

OFFICIALS

Joe Stear, Mayor
Briana Buban-Vonder Haar, Council President
Richard Cardoza, Council Member
Warren Christensen, Council Member
Greg McPherson, Council Member



CITY OF KUNA

Kuna City Hall Council Chamber, 751 W 4th Street, Kuna, Idaho 83634

City Council Meeting AGENDA Tuesday, February 20, 2018

6:00 P.M. REGULAR CITY COUNCIL

1. *Call to Order and Roll Call*
2. *Invocation:* Chris Bent, Calvary Chapel
3. *Pledge of Allegiance:* Mayor Stear
4. *Consent Agenda:*

All items listed under the Consent Agenda are considered to be routine and are acted on with one motion by the City Council. There will be no separate discussion on these items unless the Mayor, Council Member, or City Staff requests an item to be removed from the Consent Agenda for discussion. Items removed from the Consent Agenda will be placed on the Regular Agenda under Business or as instructed by the City Council.

A. City Council Meeting Minutes:

1. Regular City Council Minutes, February 6, 2018

B. Accounts Payable Dated February 15, 2018 in the Amount of \$400,915.27

C. Resolutions

1. Consideration to approve Resolution No. R12-2018
A RESOLUTION OF THE CITY COUNCIL OF KUNA, IDAHO
DECLARING THAT IT IS THE POLICY OF THE CITY OF KUNA TO
ENCOURAGE EQUAL OPPORTUNITY IN HOUSING FOR ALL PERSONS
REGARDLESS OF RACE, COLOR, RELIGION, GENDER OR NATIONAL
ORIGIN.
2. Consideration to approve Resolution No. R13-2018
A RESOLUTION OF THE CITY COUNCIL OF KUNA, IDAHO ADOPTING
A POLICY OF NONDISCRIMINATION ON THE BASIS OF DISABILITY.
3. Consideration to approve Resolution No. R14-2018
A RESOLUTION OF THE CITY COUNCIL FOR KUNA, IDAHO
ESTABLISHING A GRIEVANCE PROCEDURE TO MEET THE

NOTICE: Copies of all agenda materials are available for public review in the Office of the City Clerk. Persons who have questions concerning any agenda item may call the City Clerk's Office at 922-5546. In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk at 922-5546 at least forty-eight (48) hours prior to the meeting to allow the City to make reasonable arrangements to ensure accessibility to this meeting.

REQUIREMENTS OF SECTION 504 OF THE REHABILITATION ACT AS AMENDED AND THE AMERICANS WITH DISABILITIES ACT OF 1990 (ADA).

4. Consideration to approve Resolution No. R15-2018
A RESOLUTION OF THE CITY COUNCIL OF KUNA, IDAHO
AUTHORIZING THE MAYOR TO EXECUTE THE CONTRACT WITH
THE ADA COUNTY SHERIFF FOR SHERIFF'S COMMUNITY SERVICE
(SCS) WORKERS FOR THE FISCAL YEAR 2017-2018 FOR THE CITY OF
KUNA, IDAHO

D. Final Plat

1. Consideration to approve Case No. 18-03-FP (Final Plat) for Silver Trail Subdivision No. 3
2. Consideration to approve Case No. 18-04-FP (Final Plat) for Crimson Point Subdivision No. 8

5. Community Reports or Requests:

- A. Allumbaugh House – Diana Lachiondo, Director of Community Partnerships

6. Public Hearings: (6:00 p.m. or as soon thereafter as matters may be heard.)

- A. Consideration to approve 17-09-AN (Annexation)– Troy Behunin, Planner III

A request from Kirsti Grabo with KM Engineering, seeking annexation of approximately 39.48 acres into Kuna City with an R-8 zone (Med. Den. Res.). The site is formerly known as the Urza property and is addressed as 2030 W. Kuna Road, located near the northwest corner of Ten Mile and Kuna Roads

7. Business Items:

- A. *Informational Only* Financial Results of Operation – YTD Month Ending January 31, 2018 – John Marsh, City Treasurer

8. Ordinances:

- A. Consideration to approve Ordinance No. 2018-02

AN ORDINANCE OF THE CITY COUNCIL FOR KUNA, IDAHO AMENDING TITLE 7, CHAPTER 3, SECTION 17; AND PROVIDING AN EFFECTIVE DATE.

Consideration to waive three readings of ordinance

Consideration to approve ordinance

Consideration to approve summary publication of ordinance

B. Consideration to approve Ordinance No. 2017-29A

AN ORDINANCE, AMENDING ORDINANCE 2017-29, ANNEXING CERTAIN REAL PROPERTY INTO THE CITY OF KUNA, IDAHO, TO WIT: PARCEL NO. S1419223151, CURRENT OWNER IS SDN, LLC; THIS PROPERTY SITUATED IN THE UNINCORPORATED AREA OF ADA COUNTY, IDAHO AND CONTIGUOUS TO THE CORPORATE LIMITS OF THE CITY OF KUNA, IDAHO; ESTABLISHING THE ZONING CLASSIFICATION OF SAID REAL PROPERTIES; DIRECTING THAT COPIES OF THIS ORDINANCE BE FILED AS PROVIDED BY LAW; AND PROVIDING AN EFFECTIVE DATE.

Consideration to waive three readings of ordinance

Consideration to approve ordinance

Consideration to approve summary publication of ordinance

9. Mayor/Council Announcements:

- A. Executive Session:** Adjourn to Executive Session Pursuant to Idaho Code 74-206(a) and (b) for the Purpose of Discussing Personnel Matters

10. Adjournment:

**OFFICIALS**

Joe Stear, Mayor
 Briana Buban-Vonder Haar, Council President
 Richard Cardoza, Council Member
 Warren Christensen, Council Member
 Greg McPherson, Council Member

CITY OF KUNA

Kuna City Hall Council Chamber, 751 W 4th Street, Kuna, Idaho 83634

**City Council Meeting
 MINUTES
 Tuesday, February 6, 2018**

6:00 P.M. REGULAR CITY COUNCIL**1. Call to Order and Roll Call****COUNCIL MEMBERS PRESENT:**

Mayor Joe Stear
 Council President Briana Buban-Vonder Haar
 Council Member Richard Cardoza
 Council Member Warren Christensen – Arrived at 6:04 pm
 Council Member Greg McPherson

CITY STAFF PRESENT:

Chris Engels, City Clerk
 Bob Bachman, Public Works Director
 Bobby Withrow, Parks Director
 Bill Jackson, Deputy City Treasurer
 Wendy Howell, Planning & Zoning Director
 Richard Roats, City Attorney
 Jace Hellman, Planner II
 Robin Collins, Economic Development Administrator

2. Invocation: Kuna Life Church**3. Pledge of Allegiance:** Mayor Stear**4. Consent Agenda:**

(Timestamp 00:01:50)

All items listed under the Consent Agenda are considered to be routine and are acted on with one motion by the City Council. There will be no separate discussion on these items unless the Mayor, Council Member, or City Staff requests an item to be removed from the Consent Agenda for discussion. Items removed from the Consent Agenda will be placed on the Regular Agenda under Business or as instructed by the City Council.

A. City Council Meeting Minutes:**1. Regular City Council Minutes, January 16, 2018**

B. Accounts Payable Dated February 1, 2018 in the Amount of \$1,140,757.02

C. Resolutions

1. Consideration to approve Resolution No. R08-2018

A RESOLUTION OF THE CITY COUNCIL OF KUNA, IDAHO AUTHORIZING THE MAYOR TO SIGN THE AMENDMENT TO CONTRACT-CITY OF KUNA IDAHO 2017 WATER AND PRESSURE IRRIGATION MAINS CONTRACT WITH COUGAR EXCAVATION, INC.

2. Consideration to approve Resolution No. R09-2018

A RESOLUTION OF THE CITY COUNCIL OF KUNA, IDAHO APPROVING THE AGREEMENT ESTABLISHING THE IDAHO UNIFIED CERTIFICATION PROGRAM FOR THE DISADVANTAGED BUSINESS ENTERPRISE PROGRAM IN THE STATE OF IDAHO; AND AUTHORIZING THE MAYOR TO EXECUTE THE AGREEMENT.

D. Final Plat

1. Consideration to approve Case No. 18-01-FP (Final Plat) for Arbor Ridge Subdivision No. 4

2. Consideration to approve Case No. 18-02-FP (Final Plat) for Crimson Point Villas Subdivision No. 2

Council President Buban-Vonder Haar moved to approve the consent agenda. Seconded by Council Member McPherson. Approved by the following roll call vote:

Voting Aye: Council Members Cardoza, Buban-Vonder Haar, and McPherson

Voting No: None

Absent: Christensen

Motion carried 3-0.

5. Community Reports or Requests:

A. Valley Regional Transit Workshop to gain Council input on Valley Connect 2.0 plan – Kelli Badesheim, VRT Executive Director
(Timestamp 00:02:25)

Kelli Badesheim presented the Valley Connect 2.0 plan to City Council and stood for questions and input.

Mayor Stear thanked Ms. Badesheim for her presentation and efforts.

B. Kuna Police Department Statistical Update – Kuna Police Chief Jon McDaniel
(Timestamp 00:19:17)

Kuna Police Chief Jon McDaniel presented the statistical updates for Kuna and stood for questions.

Mayor Stear thanked Chief McDaniel for his and his officers' efforts.

6. Public Hearings: (6:00 p.m. or as soon thereafter as matters may be heard.)

None

7. Business Items:

A. Consideration to approve 18-01-LLA (Lot Line Adjustment) for Inaki Lete – Jace Hellman, Planner II
(Timestamp 00:26:01)

The applicant seeks LLA approval to reduce the acreage of the parcel containing the existing Kuna Caves mini storage facility from its existing 5.51 acres to 4.81 acres, and increase the current acreage of the larger, undeveloped parcel from 13.65 acres to 14.34 acres. The sites are located at the South West corner of West Deer Flat Road and North Ten Mile Road.

Planner II Jace Hellman presented the application and stood for questions.

Council President Buban-Vonder Haar stated everything looked in order and staff recommended approval.

Council President Buban-Vonder Haar moved to approve 18-01-LLA (Lot Line Adjustment). Seconded by Council Member McPherson. Motion carried 4-0.

B. Request for funding allocation for Economic Development Convention and Database Software – Robin Collins, Economic Development Administrator
(Timestamp 00:28:20)

Economic Development Administrator presented her request and stood for questions.

Mayor Stear expressed support for the request.

Council President Buban-Vonder Haar agreed with Mayor Stear. She stated they had been unsure of the working budget when they were deciding it. The requests seemed reasonable to her and she appreciated that they would have a clear idea of what to budget going forward.

Council President Buban-Vonder Haar moved to approve \$5,532.00 from the contingency fund, \$3,000.00 of which would be for Executive Pulse Data Base Software and \$2,532.00 of which would be for the International Conference of

Shopping Centers Convention in Las Vegas. Seconded by Council Member McPherson. Approved by the following roll call vote:

Voting Aye: Council Members Cardoza, Christensen, Buban-Vonder Haar, and McPherson

Voting No: None

Absent: None

Motion carried 4-0.

- C. Consideration to approve Resolution No. R10-2018 – Richard Roats, City Attorney
(Timestamp 00:33:19)

A RESOLUTION OF THE CITY COUNCIL FOR KUNA, IDAHO ADOPTING A SPECIFIC ACCOUNTING AND TRANSFER POLICY FOR LOCAL IMPROVEMENT DISTRICT EQUIVALENT DWELLING UNIT (EDU) CONNECTIONS FOR THE KUNA MUNICIPAL WASTEWATER TREATMENT FACILITIES THAT SHALL CONFORM WITH THE REQUIREMENTS OF RESOLUTION NO. R03-2013; MAINTAINING THE REGISTRY FOR OWNERSHIP OF EDUS; PROVIDING A MECHANISM FOR TRANSFERS OF EDUS AND THE RECORDING OF THE TRANSFERS OF EDUS; AND PROVIDING AN EFFECTIVE DATE.

City Attorney Richard Roats explained the resolution and stood for questions.

Council Member Cardoza asked about the bank's propriety over sales.

Mr. Roats explained how the priority position worked.

Council President Buban-Vonder Haar moved to approve Resolution No. R10-2018. Seconded by Council Member McPherson. Motion carried 4-0.

- D. Consideration to approve Resolution No. R11-2018 – Bobby Withrow, Parks Director
(Timestamp 00:37:39)

A RESOLUTION OF THE CITY COUNCIL FOR KUNA, IDAHO APPOINTING ONE (1) NEW MEMBER TO THE CITY OF KUNA, IDAHO DEVELOPMENT IMPACT FEE ADVISORY COMMITTEE, TO REPLACE ONE (1) MEMBER.

Parks Director Bobby Withrow explained his request and stood for questions.

Council President Buban-Vonder Haar moved to approve Resolution No. R11-2018. Seconded by Council Member McPherson. Motion carried 4-0.

8. Ordinances:

- A. Consideration to approve Ordinance No. 2018-02
(Timestamp 00:39:06)

AN ORDINANCE OF THE CITY COUNCIL FOR KUNA, IDAHO AMENDING KUNA CITY CODE 2-1-1: - COMMISSION CREATED; MEMBERSHIP: TO CHANGE THE COUNTY RESIDENCY REQUIREMENT TO TWO (2) YEARS FROM FIVE (5) YEARS, AND TO ALLOW A COMMISSIONER TO SERVE BEYOND THE TWO (2) FULL CONSECUTIVE TERMS BY MOTION OF THE CITY COUNCIL FOR REAPPOINTMENT AND TWO-THIRDS (2/3) VOTE; AND PROVIDING AN EFFECTIVE DATE.

City Attorney Richard Roats presented the ordinance and stood for questions.

Council President Buban-Vonder Haar stated she very much appreciated the folks that did this job because it tended to be very thankless. She thought it was great they were making it a little easier to have that opportunity and she was in favor of all that was suggested.

Consideration to waive three readings of ordinance

Consideration to approve ordinance

Consideration to approve summary publication of ordinance

Council President Buban-Vonder Haar moved to waive three readings of Ordinance No. 2018-02. Seconded by Council Member McPherson. Motion carried 4-0.

Council President Buban-Vonder Haar moved to approve Ordinance No. 2018-02. Seconded by Council Member McPherson. Approved by the following roll call vote:

Voting Aye: Council Members Cardoza, Christensen, Buban-Vonder Haar, and McPherson

Voting No: None

Absent: None

Motion carried 4-0.

Council President Buban-Vonder Haar moved to approve the Summary Publication of Ordinance No. 2018-02. Seconded by Council Member McPherson. Motion carried 4-0.

- B. Consideration to approve Ordinance No. 2018-03
(Timestamp 00:41:38)

AN ORDINANCE OF THE CITY OF KUNA, IDAHO, ANNEXING A PORTION OF THE SOUTH ½ OF THE SW ¼ OF SECTION 15, TOWNSHIP 2 NORTH RANGE 1 WEST, BOISE MERIDIAN, KUNA, ADA COUNTY, IDAHO AND COMMONLY REFERRED TO AS CRIMSON POINT SUBDIVISIONS 8 AND 9

WHICH IS OWNED BY DB DEVELOPMENT LLC AND THISTLE FARM LLC RESPECTIVELY, INTO THE KUNA MUNICIPAL IRRIGATION DISTRICT FROM THE BOISE~KUNA IRRIGATION DISTRICT; CHANGING THE RESPECTIVE BOUNDARIES OF SAID DISTRICTS; DECLARING WATER RIGHTS APPURTENANT THERETO ARE POOLED FOR DELIVERY PURPOSES; DIRECTING THAT COPIES OF THIS ORDINANCE BE RECORDED AS PROVIDED BY LAW; AND PROVIDING AN EFFECTIVE DATE.

Consideration to waive three readings of ordinance

Consideration to approve ordinance

Consideration to approve summary publication of ordinance

Council President Buban-Vonder Haar moved to waive three readings of Ordinance No. 2018-03. Seconded by Council Member McPherson. Motion carried 4-0.

Council President Buban-Vonder Haar moved to approve Ordinance No. 2018-03. Seconded by Council Member McPherson. Approved by the following roll call vote:

Voting Aye: Council Members Cardoza, Christensen, Buban-Vonder Haar, and McPherson

Voting No: None

Absent: None

Motion carried 4-0.

Council President Buban-Vonder Haar moved to approve the Summary Publication of Ordinance No. 2018-03. Seconded by Council Member McPherson. Motion carried 4-0.

- C. Consideration to approve Ordinance No. 2018-04
(Timestamp 00:43:35)

AN ORDINANCE OF THE CITY COUNCIL FOR KUNA, IDAHO, ANNEXING A PORTION OF GOVERNMENT LOT #4 OF SECTION 19, TOWNSHIP 2 NORTH RANGE 1 EAST, BOISE MERIDIAN, KUNA, ADA COUNTY, IDAHO AND COMMONLY REFERRED TO AS LOCK-N-ROLL SELF STORAGE, WHICH IS OWNED BY LOCK-N-ROLL SELF STORAGE, LLC, INTO THE KUNA MUNICIPAL IRRIGATION DISTRICT FROM THE BOISE~KUNA IRRIGATION DISTRICT; CHANGING THE RESPECTIVE BOUNDARIES OF SAID DISTRICTS; DECLARING WATER RIGHTS APPURTENANT THERETO ARE POOLED FOR DELIVERY PURPOSES; DIRECTING THAT COPIES OF THIS ORDINANCE BE RECORDED AS PROVIDED BY LAW; AND PROVIDING AN EFFECTIVE DATE.

Consideration to waive three readings of ordinance

Consideration to approve ordinance

Consideration to approve summary publication of ordinance

Council President Buban-Vonder Haar moved to waive three readings of Ordinance No. 2018-04. Seconded by Council Member McPherson. Motion carried 4-0.

Council President Buban-Vonder Haar moved to approve Ordinance No. 2018-04. Seconded by Council Member McPherson. Approved by the following roll call vote:

Voting Aye: Council Members Cardoza, Christensen, Buban-Vonder Haar, and McPherson

Voting No: None

Absent: None

Motion carried 4-0.

Council President Buban-Vonder Haar moved to approve the Summary Publication of Ordinance No. 2018-04. Seconded by Council Member McPherson. Motion carried 4-0.

9. Mayor/Council Announcements:

None

10. Executive Session:

11. Adjournment: 6:45 pm

Joe L. Stear, Mayor

ATTEST:

Chris Engels, City Clerk

Minutes prepared by Ariana Welker, Deputy City Clerk

Date Approved: CCM 02.20.2018

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
				4.64, SERVICE 60.36, DAMAGE WAIVER 3.48, DELIVERY CHARGE 10.00, WINTER FEE 1.86, ARBOR RIDGE PARK, EOW, PARKS, FEB 18	02/05/2018	80.34	.00	01-6212 RENT-EQUIPMENT	1004	2/18		
Total B-295453:						80.34	.00					
1463	A COMPANY, INC.	B-295454		SN#ADANO#10. AMERICAN DISABILITIES UNIT, RENTAL 4.64, SERVICE 60.36, DAMAGE WAIVER 3.48, DELIVERY CHARGE 40.00, WINTER FEE 1.86, FARM PARK, EOW, PARKS, FEB 18	02/05/2018	110.34	.00	01-6212 RENT-EQUIPMENT	1004	2/18		
Total B-295454:						110.34	.00					
Total A COMPANY, INC.:						481.70	.00					
ADA COUNTY ASSESSOR'S OFFICE												
207	ADA COUNTY ASSESSOR'S OFFICE	15713		ANNUAL FEE FOR GIS DATA DOWNLOAD, FEB 18, WATER	02/01/2018	504.00	.00	20-6075 DUES & MEMBERSHIPS	0	2/18		
207	ADA COUNTY ASSESSOR'S OFFICE	15713		ANNUAL FEE FOR GIS DATA DOWNLOAD, FEB 18, SEWER	02/01/2018	504.00	.00	21-6075 DUES & MEMBERSHIPS	0	2/18		
207	ADA COUNTY ASSESSOR'S OFFICE	15713		ANNUAL FEE FOR GIS DATA DOWNLOAD, FEB 18, PI	02/01/2018	192.00	.00	25-6075 DUES & MEMBERSHIPS EXPENSE	0	2/18		
Total 15713:						1,200.00	.00					
Total ADA COUNTY ASSESSOR'S OFFICE:						1,200.00	.00					
ADA COUNTY HIGHWAY DISTRICT (IMPACT)												
5	ADA COUNTY HIGHWAY DISTRICT (IMPACT)	JAN 2018		ACHD IMPACT FEES FOR JAN 2018	02/09/2018	86,610.00	86,610.00	01-2510 ACHD IMPACT FEE TRANSFER	0	2/18	02/09/2018	
Total JAN 2018:						86,610.00	86,610.00					

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total ADA COUNTY HIGHWAY DISTRICT (IMPACT):						86,610.00	86,610.00					
ADA COUNTY SHERIFF'S OFFICE												
6	ADA COUNTY SHERIFF'S OFFICE	7527		<u>SHERIFF SERVICES, FEB 18</u>	02/01/2018	159,523.66	.00	<u>01-6000 LAW ENFORCEMENT SERVICES</u>	0	2/18		
Total 7527:						159,523.66	.00					
Total ADA COUNTY SHERIFF'S OFFICE:						159,523.66	.00					
AGNEW BECK CONSULTING, INC.												
1883	AGNEW BECK CONSULTING, INC.	7064		<u>WORK COMPLETED ON COMPREHENSIVE PLAN, DATES 1-1-18 TO 1-31-18, CONSULTING, FEB 18, P&Z</u>	02/06/2018	6,729.21	.00	<u>01-6202 PROFESSIONAL SERVICES</u>	1003	2/18		
Total 7064:						6,729.21	.00					
Total AGNEW BECK CONSULTING, INC.:						6,729.21	.00					
ALLOWAY ELECTRIC CO												
1087	ALLOWAY ELECTRIC CO	44477	6491	<u>PROPOSAL FOR NEW SERVICE AT 1282 W ARDELL RD, STEETLIGHT PROJECT, DAMAGED BY CONTRACTOR, CONTRACTOR HAS BEEN BILLED. D CROSSLEY, JAN 18</u>	01/31/2018	3,010.00	.00	<u>01-6142 MAINT. & REPAIR - EQUIPMENT</u>	1002	2/18		
Total 44477:						3,010.00	.00					
Total ALLOWAY ELECTRIC CO:						3,010.00	.00					
ALLSTREAM BUSINESS US, INC												
1411	ALLSTREAM BUSINESS US, INC	15146835		<u>MONTHLY TELEPHONE, DATA, NETWORK, 02-01-18 TO 02-28-18, FEB 18</u>	02/01/2018	582.06	.00	<u>01-6142 MAINT. & REPAIR - EQUIPMENT</u>	0	2/18		
1411	ALLSTREAM BUSINESS US, INC	15146835		<u>MONTHLY TELEPHONE, DATA, NETWORK, 02-01-18 TO 02-28-18, FEB 18</u>	02/01/2018	207.89	.00	<u>01-6142 MAINT. & REPAIR - EQUIPMENT</u>	1003	2/18		

City of Kuna

Payment Approval Report - City Council Approval

Page: 4

Report dates: 2/2/2018-2/15/2018

Feb 15, 2018 04:25PM

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
1411	ALLSTREAM BUSINESS US, INC	15146835		<u>MONTHLY TELEPHONE, DATA, NETWORK, 02-01-18 TO 02-28- 18, FEB 18, WATER</u>	02/01/2018	540.50	.00	20-6142_MAINT. & REPAIRS- EQUIPMENT	0	2/18		
1411	ALLSTREAM BUSINESS US, INC	15146835		<u>MONTHLY TELEPHONE, DATA, NETWORK, 02-01-18 TO 02-28- 18, FEB 18, SEWER</u>	02/01/2018	540.50	.00	21-6142_MAINT. & REPAIRS - EQUIPMENT	0	2/18		
1411	ALLSTREAM BUSINESS US, INC	15146835		<u>MONTHLY TELEPHONE, DATA, NETWORK, 02-01-18 TO 02-28- 18, FEB 18, PI</u>	02/01/2018	207.89	.00	25-6142_MAINT. & REPAIRS - EQUIPMENT	0	2/18		
Total 15146835:						2,078.84	.00					
Total ALLSTREAM BUSINESS US, INC:						2,078.84	.00					
ANALYTICAL LABORATORIES												
1	ANALYTICAL LABORATORIES	50914		<u>LAB TESTS, WATER, JAN 18</u>	01/31/2018	343.90	.00	20-6152_M & R - LABORATORY COSTS	0	1/18		
Total 50914:						343.90	.00					
1	ANALYTICAL LABORATORIES	50915		<u>LAB TESTS, SEWER, JAN 18</u>	01/31/2018	1,015.55	.00	21-6152_M & R - LABORATORY COSTS	0	1/18		
Total 50915:						1,015.55	.00					
Total ANALYTICAL LABORATORIES:						1,359.45	.00					
ARTCO (US, INC.)												
1435	ARTCO (US, INC.)	020118	6557	<u>BUSINESS CARDS FOR T FLEMING, SEWER, FEB 18</u>	02/20/2018	40.00	.00	21-6165_OFFICE SUPPLIES	0	2/18		
1435	ARTCO (US, INC.)	020118	6557	<u>BUSINESS CARDS FOR C DEYOUNG, WATER, FEB 18</u>	02/20/2018	32.00	.00	20-6165_OFFICE SUPPLIES	0	2/18		
1435	ARTCO (US, INC.)	020118	6557	<u>BUSINESS CARDS FOR C DEYOUNG, PI, FEB 18</u>	02/20/2018	8.00	.00	25-6165_OFFICE SUPPLIES	0	2/18		

City of Kuna

Payment Approval Report - City Council Approval

Report dates: 2/2/2018-2/15/2018

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
1435	ARTCO (US, INC.)	020118	6557	<u>BUSINESS CARDS T SHAFFER, SEWER, FEB 18</u>	02/20/2018	40.00	.00	21-6165 OFFICE SUPPLIES	0	2/18		
1435	ARTCO (US, INC.)	020118	6557	<u>BUSINESS CARDS M DAVILA, WATER, FEB 18</u>	02/20/2018	32.00	.00	20-6165 OFFICE SUPPLIES	0	2/18		
1435	ARTCO (US, INC.)	020118	6557	<u>BUSINESS CARDS M DAVILA, PI, FEB 18</u>	02/20/2018	8.00	.00	25-6165 OFFICE SUPPLIES	0	2/18		
Total 020118:						160.00	.00					
Total ARTCO (US, INC.):						160.00	.00					
AUTOZONE, INC.												
1606	AUTOZONE, INC.	4126564191	6590	<u>TOOLS, 61 PC TAMPER PROOF SCREWDRIVER BIT SET, M.MEADE, FEB.'18</u>	02/05/2018	14.79	.00	01-6175 SMALL TOOLS	1004	2/18		
Total 4126564191:						14.79	.00					
Total AUTOZONE, INC.:						14.79	.00					
BOISE-KUNA IRRIGATION DISTRICT												
12	BOISE-KUNA IRRIGATION DISTRICT	198-2018		<u>SPRING (35.10) AND FALL (447.60) ASSESSMENT FOR LOCK N ROLL STORAGE, 8.25 ACRES, FEB 18</u>	02/14/2018	482.70	.00	25-6116 IRRIGATION / WATER COSTS	0	2/18		
Total 198-2018:						482.70	.00					
Total BOISE-KUNA IRRIGATION DISTRICT:						482.70	.00					
BRADY INDUSTRIES OF IDAHO LLC												
1240	BRADY INDUSTRIES OF IDAHO LLC	5683725	6563	<u>1 CS TOILET PAPER, 1 CS ROLL PAPER TOWELS, D CROSLEY, JAN 18, WATER</u>	02/05/2018	45.63	.00	20-6160 MISCELLANEOUS EXPENSES	0	2/18		
1240	BRADY INDUSTRIES OF IDAHO LLC	5683725	6563	<u>1 CS TOILET PAPER, 1 CS ROLL PAPER TOWELS, D CROSLEY, JAN 18, SEWER</u>	02/05/2018	45.63	.00	21-6160 MISCELLANEOUS EXPENSES	0	2/18		

