  
SAN JOSE, CA 95128-0000



May 21, 2019

RE: 19-02-AN, 19-01-S & 19-01-ZC (Annexation, Zone Change, and Subdivision  
Greyhawk West Sub AN, ZC, Sub

Dear Planning & Zoning Members:

I am writing to oppose the annexation and zone change of Greyhawk West Subdivision as it is proposed by the developer. I received a preliminary plat from Kent Brown, Project Planner dated January 28, 2019 indicating 159 single homes and a map.

I believe the lot sizes should be a minimum size of .25 acres, especially those that border the subdivisions on the west side of the proposed subdivision. I also strongly believe there should be an additional common area located at the rear of the subdivision for wildlife purposes. Finally, Hubbard should be widened to allow for turn lanes in and out of subdivisions.

Kuna has added several small lot subdivisions and apartments to increase housing diversity. What it has not done is add larger lot sizes between .25 acres and 1 acre subdivision for those people who already live in Kuna who want to upgrade. Diversity should include options for higher incomes who do not want 5 to 10 acres, but would like .25 to 1 acre lots. Furthermore, the lots in Hawks Nests and Chapparosa should not have 2 ½ lots bordering their back yards.

A common area for the token playground equipment is okay, but I would like to see an additional required common area for wildlife use to be included at the south end of the proposed plat. It could be an empty lot with grass, trees and shrubs, or it could include a duck pond. As farm land is disappearing, geese, ducks and other wildlife are losing their habitat. The birds are currently using the irrigation canals and farm land in this area. Boise has recently announced a new area of open space conservation, Eagle and Meridian have open areas and Kuna needs to focus on this as it is growing quickly.

My family moved to Kuna 25 years ago because it was a rural community. When we needed to upgrade from our starter home to a larger home on a large lot, it was very difficult to find what we needed because the .25 lots were in high demand. We have had friends who have had to leave Kuna and the Kuna School District for this reason. Some friends are leaving because Kuna is losing its rural atmosphere. **The people leaving Kuna are higher income and Planning & Zoning should strive to keep them here.** The developers will attempt to have small lots so they can make the most money. But they are not from Kuna and it is up to the Planning & Zoning to set the standard. The developers will succumb to the standards set by the City. It is not the responsibility of Kuna to provide affordable housing for the entire Treasure Valley at the expense of its current residents. Thank you for your consideration.

Sincerely,

*Elizabeth Poythress*

Elizabeth Poythress  
2277 N. Buteo Pl.  
Kuna, ID 83634  
208-922-1428

received  
5.22.19

May 21, 2019

RE: 19-01-AN, 19-01-S & 19-01-ZC (Annexation, Zone Change and Subdivision)  
Greyhawk West Sub AN, ZC, Sub

Dear Planning & Zoning Members:

I am writing to oppose the annexation and zone change of Greyhawk West Subdivision as it is proposed by the developer. I received a preliminary plat from Kent Brown; Project Planner dated January 28, 2019.

First, I believe the lot sizes should be a minimum size of .25 acres for a single family home. The lots in Hawk's Nest and Chapparosa subdivisions should not have 2 ½ lots bordering their back yards. Furthermore, there is a multitude of subdivisions of small lots in Kuna, but there are no subdivisions of lots ranging from .25 to 1 acre. The larger lot sizes in each subdivision sell quickly, so there is a demand. Residents of Kuna who want to upgrade have no place to move without leaving Kuna. Larger lot sizes and more expensive homes will benefit the City of Kuna.

Second, Hubbard Road needs to be widened in both directions to allow for turn lanes into and out of each subdivision. The City needs to consider how each new subdivision will impact traffic to the schools and for people commuting to Boise before approving new subdivisions. Kay Street should be extended to Deer Flat. Ardell should be extended from Linder to at least Kay if not Meridian Road.

Third, all new subdivisions should have more open space areas, in addition to the standard lot containing playground equipment. Wildlife is losing its habitat as subdivisions are replacing farm land and it is up to the City to ensure that some open space is maintained.

The Idaho Press Tribune article dated June 27, 2018 and titled Comprehensive Plan Survey Results dated states the following as some of the goals:

- \*Promote growth management and slower paced development
- \*Promote Kuna as a city for families with available space for play and gathering
- \*Highlight small-town feel and rural character as Kuna's identity
- \*Preserve wildlife in and around Kuna

I have lived in Kuna 25 years and would like to see the above goals implemented beginning with the approval of this and future subdivisions. The developers will argue that they are providing affordable housing, but they do not live here and they will follow the standards set by the City. There are affordable apartments and small houses available. Now there needs to be larger lots and more open wildlife spaces to meet the goals of the survey completed by the residents. Thank you for your consideration.

Sincerely,



Richard Poythress  
2277 N. Buteo Pl.  
Kuna, ID 83634  
208-87-16576

**received**  
5.22.19