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
				WITHROW, PARKS, JAN 18	01/09/2018	18.59	.00	01-6150 MAINTENANCE & REPAIRS - SYSTEM	1004	1/18		
Total 548012:						18.59	.00					
10	BUSY BEE SAND & GRAVEL	548013		SAND FOR SADIE CREEK AND SEGO PAIRIE PONDS, B WITHROW, PARKS, JAN 18	01/09/2018	23.70	.00	01-6150 MAINTENANCE & REPAIRS - SYSTEM	1004	1/18		
Total 548013:						23.70	.00					
10	BUSY BEE SAND & GRAVEL	548014		SAND FOR SADIE CREEK AND SEGO PAIRIE PONDS, B WITHROW, PARKS, JAN 18	01/09/2018	17.89	.00	01-6150 MAINTENANCE & REPAIRS - SYSTEM	1004	1/18		
Total 548014:						17.89	.00					
10	BUSY BEE SAND & GRAVEL	548015		SAND FOR SADIE CREEK AND SEGO PAIRIE PONDS, B WITHROW, PARKS, JAN 18	01/09/2018	24.61	.00	01-6150 MAINTENANCE & REPAIRS - SYSTEM	1004	1/18		
Total 548015:						24.61	.00					
10	BUSY BEE SAND & GRAVEL	548016		SAND FOR SADIE CREEK AND SEGO PAIRIE PONDS, B WITHROW, PARKS, JAN 18	01/09/2018	25.44	.00	01-6150 MAINTENANCE & REPAIRS - SYSTEM	1004	1/18		
Total 548016:						25.44	.00					
10	BUSY BEE SAND & GRAVEL	548017		SAND FOR SADIE CREEK AND SEGO PAIRIE PONDS, B WITHROW, PARKS, JAN 18	01/09/2018	23.74	.00	01-6150 MAINTENANCE & REPAIRS - SYSTEM	1004	1/18		

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total 548017:						23.74	.00					
10	BUSY BEE SAND & GRAVEL	548018		<u>SAND FOR SADIE CREEK AND SEGO PAIRIE PONDS, B WITHROW, PARKS, JAN 18</u>	01/10/2018	26.31	.00	<u>01-6150 MAINTENANCE & REPAIRS - SYSTEM</u>	1004	1/18		
Total 548018:						26.31	.00					
10	BUSY BEE SAND & GRAVEL	548021		<u>SAND FOR SADIE CREEK AND SEGO PAIRIE PONDS, B WITHROW, PARKS, JAN 18</u>	01/10/2018	27.97	.00	<u>01-6150 MAINTENANCE & REPAIRS - SYSTEM</u>	1004	1/18		
Total 548021:						27.97	.00					
10	BUSY BEE SAND & GRAVEL	548026		<u>SAND FOR SADIE CREEK AND SEGO PAIRIE PONDS, B WITHROW, PARKS, JAN 18</u>	01/10/2018	25.65	.00	<u>01-6150 MAINTENANCE & REPAIRS - SYSTEM</u>	1004	1/18		
Total 548026:						25.65	.00					
10	BUSY BEE SAND & GRAVEL	548034		<u>SAND FOR SADIE CREEK AND SEGO PAIRIE PONDS, B WITHROW, PARKS, JAN 18</u>	01/10/2018	28.01	.00	<u>01-6150 MAINTENANCE & REPAIRS - SYSTEM</u>	1004	1/18		
Total 548034:						28.01	.00					
10	BUSY BEE SAND & GRAVEL	548038		<u>SAND FOR SADIE CREEK AND SEGO PAIRIE PONDS, B WITHROW, PARKS, JAN 18</u>	01/10/2018	29.59	.00	<u>01-6150 MAINTENANCE & REPAIRS - SYSTEM</u>	1004	1/18		
Total 548038:						29.59	.00					
Total BUSY BEE SAND & GRAVEL:						291.88	.00					

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
BUYWYZ LLC												
1795	BUYWYZ LLC	115659	6577	<u>2 CS COPIER PAPER FOR PLANT, JAN 18, WATER</u>	02/01/2018	28.61	.00	<u>20-6165 OFFICE SUPPLIES</u>	0	2/18		
1795	BUYWYZ LLC	115659	6577	<u>2 CS COPIER PAPER FOR PLANT, JAN 18, SEWER</u>	02/01/2018	28.61	.00	<u>21-6165 OFFICE SUPPLIES</u>	0	2/18		
1795	BUYWYZ LLC	115659	6577	<u>2 CS COPIER PAPER FOR PLANT, JAN 18, PI</u>	02/01/2018	10.90	.00	<u>25-6165 OFFICE SUPPLIES</u>	0	2/18		
Total 115659:						68.12	.00					
1795	BUYWYZ LLC	115972	6602	<u>1 CS COPIER PAPER, FEB 18</u>	02/07/2018	34.06	.00	<u>01-6165 OFFICE SUPPLIES</u>	1003	2/18		
1795	BUYWYZ LLC	115972	6602	<u>MESSAGE STAMP, BLK PENS, STAPLER, HANGING FOLDER FRAMES, FEB 18, WATER</u>	02/07/2018	47.24	.00	<u>20-6165 OFFICE SUPPLIES</u>	0	2/18		
1795	BUYWYZ LLC	115972	6602	<u>MESSAGE STAMP, BLK PENS, STAPLER, HANGING FOLDER FRAMES, FEB 18, SEWER</u>	02/07/2018	47.24	.00	<u>21-6165 OFFICE SUPPLIES</u>	0	2/18		
1795	BUYWYZ LLC	115972	6602	<u>MESSAGE STAMP, BLK PENS, STAPLER, HANGING FOLDER FRAMES, FEB 18, PI</u>	02/07/2018	17.99	.00	<u>25-6165 OFFICE SUPPLIES</u>	0	2/18		
1795	BUYWYZ LLC	115972	6602	<u>ORIGINAL STAMP, GEL MOUSE PADS, AA BATTERIES, CORRECTION TAPE, FEB 18</u>	02/07/2018	16.92	.00	<u>01-6165 OFFICE SUPPLIES</u>	0	2/18		
1795	BUYWYZ LLC	115972	6602	<u>ORIGINAL STAMP, GEL MOUSE PADS, AA BATTERIES, CORRECTION TAPE, FEB 18, P&Z</u>	02/07/2018	6.06	.00	<u>01-6165 OFFICE SUPPLIES</u>	1003	2/18		
1795	BUYWYZ LLC	115972	6602	<u>ORIGINAL STAMP, GEL MOUSE PADS, AA BATTERIES, CORRECTION TAPE, FEB 18, WATER</u>	02/07/2018	15.74	.00	<u>20-6165 OFFICE SUPPLIES</u>	0	2/18		
1795	BUYWYZ LLC	115972	6602	<u>ORIGINAL STAMP, GEL MOUSE PADS, AA BATTERIES, CORRECTION TAPE, FEB 18, SEWER</u>	02/07/2018	15.74	.00	<u>21-6165 OFFICE SUPPLIES</u>	0	2/18		

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
1795	BUYWYZ LLC	115972	6602	ORIGINAL STAMP, GEL MOUSE PADS, AA BATTERIES, CORRECTION TAPE, FEB 18, PI	02/07/2018	6.06	.00	25-6165 OFFICE SUPPLIES	0	2/18		
Total 115972:						207.05	.00					
Total BUYWYZ LLC:						275.17	.00					
CASELLE INC												
1239	CASELLE INC	86017		CONTRACT SUPPORT AND MAINTENANCE 3-1-18 TO 3-31-18, FEB 18	02/01/2018	459.20	.00	01-6052 CONTRACT SERVICES	0	2/18		
1239	CASELLE INC	86017		CONTRACT SUPPORT AND MAINTENANCE 3-1-18 TO 3-31-18, FEB 18, P&Z	02/01/2018	147.60	.00	01-6052 CONTRACT SERVICES	1003	2/18		
1239	CASELLE INC	86017		CONTRACT SUPPORT AND MAINTENANCE 3-1-18 TO 3-31-18, FEB 18, WATER	02/01/2018	434.60	.00	20-6052 CONTRACT SERVICES	0	2/18		
1239	CASELLE INC	86017		CONTRACT SUPPORT AND MAINTENANCE 3-1-18 TO 3-31-18, FEB 18, SEWER	02/01/2018	434.60	.00	21-6052 CONTRACT SERVICES	0	2/18		
1239	CASELLE INC	86017		CONTRACT SUPPORT AND MAINTENANCE 3-1-18 TO 3-31-18, FEB 18, PI	02/01/2018	164.00	.00	25-6052 CONTRACT SERVICES	0	2/18		
Total 86017:						1,640.00	.00					
Total CASELLE INC:						1,640.00	.00					
CENTURYLINK												
62	CENTURYLINK	208922113612		DEDICATED LANDLINE SCADA, 01-25-18 TO 02-24-18, FEB 18, WATER	02/09/2018	17.01	17.01	20-6255 TELEPHONE EXPENSE	0	2/18	02/09/2018	
62	CENTURYLINK	208922113612		DEDICATED LANDLINE SCADA, 01-25-18 TO 02-24-18, FEB 18, SEWER	02/09/2018	22.21	22.21	21-6255 TELEPHONE EXPENSE	0	2/18	02/09/2018	
62	CENTURYLINK	208922113612		DEDICATED LANDLINE SCADA, 01-25-18 TO 02-24-18, FEB 18, PI	02/09/2018	7.20	7.20	25-6255 TELEPHONE EXPENSE	0	2/18	02/09/2018	

City of Kuna

Payment Approval Report - City Council Approval

Page: 11

Report dates: 2/2/2018-2/15/2018

Feb 15, 2018 04:25PM

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total 20892211361251802241:						46.42	46.42					
Total CENTURYLINK:						46.42	46.42					
CITIBANK, N.A.												
1874	CITIBANK, N.A.	100023597	6561	<u>STARTER HANDLE TO REPAIR GENERATOR FOR WATER DEPT. JAN.'18 - WATER</u>	01/25/2018	11.99	.00	<u>20-6142 MAINT. & REPAIRS- EQUIPMENT</u>	0	1/18		
1874	CITIBANK, N.A.	100023597	6561	<u>SCREW DRIVER SET, S.HOWELL, JAN.'18</u>	01/25/2018	19.99	.00	<u>01-6175 SMALL TOOLS</u>	1004	1/18		
Total 100023597:						31.98	.00					
Total CITIBANK, N.A.:						31.98	.00					
CONCRETE CONSTRUCTION SUPPLY, INC.												
1531	CONCRETE CONSTRUCTION SUPPLY, INC.	469641	6548	<u>4 IN CUTTING WHEEL FOR CONCRETE, MAINTENANCE ON WELL HOUSES, R JONES, JAN 18</u>	01/23/2018	85.00	.00	<u>20-6140 MAINT. & REPAIR BUILDING</u>	0	1/18		
Total 469641:						85.00	.00					
Total CONCRETE CONSTRUCTION SUPPLY, INC.:						85.00	.00					
CORE & MAIN LP												
63	CORE & MAIN LP	I302570	6576	<u>6" FLUSH VALVE FOR DANSKIN WELL, J.COX, JAN.'18</u>	02/01/2018	1,844.68	.00	<u>20-6150 M & R - SYSTEM</u>	0	2/18		
Total I302570:						1,844.68	.00					
63	CORE & MAIN LP	I400499	6571	<u>36 WATER METERS, 20 REGISTERS, 80 RADIOS, J.WEBB, JAN.'18</u>	01/31/2018	18,402.20	.00	<u>20-6020 CAPITAL IMPROVEMENTS</u>	1089	1/18		
Total I400499:						18,402.20	.00					

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total CORE & MAIN LP:						20,246.88	.00					
CUSTOM ELECTRIC, INC.												
147	CUSTOM ELECTRIC, INC.	7866	6598	TROUBLESHOOT BLOWER AND MIXER AT PLANT. LOOKED AT MEMORY RANCH START AND STOP LEVELS FOR TOM, T SHAFER, SEWER, FEB 18	02/06/2018	127.50	.00	21-6142 MAINT. & REPAIRS - EQUIPMENT	0	2/18		
Total 7866:						127.50	.00					
Total CUSTOM ELECTRIC, INC.:						127.50	.00					
DIGLINE												
25	DIGLINE	0057805-IN		DIG FEES, JAN 18, WATER	01/31/2018	135.33	.00	20-6065 DIG LINE EXPENSE	0	1/18		
25	DIGLINE	0057805-IN		DIG FEES, JAN 18, SEWER	01/31/2018	135.33	.00	21-6065 DIG LINE EXPENSE	0	1/18		
25	DIGLINE	0057805-IN		DIG FEES, JAN 18, PI	01/31/2018	51.54	.00	25-6065 DIG LINE EXPENSE	0	1/18		
Total 0057805-IN:						322.20	.00					
Total DIGLINE:						322.20	.00					
DIVERSIFIED SYSTEMS INC												
76	DIVERSIFIED SYSTEMS INC	46065	6584	DIESEL DECALS FOR CEDAR WELL FUEL TANK, J.WEBB, FEB.'17	02/01/2018	49.65	.00	20-6142 MAINT. & REPAIRS- EQUIPMENT	0	2/18		
Total 46065:						49.65	.00					
Total DIVERSIFIED SYSTEMS INC:						49.65	.00					
DMH ENTERPRISES												
1745	DMH ENTERPRISES	JAN 2018		PLUMBING PERMITS JAN 2018	02/09/2018	6,518.51	6,518.51	01-6202 PROFESSIONAL SERVICES	1003	2/18	02/09/2018	

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total JAN 2018:						6,518.51	6,518.51					
Total DMH ENTERPRISES:						6,518.51	6,518.51					
EDNETICS INC												
1831	EDNETICS INC	84589		MONTHLY INTERNET SERVICES, FEB 18	02/10/2018	95.00	.00	01-6052 CONTRACT SERVICES	0	2/18		
1831	EDNETICS INC	84589		MONTHLY INTERNET SERVICES, FEB 18, WATER	02/10/2018	65.00	.00	20-6052 CONTRACT SERVICES	0	2/18		
1831	EDNETICS INC	84589		MONTHLY INTERNET SERVICES, FEB 18, SEWER	02/10/2018	65.00	.00	21-6052 CONTRACT SERVICES	0	2/18		
1831	EDNETICS INC	84589		MONTHLY INTERNET SERVICES, FEB 18, PI	02/10/2018	25.00	.00	25-6052 CONTRACT SERVICES	0	2/18		
Total 84589:						250.00	.00					
Total EDNETICS INC:						250.00	.00					
ELECTRICAL CONTROLS & INSTRUMENTATION												
1744	ELECTRICAL CONTROLS & INSTRUMENTATION	JAN 2018		ELECTRICAL PERMITS JAN 2018, ELECTRICAL CONTROLS & INSTRUMENTATION, FEB 18	02/09/2018	5,495.06	5,495.06	01-6202 PROFESSIONAL SERVICES	1003	2/18	02/09/2018	
Total JAN 2018:						5,495.06	5,495.06					
Total ELECTRICAL CONTROLS & INSTRUMENTATION:						5,495.06	5,495.06					
ELLISON SYSTEMS INC												
1912	ELLISON SYSTEMS INC	1515449027	6499	SHOPLET.COM, 2 FIRE SAFE FILING CABINETS, A.WELKER, JAN.'17	01/25/2018	1,334.27	.00	01-6175 SMALL TOOLS	0	2/18		
1912	ELLISON SYSTEMS INC	1515449027	6499	SHOPLET.COM, 2 FIRE SAFE FILING CABINETS, A.WELKER, JAN.'17	01/25/2018	34.07	.00	20-6175 SMALL TOOLS	0	2/18		

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
1912	ELLISON SYSTEMS INC	1515449027	6499	<u>SHOPLET.COM, 2 FIRE SAFE FILING CABINETS, A.WELKER, JAN.'17</u>	01/25/2018	34.07	.00	<u>21-6175 SMALL TOOLS</u>	0	2/18		
1912	ELLISON SYSTEMS INC	1515449027	6499	<u>SHOPLET.COM, 2 FIRE SAFE FILING CABINETS, A.WELKER, JAN.'17</u>	01/25/2018	17.03	.00	<u>25-6175 SMALL TOOLS</u>	0	2/18		
Total 1515449027:						1,419.44	.00					
Total ELLISON SYSTEMS INC:						1,419.44	.00					
IDAHO HUMANE SOCIETY												
833	IDAHO HUMANE SOCIETY	02/2018		<u>CONTRACT SERVICES, FEB 18</u>	02/01/2018	5,492.33	.00	<u>01-6005 ANIMAL CONTROL SERVICES</u>	0	2/18		
Total 02/2018:						5,492.33	.00					
Total IDAHO HUMANE SOCIETY:						5,492.33	.00					
IDAHO POWER COMPANY (FIBER OPTIC)												
1867	IDAHO POWER COMPANY (FIBER OPTIC)	CK-18-01		<u>POLE ATTACHMENT RENTALS FOR 2018, FIBER OPTIC POLE ATTACHMENT CHARGES - DISTRIBUTION POLES, FEB.'18 - WATER</u>	02/01/2018	34.97	.00	<u>20-6212 RENT - EQUIPMENT</u>	1041	2/18		
1867	IDAHO POWER COMPANY (FIBER OPTIC)	CK-18-01		<u>POLE ATTACHMENT RENTALS FOR 2018, FIBER OPTIC POLE ATTACHMENT CHARGES - DISTRIBUTION POLES, FEB.'18 - SEWER</u>	02/01/2018	34.96	.00	<u>21-6212 RENT-EQUIPMENT</u>	1041	2/18		
1867	IDAHO POWER COMPANY (FIBER OPTIC)	CK-18-01		<u>POLE ATTACHMENT RENTALS FOR 2018, FIBER OPTIC POLE ATTACHMENT CHARGES - DISTRIBUTION POLES, FEB.'18 - P.I</u>	02/01/2018	13.32	.00	<u>25-6212 RENT - EQUIPMENT</u>	1041	2/18		
Total CK-18-01:						83.25	.00					

City of Kuna

Payment Approval Report - City Council Approval

Page: 15

Report dates: 2/2/2018-2/15/2018

Feb 15, 2018 04:25PM

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total IDAHO POWER COMPANY (FIBER OPTIC):						83.25	.00					
IDAHO PRESS TRIBUNE, LLC												
1802	IDAHO PRESS TRIBUNE, LLC	1091284-A	6541	<u>AD#1720289. LEGAL PUBLICATION. 17-09-AN. URZA PROPERTY ANNEXATION. T. BEHUNIN. JAN '18</u>	01/31/2018	55.32	.00	01-6125 LEGAL PUBLICATIONS	1003	1/18		
Total 1091284-A:						55.32	.00					
1802	IDAHO PRESS TRIBUNE, LLC	1091284-B	6547	<u>AD#1720961. LEGAL NOTICE. 18-03-SUP. KHS SPECIAL USE PERMIT. T.BEHUNIN. JAN.'18</u>	01/31/2018	60.50	.00	01-6125 LEGAL PUBLICATIONS	1003	1/18		
1802	IDAHO PRESS TRIBUNE, LLC	1091284-B	6547	<u>AD#1720964. LEGAL NOTICE. 18-02-SUP. SILVER TRAIL ELEMENTARY. SPECIAL USE PERMIT. JAN.'18</u>	01/31/2018	60.50	.00	01-6125 LEGAL PUBLICATIONS	1003	1/18		
1802	IDAHO PRESS TRIBUNE, LLC	1091284-B	6547	<u>AD#1720986. LEGAL NOTICE. 18-04-SUP. REED ELEMENTARY. JAN.'18</u>	01/31/2018	59.02	.00	01-6125 LEGAL PUBLICATIONS	1003	1/18		
Total 1091284-B:						180.02	.00					
1802	IDAHO PRESS TRIBUNE, LLC	1092536	6572	<u>AD#1724762. LEGAL NOTICE. REDHAWK SQUARE. 17-08-ZC & 17-12-S. T.BEHUNIN. FEB.'18</u>	02/07/2018	61.98	.00	01-6125 LEGAL PUBLICATIONS	1003	2/18		
Total 1092536:						61.98	.00					
1802	IDAHO PRESS TRIBUNE, LLC	1093049-A	6603	<u>AD#1727712. 1727726. 1727716. SUMMARY PUBLICATION. ORDINANCE 2018-02. 03. 04 - A.WELKER. FEB.'18</u>	02/14/2018	165.22	.00	01-6125 LEGAL PUBLICATIONS	0	2/18		
Total 1093049-A:						165.22	.00					
1802	IDAHO PRESS TRIBUNE, LLC	1093049-B	6609	<u>AD#1728243. 18-06-SUP. SPECIAL USE PERMIT FOR TEED ELEMENTARY SCHOOL. T.BEHUNIN. FEB.'18</u>	02/14/2018	59.02	.00	01-6125 LEGAL PUBLICATIONS	1003	2/18		

City of Kuna

Payment Approval Report - City Council Approval

Report dates: 2/2/2018-2/15/2018

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total 1093049-B:						59.02	.00					
Total IDAHO PRESS TRIBUNE, LLC:						521.56	.00					
IDAHO STATE POLICE												
1509	IDAHO STATE POLICE	S8056468-S80		<u>S8047150. NEW EMPLOYEE R COLLINS BCKGROUND CHECK, JAN 18</u>	01/25/2018	37.00	.00	01-6052 CONTRACT SERVICES	4000	1/18		
1509	IDAHO STATE POLICE	S8056468-S80		<u>S8052488. NEW EMPLOYEE P STEVENS BCKGROUND CHECK, JAN 18</u>	01/25/2018	9.25	.00	01-6052 CONTRACT SERVICES	0	1/18		
1509	IDAHO STATE POLICE	S8056468-S80		<u>S8052488. NEW EMPLOYEE P STEVENS BCKGROUND CHECK, JAN 18, WATER</u>	01/25/2018	12.21	.00	20-6052 CONTRACT SERVICES	0	1/18		
1509	IDAHO STATE POLICE	S8056468-S80		<u>S8052488. NEW EMPLOYEE P STEVENS BCKGROUND CHECK, JAN 18, SEWER</u>	01/25/2018	12.21	.00	21-6052 CONTRACT SERVICES	0	1/18		
1509	IDAHO STATE POLICE	S8056468-S80		<u>S8052488. NEW EMPLOYEE P STEVENS BCKGROUND CHECK, JAN 18, PI</u>	01/25/2018	3.33	.00	25-6052 CONTRACT SERVICES	0	2/18		
1509	IDAHO STATE POLICE	S8056468-S80		<u>S8056468. NEW EMPLOYEE C PECK, FINGERPRINT, JAN 18</u>	01/25/2018	9.40	.00	01-6052 CONTRACT SERVICES	0	1/18		
1509	IDAHO STATE POLICE	S8056468-S80		<u>S8056468. NEW EMPLOYEE C PECK, FINGERPRINT, JAN 18, WATER</u>	01/25/2018	.24	.00	20-6052 CONTRACT SERVICES	0	1/18		
1509	IDAHO STATE POLICE	S8056468-S80		<u>S8056468. NEW EMPLOYEE C PECK, FINGERPRINT, JAN 18, SEWER</u>	01/25/2018	.24	.00	21-6052 CONTRACT SERVICES	0	1/18		
1509	IDAHO STATE POLICE	S8056468-S80		<u>S8056468. NEW EMPLOYEE C PECK, FINGERPRINT, JAN 18, PI</u>	01/25/2018	.12	.00	25-6052 CONTRACT SERVICES	0	1/18		
Total S8056468-S8047150-S8:						84.00	.00					
Total IDAHO STATE POLICE:						84.00	.00					

City of Kuna

Payment Approval Report - City Council Approval

Page: 18

Report dates: 2/2/2018-2/15/2018

Feb 15, 2018 04:25PM

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
				ANTI-VIRUS AND INSTALLED BACKUP SOFTWARE ON SEVERAL TREATMENT PLANTS COMPUTERS, FEB18, P&Z	02/04/2018	57.20	.00	01-6142 MAINT. & REPAIR - EQUIPMENT	1003	2/18		
1595	INTEGRINET SOLUTIONS, INC.	105440		PROACTION MAINTENANCE, INSTALLED CASELLE ON 2 COMPUTERS, VERIFIED ANTI- VIRUS AND INSTALLED BACKUP SOFTWARE ON SEVERAL TREATMENT PLANTS COMPUTERS, FEB18, WATER	02/04/2018	148.72	.00	20-6142 MAINT. & REPAIRS- EQUIPMENT	0	2/18		
1595	INTEGRINET SOLUTIONS, INC.	105440		PROACTION MAINTENANCE, INSTALLED CASELLE ON 2 COMPUTERS, VERIFIED ANTI- VIRUS AND INSTALLED BACKUP SOFTWARE ON SEVERAL TREATMENT PLANTS COMPUTERS, FEB18, SEWER	02/04/2018	148.72	.00	21-6142 MAINT. & REPAIRS - EQUIPMENT	0	2/18		
1595	INTEGRINET SOLUTIONS, INC.	105440		PROACTION MAINTENANCE, INSTALLED CASELLE ON 2 COMPUTERS, VERIFIED ANTI- VIRUS AND INSTALLED BACKUP SOFTWARE ON SEVERAL TREATMENT PLANTS COMPUTERS, FEB18, PI	02/04/2018	57.20	.00	25-6142 MAINT. & REPAIRS - EQUIPMENT	0	2/18		
Total 105440:						572.00	.00					
1595	INTEGRINET SOLUTIONS, INC.	105495		275 GB CRUCIAL/MICRON SSD WITH BRACKET FOR J MARSH, FEB 18	02/10/2018	27.25	.00	01-6142 MAINT. & REPAIR - EQUIPMENT	0	2/18		
1595	INTEGRINET SOLUTIONS, INC.	105495		275 GB CRUCIAL/MICRON SSD WITH BRACKET FOR J MARSH, FEB 18, WATER	02/10/2018	35.97	.00	20-6142 MAINT. & REPAIRS- EQUIPMENT	0	2/18		
1595	INTEGRINET SOLUTIONS, INC.	105495		275 GB CRUCIAL/MICRON SSD WITH BRACKET FOR J MARSH, FEB 18, SEWER	02/10/2018	35.97	.00	21-6142 MAINT. & REPAIRS - EQUIPMENT	0	2/18		
1595	INTEGRINET SOLUTIONS, INC.	105495		275 GB CRUCIAL/MICRON SSD WITH BRACKET FOR J MARSH, FEB 18, PI	02/10/2018	9.81	.00	25-6142 MAINT. & REPAIRS - EQUIPMENT	0	2/18		

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
				DISCUSSED NEEDS WITH PROGRAMER, FIXED JESSE'S PRINTER ISSUE, INSTALL AND CONFIGURE VEEAM AND LOGMEIN, INSTALLED SEP ON COMPUTERS AT TREATMENT PLANT, FEB 18, PI	02/11/2018	48.40	.00	25-6142 MAINT. & REPAIRS - EQUIPMENT	0	2/18		
Total 105529:						686.40	.00					
Total INTEGRINET SOLUTIONS, INC.:						1,455.40	.00					
INTERMOUNTAIN GAS CO												
37	INTERMOUNTAIN GAS CO	482195000122		NATURAL GAS CONSUMPTION NWWTP, 12-28-17 TO 01-25-18, JAN 18, WATER	01/26/2018	998.31	998.31	20-6290 UTILITIES EXPENSE	0	2/18	02/02/2018	
37	INTERMOUNTAIN GAS CO	482195000122		NATURAL GAS CONSUMPTION NWWTP, 12-28-17 TO 01-25-18, JAN 18, SEWER	01/26/2018	998.31	998.31	21-6290 UTILITIES EXPENSE	0	2/18	02/02/2018	
37	INTERMOUNTAIN GAS CO	482195000122		NATURAL GAS CONSUMPTION NWWTP, 12-28-17 TO 01-25-18, JAN 18, PI	01/26/2018	380.30	380.30	25-6290 UTILITIES EXPENSE	0	2/18	02/02/2018	
Total 48219500012281712518:						2,376.92	2,376.92					
Total INTERMOUNTAIN GAS CO:						2,376.92	2,376.92					
J & M SANITATION, INC.												
230	J & M SANITATION, INC.	01262018-020		SANITATION RECEIPT TRANSFER, 01-26-18 TO 02-01-18, JAN 18	02/02/2018	13,205.52	13,205.52	26-7000 SOLID WASTE SERVICE FEES	0	2/18	02/02/2018	
230	J & M SANITATION, INC.	01262018-020		SANITATION RECEIPT TRANSFER, LESS FRANCHISE FEE, 01-26-18 TO 02-01-18, JAN 18	02/02/2018	-1,304.70	-1,304.70	01-4170 FRANCHISE FEES	0	2/18	02/02/2018	
Total 01262018-02012018:						11,900.82	11,900.82					
230	J & M SANITATION, INC.	013018		DISPOSAL/SLUDGE REMOVAL, 1-4-18 TO 1-23-18, JAN 18	01/30/2018	1,800.00	.00	21-6153 M & R - SLUDGE DISPOSAL	0	1/18		

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total 013018:						1,800.00	.00					
230	J & M SANITATION, INC.	013018 RENT		RENTAL FEE 25 YD DUMPSTER AT MAINTENANCE YARD, JAN 18	01/30/2018	9.90	.00	01-6150 MAINTENANCE & REPAIRS - SYSTEM	0	1/18		
230	J & M SANITATION, INC.	013018 RENT		RENTAL FEE 25 YD DUMPSTER AT MAINTENANCE YARD, JAN 18, WATER	01/30/2018	8.40	.00	20-6150 M & R - SYSTEM	0	1/18		
230	J & M SANITATION, INC.	013018 RENT		RENTAL FEE 25 YD DUMPSTER AT MAINTENANCE YARD, JAN 18, SEWER	01/30/2018	8.10	.00	21-6150 M & R - SYSTEM	0	1/18		
230	J & M SANITATION, INC.	013018 RENT		RENTAL FEE 25 YD DUMPSTER AT MAINTENANCE YARD, JAN 18, PI	01/30/2018	3.60	.00	25-6150 MAINT. & REPAIRS - SYSTEM (PI)	0	1/18		
Total 013018 RENT:						30.00	.00					
230	J & M SANITATION, INC.	02022018-020		SANITATION RECEIPT TRANSFER, 02-02-18 TO 02-08-18, FEB 18	02/09/2018	46,206.91	46,206.91	26-7000 SOLID WASTE SERVICE FEES	0	2/18	02/09/2018	
230	J & M SANITATION, INC.	02022018-020		SANITATION RECEIPT TRANSFER, LESS FRANCHISE FEE 02-02-18 TO 02-08-18, FEB 18	02/09/2018	-4,565.24	-4,565.24	01-4170 FRANCHISE FEES	0	2/18	02/09/2018	
Total 02022018-02082018:						41,641.67	41,641.67					
Total J & M SANITATION, INC.:						55,372.49	53,542.49					
J-U-B ENGINEERS, INC.												
1236	J-U-B ENGINEERS, INC.	0114389		DOWNTOWN REVITALIZATION, JAN 18	01/30/2018	5,238.16	.00	01-6045 CONTINGENCY	1122	1/18		
1236	J-U-B ENGINEERS, INC.	0114389		DOWNTOWN REVITALIZATION, JAN 18, WATER	01/30/2018	6,285.78	.00	20-6045 CONTINGENCY	1122	1/18		

City of Kuna

Payment Approval Report - City Council Approval

Page: 22

Report dates: 2/2/2018-2/15/2018

Feb 15, 2018 04:25PM

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
1236	J-U-B ENGINEERS, INC.	0114389		<u>DOWNTOWN REVITALIZATION, JAN 18, PI</u>	01/30/2018	1,571.45	.00	<u>25-6045 CONTINGENCY FUND</u>	1122	1/18		
Total 0114389:						13,095.39	.00					
Total J-U-B ENGINEERS, INC.:						13,095.39	.00					
KENDALL FORD OF MERIDIAN LLC												
1616	KENDALL FORD OF MERIDIAN LLC	166109144/1	6403	<u>REPAIR ON F-550 DIESEL, S.HOWELL, DEC.'17 - SEWER</u>	12/11/2017	843.07	.00	<u>21-6305 VEHICLE MAINTENANCE & REPAIRS</u>	0	12/17		
Total 166109144/1:						843.07	.00					
Total KENDALL FORD OF MERIDIAN LLC:						843.07	.00					
KUNA LION'S CLUB												
692	KUNA LION'S CLUB	FEB 2018		<u>KUNA LIONS 2018 EASTER EGG HUNT DONATION, FEB 18</u>	02/08/2018	2,000.00	2,000.00	<u>01-6070 DONATIONS EXPENSE</u>	0	2/18	02/08/2018	
Total FEB 2018:						2,000.00	2,000.00					
Total KUNA LION'S CLUB:						2,000.00	2,000.00					
KUNA LUMBER												
499	KUNA LUMBER	A96238	6583	<u>4 CASES RED PAINT FOR FIRE HYDRANTS, J.WEBB, FEB.'18</u>	02/01/2018	96.98	.00	<u>20-6150 M & R - SYSTEM</u>	0	2/18		
Total A96238:						96.98	.00					
499	KUNA LUMBER	B108637	6481	<u>1 FLASHLIGHT, PK BATTERIES, JUG OF CLR, SPRAY BOTTLE, CLEANING CEDAR WELL, R FORD, JAN 18, WATER</u>	01/03/2018	22.93	.00	<u>20-6175 SMALL TOOLS</u>	0	2/18		
499	KUNA LUMBER	B108637	6481	<u>1 FLASHLIGHT, PK BATTERIES, JUG OF CLR, SPRAY BOTTLE, CLEANING CEDAR WELL, R FORD, JAN 18, WATER</u>	01/03/2018	11.50	.00	<u>20-6140 MAINT. & REPAIR BUILDING</u>	0	2/18		

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total B108637:						34.43	.00					
499	KUNA LUMBER	B108678	6591	<u>HEXS TAPCON, PUMP HOUSE LIGHTS, FEB 18, WATER</u>	02/05/2018	13.27	.00	<u>20-6140 MAINT. & REPAIR BUILDING</u>	0	2/18		
499	KUNA LUMBER	B108678	6591	<u>INTERIOR LIGHTS FOR SR CTR, FEB 18</u>	02/05/2018	18.88	.00	<u>01-6140 MAINT. & REPAIR BUILDING</u>	1001	2/18		
499	KUNA LUMBER	B108678	6591	<u>COP CREEK DOOR HANDLE FOR PARKS SHOP, FEB 18</u>	02/05/2018	60.93	.00	<u>01-6140 MAINT. & REPAIR BUILDING</u>	1004	2/18		
499	KUNA LUMBER	B108678	6591	<u>HAT & COAT RACK, 10OZ DUCO CEMENT, TREATMENT PLANT, FEB 18, WATER</u>	02/05/2018	3.20	.00	<u>20-6140 MAINT. & REPAIR BUILDING</u>	0	2/18		
499	KUNA LUMBER	B108678	6591	<u>HAT & COAT RACK, 10OZ DUCO CEMENT, TREATMENT PLANT, FEB 18, SEWER</u>	02/05/2018	3.21	.00	<u>21-6140 MAINT & REPAIR BUILDING</u>	0	2/18		
499	KUNA LUMBER	B108678	6591	<u>HAT & COAT RACK, 10OZ DUCO CEMENT, TREATMENT PLANT, FEB 18, PI</u>	02/05/2018	1.22	.00	<u>25-6140 MAINT & REPAIR BUILDING</u>	0	2/18		
499	KUNA LUMBER	B108678	6591	<u>CLERKS OFFICE SHELVING, FEB 18</u>	02/05/2018	9.35	.00	<u>01-6140 MAINT. & REPAIR BUILDING</u>	0	2/18		
499	KUNA LUMBER	B108678	6591	<u>BUILDING MATERIALS FOR 1/2 WALL IN P&Z AREA, FEB 18</u>	02/05/2018	23.93	.00	<u>01-6140 MAINT. & REPAIR BUILDING</u>	1003	2/18		
499	KUNA LUMBER	B108678	6591	<u>BUILDING MATERIALS FOR 1/2 WALL IN P&Z AREA, FEB 18, P&Z</u>	02/05/2018	8.55	.00	<u>01-6140 MAINT. & REPAIR BUILDING</u>	1003	2/18		
499	KUNA LUMBER	B108678	6591	<u>BUILDING MATERIALS FOR 1/2 WALL IN P&Z AREA, FEB 18, WATER</u>	02/05/2018	22.22	.00	<u>20-6140 MAINT. & REPAIR BUILDING</u>	0	2/18		
499	KUNA LUMBER	B108678	6591	<u>BUILDING MATERIALS FOR 1/2 WALL IN P&Z AREA, FEB 18, SEWER</u>	02/05/2018	22.22	.00	<u>01-6140 MAINT. & REPAIR BUILDING</u>	1003	2/18		
499	KUNA LUMBER	B108678	6591	<u>BUILDING MATERIALS FOR 1/2 WALL IN P&Z AREA, FEB 18, PI</u>	02/05/2018	8.55	.00	<u>25-6140 MAINT & REPAIR BUILDING</u>	0	2/18		

City of Kuna

Payment Approval Report - City Council Approval

Page: 24

Report dates: 2/2/2018-2/15/2018

Feb 15, 2018 04:25PM

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total B108678:						195.53	.00					
499	KUNA LUMBER	B108814	6500	<u>3" GRINDER BRUSH AND EXTENSION CORD, FOR CEDAR WELL, R.FORD, JAN.'18</u>	01/09/2018	21.40	.00	<u>20-6175 SMALL TOOLS</u>	0	2/18		
Total B108814:						21.40	.00					
499	KUNA LUMBER	B108915	6519	<u>BUCKET AND PAINT STICK, M FISETTE, FLOORS AT PATAGONIA, JAN 18</u>	01/12/2018	5.20	.00	<u>21-6140 MAINT & REPAIR BUILDING</u>	0	1/18		
Total B108915:						5.20	.00					
499	KUNA LUMBER	B109480	6578	<u>SPRAY FOAM FOR SLIDE AT BUTLER PARK TO FILL HOLE, PARKS, FEB.'18</u>	02/01/2018	5.21	.00	<u>01-6150 MAINTENANCE & REPAIRS - SYSTEM</u>	1004	2/18		
Total B109480:						5.21	.00					
499	KUNA LUMBER	B109582	6589	<u>33 PC SECURITY BIT SET FOR PLAYGROUND EQUIPMENT, M.MEADE, FEB.'18</u>	02/05/2018	12.59	.00	<u>01-6175 SMALL TOOLS</u>	1004	2/18		
Total B109582:						12.59	.00					
499	KUNA LUMBER	B109869	6617	<u>KIEL HOLDER AND 2 BATTERIES, J COULTER, FEB 17</u>	02/13/2018	17.07	.00	<u>01-6165 OFFICE SUPPLIES</u>	1005	2/18		
Total B109869:						17.07	.00					
Total KUNA LUMBER:						388.41	.00					
KUNA WELDING												
46	KUNA WELDING	4011	6616	<u>IRRIGATION LID FOR LOCK AND ROLL STORAGE, D.CROSSLEY, FEB.'18</u>	02/08/2018	661.32	.00	<u>25-6020 CAPITAL IMPROVEMENTS</u>	1097	2/18		

City of Kuna

Payment Approval Report - City Council Approval

Report dates: 2/2/2018-2/15/2018

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total 4011:						661.32	.00					
Total KUNA WELDING:						661.32	.00					
LES SCHWAB TIRES												
221	LES SCHWAB TIRES	12800290471	6613	<u>FLAT REPAIR ON THE DUMP TRUCK, S.HOWELL, FEB.'18, PARKS</u>	02/09/2018	26.99	.00	<u>20-6142 MAINT. & REPAIRS-EQUIPMENT</u>	1004	2/18		
221	LES SCHWAB TIRES	12800290471	6613	<u>FLAT REPAIR ON THE DUMP TRUCK, S.HOWELL, FEB.'18, WATER</u>	02/09/2018	35.62	.00	<u>20-6142 MAINT. & REPAIRS-EQUIPMENT</u>	0	2/18		
221	LES SCHWAB TIRES	12800290471	6613	<u>FLAT REPAIR ON THE DUMP TRUCK, S.HOWELL, FEB.'18, SEWER</u>	02/09/2018	35.62	.00	<u>21-6142 MAINT. & REPAIRS - EQUIPMENT</u>	0	2/18		
221	LES SCHWAB TIRES	12800290471	6613	<u>FLAT REPAIR ON THE DUMP TRUCK, S.HOWELL, FEB.'18, PI</u>	02/09/2018	9.71	.00	<u>25-6142 MAINT. & REPAIRS - EQUIPMENT</u>	0	2/18		
Total 12800290471:						107.94	.00					
Total LES SCHWAB TIRES:						107.94	.00					
MATHESON TRI-GAS INC												
1871	MATHESON TRI-GAS INC	16951620		<u>RECURRING RENTAL FEE FOR HYDROGEN CHLORIDE TANK, SEWER, FEB 18</u>	01/31/2018	28.67	.00	<u>21-6150 M & R - SYSTEM</u>	0	2/18		
Total 16951620:						28.67	.00					
Total MATHESON TRI-GAS INC:						28.67	.00					
PARTS, INC.												
470	PARTS, INC.	158142	6579	<u>8 PR EAR PLUGS FOR PARK SHOP STOCK, M.MEADE, FEB.'18</u>	02/01/2018	2.32	.00	<u>01-6230 SAFETY TRAINING & EQUIPMENT</u>	1004	2/18		

City of Kuna

Payment Approval Report - City Council Approval

Page: 26

Report dates: 2/2/2018-2/15/2018

Feb 15, 2018 04:25PM

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total 158142:						2.32	.00					
470	PARTS, INC.	158467	6594	<u>BLOWER FAN BELT AND GREASE FOR WELL #5. R.JONES, FEB.'18</u>	02/06/2018	14.93	.00	<u>20-6142 MAINT. & REPAIRS- EQUIPMENT</u>	0	2/18		
Total 158467:						14.93	.00					
Total PARTS, INC.:						17.25	.00					
PETROLEUM STORAGE TANK FUND												
143	PETROLEUM STORAGE TANK FUND	24855		<u>TANK FUND INSURANCE RENEWAL - PATAGONIA LIFT STATION - 3/1/18-2/28/29</u>	01/30/2018	25.00	.00	<u>21-6150 M & R - SYSTEM</u>	0	2/18		
Total 24855:						25.00	.00					
Total PETROLEUM STORAGE TANK FUND:						25.00	.00					
PROFESSIONAL CONSTRUCTION SVCS, INC.												
1643	PROFESSIONAL CONSTRUCTION SVCS, INC.	11900	6568	<u>IRRIGATION BOX FOR LOCK N ROLL STORAGE IRRIGATION, C.DEYOUNG, JAN.'18</u>	01/24/2018	4,250.00	.00	<u>25-6020 CAPITAL IMPROVEMENTS</u>	1097	1/18		
Total 11900:						4,250.00	.00					
Total PROFESSIONAL CONSTRUCTION SVCS, INC.:						4,250.00	.00					
REXEL USA, INC.												
1613	REXEL USA, INC.	P542152	6542	<u>LED LIGHTS FOR OUTSIDE OF NWWTP, JAN.'18 - WATER</u>	01/22/2018	67.20	.00	<u>20-6140 MAINT. & REPAIR BUILDING</u>	0	1/18		
1613	REXEL USA, INC.	P542152	6542	<u>LED LIGHTS FOR OUTSIDE OF NWWTP, JAN.'18 - SEWER</u>	01/22/2018	67.20	.00	<u>21-6140 MAINT & REPAIR BUILDING</u>	0	1/18		
1613	REXEL USA, INC.	P542152	6542	<u>LED LIGHTS FOR OUTSIDE OF NWWTP, JAN.'18 - P.]</u>	01/22/2018	25.60	.00	<u>25-6140 MAINT & REPAIR BUILDING</u>	0	1/18		

City of Kuna

Payment Approval Report - City Council Approval

Report dates: 2/2/2018-2/15/2018

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total P542152:						160.00	.00					
1613	REXEL USA, INC.	P546974	6542	<u>LED LIGHTS FOR THE OUTSIDE OF NWWTP, JAN.'18 - WATER</u>	01/23/2018	94.08	.00	<u>20-6140 MAINT. & REPAIR BUILDING</u>	0	1/18		
1613	REXEL USA, INC.	P546974	6542	<u>LED LIGHTS FOR THE OUTSIDE OF NWWTP, JAN.'18 - SEWER</u>	01/23/2018	94.08	.00	<u>21-6140 MAINT & REPAIR BUILDING</u>	0	1/18		
1613	REXEL USA, INC.	P546974	6542	<u>LED LIGHTS FOR THE OUTSIDE OF NWWTP, JAN.'18 - P.I</u>	01/23/2018	35.84	.00	<u>25-6140 MAINT & REPAIR BUILDING</u>	0	1/18		
Total P546974:						224.00	.00					
1613	REXEL USA, INC.	P563517	6550	<u>SOCKET FOR LIGHT FIXTURE FOR OUTSIDE LIGHT AT TREATMENT PLANT, JAN.'18 - WATER</u>	01/25/2018	3.61	.00	<u>20-6140 MAINT. & REPAIR BUILDING</u>	0	1/18		
1613	REXEL USA, INC.	P563517	6550	<u>SOCKET FOR LIGHT FIXTURE FOR OUTSIDE LIGHT AT TREATMENT PLANT, JAN.'18 - SEWER</u>	01/25/2018	3.61	.00	<u>21-6140 MAINT & REPAIR BUILDING</u>	0	1/18		
1613	REXEL USA, INC.	P563517	6550	<u>SOCKET FOR LIGHT FIXTURE FOR OUTSIDE LIGHT AT TREATMENT PLANT, JAN.'18 - P.I</u>	01/25/2018	1.38	.00	<u>25-6140 MAINT & REPAIR BUILDING</u>	0	1/18		
Total P563517:						8.60	.00					
1613	REXEL USA, INC.	P614746	6574	<u>EXTERIOR LIGHTS AT THE SENIOR CENTER, S.HOWELL, FEB.'18</u>	02/01/2018	160.00	.00	<u>01-6140 MAINT. & REPAIR BUILDING</u>	1001	2/18		
Total P614746:						160.00	.00					
Total REXEL USA, INC.:						552.60	.00					
RIDGEWOOD ENTERPRISES, INC												
1728	RIDGEWOOD ENTERPRISES, INC	102370010	6507	<u>2 EA. CHAINSAWS PLUS BARS AND CHAINS, M.MEADE, FEB.'18</u>	02/01/2018	1,625.09	.00	<u>01-6175 SMALL TOOLS</u>	1004	2/18		

City of Kuna

Payment Approval Report - City Council Approval

Page: 28

Report dates: 2/2/2018-2/15/2018

Feb 15, 2018 04:25PM

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total 102370010:						1,625.09	.00					
Total RIDGEWOOD ENTERPRISES, INC:						1,625.09	.00					
RIDLEY'S FOOD CORP												
1673	RIDLEY'S FOOD CORP	012000030827	6525	<u>ITEMS TO CLEAN XMAS WINDOWS, PARKS, JAN 18</u>	01/17/2018	82.48	.00	01-6150 MAINTENANCE & REPAIRS - SYSTEM	1004	1/18		
Total 012000030827-448:						82.48	.00					
Total RIDLEY'S FOOD CORP:						82.48	.00					
SAFEGUARD BUSINESS SYSTEMS, INC												
32	SAFEGUARD BUSINESS SYSTEMS, INC	379351	6555	<u>NEW CHECKS, JAN.'18 - ADMIN</u>	01/30/2018	82.77	.00	01-6165 OFFICE SUPPLIES	0	1/18		
32	SAFEGUARD BUSINESS SYSTEMS, INC	379351	6555	<u>NEW CHECKS, JAN.'18 - P & Z</u>	01/30/2018	29.56	.00	01-6165 OFFICE SUPPLIES	1003	1/18		
32	SAFEGUARD BUSINESS SYSTEMS, INC	379351	6555	<u>NEW CHECKS, JAN.'18 - WATER</u>	01/30/2018	76.85	.00	20-6165 OFFICE SUPPLIES	0	1/18		
32	SAFEGUARD BUSINESS SYSTEMS, INC	379351	6555	<u>NEW CHECKS, JAN.'18 - SEWER</u>	01/30/2018	76.85	.00	21-6165 OFFICE SUPPLIES	0	1/18		
32	SAFEGUARD BUSINESS SYSTEMS, INC	379351		<u>NEW CHECKS, JAN.'18 - P.I</u>	01/30/2018	29.56	.00	25-6165 OFFICE SUPPLIES	0	2/18		
Total 379351:						295.59	.00					
Total SAFEGUARD BUSINESS SYSTEMS, INC:						295.59	.00					
SHARP ELECTRONICS CORP -LEASE												
1734	SHARP ELECTRONICS CORP - LEASE	5004568111		<u>COPIER LEASE, MODEL MX2615N, 2/1/18-2/28/18 - PARKS</u>	02/02/2018	17.33	.00	01-6142 MAINT. & REPAIR - EQUIPMENT	1004	2/18		

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
1734	SHARP ELECTRONICS CORP - LEASE	5004568111		<u>COPIER LEASE, MODEL MX2615N, 2/1/18-2/28/18 - WATER</u>	02/02/2018	27.92	.00	20-6142 MAINT. & REPAIRS- EQUIPMENT	0	2/18		
1734	SHARP ELECTRONICS CORP - LEASE	5004568111		<u>COPIER LEASE, MODEL MX2615N, 2/1/18-2/28/18 - SEWER</u>	02/02/2018	34.65	.00	21-6142 MAINT. & REPAIRS - EQUIPMENT	0	2/18		
1734	SHARP ELECTRONICS CORP - LEASE	5004568111		<u>COPIER LEASE, MODEL MX2615N, 2/1/18-2/28/18 - P.I</u>	02/02/2018	16.36	.00	25-6142 MAINT. & REPAIRS - EQUIPMENT	0	2/18		
Total 5004568111:						96.26	.00					
Total SHARP ELECTRONICS CORP -LEASE:						96.26	.00					
SHARP ELECTRONICS CORP-METERED												
1806	SHARP ELECTRONICS CORP-METERED	11434444		<u>EXCESS METER READING, MODEL MX2615N, 12/01/17-12/31/17 - PARKS</u>	01/31/2018	4.64	.00	01-6142 MAINT. & REPAIR - EQUIPMENT	1004	12/17		
1806	SHARP ELECTRONICS CORP-METERED	11434444		<u>EXCESS METER READING, MODEL MX2615N, 12/01/17-12/31/17 - WATER</u>	01/31/2018	7.47	.00	20-6142 MAINT. & REPAIRS- EQUIPMENT	0	12/17		
1806	SHARP ELECTRONICS CORP-METERED	11434444		<u>EXCESS METER READING, MODEL MX2615N, 12/01/17-12/31/17 - SEWER</u>	01/31/2018	9.28	.00	21-6142 MAINT. & REPAIRS - EQUIPMENT	0	12/17		
1806	SHARP ELECTRONICS CORP-METERED	11434444		<u>EXCESS METER READING, MODEL MX2615N, 12/01/17-12/31/17 - P.I</u>	01/31/2018	4.38	.00	25-6142 MAINT. & REPAIRS - EQUIPMENT	0	12/17		
Total 11434444:						25.77	.00					
Total SHARP ELECTRONICS CORP-METERED:						25.77	.00					
TATES RENTS, INC.												
59	TATES RENTS, INC.	W26889-14	6566	<u>REPAIRS ON THE PARK'S CHAINSAW, MODEL #MS361 - B.GILLOGLY, JAN.'18</u>	01/29/2018	84.27	.00	01-6142 MAINT. & REPAIR - EQUIPMENT	1004	1/18		

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total W26889-14:						84.27	.00					
59	TATES RENTS, INC.	W26894-14	6566	REPAIRS ON THE PARKS CHAINSAW, MODEL #MS150TC - B.GILLOGLY, JAN.'18	01/29/2018	119.97	.00	01-6142 MAINT. & REPAIR - EQUIPMENT	1004	1/18		
Total W26894-14:						119.97	.00					
Total TATES RENTS, INC.:						204.24	.00					
TREASURE VALLEY COFFEE												
992	TREASURE VALLEY COFFEE	2160:05406211	6586	1 COOLER RENTAL FOR MAINTENANCE SHOP, FEB.'18	02/02/2018	10.00	.00	01-6165 OFFICE SUPPLIES	1004	2/18		
Total 2160:05406211:						10.00	.00					
992	TREASURE VALLEY COFFEE	2160:05420951	6618	1 CASE COFFEE AND 1 CANISTER CREAMER, CITY HALL, FEB.'18	02/13/2018	57.45	.00	01-6165 OFFICE SUPPLIES	0	2/18		
Total 2160:05420951:						57.45	.00					
992	TREASURE VALLEY COFFEE	2160:05427259	6586	2 EA. 5-GAL BOTTLES OF WATER PLUS WATER COOLER RENTALS AT CITY HALL, FEB.'18	02/02/2018	40.00	.00	01-6165 OFFICE SUPPLIES	0	2/18		
Total 2160:05427259:						40.00	.00					
992	TREASURE VALLEY COFFEE	2160:05427259		CREDIT FROM OVERPAYMENT ON ACCOUNT (INV#2160:05346131)	02/02/2018	-30.75	.00	01-6165 OFFICE SUPPLIES	0	2/18		
Total 2160:05427259 - C:						-30.75	.00					
992	TREASURE VALLEY COFFEE	2160:05436923	6608	5 EA E-GAL BOTTLES OF WATER PLUS WATER COOLER RENTAL, TREATMENT PLANT, FEB.'18	02/08/2018	11.44	.00	20-6165 OFFICE SUPPLIES	0	2/18		

City of Kuna

Payment Approval Report - City Council Approval

Page: 31

Report dates: 2/2/2018-2/15/2018

Feb 15, 2018 04:25PM

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
992	TREASURE VALLEY COFFEE	2160:05436923	6608	5 EA E-GAL BOTTLES OF WATER PLUS WATER COOLER RENTAL, TREATMENT PLANT, FEB.'18	02/08/2018	11.44	.00	21-6165 OFFICE SUPPLIES	0	2/18		
992	TREASURE VALLEY COFFEE	2160:05436923	6608	5 EA E-GAL BOTTLES OF WATER PLUS WATER COOLER RENTAL, TREATMENT PLANT, FEB.'18	02/08/2018	4.37	.00	25-6165 OFFICE SUPPLIES	0	2/18		
Total 2160:05436923:						27.25	.00					
Total TREASURE VALLEY COFFEE:						103.95	.00					
U.S. BANK (VISA)												
1444	U.S. BANK (VISA)	104373610101	6377	SHELVING FOR CLERKS OFFICE, DEC.'17 - ADMIN	12/26/2017	66.64	.00	01-6140 MAINT. & REPAIR BUILDING	0	12/17		
1444	U.S. BANK (VISA)	104373610101	6377	SHELVING FOR CLERKS OFFICE, DEC.'17 - P&Z	12/26/2017	23.80	.00	01-6140 MAINT. & REPAIR BUILDING	0	12/17		
1444	U.S. BANK (VISA)	104373610101	6377	SHELVING FOR CLERKS OFFICE, DEC.'17 - WATER	12/26/2017	61.88	.00	20-6140 MAINT. & REPAIR BUILDING	0	12/17		
1444	U.S. BANK (VISA)	104373610101	6377	SHELVING FOR CLERKS OFFICE, DEC.'17 - SEWER	12/26/2017	61.88	.00	21-6140 MAINT & REPAIR BUILDING	0	12/17		
1444	U.S. BANK (VISA)	104373610101	6377	SHELVING FOR CLERKS OFFICE, DEC.'17 - P.I	12/26/2017	23.80	.00	25-6140 MAINT & REPAIR BUILDING	0	12/17		
1444	U.S. BANK (VISA)	104373610101	6377	COAT HOOKS FOR TREATMENT PLANT, DEC.'17 - WATER	12/26/2017	6.70	.00	20-6140 MAINT. & REPAIR BUILDING	0	12/17		
1444	U.S. BANK (VISA)	104373610101	6377	COAT HOOKS FOR TREATMENT PLANT, DEC.'17 - SEWER	12/26/2017	6.70	.00	21-6140 MAINT & REPAIR BUILDING	0	12/17		
1444	U.S. BANK (VISA)	104373610101	6377	COAT HOOKS FOR TREATMENT PLANT, DEC.'17 - P.I	12/26/2017	2.55	.00	25-6140 MAINT & REPAIR BUILDING	0	12/17		
1444	U.S. BANK (VISA)	104373610101	6377	ADJUSTABLE BUNGEE STRAP FOR TRUCK #28, B.GILLOGLY, DEC.'17	12/26/2017	1.50	.00	01-6305 VEHICLE MAINTENANCE & REPAIRS	0	12/17		

City of Kuna

Payment Approval Report - City Council Approval

Page: 32

Report dates: 2/2/2018-2/15/2018

Feb 15, 2018 04:25PM

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
1444	U.S. BANK (VISA)	104373610101	6377	<u>ADJUSTABLE BUNGEE STRAP FOR TRUCK #28, B.GILLOGLY, DEC.'17</u>	12/26/2017	.60	.00	<u>20-6305 VEHICLE MAINTENANCE & REPAIRS</u>	0	12/17		
1444	U.S. BANK (VISA)	104373610101	6377	<u>ADJUSTABLE BUNGEE STRAP FOR TRUCK #28, B.GILLOGLY, DEC.'17</u>	12/26/2017	.60	.00	<u>21-6305 VEHICLE MAINTENANCE & REPAIRS</u>	0	12/17		
1444	U.S. BANK (VISA)	104373610101	6377	<u>ADJUSTABLE BUNGEE STRAP FOR TRUCK #28, B.GILLOGLY, DEC.'17</u>	12/26/2017	.29	.00	<u>25-6305 VEHICLE MAINTENANCE & REPAIR</u>	0	12/17		
Total 10437361010179025760:						256.94	.00					
1444	U.S. BANK (VISA)	128973620300	6431	<u>IDAHO NURSERY & LANDSCAPE ASSOCIATION, INLA HORTICULTURE MEMBERSHIP DUES, D.STEPHENS, DEC.'17</u>	12/27/2017	75.00	.00	<u>01-6075 DUES & MEMBERSHIPS</u>	1004	12/17		
Total 12897362030021957881:						75.00	.00					
1444	U.S. BANK (VISA)	128973630300	6431	<u>INLA, IDAHO HORTICULTURE EXPO REGISTRATION, D.STEPHENS, D.POLENTZ, K.DUTRA, M.MEADE, DEC.'17</u>	12/28/2017	507.50	.00	<u>01-6265 TRAINING & SCHOOLING</u>	1004	12/17		
Total 12897363030022931041:						507.50	.00					
1444	U.S. BANK (VISA)	310673650833	6450	<u>AMAZON, OFFICE CHAIR FOR P. STEVENS, C.OSWALD, DEC.'17</u>	12/31/2017	39.97	.00	<u>01-6175 SMALL TOOLS</u>	0	12/17		
1444	U.S. BANK (VISA)	310673650833	6450	<u>AMAZON, OFFICE CHAIR FOR P. STEVENS, C.OSWALD, DEC.'17</u>	12/31/2017	52.77	.00	<u>20-6175 SMALL TOOLS</u>	0	12/17		
1444	U.S. BANK (VISA)	310673650833	6450	<u>AMAZON, OFFICE CHAIR FOR P. STEVENS, C.OSWALD, DEC.'17</u>	12/31/2017	52.77	.00	<u>21-6175 SMALL TOOLS</u>	0	12/17		
1444	U.S. BANK (VISA)	310673650833	6450	<u>AMAZON, OFFICE CHAIR FOR P. STEVENS, C.OSWALD, DEC.'17</u>	12/31/2017	14.39	.00	<u>25-6175 SMALL TOOLS</u>	0	12/17		

City of Kuna

Payment Approval Report - City Council Approval

Page: 33

Report dates: 2/2/2018-2/15/2018

Feb 15, 2018 04:25PM

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total 31067365083358068362:						159.90	.00					
1444	U.S. BANK (VISA)	310680040833	6478	<u>AMAZON.COM, CHAIR FOR J MORFIN, JAN.'18</u>	01/04/2018	80.46	.00	<u>01-6175 SMALL TOOLS</u>	1004	1/18		
Total 31068004083315020915:						80.46	.00					
1444	U.S. BANK (VISA)	330973640915	6468	<u>IBOL, LICENSING TESTS FOR J.COX, DEC.'17</u>	12/29/2017	49.60	.00	<u>20-6075 DUES & MEMBERSHIPS</u>	0	12/17		
1444	U.S. BANK (VISA)	330973640915	6468	<u>IBOL, LICENSING TESTS FOR J.COX, DEC.'17</u>	12/29/2017	12.40	.00	<u>25-6075 DUES & MEMBERSHIPS EXPENSE</u>	0	12/17		
Total 33097364091569001877:						62.00	.00					
1444	U.S. BANK (VISA)	330973640915	6468	<u>IBOL, LICENSING TESTS FOR B.BURR, DEC.'17</u>	12/29/2017	20.00	.00	<u>20-6075 DUES & MEMBERSHIPS</u>	0	12/17		
1444	U.S. BANK (VISA)	330973640915	6468	<u>IBOL, LICENSING TESTS FOR B.BURR, DEC.'17</u>	12/29/2017	5.00	.00	<u>25-6075 DUES & MEMBERSHIPS EXPENSE</u>	0	12/17		
Total 33097364091569002057:						25.00	.00					
1444	U.S. BANK (VISA)	450073620009	6465	<u>U.S.P.S., POSTAGE FOR CODE SUPPLEMENTS, A.WELKER, DEC.'17</u>	12/27/2017	9.39	.00	<u>01-6190 POSTAGE & BILLING</u>	0	12/17		
Total 45007362000930767272:						9.39	.00					
1444	U.S. BANK (VISA)	619780012000	6469	<u>PROFESSIONAL EDUC SERVICES, BUSINESS ETHICS IDAHO MANUAL, J.MARSH, DEC.'17</u>	12/31/2017	13.63	.00	<u>01-6265 TRAINING & SCHOOLING</u>	0	12/17		
1444	U.S. BANK (VISA)	619780012000	6469	<u>PROFESSIONAL EDUC SERVICES, BUSINESS ETHICS IDAHO MANUAL, J.MARSH, DEC.'17</u>	12/31/2017	17.99	.00	<u>20-6265 TRAINING & SCHOOLING EXPENSE</u>	0	12/17		

City of Kuna

Payment Approval Report - City Council Approval

Page: 34

Report dates: 2/2/2018-2/15/2018

Feb 15, 2018 04:25PM

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
1444	U.S. BANK (VISA)	619780012000	6469	PROFESSIONAL EDUC SERVICES, BUSINESS ETHICS IDAHO MANUAL, J.MARSH, DEC.'17	12/31/2017	17.99	.00	21-6265 TRAINING & SCHOOLING EXPENSE	0	12/17		
1444	U.S. BANK (VISA)	619780012000	6469	PROFESSIONAL EDUC SERVICES, BUSINESS ETHICS IDAHO MANUAL, J.MARSH, DEC.'17	12/31/2017	4.89	.00	25-6265 TRAINING & SCHOOLING EXPENSE	0	12/17		
Total 61978001200008527526:						54.50	.00					
1444	U.S. BANK (VISA)	921573608940	6463	IDABO, 2018 ANNUAL GOVERNMENT MEMBERSHIP RENEWAL FOR J.COULTER AND B.BACHMAN, BUILDING INSPECTION	12/26/2017	190.00	.00	01-6075 DUES & MEMBERSHIPS	1005	12/17		
Total 92157360894095881952:						190.00	.00					
1444	U.S. BANK (VISA)	921680031008		LOWES, TOTES FOR CHRISTMAS LIGHTS STORAGE, J.LORENTZ, JAN.'18	01/03/2018	72.68	.00	01-6150 MAINTENANCE & REPAIRS - SYSTEM	1004	1/18		
Total 92168003100849456903:						72.68	.00					
1444	U.S. BANK (VISA)	921680061000	6497	ICC, LOOSE LEAF TABS, J.ADAMS, JAN.'17	01/06/2018	22.47	.00	01-6165 OFFICE SUPPLIES	1005	1/18		
Total 92168006100056302151:						22.47	.00					
1444	U.S. BANK (VISA)	921680091006	6501	BOOKSHELF AND WASTE BASKET, J.MORFIN, JAN.'18	01/09/2018	49.96	.00	01-6165 OFFICE SUPPLIES	1004	1/18		
Total 92168009100696419164:						49.96	.00					
1444	U.S. BANK (VISA)	921680101008		ICC, CREDIT - REMOVAL OF SALE TAX FROM PURCHASE, JAN.'18	01/10/2018	-1.02	.00	01-6165 OFFICE SUPPLIES	1005	1/18		

City of Kuna

Payment Approval Report - City Council Approval

Page: 35

Report dates: 2/2/2018-2/15/2018

Feb 15, 2018 04:25PM

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total 92168010100876763425:						-1.02	.00					
Total U.S. BANK (VISA):						1,564.78	.00					
UNITED OIL												
316	UNITED OIL	0376377		<u>123 GALLONS OF DIESEL FOR TEN MILE LIFT STATION, T.SHAFFER, JAN.'18</u>	01/23/2018	295.80	.00	<u>21-6300 FUEL</u>	0	1/18		
Total 0376377:						295.80	.00					
Total UNITED OIL:						295.80	.00					
USA BLUE BOOK												
265	USA BLUE BOOK	478915	6570	<u>CHLORINE KIT FOR SAMPLE TESTING, D.CROSSLEY, JAN.'18</u>	01/30/2018	492.45	.00	<u>20-6150 M & R - SYSTEM</u>	0	1/18		
Total 478915:						492.45	.00					
Total USA BLUE BOOK:						492.45	.00					
UTILITY REFUND #4												
1887	UTILITY REFUND #4	110210.02		<u>JLC INVESTMENTS, 490 N SHADY GROVE WAY, UTILITY REFUND</u>	01/31/2018	87.14	.00	<u>99-1075 Utility Cash Clearing</u>	0	1/18		
Total 110210.02:						87.14	.00					
1887	UTILITY REFUND #4	140360.00		<u>DANIEL JACKSON, 885 E JACKPOT ST, UTILITY REFUND</u>	02/14/2018	88.60	.00	<u>99-1075 Utility Cash Clearing</u>	0	2/18		
Total 140360.00:						88.60	.00					
1887	UTILITY REFUND #4	160110.02		<u>CALLI WHITE, 412 W HESSTON ST, UTILITY REFUND</u>	01/31/2018	27.89	.00	<u>99-1075 Utility Cash Clearing</u>	0	2/18		

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total 160110.02:						27.89	.00					
1887	UTILITY REFUND #4	163085.01		<u>ANDREW BARBER, 225 E LINMAR DR. UTILITY REFUND</u>	02/13/2018	8.91	.00	99-1075 Utility Cash Clearing	0	2/18		
Total 163085.01:						8.91	.00					
1887	UTILITY REFUND #4	173585.02		<u>KORIE WATSON, 1857 W SAHARA DR. UTILITY REFUND</u>	02/13/2018	4.09	.00	99-1075 Utility Cash Clearing	0	2/18		
Total 173585.02:						4.09	.00					
1887	UTILITY REFUND #4	174016.01		<u>CBH, 1940 W DESERTHAWK DR. UTILITY REFUND</u>	02/13/2018	76.18	.00	99-1075 Utility Cash Clearing	0	2/18		
Total 174016.01:						76.18	.00					
1887	UTILITY REFUND #4	174023.01		<u>CBH, 1030 S RED SAND AVE, UTILITY REFUND</u>	01/31/2018	4.86	.00	99-1075 Utility Cash Clearing	0	1/18		
Total 174023.01:						4.86	.00					
1887	UTILITY REFUND #4	174035.01A		<u>CBH, 1973 W DESERTHAWK DR. UTILITY REFUND</u>	02/14/2018	59.49	.00	99-1075 Utility Cash Clearing	0	2/18		
Total 174035.01A:						59.49	.00					
1887	UTILITY REFUND #4	174038.01		<u>CBH, 1102 S KALAHARI AVE, UTILITY REFUND</u>	02/02/2018	117.75	.00	99-1075 Utility Cash Clearing	0	2/18		
Total 174038.01:						117.75	.00					
1887	UTILITY REFUND #4	174041.01		<u>CBH, 1144 S KALAHARI AVE, UTILITY REFUND</u>	02/13/2018	42.84	.00	99-1075 Utility Cash Clearing	0	2/18		

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total 174041.01:						42.84	.00					
1887	UTILITY REFUND #4	175007.01		<u>CBH, 1462 W BAYHORSE ST, UTILITY REFUND</u>	02/13/2018	56.19	.00	99-1075 Utility Cash Clearing	0	2/18		
Total 175007.01:						56.19	.00					
1887	UTILITY REFUND #4	175008.01A		<u>CBH HOMES, 1444 W BAYHORSE ST, UTILITY REFUND</u>	02/14/2018	59.50	.00	99-1075 Utility Cash Clearing	0	2/18		
Total 175008.01A:						59.50	.00					
1887	UTILITY REFUND #4	175022.01A		<u>CBH, 342 S RETORT AVE, UTILITY REFUND</u>	02/14/2018	132.72	.00	99-1075 Utility Cash Clearing	0	2/18		
Total 175022.01A:						132.72	.00					
1887	UTILITY REFUND #4	20480.05		<u>ROBERT WEEKS, 504 E BLUE SKY DR, UTILITY REFUND</u>	01/31/2018	3.23	.00	99-1075 Utility Cash Clearing	0	2/18		
Total 20480.05:						3.23	.00					
1887	UTILITY REFUND #4	221065.02		<u>MATTHEW J KRENZ, 686 E GREAT BEAR ST, UTILITY REFUND</u>	02/02/2018	69.31	.00	99-1075 Utility Cash Clearing	0	2/18		
Total 221065.02:						69.31	.00					
1887	UTILITY REFUND #4	221155.02		<u>CHRISTOPHER WARE, 1052 S WISTON PL, UTILITY REFUND</u>	02/02/2018	60.33	.00	99-1075 Utility Cash Clearing	0	2/18		
Total 221155.02:						60.33	.00					
1887	UTILITY REFUND #4	230550.01		<u>RICHARD & ROXANNE ZAMZOW TRUST, 580 S GLENN BROOKE PL, UTILITY REFUND</u>	02/07/2018	15.50	.00	99-1075 Utility Cash Clearing	0	2/18		

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total 230550.01:						15.50	.00					
1887	UTILITY REFUND #4	250045.04		<u>MANUEL RAMOS, 280 W TALLULAH DR. UTILITY REFUND</u>	02/13/2018	40.18	.00	99-1075 Utility Cash Clearing	0	2/18		
Total 250045.04:						40.18	.00					
1887	UTILITY REFUND #4	268008.01		<u>CBH, 1828 N THISTLE DR. UTILITY REFUND</u>	02/13/2018	67.80	.00	99-1075 Utility Cash Clearing	0	2/18		
Total 268008.01:						67.80	.00					
1887	UTILITY REFUND #4	268020.01		<u>CBH HOMES, 2687 W CRENSHAW ST. UTILITY REFUND</u>	02/14/2018	60.85	.00	99-1075 Utility Cash Clearing	0	2/18		
Total 268020.01:						60.85	.00					
1887	UTILITY REFUND #4	268029.01		<u>CBH, 1796 N THISTLE DR. UTILITY REFUND</u>	02/13/2018	131.41	.00	99-1075 Utility Cash Clearing	0	2/18		
Total 268029.01:						131.41	.00					
1887	UTILITY REFUND #4	268032.01		<u>CBH, 2801 W AQUAMARINE ST. UTILITY REFUND</u>	02/14/2018	60.85	.00	99-1075 Utility Cash Clearing	0	2/18		
Total 268032.01:						60.85	.00					
1887	UTILITY REFUND #4	277023.01		<u>CHALLENGER DEVELOPMENT INC. 2454 N HONEYSUCKLE WAY, UTILITY REFUND</u>	01/31/2018	75.27	.00	99-1075 Utility Cash Clearing	0	1/18		
Total 277023.01:						75.27	.00					
1887	UTILITY REFUND #4	277024.01A		<u>CHALLENGER DEVELOPMENT, 2430 N HONEYSUCKLE WAY, UTILITY REFUND</u>	02/14/2018	59.49	.00	99-1075 Utility Cash Clearing	0	2/18		

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
				REFUND	02/14/2018	35.85	.00	99-1075 Utility Cash Clearing	0	2/18		
	Total 280285.01A:					35.85	.00					
1887	UTILITY REFUND #4	280610.02		TIMOTHY L SONNE, 1073 W TANZANITE DR, UTILITY REFUND	01/31/2018	71.59	.00	99-1075 Utility Cash Clearing	0	1/18		
	Total 280610.02:					71.59	.00					
1887	UTILITY REFUND #4	30090.02		CODY L CAMERON, 980 W OWYHEE ST, UTILITY REFUND	02/13/2018	47.54	.00	99-1075 Utility Cash Clearing	0	2/18		
	Total 30090.02:					47.54	.00					
1887	UTILITY REFUND #4	310025.01		TOLL BROS INC, 1134 W SAGWON DR, UTILITY REFUND	01/31/2018	37.90	.00	99-1075 Utility Cash Clearing	0	1/18		
	Total 310025.01:					37.90	.00					
1887	UTILITY REFUND #4	310031.01		TOLL BROS INC, 9541 S MACADAN WAY, UTILITY REFUND	02/13/2018	42.84	.00	99-1075 Utility Cash Clearing	0	2/18		
	Total 310031.01:					42.84	.00					
1887	UTILITY REFUND #4	310319.01		TOLL BROS INC, 894 W SELDOVA DR, UTILITY REFUND	02/02/2018	43.66	.00	99-1075 Utility Cash Clearing	0	2/18		
	Total 310319.01:					43.66	.00					
1887	UTILITY REFUND #4	310321.01		TOLL BROS INC, 942 W SELDOVIA DR, UTILITY REFUND	02/02/2018	32.74	.00	99-1075 Utility Cash Clearing	0	2/18		

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total 310321.01:						32.74	.00					
1887	UTILITY REFUND #4	50520.01		<u>STEVEN W TAYLOR, 623 N FRANKLIN AVE. UTILITY REFUND</u>	01/31/2018	73.55	.00	99-1075 Utility Cash Clearing	0	1/18		
Total 50520.01:						73.55	.00					
1887	UTILITY REFUND #4	70100.02		<u>BRECKENRIDGE PROPERTY FUND, 939 N PILAR CT. UTILITY REFUND</u>	01/31/2018	88.06	.00	99-1075 Utility Cash Clearing	0	1/18		
Total 70100.02:						88.06	.00					
1887	UTILITY REFUND #4	80680.03		<u>ANTHONY SHAWLER, 900 N CLEVELAND AVE. UTILITY REFUND</u>	02/13/2018	131.79	.00	99-1075 Utility Cash Clearing	0	2/18		
Total 80680.03:						131.79	.00					
1887	UTILITY REFUND #4	80780.01		<u>HORTENCIA PINON, 170 E KENTER ST. UTILITY REFUND</u>	01/31/2018	42.17	.00	99-1075 Utility Cash Clearing	0	1/18		
Total 80780.01:						42.17	.00					
Total UTILITY REFUND #4:						2,328.30	.00					
VALLI INFORMATION SYSTEMS, INC												
857	VALLI INFORMATION SYSTEMS, INC	45600		<u>ESTATEMENT, POSTAGE, AND INSERTS FOR JAN.'18 - ADMIN</u>	01/31/2018	1,030.32	.00	01-6190 POSTAGE & BILLING	0	1/18		
857	VALLI INFORMATION SYSTEMS, INC	45600		<u>ESTATEMENT, POSTAGE, AND INSERTS FOR JAN.'18 - WATER</u>	01/31/2018	1,619.08	.00	20-6190 POSTAGE & BILLING	0	1/18		
857	VALLI INFORMATION SYSTEMS, INC	45600		<u>ESTATEMENT, POSTAGE, AND INSERTS FOR JAN.'18 - SEWER</u>	01/31/2018	1,619.08	.00	21-6190 POSTAGE & BILLING	0	1/18		
857	VALLI INFORMATION SYSTEMS, INC	45600		<u>ESTATEMENT, POSTAGE, AND INSERTS FOR JAN.'18 - P.I</u>	01/31/2018	637.82	.00	25-6190 POSTAGE & BILLING	0	1/18		

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total 45600:						4,906.30	.00					
857	VALLI INFORMATION SYSTEMS, INC	45601		<u>LOCKBOX TRANSACTIONS AND POSTAGE FOR JAN.'18 - ADMIN</u>	01/31/2018	51.29	.00	<u>01-6190 POSTAGE & BILLING</u>	0	1/18		
857	VALLI INFORMATION SYSTEMS, INC	45601		<u>LOCKBOX TRANSACTIONS AND POSTAGE FOR JAN.'18 - WATER</u>	01/31/2018	80.59	.00	<u>20-6190 POSTAGE & BILLING</u>	0	1/18		
857	VALLI INFORMATION SYSTEMS, INC	45601		<u>LOCKBOX TRANSACTIONS AND POSTAGE FOR JAN.'18 - SEWER</u>	01/31/2018	80.59	.00	<u>21-6190 POSTAGE & BILLING</u>	0	1/18		
857	VALLI INFORMATION SYSTEMS, INC	45601		<u>LOCKBOX TRANSACTIONS AND POSTAGE FOR JAN.'18 - P.I</u>	01/31/2018	31.75	.00	<u>25-6190 POSTAGE & BILLING</u>	0	1/18		
Total 45601:						244.22	.00					
Total VALLI INFORMATION SYSTEMS, INC:						5,150.52	.00					
VERIZON WIRELESS												
1575	VERIZON WIRELESS	9800743699		<u>CELL PHONE SERVICE, 12/29/17-1/28/18 - ADMIN</u>	01/28/2018	59.31	.00	<u>01-6255 TELEPHONE</u>	0	1/18		
1575	VERIZON WIRELESS	9800743699		<u>CELL PHONE SERVICE, 12/29/17-1/28/18 - PARKS</u>	01/28/2018	381.26	.00	<u>01-6255 TELEPHONE</u>	1004	1/18		
1575	VERIZON WIRELESS	9800743699		<u>CELL PHONE SERVICE, 12/29/17-1/28/18 - BUILDING INSPECTION</u>	01/28/2018	50.84	.00	<u>01-6255 TELEPHONE</u>	1005	1/18		
1575	VERIZON WIRELESS	9800743699		<u>CELL PHONE SERVICE, 12/29/17-1/28/18 - WATER</u>	01/28/2018	313.48	.00	<u>20-6255 TELEPHONE EXPENSE</u>	0	1/18		
1575	VERIZON WIRELESS	9800743699		<u>CELL PHONE SERVICE, 12/29/17-1/28/18 - SEWER</u>	01/28/2018	338.90	.00	<u>21-6255 TELEPHONE EXPENSE</u>	0	1/18		
1575	VERIZON WIRELESS	9800743699		<u>CELL PHONE SERVICE, 12/29/17-1/28/18 - P.I</u>	01/28/2018	84.73	.00	<u>25-6255 TELEPHONE EXPENSE</u>	0	1/18		

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
1575	VERIZON WIRELESS	9800743699		<u>CELL PHONE SERVICE, 12/29/17-1/28/18 - ECONOMIC DEVELOPMENT</u>	01/28/2018	42.36	.00	<u>01-6255 TELEPHONE</u>	4000	1/18		
1575	VERIZON WIRELESS	9800743699		<u>EQUIPMENT BILL INCENTIVE CREDIT - ECONOMIC DEVELOPMENT</u>	01/28/2018	-100.00	.00	<u>01-6255 TELEPHONE</u>	4000	1/18		
1575	VERIZON WIRELESS	9800743699		<u>EQUIPMENT BILL INCENTIVE CREDIT - WATER</u>	01/28/2018	-42.00	.00	<u>20-6255 TELEPHONE EXPENSE</u>	0	1/18		
1575	VERIZON WIRELESS	9800743699		<u>EQUIPMENT BILL INCENTIVE CREDIT - SEWER</u>	01/28/2018	-42.00	.00	<u>21-6255 TELEPHONE EXPENSE</u>	0	1/18		
1575	VERIZON WIRELESS	9800743699		<u>EQUIPMENT BILL INCENTIVE CREDIT - P.I</u>	01/28/2018	-16.00	.00	<u>25-6255 TELEPHONE EXPENSE</u>	0	1/18		
Total 9800743699:						1,070.88	.00					
1575	VERIZON WIRELESS	9800842188		<u>TABLET SERVICE, 1/2/18-2/1/18 - ADMIN</u>	02/01/2018	3.89	.00	<u>01-6255 TELEPHONE</u>	0	1/18		
1575	VERIZON WIRELESS	9800842188		<u>TABLET SERVICE, 1/2/18-2/1/18 - PARKS</u>	02/01/2018	8.55	.00	<u>01-6255 TELEPHONE</u>	1004	1/18		
1575	VERIZON WIRELESS	9800842188		<u>TABLET SERVICE, 1/2/18-2/1/18 - BUILDING INSPECTION</u>	02/01/2018	32.64	.00	<u>01-6255 TELEPHONE</u>	1005	1/18		
1575	VERIZON WIRELESS	9800842188		<u>TABLET SERVICE, 1/2/18-2/1/18 - WATER</u>	02/01/2018	37.93	.00	<u>20-6255 TELEPHONE EXPENSE</u>	0	1/18		
1575	VERIZON WIRELESS	9800842188		<u>TABLET SERVICE, 1/2/18-2/1/18 - SEWER</u>	02/01/2018	47.26	.00	<u>21-6255 TELEPHONE EXPENSE</u>	0	1/18		
1575	VERIZON WIRELESS	9800842188		<u>TABLET SERVICE, 1/2/18-2/1/18 - P.I</u>	02/01/2018	9.63	.00	<u>25-6255 TELEPHONE EXPENSE</u>	0	1/18		
1575	VERIZON WIRELESS	9800842188		<u>EQUIPMENT CHARGES - BUILDING INSPECTION</u>	02/01/2018	309.99	.00	<u>01-6175 SMALL TOOLS</u>	1005	1/18		

City of Kuna

Payment Approval Report - City Council Approval

Report dates: 2/2/2018-2/15/2018

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
Total 9800842188:						449.89	.00					
Total VERIZON WIRELESS:						1,520.77	.00					
WESTERN RECORDS DESTRUCTION, INC.												
1633	WESTERN RECORDS DESTRUCTION, INC.	0383540		<u>RECORDS DESTRUCTION, 1/1/18-1/31/18 - ADMIN</u>	02/01/2018	7.00	.00	01-6052 CONTRACT SERVICES	0	1/18		
1633	WESTERN RECORDS DESTRUCTION, INC.	0383540		<u>RECORDS DESTRUCTION, 1/1/18-1/31/18 - P & Z</u>	02/01/2018	2.25	.00	01-6052 CONTRACT SERVICES	1003	1/18		
1633	WESTERN RECORDS DESTRUCTION, INC.	0383540		<u>RECORDS DESTRUCTION, 1/1/18-1/31/18 - WATER</u>	02/01/2018	6.63	.00	20-6052 CONTRACT SERVICES	0	1/18		
1633	WESTERN RECORDS DESTRUCTION, INC.	0383540		<u>RECORDS DESTRUCTION, 1/1/18-1/31/18 - SEWER</u>	02/01/2018	6.63	.00	21-6052 CONTRACT SERVICES	0	1/18		
1633	WESTERN RECORDS DESTRUCTION, INC.	0383540		<u>RECORDS DESTRUCTION, 1/1/18-1/31/18 - P.I.</u>	02/01/2018	2.49	.00	25-6052 CONTRACT SERVICES	0	1/18		
Total 0383540:						25.00	.00					
Total WESTERN RECORDS DESTRUCTION, INC.:						25.00	.00					
WEX BANK												
1234	WEX BANK	52971134		<u>FUEL, JAN.'18 - ADMIN</u>	01/31/2018	20.84	.00	01-6300 FUEL	0	1/18		
1234	WEX BANK	52971134		<u>FUEL, JAN.'18 - P & Z</u>	01/31/2018	6.24	.00	01-6300 FUEL	1003	1/18		
1234	WEX BANK	52971134		<u>FUEL, JAN.'18 - PARKS</u>	01/31/2018	289.03	.00	01-6300 FUEL	1004	1/18		
1234	WEX BANK	52971134		<u>FUEL, JAN.'18 - BUILDING INSPECTION</u>	01/31/2018	192.52	.00	01-6300 FUEL	1005	1/18		
1234	WEX BANK	52971134		<u>FUEL, JAN.'18 - WATER</u>	01/31/2018	417.32	.00	20-6300 FUEL	0	1/18		

Vendor #	Vendor Name	Invoice Number	PO #	Description	Invoice Date	Net Invoice Amount	Amount Paid	GL Account and Title	GL Activity #	GL Period	Date Paid	Voided
1234	WEX BANK	52971134		FUEL, JAN.'18 - SEWER	01/31/2018	54.54	.00	21-6300 FUEL	0	1/18		
1234	WEX BANK	52971134		FUEL, JAN.'18 - P.I	01/31/2018	107.49	.00	25-6300 FUEL	0	1/18		
Total 52971134:						1,087.98	.00					
Total WEX BANK:						1,087.98	.00					
Grand Totals:						400,915.27	156,589.40					

Dated: _____

Mayor: _____

City Council: _____

City Treasurer: _____

Report Criteria:

Detail report.

Invoices with totals above \$0.00 included.

Paid and unpaid invoices included.

**RESOLUTION NO. R12-2018
CITY OF KUNA, IDAHO**

A RESOLUTION OF THE CITY COUNCIL OF KUNA, IDAHO DECLARING THAT IT IS THE POLICY OF THE CITY OF KUNA TO ENCOURAGE EQUAL OPPORTUNITY IN HOUSING FOR ALL PERSONS REGARDLESS OF RACE, COLOR, RELIGION, GENDER OR NATIONAL ORIGIN.

LET IT BE KNOWN TO ALL PERSONS OF the City of Kuna that discrimination on the basis of race, color, religion, gender or national origin in the sale, rental, leasing or financing of housing or land to be used for construction of housing or in the provision of brokerage services is prohibited by Title VIII of the 1968 Civil Rights Act (Federal Fair Housing Law), including the Fair Housing Amendments Act Of 1988 that expands coverage to include disabled persons and families with children.

BE IT RESOLVED that within available resources the City of Kuna will assist all persons who feel they have been discriminated against because of race, color, religion, gender, national origin, disability or familial status to seek equity under federal and state laws by referring them to the U.S. Department of Housing and Urban Development, Office of Fair Housing and Equal Opportunity, Compliance Division.

BE IT FURTHER RESOLVED that the City of Kuna shall publicize this Resolution and through this publicity shall encourage owners of real estate, developers, and builders to become aware of their respective responsibilities and rights under the Federal Fair Housing Law and amendments and any applicable state or local laws or ordinances.

SAID PROGRAM will at a minimum include: 1) publicizing this resolution; 2) posting applicable fair housing information in prominent public areas; 3) providing fair housing information to the public; 4) preparing a fair housing assessment; and 5) declaring April as Fair Housing Month.

This Resolution shall take effect and be in force from and after its passage and approval.

PASSED BY THE COUNCIL of Kuna this 20TH day of February 2018.

APPROVED BY THE MAYOR of Kuna this 20TH day of February 2018.

Joe L. Stear, Mayor

ATTEST: _____
Chris Engels, City Clerk

**RESOLUTION NO. R13-2018
KUNA, IDAHO**

A RESOLUTION OF THE CITY COUNCIL OF KUNA, IDAHO ADOPTING A POLICY OF NONDISCRIMINATION ON THE BASIS OF DISABILITY.

WHEREAS, the Congress of the United States has passed and Section 504 of the Rehabilitation Act of 1973, which requires that “no otherwise qualified individual with a disability shall, solely on the basis of his or her disability, be excluded from participation in, be denied the benefits of, or be subject to discrimination under any program, services, or activities receiving federal assistance”; and

WHEREAS, the failure to comply with the terms and conditions of Section 504 of the Rehabilitation Act may cause the City of Kuna to lose its grant or eligibility for future grants.

NOW, THEREFORE, be it resolved by the Mayor and the Council of the City of Kuna, Idaho, as follows:

Section I. It is the policy of the City of Kuna that all programs, services and activities shall be accessible to, and usable by, individuals with disabilities, in accordance with Section 504 and the Americans with Disabilities Act (ADA).

Section II. The City of Kuna shall conduct a self-evaluation, which should include the assistance of a citizen review committee involving individuals with disabilities, of its programs, policies, procedures and facilities to determine those areas where discrimination may occur.

Section III. The City of Kuna shall, upon completion of the self-evaluation plan, make revisions, modifications, or other changes so as to fully comply with the letter and intent of Section 504 and the ADA.

Section IV. Further, the City of Kuna shall, where building modifications are required, develop and implement a transition plan for eliminating architectural barriers in a timely manner in accordance with Section 504 and the ADA.

Citizens may contact the city clerk, Chris Engels at 751 W. 4th Street, Kuna, ID 83634, (208) 387-7727 for assistance, or to answer questions regarding this policy during the hours of 8:00 AM to 5:00 PM, Monday through Friday.

PASSED BY THE COUNCIL of Kuna, Idaho this 20th day of February, 2018.

APPROVED BY THE MAYOR of Kuna, Idaho this 20th day of February, 2018.

Joe L. Stear, Mayor

ATTEST:

Chris Engels, City Clerk

**RESOLUTION NO. R14-2018
KUNA, IDAHO**

A RESOLUTION OF THE CITY COUNCIL FOR KUNA, IDAHO ESTABLISHING A GRIEVANCE PROCEDURE TO MEET THE REQUIREMENTS OF SECTION 504 OF THE REHABILITATION ACT AS AMENDED AND THE AMERICANS WITH DISABILITIES ACT OF 1990 (ADA).

Pursuant to federal law, the City of Kuna, as a recipient of an Idaho Community Development Block Grant (ICDBG) funds, certifies that all citizens shall have the right to submit a grievance on the basis of disability in policies or practices regarding employment, services, activities, facilities, or benefits provided by the City of Kuna.

When filing a grievance, citizens must provide detailed information to allow an investigation, including the date, location and description of the problem. The grievance should be in writing and should include the name, address and telephone number of the complainant. Upon request, alternative means of filing complaints, such as personal interviews or a tape recording, will be made available for individuals with disabilities upon request. The complaint should be submitted by the complainant or his/her designee as soon as possible, but no later than 30 days after the alleged violation. Complaints must be signed and sent to:

Coordinator: Chris Engels, City Clerk/ADA Coordinator
Address: 751 W. 4th Street, Kuna, ID 83634
Telephone Number: (208) 387-7727

Within 15 calendar days after receiving the complaint, Chris Engels will meet with the complainant to discuss the complaint and possible resolution. Within 15 calendar days after the meeting, Chris Engels, ADA Coordinator will respond in writing. Where appropriate, the response shall be in a format accessible to the complainant (such as large print or audio tape). The response will explain the position of the City of Kuna and offer options for resolving the complaint.

If the response by Chris Engels does not satisfactorily resolve the issue, the complainant or his/her designee may appeal the decision of the ADA coordinator. Appeals must be made within 15 calendar days after the receipt of the response. Appeals must be directed to the chief elected official or his or her designee.

Within 15 calendar days after receiving the appeal, the chief elected official or his or her designee will meet with the complainant to discuss the complaint and to discuss possible resolution. Within 15 calendar days after the meeting, the chief elected official or his or her designee will provide a response in writing. Where appropriate, the response shall be in a format accessible to the complainant. The response shall be accompanied by a final resolution of the complaint. The 504/ADA Coordinator shall maintain the files and records of the City of Kuna pertaining to the complaints filed for a period of three years after the grant is closed out.

Other Complaint Procedures

All individuals have a right to a prompt and equitable resolution. Individuals or classes of individuals who believe they have been subjected to discrimination based on disability have several ways to file a grievance:

- Use the grievance procedure provided by the public entity
- File a complaint with any agency that provides funding to the public entity
- File with one of the eight federal agencies designated in the Title II regulations

Under Title II, filing a grievance with the public entity's ADA coordinator, filing a complaint with a federal agency, or filing a lawsuit may be done independently of the others. Individuals are not required to file either a grievance or complaint to bring a lawsuit. Lawsuits may be filed at any time. However the individual has 180 days to file with the Department of Justice. The following are agencies where a Title I, Title II or Section 504 complaint can be filed:

For Title I Complaints (Employment) Private Entities Only

Equal Employment Opportunity Commission
<http://www.eeoc.gov/employees/howtofile.cfm>
1-800-669-4000
1-800-669-6820 (TTY)

For Title II Complaints Including Employment

Department of Justice (DOJ)
Civil Rights Division
Disability Rights Section – NYAV
950 Pennsylvania Avenue, NW
Washington, DC 20530
<http://www.justice.gov/crt/complaint/#two>
1-800-514-0301
1-800-514-0383 (TDD)

For Section 504 Complaints

Department of Housing and Urban Development (HUD)
Community Planning and Development
451 7th Street, SW
Washington, DC 20410
<http://www.hud.gov/offices/fheo/disabilities/sect504complaint.cfm>
1-202-708-1112
1-202-708-1455 (TTY)

PASSED BY THE COUNCIL of Kuna, Idaho this 20th day of February, 2018.

APPROVED BY THE MAYOR of Kuna, Idaho this 20th day of February, 2018.

Joe L. Stear, Mayor

ATTEST:

Chris Engels, City Clerk

RESOLUTION NO. R15-2018

A RESOLUTION OF THE CITY COUNCIL OF KUNA, IDAHO AUTHORIZING THE MAYOR TO EXECUTE THE CONTRACT WITH THE ADA COUNTY SHERIFF FOR SHERIFF'S COMMUNITY SERVICE (SCS) WORKERS FOR THE FISCAL YEAR 2017-2018 FOR THE CITY OF KUNA, IDAHO

BE IT HEREBY RESOLVED by the Mayor and Council of the City of Kuna, Idaho that the Mayor of the City is hereby authorized to execute the contract with the Ada County Sheriff to provide Sheriff's Community Service (SCS) Workers in the city of Kuna for the fiscal year commencing October 1, 2017 and ending September 30, 2018 pursuant to the terms of said contract.

PASSED BY THE COUNCIL of Kuna, Idaho this 20TH day of February 2018.

APPROVED BY THE MAYOR of Kuna, Idaho this 20TH day of February 2018.

Joe L. Stear, Mayor

ATTEST:

Chris Engels, City Clerk

**AGREEMENT FOR USE OF
SHERIFF'S COMMUNITY SERVICE (SCS) WORKERS**

This AGREEMENT is entered into by and between the Ada County, a duly formed and existing county pursuant to the laws and constitution of the State of Idaho (County), and _____ (Agency).

WHEREAS, the County operates the SCS program in which offenders perform community service for non-profit organizations within the boundaries of Ada and Canyon Counties;

WHEREAS, the Agency desires to utilize SCS workers to accomplish certain community service activities, as more thoroughly described below;

WHEREAS, both parties agree that utilization of SCS workers is a constructive means of working towards the betterment, welfare and beautification of the community while maximizing tax dollars.

NOW, THEREFORE, for and in consideration of the mutual covenants and promises contained herein, the parties agree as follows:

1. General Agency Information:

Agency Name: _____
Point of Contact: _____
Agency Address: _____
Email Address: _____
Telephone No.: _____ Cell: _____
Emergency Contact Person: _____
Emergency Contact Number: _____

2. Term and Termination:

a. The term of this Agreement shall begin on the date of execution and shall extend through September 30, 2018. The Agreement shall be subject to annual renewals upon the written mutual consent of the parties, with each renewal period to begin on October 1 and continue through September 30 of the following calendar year.

b. Each party has a right to terminate the Agreement upon no fewer than thirty (30) days' written notice.

3. Agency Responsibilities: During the term of this Agreement, the Agency shall be responsible for the following:

- a. Coordinating the use of SCS workers with the Ada County Sheriff's Office Alternative Sentencing Case Management staff.
- b. Providing the Ada County Sheriff's Office with an inclusion and exclusion list along with a scope of services to be provided by each community service worker along with the current capacity of the program.
- c. Maintaining communication with the designated SCS liaison on a regular basis.
- d. Providing all training on safety rules, participation regulations and equipment usage to all SCS workers as necessary, and upon request by the County, providing reasonable documentation that such training has been completed. At a minimum, Agency or the work site must provide the following safety equipment (if applicable to the type of work performed): eye protection, ear protection, face protection, gloves, and all other items reasonable necessary to maintain and comply with safety guidelines. SCS workers are not to perform any labor tasks involving the direct use of heavy machinery including, but not limited to:
 - Forklifts;
 - Wood chippers;
 - Trash compactors; or
 - Construction equipment.

All SCS labor is to be performed on the ground. SCS workers are not permitted to complete any labor above ground level through the use of a ladder, scissor lift or lift basket.

- e. Immediately contacting the Ada County Sheriff's Office if any SCS participant causes disruption, fails to cooperate, or leaves the work site without permission.
- f. Immediately reporting all injuries to the Ada County Sheriff's Office both vocally and in writing, in a form to be provided to the SCS worker and the Agency by the County.
- g. All SCS workers are to remain on location at the Agency at all times during their scheduled shift, unless given the express prior consent of the County to do otherwise.
- h. Attending regularly scheduled safety briefings hosted by the Ada County Sheriff's Office along with the Ada County Risk Management Division.
- i. Accurately recording and tracking the SCS hours served by the SCS worker on the County-issued timesheet. The Agency shall ensure that the SCS worker is signed in and out by a designated employee each time they report to serve their SCS.
- j. Providing updated signature cards to the SCS liaison prior to a new SCS supervisor signing off on SCS workers' timesheets.
- k. Providing a safe work environment in accordance with applicable laws that is free from harassment, criminal activity, discrimination, etc.

- l. Creating and maintaining a formal, written complaint process for SCS workers. Agency shall submit any such written complaints to the Ada County Sheriff's Office immediately.
- m. Ensuring that Agency personnel have no personal relationships with SCS workers. In the event any Agency personnel knows a SCS worker other than in the capacity of SCS work performed hereunder, Agency shall immediately notify the Ada County Sheriff's Office of the nature of the relationship in writing.

4. County Responsibilities: During the term of this Agreement, the County shall be responsible for the following:

- a. As available, providing SCS workers to Agency on an as needed basis. SCS workers assigned to the Agency will be screened accordingly to the Agency's inclusion and exclusion criteria and capable of performing basic manual labor activities.
- b. Providing supervisory, policy and security information to the Agency personnel who work with the SCS workers, as requested.
- c. Providing workers' compensation insurance for each SCS worker.
- d. Responding "on-site" as requested by the Agency to address SCS worker issues, handle uncooperative SCS workers or otherwise assist the Agency with controlling and managing SCS workers.

5. Other Terms and Conditions:

- a. Workers' compensation premiums are based on experience ratings. In an effort to minimize expense related to workers' compensation claims, the Agency and County shall conduct a quarterly review of workers' compensation claims received the County that are directly related to the Agency's use of SCS workers. If the incurred claims cost attributable to SCS laborers assigned to the Agency exceed the annual premium of the County (as determined by Ada County Risk Management), the County will advise the Agency of such increase and the Agency will be offered the option to:
 - i. cease use of SCS workers immediately; or
 - ii. pay a fee set by the County to reimburse the County of the increased workers' compensation premiums.
- b. In an effort to proactively address safety issues, the County and the Agency will conduct, at a minimum, annual reviews for the type of work to be performed by SCS workers while working for the Agency. This review is designed to assess risk, safety concerns, and to review the Agency's lost prevention efforts. Loss prevention efforts will include, but are not limited to, a review of the following: job site visits, review/inspection of tools and safety gear utilized by SCS workers, review of all safety training and instruction provided by the Agency, claims experience for the Agency, accident reviews for the

Agency and review of all documentation of all loss prevention efforts undertaken or extended by the Agency.

- c. **Indemnification (County).** County shall defend, indemnify, and hold Agency, its officers, agents, and employees harmless for injuries to persons or property resulting from the wrongful acts of County, its officers, agents or employees in performing the duties described in this Agreement. Such indemnification and defense shall be limited to only those claims, and only to the extent that, County itself could be liable under state and federal statutes, regulations, common law, and other law. County's indemnification and defense of Agency herein is further limited by all defenses, burdens of proof, immunities, and limitations on damages to which County would be entitled if the claims were asserted against County.
- d. **Indemnification (Agency).** Agency shall defend, indemnify, and hold the County, its officers, agents, and employees harmless for all claims, losses, actions, damages, judgments, costs, expenses, and/or injuries to persons or property arising out of or in connection with any activities, acts, or omissions of Agency, its officers, agents or employees. In the event County is alleged to be liable on account of any activities, acts, or omissions of Agency, its officers, agents or employees, then Agency shall defend such allegations through counsel chosen by County and Agency shall bear all costs, fees, and expenses of such defense, including, but not limited to, all attorney fees and expenses, court costs, and expert witness fees and expenses.
- e. **Independent Contractor.** Agency is, and shall perform this Agreement as, an independent contractor and, as such, shall have and maintain complete control over all its employees and operations, except as otherwise provided herein. Neither Agency, nor anyone employed by it, shall represent, act, purport to act, or be deemed to be the agent, representative, employee, or servant of County. As an independent contractor, Agency shall be solely responsible for payment of wages, all federal and state withholding taxes, liability insurance, and such compensation insurance and such other obligations as are the legal responsibility of an employer.
- f. **Modification.** Except as may otherwise be provided herein, provisions of this Agreement may be modified, amended or waived only by a written document specifically identifying this Agreement and signed by an authorized representative of each party.
- g. **Waiver.** The failure of either party at any time to require performance by the other of any provision and any waiver by any party of any breach of any provision of this Agreement shall not be construed as a waiver of any continuing or succeeding breach, a waiver of the provision itself, or a waiver of any right under this Agreement.

- h. **Costs and Fees.** If either party brings any action for any relief against the other, declaratory or otherwise, arising out of this Agreement, use of the Premises, or enforcement of the terms hereof, the prevailing party shall be entitled to recover any and all reasonable court costs and attorney's fees.
- i. **Survival.** All covenants, conditions, indemnifications and other elements in this Agreement which may involve performance subsequent to any termination or expiration of this Agreement or which cannot be reasonably ascertained or fully-performed until after termination or expiration of this Agreement shall survive.
- j. **Notices.** All notices required to be given hereunder shall be in writing and shall be deemed delivered immediately if hand-delivered and 48 hours after depositing the same in the U.S. mail, certified or registered, postage prepaid, addressed to the respective addresses set forth below, or at such other addresses as the parties may from time to time notify the other in writing.

County:
DeLanie Valentine
7180 Barrister Drive
Boise, ID 83704

Agency:

- k. **Governing Law.** This Agreement shall be construed in accordance with and governed by the laws of the State of Idaho.
- l. **Entire Agreement.** This Agreement constitutes the entire agreement of the parties and all other agreements, whether oral or written, relative to SCS workers/ services only which are not contained herein are hereby superseded and of no force and effect.

/// INTENTIONALLY LEFT BLANK ///

IN WITNESS WHEREOF, the parties have hereunto executed this Agreement to be effective as herein provided.

DATED this ____ day of _____, 20__.

Board of Ada County Commissioners

By: _____
David L. Case, Commissioner

By: _____
Jim Tibbs, Commissioner

By: _____
Rick Visser, Commissioner

ATTEST:

Christopher D. Rich, Ada County Clerk

DATED this ____ day of _____, 20__.

Ada County Sheriff's Office

By: _____
Stephen Bartlett, Sheriff



City of Kuna

City Council Memo

P.O. Box 13
Kuna, ID 83634
Phone: (208) 922-5274
Fax: (208) 922-5989
Kunacity.id.gov

To: **Kuna City Council**

Case Number: 18-03-FP (Final Plat) – Silver Trail Sub. No. 3

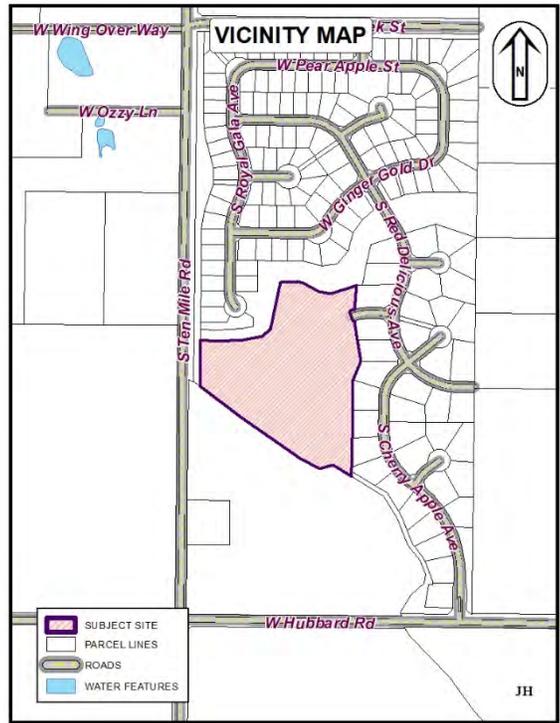
Location: South of W. Mason Creek St., North of W. Hubbard Rd. & East of S. Ten Mile Rd., Kuna, ID 83634

Planner: Jace Hellman, Planner II

Meeting Date: February 20, 2018

Applicant/
Owner: DB Development, LLC – Justin Blackstock

Representative: David Crawford, B&A Engineers, Inc.
5505 W Franklin Rd
Boise, ID 83705
208-343-3381
dacrawford@baengineers.com



A. General Project Facts:

1. The applicant is requesting final plat approval for Silver Trail Subdivision No. 3 which has twenty-nine (29) residential building lots and five (5) common lots on a total of approximately 9.13 acres (Ada County Assessor Parcel No. S1311336210).

B. Staff Analysis:

1. In accordance with Kuna City Code (KCC) Title 6 Subdivision Regulations, this application seeks final plat approval for Silver Trail Subdivision No. 3. The proposed final plat is in substantial conformance with the approved preliminary plat.
2. Staff has determined that the proposed final plat for Silver Trail Subdivision No. 3 is in substantial conformance with the approved preliminary plat.

C. Applicable Standards:

1. Kuna City Code Title 6 Subdivision Regulations.
2. City of Kuna Comprehensive Plan and Future Land Use Map.
3. Idaho Code, Title 50, Chapter 13, Plats and Vacations.

D. Conditions of Approval:

1. Applicant shall correct any technical items and make any requested changes on the final plat as recommended by Kuna Public Works Staff.
2. If any revisions are made, the applicant shall provide Planning and Zoning Staff with a revised copy of the final plat.
3. Applicant shall secure all signatures on the final plat check-off list prior to requesting Kuna City Engineer's signature on the final plat mylar.

received
1.17.18



City of Kuna
Planning & Zoning
Department
P.O. Box 13
Kuna, Idaho 83634
208.922.5274
Fax: 208.922.5989
Website: www.kunacity.id.gov

Final Plat Checklist

A final plat application does not require a public hearing. It will be placed on the City Council agenda as a regular agenda item.

Project name: Silver Trail Subdivision No. 3	Applicant: David Crawford B&A Engineers, Inc.
--	---

All applications are required to contain one copy of the following:

Applicant (✓)	Description	Staff (✓)
✗	Completed and signed Commission & Council Review Application.	✗
✗	All pages of the proposed Final Plat.	✗
✗	Approved final engineering construction drawings for streets, water, sewer, sidewalks, pressure irrigation and other public improvements.	✓
✗	Approved Findings of Fact, Conclusions of Law for Preliminary Plat	✗
✗	Proof of current ownership of the real property included in the proposed final plat and written consent of the record owners of the final plat (Affidavit of Legal Interest) for all interested parties involved.	✓
✗	Such other information as deemed necessary to establish whether or not all proper parties have signed and/or approved said final plat.	✓
✗	A statement of conformance with the following information: ◊ The approved preliminary plat and meeting all requirements or conditions. ◊ The acceptable engineering practices and local standards.	✗
✗	Any proposed restrictive covenants and/or deed restrictions, and homeowners' association documents.	✗
✗	The final plat shall include and be in compliance with all items required under title 50, chapter 13 of the Idaho Code.	✓

Note: Only one copy of the above items need to be submitted when applying for multiple applications.

This application shall not be considered complete (nor will a meeting date be set) until staff has received all required information. Once the application is deemed complete, staff will notify the applicant of the scheduled hearing date, fees due, additional copies needed, etc.

Exhibit
A2
2010

received
1.17.18



City of Kuna
Planning & Zoning
Department
P.O. Box 13
Kuna, Idaho 83634
208.922.5274
Fax: 208.922.5989
Website: www.kunacity.id.gov

Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

*Please submit the appropriate checklist (s) with application

Type of Review (check all that apply):

- Annexation
- Appeal
- Comprehensive Plan Amendment
- Design Review
- Development Agreement
- Final Planned Unit Development
- Final Plat
- Lot Line Adjustment
- Lot Split
- Planned Unit Development
- Preliminary Plat
- Rezone
- Special Use
- Temporary Business
- Vacation
- Variance

For Office Use Only	
File Number (s)	18-03-FP
Project name	Silver Trail sub No.3
Date Received	1.17.18
Date Accepted/Complete	
Cross Reference Files	
Commission Hearing Date	
City Council Hearing Date	

Contact/Applicant Information

Owners of Record: <u>DB Development, LLC. Justin Blackstock-Manager</u>	Phone Number: _____
Address: <u>2228 W. Piazza St.</u>	E-Mail: _____
City, State, Zip: <u>Meridian, ID 83642</u>	Fax #: _____
Applicant (Developer): <u>David Crawford B&A Engineers, Inc.</u>	Phone Number: <u>208-343-3381</u>
Address: <u>5505 W. Franklin Rd.</u>	E-Mail: <u>dacrawford@baengineers.com</u>
City, State, Zip: <u>Boise, ID 83705</u>	Fax #: _____
Engineer/Representative: <u>Joseph D. Canning B&A Engineers, Inc.</u>	Phone Number: _____
Address: <u>Same as applicant</u>	E-Mail: _____
City, State, Zip: _____	Fax #: _____

Subject Property Information

Site Address: _____
Site Location (Cross Streets): <u>South of W. Mason Creek St., North of W. Hubbard Rd. & East of S. Ten Mile Rd.</u>
Parcel Number (s): <u>S1311336210</u>
Section, Township, Range: <u>Sec. 11 T2N R1W</u>
Property size : <u>9.13 ac</u>
Current land use: <u>N/A</u> Proposed land use: <u>Residential</u>
Current zoning district: <u>R-6</u> Proposed zoning district: <u>no change</u>

Exhibit
A2a

Project Description

Project / subdivision name: Silbver Trail Subdivision No. 3

General description of proposed project / request: City approval & signature on Final Plat.

Type of use proposed (check all that apply):

Residential _____

Commercial _____

Office _____

Industrial _____

Other _____

Amenities provided with this development (if applicable): _____

Residential Project Summary (if applicable)

Are there existing buildings? Yes No

Please describe the existing buildings: _____

Any existing buildings to remain? Yes No

Number of residential units: _____ Number of building lots: 29

Number of common and/or other lots: 5

Type of dwellings proposed:

Single-Family _____

Townhouses _____

Duplexes _____

Multi-Family _____

Other _____

Minimum Square footage of structure (s): _____

Gross density (DU/acre-total property): 3.72 du/ac Net density (DU/acre-excluding roads): _____

Percentage of open space provided: _____ Acreage of open space: _____

Type of open space provided (i.e. landscaping, public, common, etc.): common & drainage

Non-Residential Project Summary (if applicable)

Number of building lots: _____ Other lots: _____

Gross floor area square footage: _____ Existing (if applicable): _____

Hours of operation (days & hours): _____ Building height: _____

Total number of employees: _____ Max. number of employees at one time: _____

Number and ages of students/children: _____ Seating capacity: _____

Fencing type, size & location (proposed or existing to remain): _____

Proposed Parking:

a. Handicapped spaces: _____ Dimensions: _____

b. Total Parking spaces: _____ Dimensions: _____

c. Width of driveway aisle: _____

Proposed Lighting: _____

Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.): _____

Applicant's Signature:  B&A Engineers, Inc. Date: 1/16/18

B & A Engineers, Inc.

Consulting Engineers & Surveyors
5505 W. Franklin Rd. Boise, Id. 83705
Ph. 208-343-3381 Fax 208-342-5792

received
1.17.18

January 16, 2018

City of Kuna

751 W. 4th St.
Kuna, Idaho 83634

Subject: **Final Plat Approval Request for – Silver Trail Subdivision No. 3**

City Staff:

We are pleased to present the final plat application and supporting documents with a request for the applicable City signatures for the final plat of Silver Trail Subdivision No. 3.

This 3rd Phase of the development has been completed in substantial conformance with the approved preliminary plat.

Based on limited field observations and information provided by others, we believe that all construction has been completed in substantial conformance with the approved construction plans.

On behalf of the applicant, as their representative, we respectfully request the signatures of the City for this Subdivision.

Sincerely,



David Crawford
B&A Engineers, Inc.

Re-record to correct legal.

34601702694 nb

SPECIAL WARRANTY DEED

received
1.17.18

FOR VALUE RECEIVED, the receipt and sufficiency of which is hereby acknowledged, **Vanderkooy Farm LLC**, an Idaho limited liability company whose address is **1977 E Overland Rd, Meridian, ID 83642** (the "Grantor"), does hereby grant, bargain, sell and convey unto **DB Development LLC**, a Delaware limited liability company, whose address is **2228 W. Piazza St, Meridian, Idaho 83646**, (the "Grantee"), the following described premises (the "Premises"):

See the attached Schedule I.

TO HAVE AND TO HOLD the Premises, with their appurtenances unto the Grantee, and its successors and assigns forever.

TOGETHER WITH all and singular the improvements, hereditaments, and appurtenances thereon and thereunto belonging or in anywise appertaining, and the reversion or reversions, remainders, rents, issues and profits thereof; and all of the estate, title, interest, claim and demand whatsoever of the Grantor, either in law or in equity, of, in and to the above-described Premises with said improvements, hereditaments and appurtenances.

Grantee is relying solely upon Grantee's inspections as to the condition of the Premises. Grantor and Grantor's agents, employees and attorneys are not making, have not made and expressly disclaim any representations or warranties, express or implied, with respect to any aspect, feature or condition of the Premises, including, without limitation, the existence of hazardous waste, or the suitability of the Premises for Grantee's intended use. Grantee shall independently verify all information regarding any aspect or feature of the Premises provided by Grantor. Grantor does not guaranty the accuracy of any information provided by Grantor, its agents, employees or attorneys. Grantee is purchasing the Premises in "AS IS" "WHERE IS" condition, subject to all faults (whether they be physical, environmental or otherwise), including both latent and patent defects.

Grantor makes no covenants or warranties with respect to title, express or implied, other than as expressly stated hereinafter. Grantor is the owner of the Premises and has not conveyed the same estate to any person other than Grantee and that such estate is at the time of the





Re-record to correct
legal description.

34601702694 nb

SPECIAL WARRANTY DEED

FOR VALUE RECEIVED, the receipt and sufficiency of which is hereby acknowledged, **Vanderkooy Farm LLC, an Idaho limited liability company** whose address is **1977 E Overland Rd, Meridian, ID 83642** (the "Grantor"), does hereby grant, bargain, sell and convey unto **DB Development LLC, a Delaware limited liability company**, whose address is **2228 W. Piazza St, Meridian, Idaho 83646**, (the "Grantee"), the following described premises (the "Premises"):

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Grantee is relying solely upon Grantee's inspections as to the condition of the Premises. Grantor and Grantor's agents, employees and attorneys are not making, have not made and expressly disclaim any representations or warranties, express or implied, with respect to any aspect, feature or condition of the Premises, including, without limitation, the existence of hazardous waste, or the suitability of the Premises for Grantee's intended use. Grantee shall independently verify all information regarding any aspect or feature of the Premises provided by Grantor. Grantor does not guaranty the accuracy of any information provided by Grantor, its agents, employees or attorneys. Grantee is purchasing the Premises in "AS IS" "WHERE IS" condition, subject to all faults (whether they be physical, environmental or otherwise), including both latent and patent defects.

Grantor makes no covenants or warranties with respect to title, express or implied, other than as expressly stated hereinafter. Grantor is the owner of the Premises and has not conveyed the same estate to any person other than Grantee and that such estate is at the time of the

GRANTEE

DB Development, LLC

Justin Blackstock
By: Justin Blackstock

Its: Manager

STATE OF IDAHO)
): ss.
County of Ada)

On the 30 day of March, 2017, before me, the undersigned notary public in and for said state, personally appeared Justin Blackstock, known or identified to me to be the person whose name is subscribed to the within instrument as the Manager of DB Development, LLC and acknowledged to me that he executed the same as such Manager.

IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year first above written.

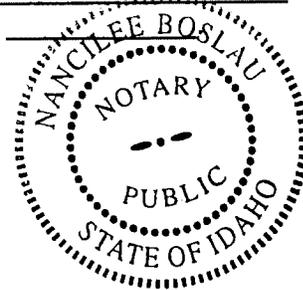
Nancilee Boslau

Notary Public for State of Idaho

Residing at _____

Commission expires: _____

Residing in Boise, Idaho
Expiration Date: 11/12/2022



SCHEDULE I**Order No.:** 34601702694**For ARN/Parcel ID(s): S1311336210**

A parcel of land being a portion of the Southwest quarter of Section 11, Township 2 North, Range 1 West, Boise Meridian, City of Kuna, Ada County, Idaho, being more particularly described as follows:

Commencing at the Southwest corner of Section 11, Township 2 North, Range 1 West, Boise Meridian; thence North 00°36'04" East, 1,089.00 feet along the West line of said Section 11 to the REAL POINT OF BEGINNING of this description; thence North 00°36'04" East, 179.48 feet along said West line to a point on the boundary of Applewood Subdivision No. 1, along the boundary of Applewood Subdivision No. 1 the following; thence South 86° 04'11" East, 150.91 feet to a point; thence North 87°27'38" East, 120.00 feet to a point; thence North 78°44'06" East, 84.10 feet to a point; thence North 50°43'15" East, 51.54 feet to a point; thence North 12°15'42" East, 214.43 feet to a point; thence North 77°28'32" East, 12.41 feet to a point; thence North 88° 51'44" East, 63.43 feet to a point; thence South 77°08'10" East, 28.73 feet to a point; thence South 61°27'26" East, 80.50 feet to a point; thence South 78°58'49" East, 55.28 feet to a point; thence North 70°53'26" East, 122.90 feet to a point; thence South 05°45'57" West, 111.11 feet to a point; thence 23.99 feet along a curve to the left, said curve having a radius of 325.00 feet, a delta angle of 04°13'46", a tangent of 12.00 feet, and a chord bearing South 73°06'19" West, 23.99 feet to a point on a curve; thence South 19°00'34" East, 50.00 feet to a point; thence 6.07 feet along a curve to the right, said curve having a radius of 275.00 feet, a delta angle of 01° 15'54", a tangent of 3.04 feet, and a chord bearing North 71°37'23" East, 6.07 feet to a point on a curve; thence South 09°38'52" East, 182.97 feet to a point; thence South 22°24'22" West, 92.47 feet to a point; thence South 00°59'15" West, 434.83 feet to a point; Leaving the boundary of Applewood Subdivision No. 1; thence North 58°17'53" West, 98.00 feet to a point; thence South 74°50'07" West, 63.11 feet to a point; thence North 63°11'53" West, 97.36 feet to a point; thence North 55°00'53" West, 326.22 feet to a point; thence North 52°43'53" West, 260.53 feet to a point; thence North 71°39'53" West, 57.95 feet to the REAL POINT OF BEGINNING of this description.

Excepting therefrom that parcel of land conveyed to Ada County Highway District by Warranty Deed recorded August 30, 2007, as Instrument No. 107122654, records of Ada County, Idaho, described as follows:

A parcel of land being a portion of Section 11, Township 2 North, Range 1 West, Boise Meridian, City of Kuna, Ada County, Idaho, being more particularly described as follows:

Commencing at the Southwest corner of the SW 1/4 of Section 11, T2N, R1W, B.M., thence N 00°36'21" E, 1089.00 feet along the West line of the SW 1/4 of said Section 11 to the REAL POINT OF BEGINNING of this description; thence N 00°36'21" E, 216.85 feet along said West line to a point; thence S 85°01'39" E, 48.14 feet to a point; thence S 00°36'21" W, 228.53 feet to a point; thence N 71°39'39" W, 50.39 feet to the REAL POINT OF BEGINNING.

SCHEDULE I**Order No.:** 34601702694**For APN/Parcel ID(s):** **S1311336210**

A Parcel of Land situate in the West half of the Southwest quarter of Section 11, Township 2 North, Range 1 West, Boise Meridian, City of Kuna, Ada County, Idaho, being more particularly described as follows:

Commencing at the West quarter corner of said Section 11; thence South 00°36'21" West, 1,389.30 feet along the Westerly boundary of the Southwest quarter of said Section 11 and the centerline of North Ten Mile Road to a point which bears North 00°36'21" East, 1,268.48 feet from the Southwest corner of said Section 11; thence South 86°04'11" East, 48.08 feet to the Easterly right-of-way of North Ten Mile Road; thence Continuing South 86°04'11" East, 30.05 feet to the Southwesterly boundary of Applewood Subdivision No. 1 as shown in Book 100 of Plats at Pages 12941 through 1294 Records of Ada County, Idaho, which is also the POINT OF BEGINNING.

thence

Along the Southerly boundary of said Applewood Subdivision No. 1 the following courses and distances:

South 86°04'11" East, 72.76 feet; North 87°27'38" East, 120.00 feet;
North 78°44'06" East, 84.10 feet; North 50°43'15" East, 51.54 feet;
North 12°15'42" East, 214.43 feet; North 77°28'32" East, 12.41 feet;
North 88°51'44" East, 63.43 feet; South 77°08'10" East, 28.73 feet;
South 61°27'26" East, 80.50 feet; South 78°58'49" East, 55.28feet;
North 70°59'26" East, 122.90 feet;

thence

Along the Westerly boundary of said Applewood Subdivision No. 1 the following courses and distance:

South 05°45'57" West, 111.11 feet to the Northerly right-of-way of West McIntosh Street;
23.99 feet along a non-tangent curve deflecting to the left, having a radius of 325.00feet, a central angle of 04°13'46", a long chord bearing of South 73°06'19" West, and a long chord distance of 23.99 feet along the Northerly right-of-way of West McIntosh Street;
South 19°00'34" East, 50.00 feet to the Southerly right-of-way of West McIntosh Street;
6.07 feet along a non-tangent curve deflecting to the right, having a radius of 275.00 feet, a central angle of 01°15'54", a long chord bearing of North 71°37'23" East, and a long chord distance of 6.07 feet along the Southerly right-of-way of West McIntosh Street;
South 09°38'52" East, 182.97 feet;
South 22°24'22" West, 92.47 feet;
South 00°59'15" West, 434.83 feet;

thence

North 58°17'53" West, 98.01 feet;

thence

South 74°50'07" West, 63.11 feet;

thence

North 63°11'53" West, 97.36 feet;

thence

North 55°00'53" West, 326.22 feet;

thence

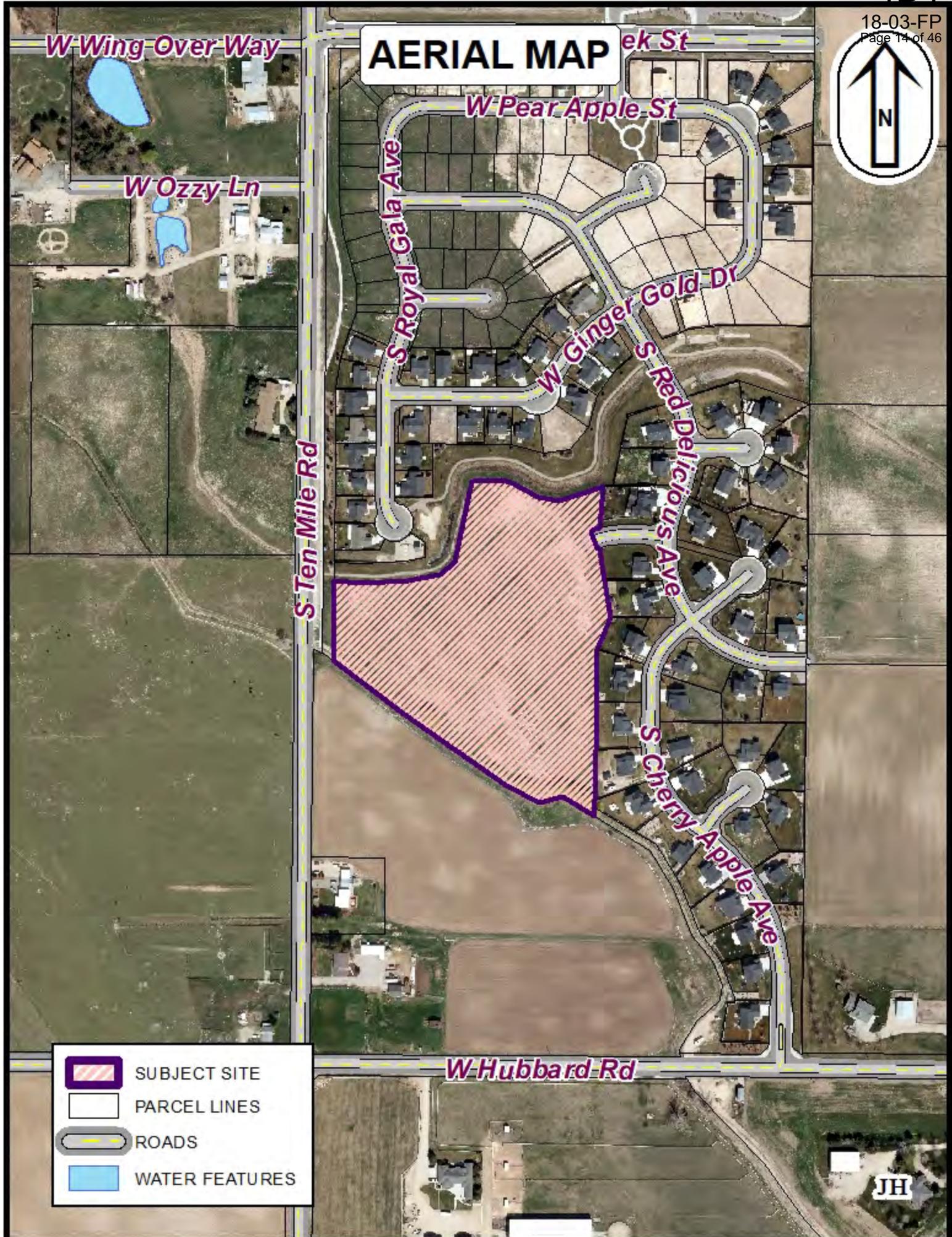
SCHEDULE I
(continued)

North 52°43'53" West, 232.10 feet to the Easterly boundary of Lot 1 of Block 4 of said Applewood
Subdivision No. 1;
thence

North 00°36'21" East, 209.56 feet along the Easterly boundary of Lot 1 of Block 4 of said Applewood
Subdivision No 1 to the POINT OF BEGINNING.



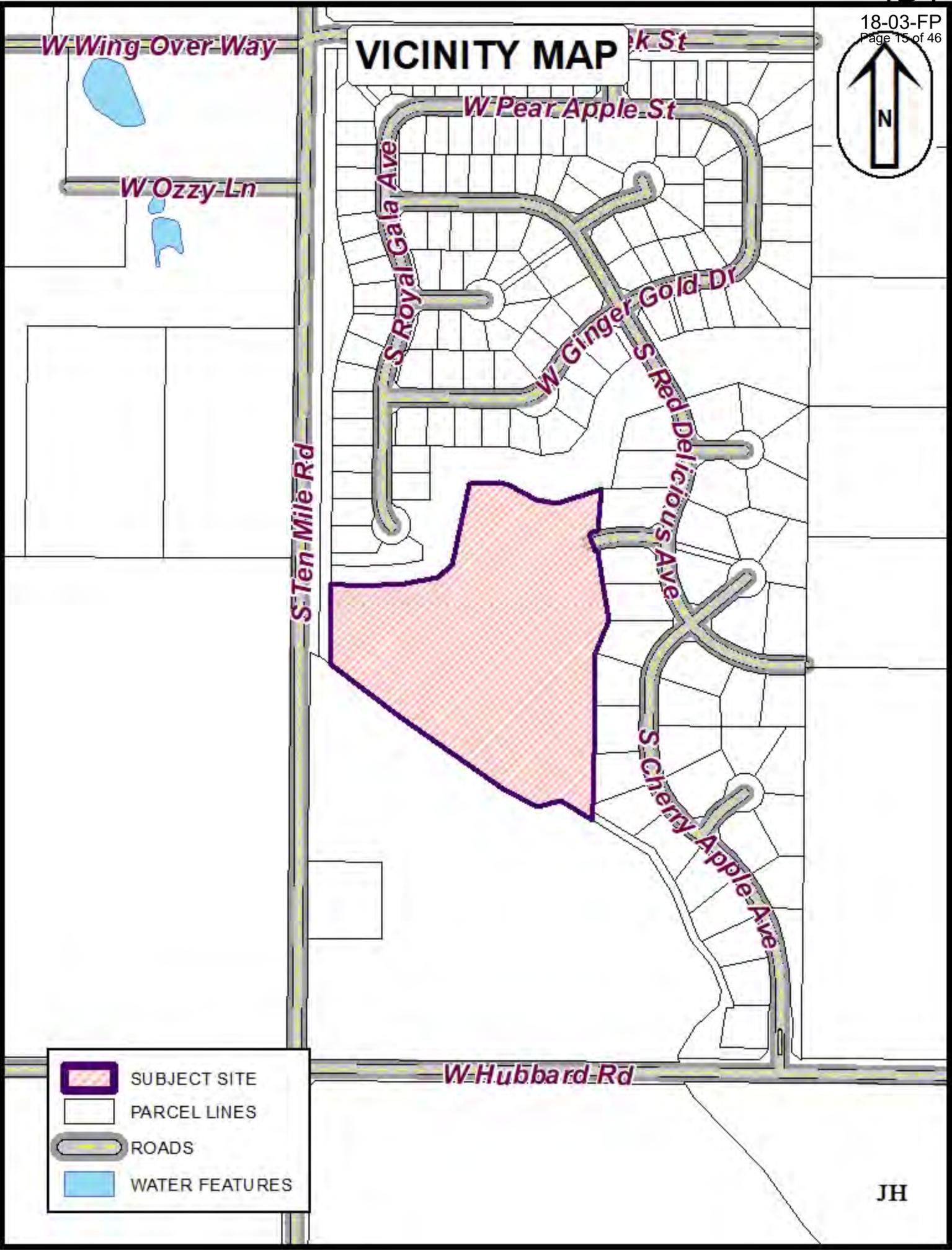
AERIAL MAP



	SUBJECT SITE
	PARCEL LINES
	ROADS
	WATER FEATURES

JH

VICINITY MAP



-  SUBJECT SITE
-  PARCEL LINES
-  ROADS
-  WATER FEATURES

ADA COUNTY RECORDER Christopher D. Rich	2015-010835
BOISE IDAHO Pgs=86 VICTORIA BAILEY	02/11/2015 03:10 PM
TITLEONE BOISE	\$265.00

received
1.17.18

**DECLARATION OF
COVENANTS, CONDITIONS AND RESTRICTIONS
FOR
SILVER TRAIL SUBDIVISION**

THIS DECLARATION is made effective as of February 2nd, 2015, by Corey Barton Homes, Inc., an Idaho corporation dba CBH Homes (“Declarant” or “Owner” or “Grantor”).

ARTICLE I: RECITALS

1.1 Declarant is the owner of all of the real property located in the County of Ada, State of Idaho (the “County”), described in the attached Exhibit “A” (the “Property”), incorporated herein by this reference.

1.2 The purpose of this Declaration is to set forth the basic restrictions, covenants, limitations, easements, conditions, and equitable servitudes (collectively “Restrictions”) that apply to the Property. The Restrictions are designed to preserve the Property’s value, desirability and attractiveness, to ensure a well-integrated high-quality development, and to guarantee adequate maintenance of the Common Area, and the Improvements located thereon, in a cost effective and administratively efficient manner.

ARTICLE II: DECLARATION

Grantor declares that the Property shall be held, sold, conveyed, encumbered, hypothecated, leased, used, occupied, and improved subject to the following terms, covenants, conditions, easements, and restrictions, all of which are declared and agreed to be in furtherance of a general plan for the protection, maintenance, subdivision, improvement, and sale of the Property, and to enhance the value, desirability, and attractiveness of the Property. The terms, covenants, conditions, easements, and restrictions set forth herein:



Architectural Committee. This Section shall not apply to passive solar energy systems incorporated into the approved design of a residential structure.

4.19 Vehicles. The use of all vehicles, including, but not limited to, trucks, automobiles, bicycles, motorcycles, snowmobiles, aircraft, and boats, shall be subject to all Association Rules, which may prohibit or limit the use thereof within the Subdivision. No overnight on-street parking shall be permitted except where expressly designated for parking use. No parking bays shall be permitted in any side, front, or backyard. Vehicles parked on a driveway shall not extend into any sidewalk, bike path or pedestrian path. No motorized vehicle or device shall be permitted on any Waterway or in the Common Area unless such vehicle is engaged in an emergency procedure.

4.20 Animals/Pets. No animals, birds, insects, pigeons, poultry or livestock shall be kept on the Property. This Section does not apply to the keeping of up to two (2) domesticated dogs, up to two (2) domesticated cats, and other household pets, which do not unreasonably bother or constitute a nuisance to others. Without limiting the generality of the foregoing, consistent and/or chronic barking by dogs shall be considered a nuisance. Each dog in the Subdivision shall be kept on a leash, curbed, and otherwise controlled at all times when such animal is off the Building Lot of its owner. Such owner shall clean up any animal defecation immediately from the Common Area or public right-of-way. Failure to do so may result, at the Board's discretion, with a Limited Assessment levied against such animal owner or the Owner of the Building Lot in which such animal is being kept. No dog or cat shall be allowed in any Waterway. The construction of dog runs or other pet enclosures shall be subject to Architectural Committee approval, shall be appropriately screened, and shall be maintained in a sanitary condition. Dog runs or other pet enclosures shall be placed a minimum of ten (10) feet from the side and twenty-five (25) feet from the rear Building Lot line, shall not be placed in any front yard of a Building Lot, shall be screened from view so as not to be visible from the Common Area or an adjacent Building Lot, and must be approved by the Architectural Committee.

4.21 Landscaping. The Owner of any Building Lot shall sod and landscape such Building Lot in conformance with the landscape plan approved by the Architectural Committee. The Owner must submit a landscaping plan for approval by the Architectural Committee.

The following restrictions apply with respect to landscaping subject to increased requirements established by the Architectural Committee:

- A. Front Yard Landscaping: the front yard of all Building Lots must meet the following minimum requirements:

All landscaping is to be completed within thirty (30) days from actual occupancy;

It must be fully sodded within thirty (30) days from occupancy;

It must contain at least 2 trees with a minimum of 2" caliper;

It must contain at least five, one gallon plants/shrubs; and

An Automatic Sprinkler System (covering all of the yards) must be completed within thirty (30) days of occupancy.

- B. Back Yard and Side Yard Landscaping: All back and side yard landscaping must be completed within six (6) months of occupancy unless it is not fenced with approved fencing and in that case shall comply with Front Yard Landscaping completion date requirements.

4.22 Water Rights Appurtenant to Subdivision Lands. Within one hundred twenty (120) days of the date of the recording of this Declaration, Declarant shall transfer from the Property subject to this Declaration, and within the boundaries of an irrigation entity, as defined in Section 31-3805, Idaho Code, all water rights and assessment obligations appurtenant to the Property to the Association or the appropriate district providing pressurized irrigation and domestic water to Silver Trail.

4.23 Commencement of Construction. Any owner of a Building Lot, shall, within a period of one (1) year following the date of purchase of a Building Lot from Grantor, commence the construction of a dwelling structure in compliance with the restrictions herein, and such construction shall be completed within six (6) months thereafter. The term "commence the construction," as used in this Section, shall require beginning and ongoing physical construction of the dwelling structure upon such Building Lot. In the event any Owner shall fail or refuse to commence the construction of a dwelling structure within said one (1) year period, Grantor may, at Grantor's option, following the expiration of said one (1) year period, repurchase said Building Lot from such Owner or the then Owner of such Building Lot at a repurchase price equivalent to the money actually paid to Grantor, less an amount equivalent to ten (10) percent thereof. In the event Grantor shall exercise Grantor's option to repurchase such Building Lot, upon tender of said repurchase price, Owner or the then Owner of such Building Lot shall make, execute, and deliver to Grantor a deed re-conveying said Building Lot, free and clear of all liens and encumbrances, which deed shall, by virtue of the notice provided hereby, be binding upon all persons who may, at any time hereafter, own or claim any right, title, or interest in such Building Lot, and the successors in title thereto, whether acquired by voluntary act or through operation of law.

4.24 Exemption of Grantor and for Common Area. Notwithstanding all other provisions in this Declaration, the Articles, Bylaws or any other documents, Grantor is and shall at all times be exempt from governance by the Association and/or Architectural

any, shall have the authority and the obligation to conduct all business affairs of the Association and to perform, without limitation, each of the following duties:

5.5.2.1 Operation and Maintenance of the Common Area.

Operate, maintain, and otherwise manage, or provide for the operation, maintenance, and management of, the Common Area. Such properties may include those lands intended for open space uses and which may be referred to as “non-buildable” lots per the Plat. Without limiting the generality of the foregoing, the Association shall perform the following:

5.5.2.1.1 Maintain, repair, or replace all school bus staging areas;

5.5.2.1.2 Maintain any items as required by the Plat Conditions;

5.5.2.1.3 Maintain the development’s Common Area landscaping and open spaces, including temporary irrigation and furnishings located in all public rights-of-way;

5.5.2.1.4 Maintain the Subdivision’s non-publically dedicated park and pathway areas;

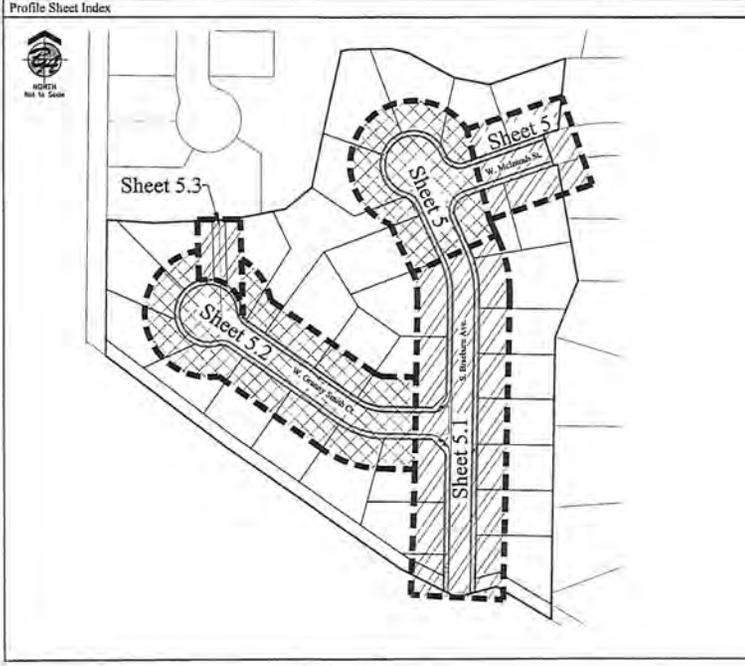
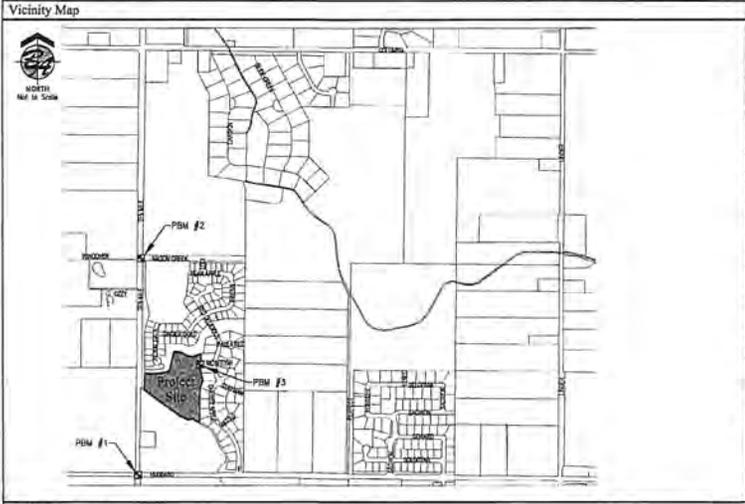
5.5.2.1.5 Maintain the property and all items related thereto as required by the Stormwater Plan, including but not limited to the property described in Exhibit “C” and incorporated herein by reference.

5.5.2.1.6 Provide for snow removal along pathways in the Common Areas so they are pedestrian accessible within 24 hours of a snow event;

5.5.2.1.7 Maintain the landscaping and irrigation over the north 735.72 feet and south 209.32 feet of Lot 1, Block 4 of Applewood Subdivision No. 1, recorded in Bk 100 Page 12941, records of Ada County (“Applewood”), as well as any other items Grantor elects to have included as Association responsibilities arising out of Annexation (described hereinafter) or over Lot 1, Block 2; Lot 13, Block 3; Lot 1, Block 4; and Lot 11, Block 4 in Applewood; and

Silver Trail Subdivision No. 3

Street, Water, Pressure Irrigation, & Sanitary Sewer Construction Plans



Benchmark Information (NAD 83 DATUM)

PBM #1 FOUND ALUMINUM CAP AT THE INTERSECTION OF S. TEN MILE RD. AND W. HUBBARD RD. ELEVATION = 2571.42

PBM #2 FOUND BRASS CAP AT THE INTERSECTION OF S. TEN MILE RD. AND W. WAGON CREEK ST. ELEVATION = 2444.17

PBM #3 FOUND 5/8" PIN AT THE INTERSECTION OF W. WASHINGTON ST. AND THE SUBDIVISION BOUNDARY. ELEVATION = 2565.83

Sheet Index

- TITLE SHEET AND INDEX
- CONSTRUCTION NOTES
- FINAL PLAN
- COMPOSITE SITE PLAN
- COMPOSITE SANITARY SEWER PLAN
- COMPOSITE WATER AND STREET LIGHT PLAN
- PRESSURE IRRIGATION PLAN
- STORM DRAINAGE DETAILS - BASIN A
- STORM DRAINAGE DETAILS - BASIN B
- PLAN PROFILE - W. WASHINGTON ST. & S. GRABERUN AVE.
- PLAN PROFILE - S. BRADBURY AVE.
- PLAN PROFILE - W. GRANNY SMITH CT.
- CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS
- ROCK DEPTH MAP

- Keynotes**
- CONSTRUCT VALLEY GUTTER IN ACCORDANCE WITH ACHD SUPPLEMENTAL STANDARD DRAWING 50-706. SEE DETAIL 9, SHEET 8.
 - CONSTRUCT 5'-0" CONCRETE SIDEWALK IN ACCORDANCE WITH ACHD SUPPLEMENTAL STANDARD DRAWING 50-705.
 - CONSTRUCT 3" ROLLED CURB AND GUTTER IN ACCORDANCE WITH ACHD SUPPLEMENTAL STANDARD DRAWING 50-702. SEE DETAIL 1, SHEET 8.
 - CONSTRUCT PEDESTRIAN RAMP IN ACCORDANCE WITH THE ACHD SUPPLEMENTAL STANDARD DRAWING 50-712-H-4. SEE DETAIL 5, SHEET 8.
 - CONSTRUCT 6" VERTICAL CURB AND GUTTER IN ACCORDANCE WITH ACHD SUPPLEMENTAL STANDARD DRAWING 50-701. SEE DETAIL 4, SHEET 8.
 - INSTALL PVC SLEEVE PER DETAIL 10, SHEET 6.
 - INSTALL 2" WATER MAIN BLOW-OFF VALVE IN ACCORDANCE WITH KIMA CITY MUNICIPAL WATER SYSTEM STANDARD DETAIL "BLOW-OFF".
 - REMOVE, REMOVE, AND REPLACE APPROXIMATELY 70 SF EXISTING ASPHALT. SEE DETAIL 6, SHEET 6.1.
 - INSTALL FIRE HYDRANT IN ACCORDANCE WITH I.S.P.M.C. STANDARD DRAWING 50-404. SEE DETAIL 5, SHEET 6.1.
 - REMOVE EXISTING BLOW-OFF AND CONNECT NEW 8" POTABLE WATER MAINLINE TO THE EXISTING 4" POTABLE WATER MAINLINE.
 - START OF NEW 3" CURB, GUTTER, AND 3" ATTACHED SIDEWALK CONSTRUCTION. MATCH EXISTING IMPROVEMENTS.
 - CONSTRUCT TYPE "C" MID-BLOCK PEDESTRIAN RAMP IN ACCORDANCE WITH I.S.P.M.C. STANDARD DRAWING 50-712-C. SEE DETAIL 5, SHEET 8.
 - INSTALL INLET CATCH BASIN, TYPE 4, FOR ROLLED CURB (OR EQUAL) IN ACCORDANCE WITH ACHD SUPPLEMENTAL STANDARD DRAWING 50-804-A.
 - CONSTRUCT 20'-WIDE AND 25'-LONG TEMPORARY TURNAROUND. SEE DETAIL 7, SHEET 4.2.
 - EXISTING UTILITY BOXES, RETAIN AND PROTECT.
 - INSTALL IN-LINE TAPPING SADDLE WITH A 4" TYPE "C" SEWER SERVICE IN ACCORDANCE WITH I.S.P.M.C. STANDARD DRAWING 50-511-C.
 - EXISTING UTILITY BOXES, TO BE RETAINED PROTECTED.
 - REMOVE EXISTING CLEM-OUT AND CONNECT TO EXISTING 8" SEWER MAIN LINE. FIELD VERIFY ELEVATION/LOCATION PRIOR TO CONSTRUCTION.
 - REMOVE EXISTING BLOW-OFF AND CONNECT TO EXISTING 8" WATER MAIN LINE. FIELD VERIFY ELEVATION/LOCATION PRIOR TO CONSTRUCTION.
 - REMOVE/BACKFILL-EXISTING-TEMPORARY-DRAIN-DRAINAGE-POND/BACKFILL-IF-ACCORDANCE-WITH-I.S.P.M.C.-SECTIONS-203-AND-204. SUB-SUB-TYPE-52-OR-GUTTER-COMPACT-BACKFILL-10-200-200-200-PROFILER.
 - CONSTRUCT CONCRETE DRIVEWAY WITH 20'-FOOT WIDE RAMP THROUGH IN ACCORDANCE WITH ACHD SUPPLEMENTAL STANDARD DRAWING 50-710-B.

Erosion Control - Storm Water Pollution Prevention Note

1. PRIOR TO CONSTRUCTION CONTRACTOR(S) SHALL BE RESPONSIBLE TO VERIFY THAT A NOTICE OF INTENT TO CONSTRUCT (NOI) HAS BEEN FILED AND ACCEPTED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR COMPLYING WITH THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP).

Legend

	PROJECT / PROPERTY BOUNDARY
	LOT LINE
	SECTION LINE
	STREET CENTERLINE
	10' WIDE SANITARY SEWER EASEMENT
	20' WIDE STATE LATERAL EASEMENT
	EXISTING FENCE
	EXISTING EDGE OF PAVEMENT
	EXISTING SANITARY SEWER MAIN LINE
	EXISTING SANITARY SEWER MAN HOLE (SIZE NOTED)
	CONSTRUCT 4" TYPE "C" SEWER SERVICE PER CPWC 50-311 (UNLESS OTHERWISE NOTED), SEE DETAIL 3, SHEET 8
	EXISTING WATER MAIN LINE
	CONSTRUCT 8" 0-500 PVC WATER MAIN LINE
	CONSTRUCT 1" SINGLE WATER SERVICE
	EXISTING PRESSURE IRRIGATION LINE, SIZES NOTED ON SHEET 2.1
	CONSTRUCT PRESSURE IRRIGATION LINE, SIZES NOTED ON SHEET 2.1
	ASPHALT SAW-OFF LINE
	EXISTING CURB AND GUTTER
	CONSTRUCT 3" ROLLED CURB & GUTTER
	CONSTRUCT 3" VERTICAL CURB & GUTTER
	FINISH GRADE ELEVATION @ TOP BACK OF ROLLED CURB
	FINISH GRADE ELEVATION @ TOP OF PAVEMENT SURFACE
	FINISH GRADE ELEVATION @ TOP OF CURB
	FINISH GRADE ELEVATION @ EXISTING TOP BACK OF ROLLED CURB
	FINISH GRADE ELEVATION @ EXISTING TOP OF GUTTER
	FINISH GRADE ELEVATION @ FLOW LINE
	DRAPE AND DIRECTION
	KENOTE REFERENCE
	INSTALL WATER VALVE, SAME SIZE AS MAIN LINE
	INSTALL FIRE HYDRANT
	INSTALL EXISTING WATER OBSERVATION WELL (MONITORING WELL) PER DETAIL 4, SHEET 4.2
	EXISTING FIRE HYDRANT
	EXISTING TELEPHONE METER
	EXISTING GAS VALVE
	EXISTING UTILITY POLE
	INSTALL LED STREET LIGHT
	INSTALL TYPE 4 TEMPORARY IMPERVIOUS W/DECK PLATE AT BASE FOR GAME DECKING, AS PER WATER PROTECTION SECTION 4.2.2
	INSTALL TYPE 6 TEMPORARY IMPERVIOUS DECKING THIS HOLE WILL BE FILLED IN THE FUTURE, AS PER I.S.P.M.C. STANDARD DRAWING 50-1
	LOT NUMBER
	INSTALL TYPE 4 INLET CATCH BASIN IN ACCORDANCE WITH I.S.P.M.C. STANDARD DRAWING 50-504A
	INSTALL SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER MANHOLE

Digline Information

50 South Cole Road
Boise, ID 83709
1-800-342-1585
(208) 342-1585

B&A Engineers, Inc.
Consulting Engineers, Surveyors & Planners
1116 S. Main St., Suite 200
Boise, ID 83702
(208) 342-3331



Title Sheet and Index

Silver Trail Subdivision No. 3
DATE: 11/16/2018
BY: J.L.H.

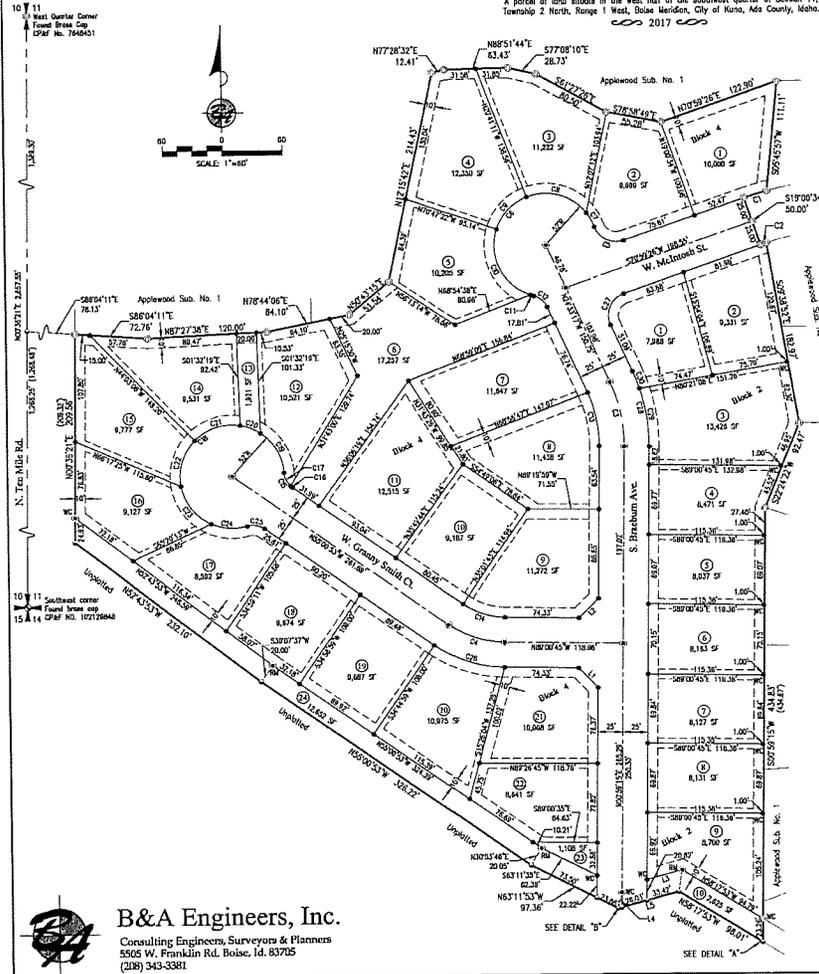
Record Construction Drawing
Date: September 1, 2017
By: J.L.H.

SCALE	AS SHOWN
DATE	SEPTEMBER 28, 2018
DRAWN BY	J.L.H.
CHECKED BY	J.L.H.
PROJECT NO.	18-03-FP
SHEET NO.	20
TOTAL SHEETS	46
DATE	SEP 28, 2018
BY	J.L.H.
SCALE	AS SHOWN
SHEET NO.	1

Exhibit
A3

Silver Trail Subdivision No. 3

A parcel of land situate in the west half of the southwest quarter of Section 11, Township 2 North, Range 1 West, Boise Meridian, City of Kuna, Ada County, Idaho.
© 2017



Legend

- Subdivision boundary
- Lot line
- Section line
- Street centerline
- Water, sewer, drainage, and irrigation easement to benefit the City of Kuna, see note 10 for more information.
- Adjoining property line
- Found brass cap
- Set 1/2"x24" iron pin with plastic cap labeled "D&A LS 4116"
- Set 5/8"x30" iron pin with plastic cap labeled "D&A LS 4115"
- Calculated point, not found or set
- Witness corner
- Reference monument
- Distance of record

Reference Documents

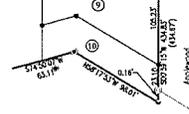
- Subdivision Plots
 - Applewood Subdivision No. 1 Book 100, Pages 12941-12945
 - Silver Trail Subdivision No. 1 Book 100, Pages 15053-15056
- Records of Survey
 - 803 No. 4236
- Warranty Deed
 - Instrument No. 2015-043505

Line Table

Line	Bearing	Distance
L1	S44°00'45"E	27.76'
L2	S45°39'15"W	27.76'
L3	N74°50'07"E	36.30'
L4	N13°22'22"E	18.39'
L5	S74°50'07"W	63.11'

Detail "A"

Not to Scale



Detail "B"

Not to Scale



B&A Engineers, Inc.
Consulting Engineers, Surveyors & Planners
5505 W. Franklin Rd. Boise, Id. 83725
(208) 343-3381

Silver Trail Subdivision No. 3
Sheet 1 of 2

B&A Engineers, Inc.
Consulting Engineers, Surveyors & Planners
5505 W. Franklin Rd. Boise, Id. 83725
(208) 343-3381



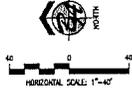
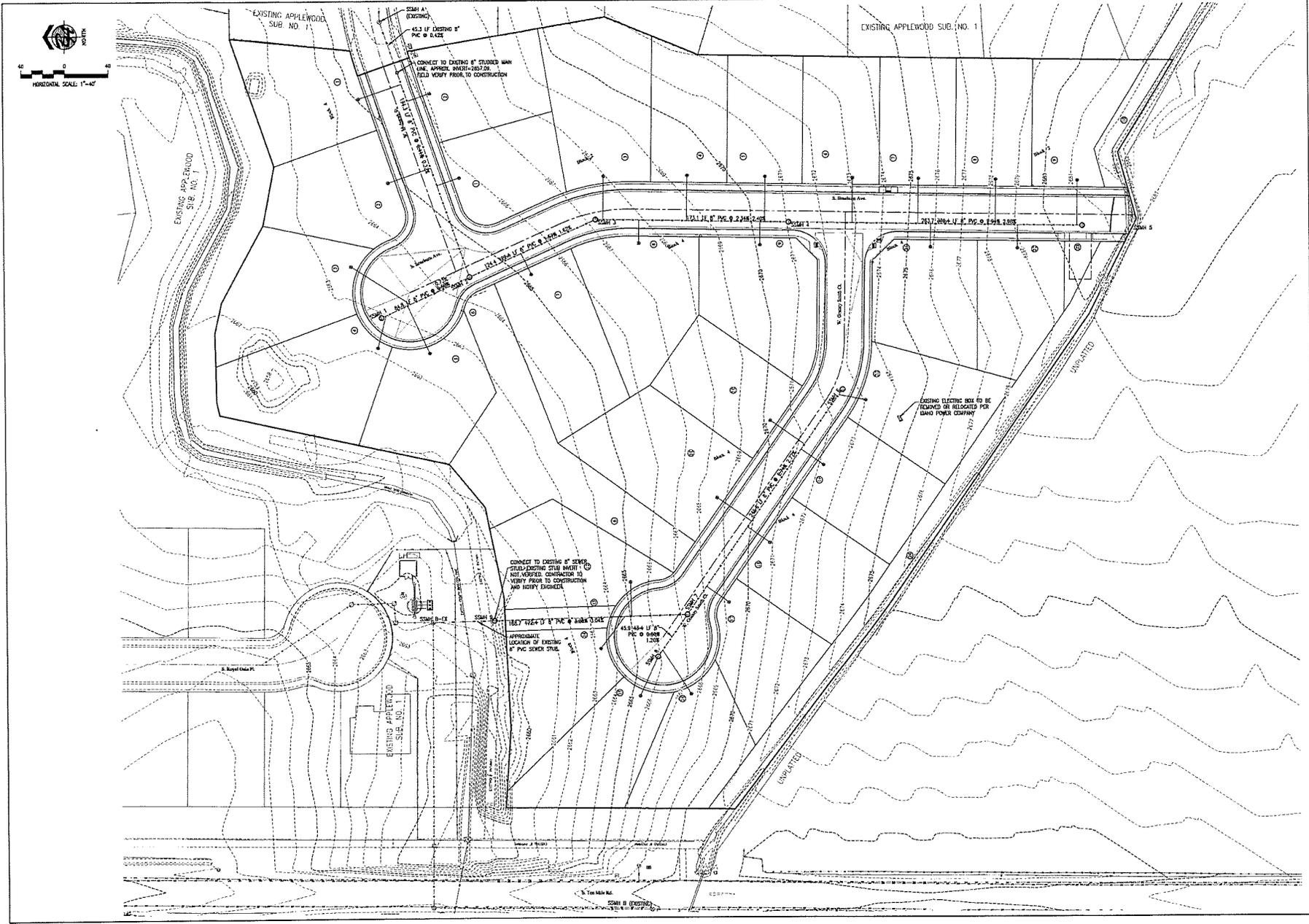
Final Plat

Silver Trail Subdivision No. 3
SITUATE IN THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 2 NORTH, RANGE 1 WEST, BOISE MERIDIAN, CITY OF KUNA, ADA COUNTY, IDAHO.

Record Construction Drawing
Date: September 1, 2017
By: J.L. HOLL

This record drawing has been prepared by B & A Engineers, Inc. based on field notes and other data furnished to the engineer by the owner, and the engineer certifies that it is a true and correct representation of the same.

SCALE: AS SHOWN	DATE: 09/01/2017
DRAWN BY: J.L. HOLL	CHECKED BY: J.L. HOLL
PROJECT NO. 18-03-FP	DATE PLOTTED: 09/01/2017
PLATTING FIRM: B&A ENGINEERS, INC.	SHEET NO. 22



B&A Engineers, Inc.
 Consulting Engineers, Surveyors, Planners
 & Environmental Scientists
 10000 W. 10th St., Suite 100
 Overland Park, KS 66211
 (913) 341-3351

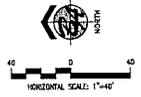
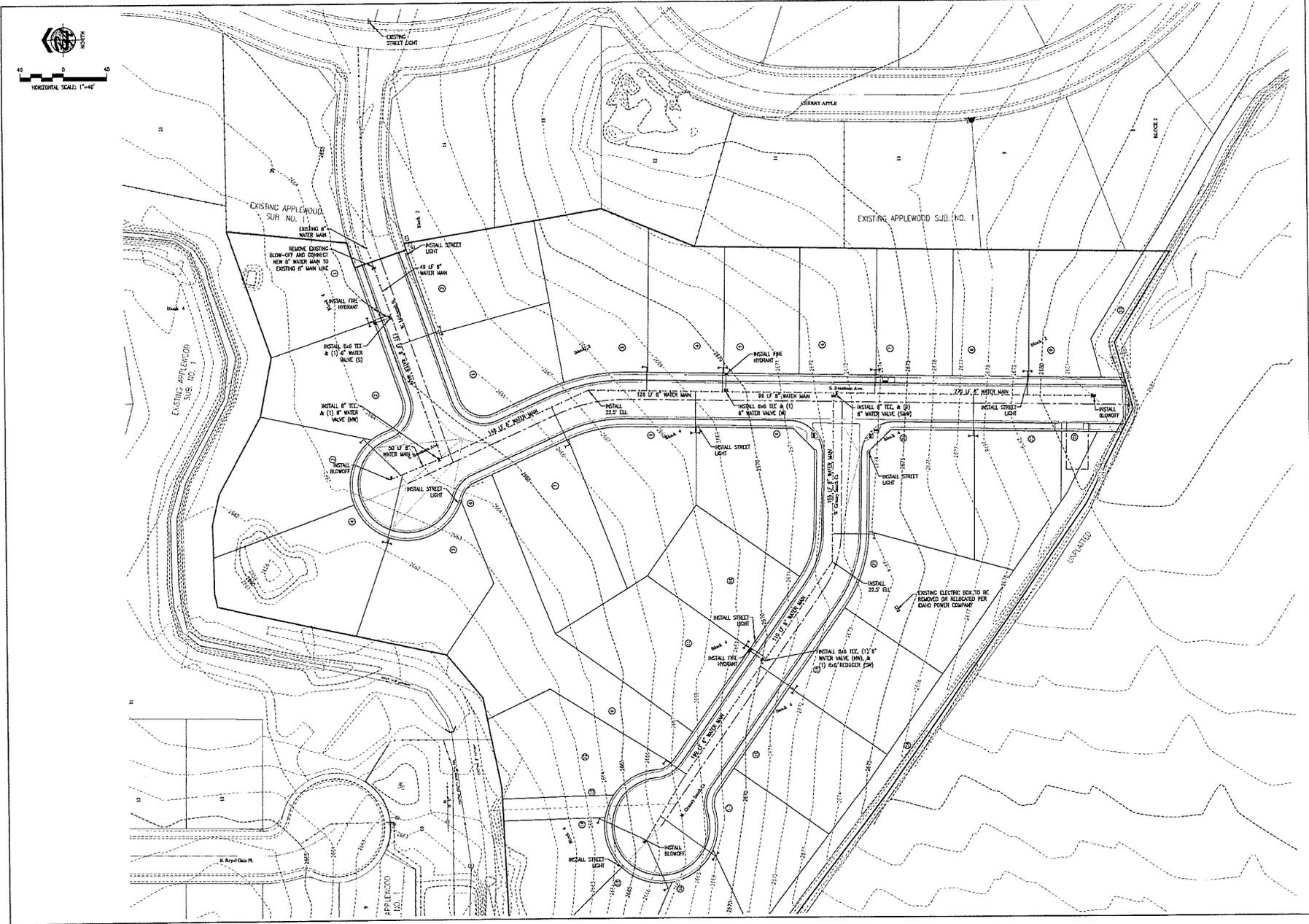
Composite Sanitary Sewer Plan
Silver Trail Subdivision No. 3
 SHEET 24 OF 24
 DATE: SEPTEMBER 1, 2017
 BY: J.J. HILL

Record Construction Drawing
 Date: September 1, 2017
 By: J.J. Hill

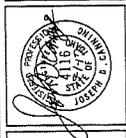
These record drawings have been prepared by B & A Engineers, Inc. based on information furnished by the client. B & A Engineers, Inc. does not warrant the accuracy of the information furnished by the client. The client is responsible for the accuracy of the information furnished. B & A Engineers, Inc. is not responsible for any errors or omissions in these drawings.

DATE	12/15/2016
DESIGNER	J. J. HILL
CHECKED BY	J. J. HILL
DATE	12/15/2016
SCALE	AS SHOWN

3.1



B & A Engineers, Inc.
 Consulting Engineers, Surveyors & Planners
 11111 Mill Rd. Boise, ID 83715
 (208) 344-1381

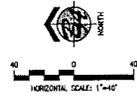
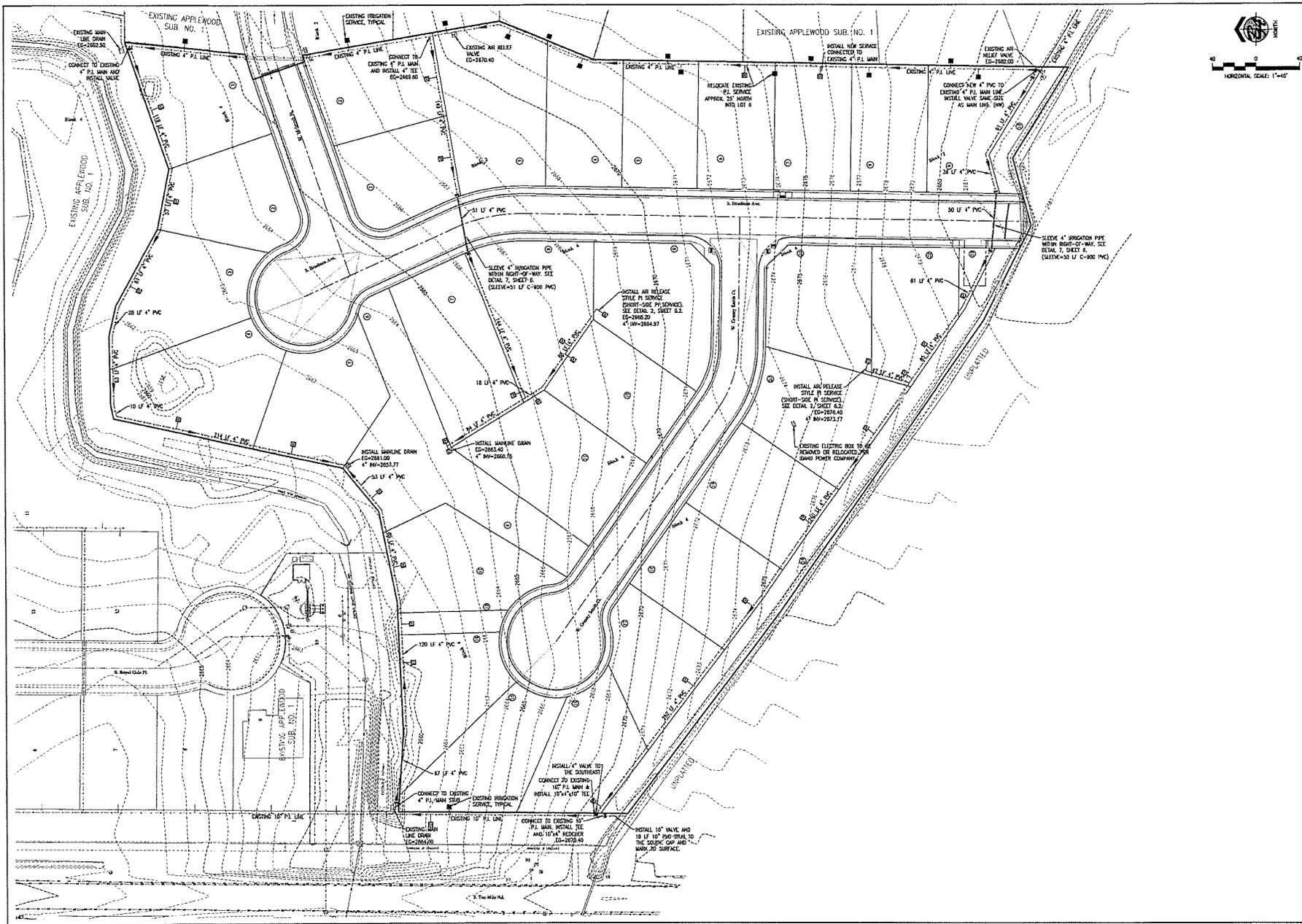


Composite Water and Street Light Plan
 Silver Trail Subdivision No. 3
 SECTION IN THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 10
 TOWNSHIP 2 NORTH, RANGE 12 WEST, COUNTY, IDAHO.

Record Construction Drawing
 Date: September 1, 2017
 By: J.L. HALL
 These record drawings have been prepared by B & A Engineers, Inc. based on information furnished to us by the client. We warrant that the drawings are a true and correct representation of the information furnished to us and that they conform to the requirements of the applicable laws and regulations.

SCALE BOOK	DATE
BY	DATE
PROJECT NO.	DATE
PROJECT NAME	DATE
PROJECT LOCATION	DATE
PROJECT NO.	DATE
PROJECT NAME	DATE
PROJECT LOCATION	DATE

SHEET NO.
 3.2



B&A Engineers, Inc.
 Consulting Engineers, Surveyors & Planners
 5505 W. Franklin Rd. Boise, Id. 83715
 (208) 343-3381



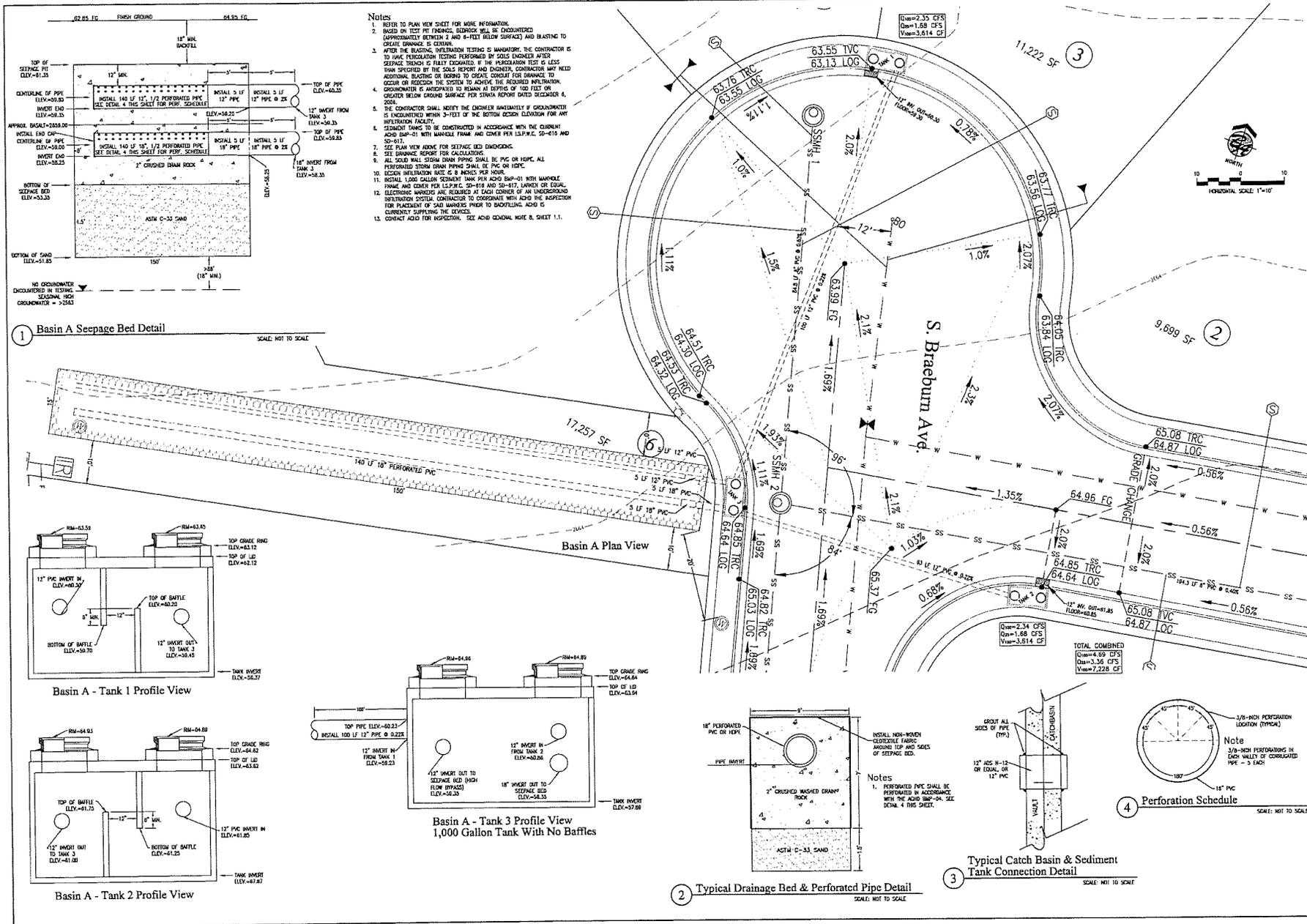
Composite Pressure Irrigation Plan

Silver Trail Subdivision No. 3
 STATE OF IDAHO, COUNTY OF BOYER, DISTRICT 11
 TOWNSHIP 2 NORTH, RANGE 1 WEST, BOYER-MERIDIAN, CITY OF TULA, ADA

Record Construction Drawing
 Date: September, 1, 2017
 By: J. L. ...
 Please read drawings in connection with all other drawings, specifications, and conditions, and provide for them. Information indicated on drawings, specifications, and conditions, shall prevail in the event of any conflict.

SCALE SHOWN
 DATE: SEPTEMBER 20, 2017
 DRAWN BY: ...
 CHECKED BY: ...
 PROJECT NO.
 DRAWING TITLE: ...
 SHEET NO. 33

3.3



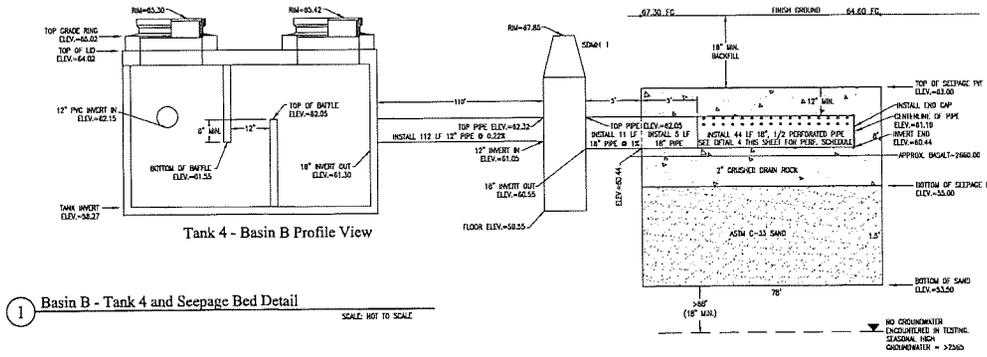
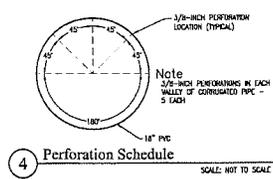
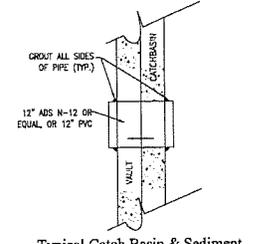
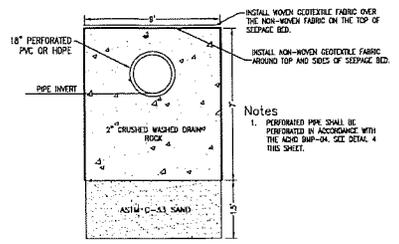
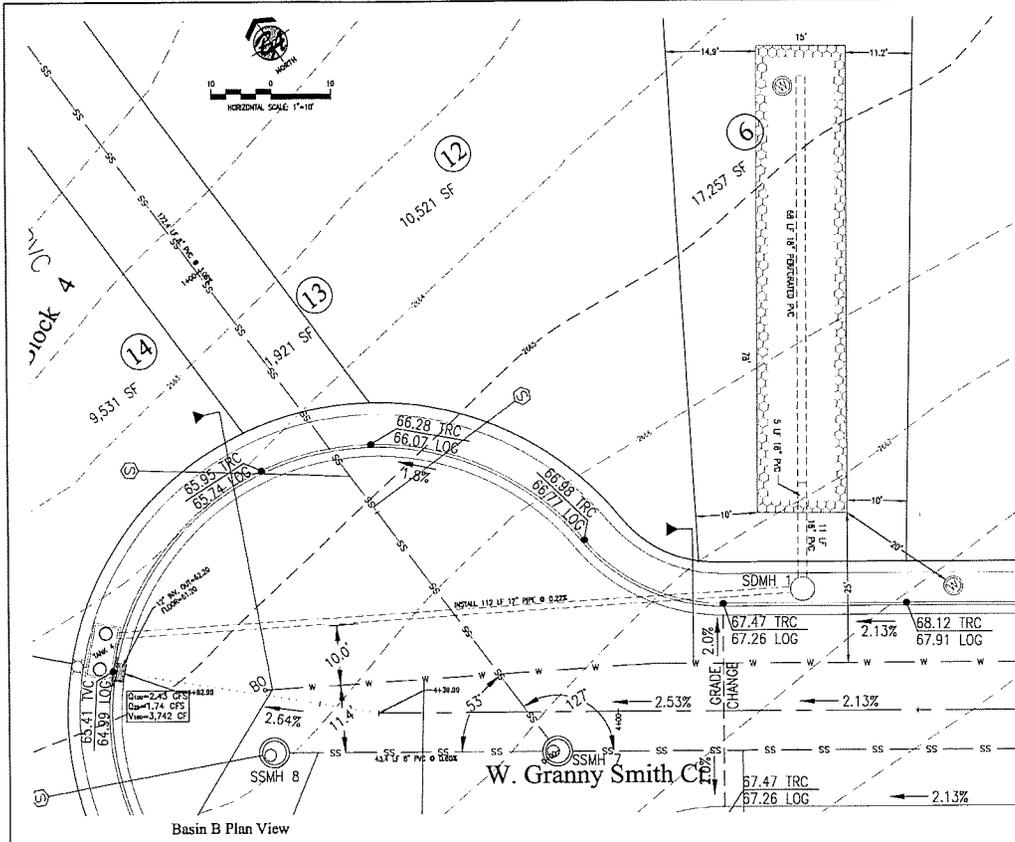
B & A Engineers, Inc.
 Consulting Engineers, Surveyors & Planners
 5505 W. Franklin Rd. Suite 14, 80705
 (703) 943-3381

Storm Drain Details

Record Construction Drawing
 Date: September 1, 2017
 By: J.L. Hill
 These drawings are prepared by B & A Engineers, Inc. and are to be used only for the project and location specified. No other use or reproduction is permitted without the written consent of B & A Engineers, Inc. The Engineer may make changes to the information shown herein, and the user shall be responsible for any errors or omissions.

Scale:
 SHEET NO. 27
 DATE: SEPTEMBER 30, 2016
 DRAWN BY: J.L. HILL
 CHECKED BY: J.L. HILL
 TITLE: 18-03-FP
 PROJECT: SILVER TRAIL SUBDIVISION
 SHEET NO. 27 OF 28

Scale:
 SHEET NO. 27
 DATE: SEPTEMBER 30, 2016
 DRAWN BY: J.L. HILL
 CHECKED BY: J.L. HILL
 TITLE: 18-03-FP
 PROJECT: SILVER TRAIL SUBDIVISION
 SHEET NO. 27 OF 28



- Notes**
1. REFER TO PLAN VIEW SHEETS FOR MORE INFORMATION.
 2. BASED ON TEST PIT FINDINGS, BEDROCK WILL BE ENCOUNTERED (APPROXIMATELY BETWEEN 4 AND 11-FEET BELOW SURFACE) AND BLENDING TO GREAT DEPTH IS CERTAIN.
 3. AFTER THE BLENDING INFILTRATION TESTING IS COMPLETED, THE CONTRACTOR IS TO HAVE PERMEATION TESTING PERFORMED BY SOILS ENGINEER AFTER SEPARATE TRENCH IS PAINT EXAMINER. IF THE PERMEATION TEST IS LESS THAN SPECIFIED BY THE SOILS REPORT AND EXAMINER, CONSTRUCTION MAY NEED ADDITIONAL BLENDING OR SOILING TO CREATE COMFORT FOR DRAINAGE TO OCCUR OR REDUCE THE PROTECT AS REQUIRED WATERFLOW.
 4. GROUNDWATER IS ANTICIPATED TO REMAIN AT DEPTHS OF 100 FEET OR GREATER BELOW GROUND SURFACE PER SOILS REPORT DATED DECEMBER 8, 2006.
 5. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF GROUNDWATER IS ENCOUNTERED WITHIN 3'-11" OF THE BOTTOM DESIGN ELEVATION FOR ANY INFILTRATION FACILITY.
 6. SEDIMENT TANKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT ACHD BHP-01 WITH WANGSLE FRAME AND COVER PER IES-P-01C, 01-01A AND 01-01T.
 7. SEE PLAN VIEW ABOVE FOR SEEPAGE BED DIMENSIONS.
 8. SEE DRAINAGE REPORT FOR CALCULATIONS.
 9. ALL SOLID WALL STORM DRAIN PIPING SHALL BE PVC OR HDPE. ALL PERFORATED STORM DRAIN PIPING SHALL BE PVC OR HDPE.
 10. DESIGN INFILTRATION RATE IS 8 INCHES PER HOUR.
 11. INSTALL 1,000 GALLON SEDIMENT TANK PER ACHD BHP-01 WITH WANGSLE FRAME AND COVER PER IES-P-01C, 01-01A AND 01-01T LAYOUT OR EQUAL.
 12. ELECTRIC MARKERS ARE REQUIRED AT EACH CORNER OF AN UNDERGROUND INFILTRATION SYSTEM. CONTRACTOR TO COORDINATE WITH ACHD FOR POSITIONING OF TAG MARKERS PRIOR TO BACKFILLING. ACHD IS CURRENTLY SUPPLYING THE SERVICES.
 13. CONTACT ACHD FOR INFORMATION. SEE ACHD GENERAL NOTE 8, SHEET 1.1.

B & A Engineers, Inc.
Civil Engineering, Surveying & Planning
5605 NW 94th Rd., Suite 401, Miami, FL 33178
(305) 343-3381

Storm Drain Details

Silver Trail Subdivision No. 3
SHEET NO. 6 OF 6
PROJECT: SILVER TRAIL SUBDIVISION, CITY OF SILVER SPRING, COUNTY, DOWD.

Date: September 1, 2017
By: J.L. Hill

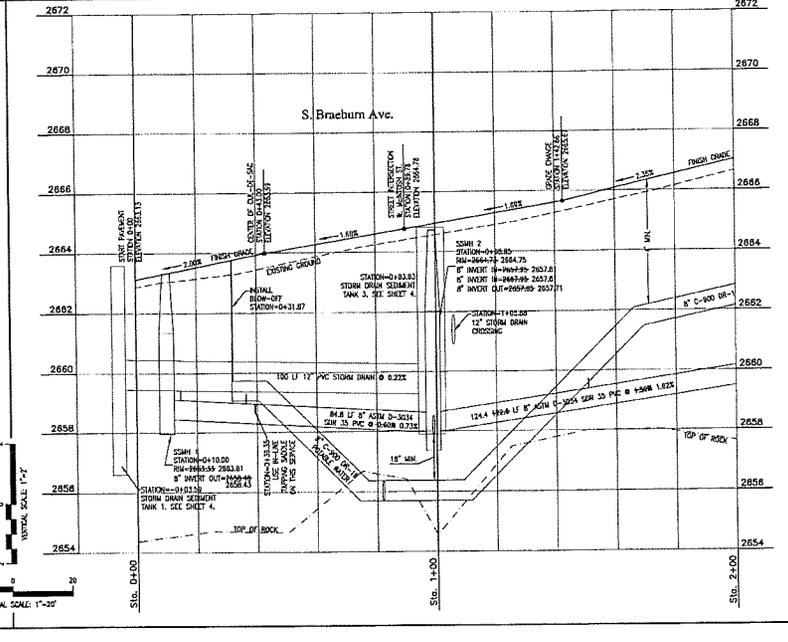
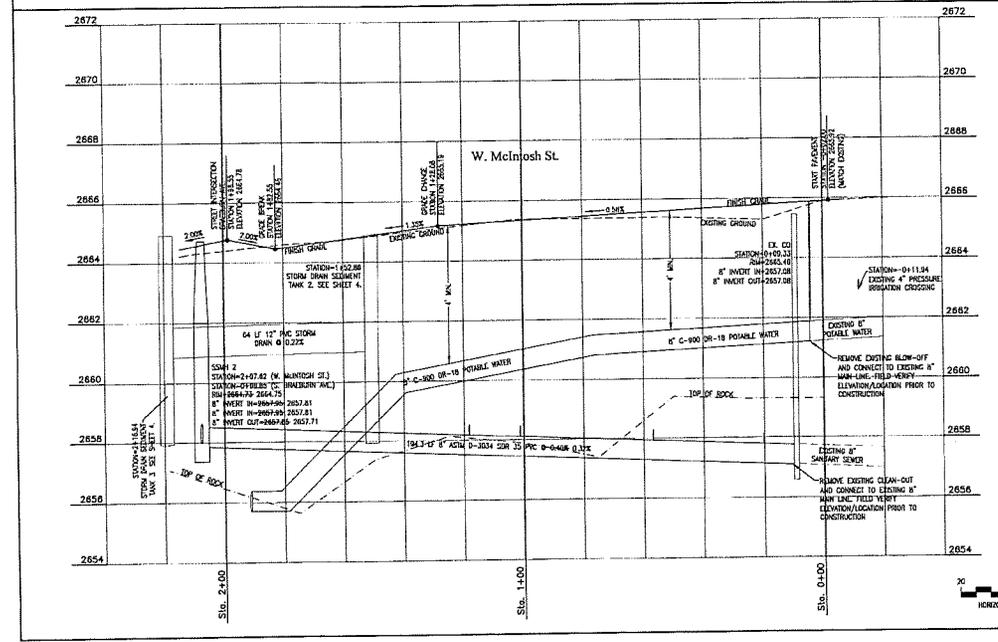
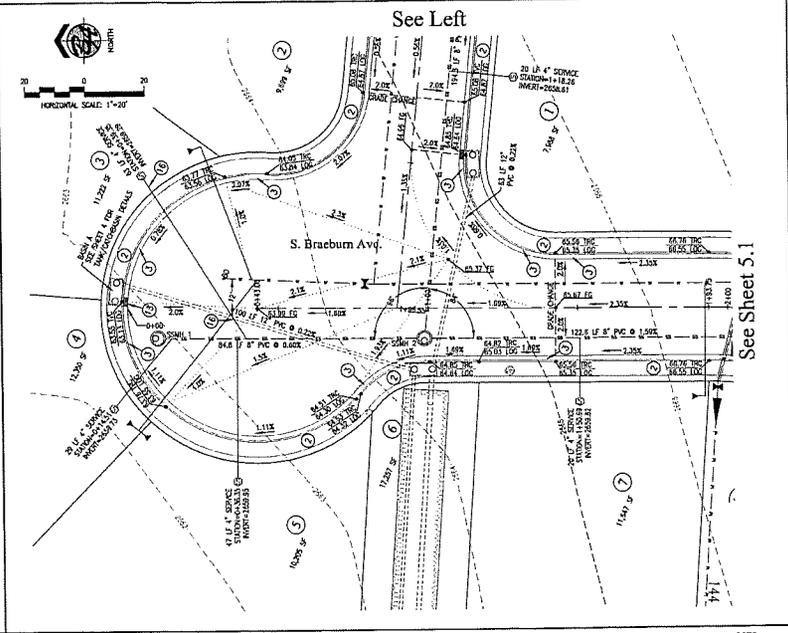
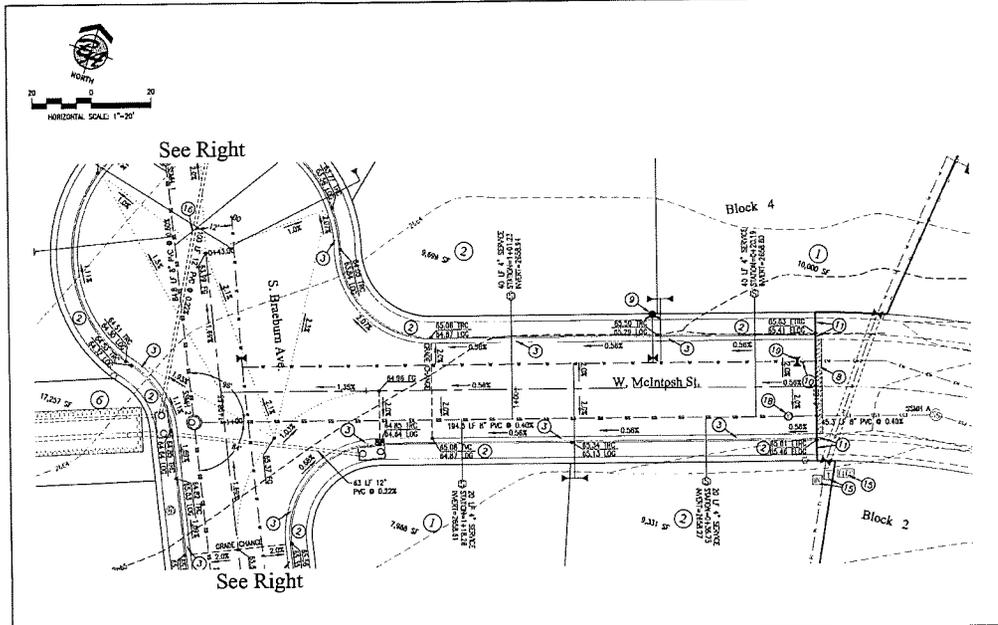
Record Construction Drawing

Date: September 1, 2017
By: J.L. Hill

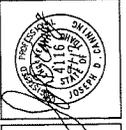
These record drawings were prepared by B & A Engineers, Inc. and are to be used only for the project and location shown hereon, and the original drawings may not otherwise be reproduced without the written consent of B & A Engineers, Inc.

DATE PLOTTED	10/27/2017
DATE PRINTED	10/27/2017
SCALE	AS SHOWN
DRAWN BY	J.L. HILL
CHECKED BY	J.L. HILL
DESIGNED BY	J.L. HILL
DATE	10/27/2017
PROJECT NO.	18-03-FP
SHEET NO.	28 OF 46

SHEET NO. **4.1**



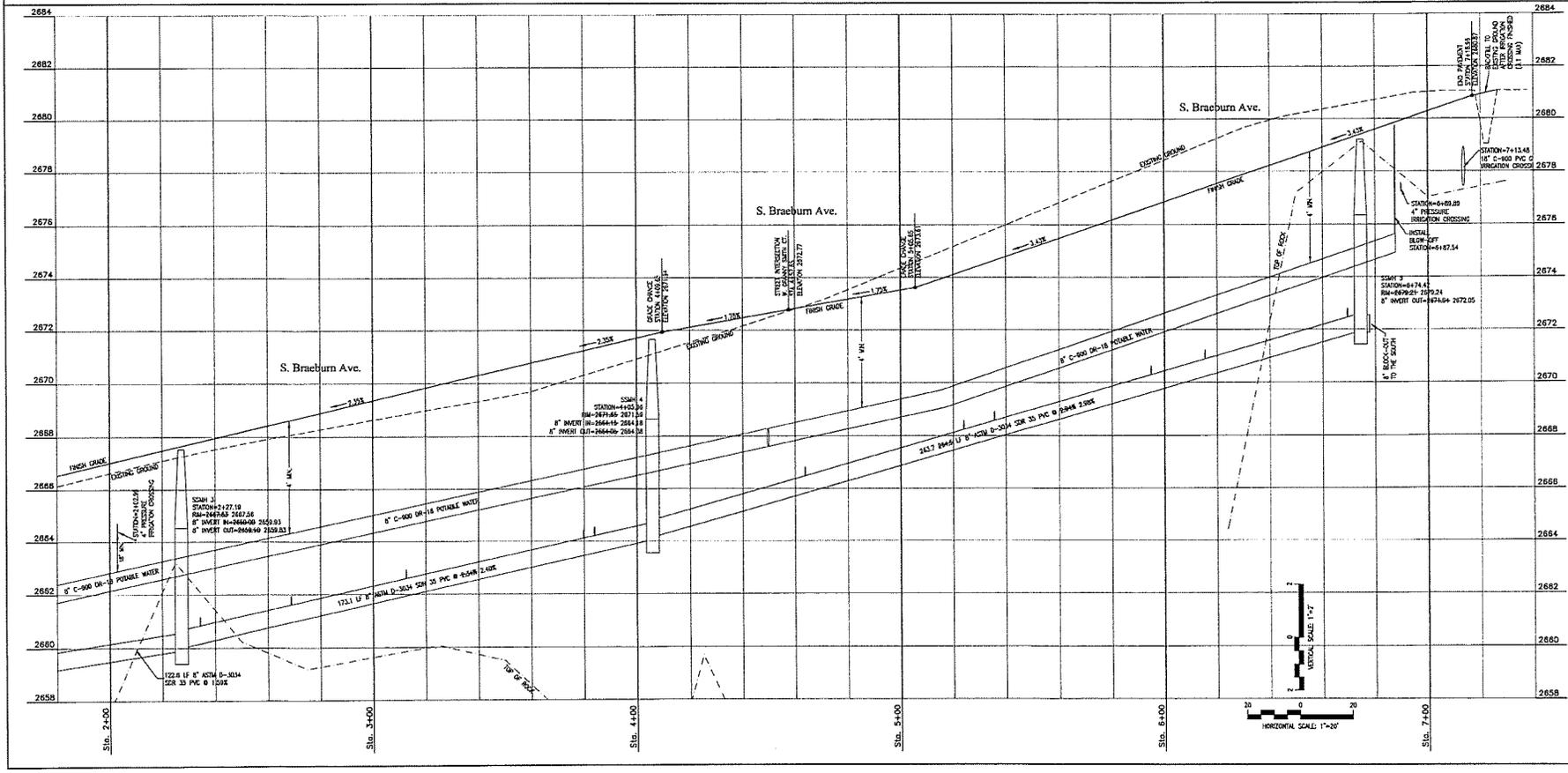
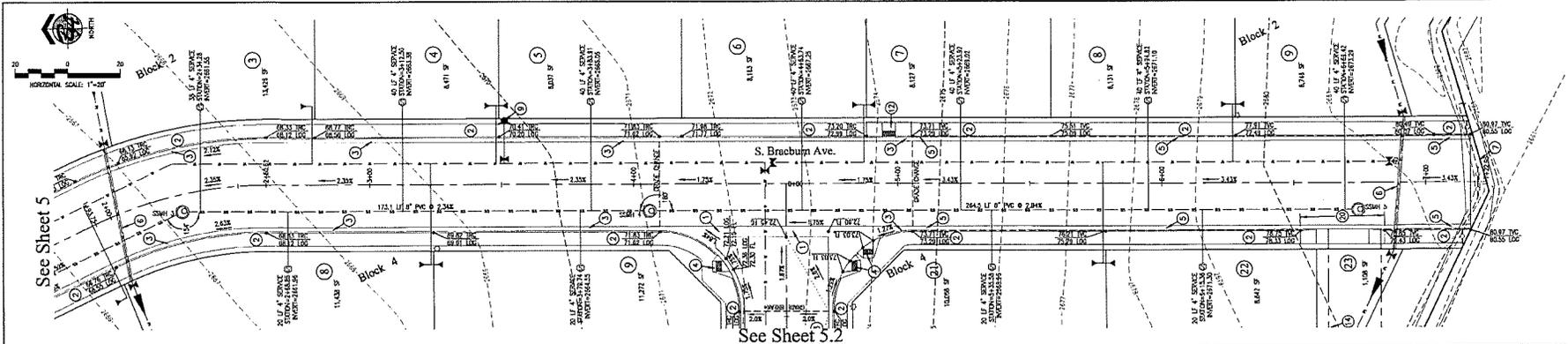
B&A Engineers, Inc.
Consulting Engineers, Surveyors & Planners
5905 W. Franklin Rd. Boise, ID 83705
(208) 343-3381



Plan/Profile - W. McInosh St. and
S. Braeburn Ave.
Silver Trail Subdivision No. 3
SUBDIVISION MAP, MAPS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

Record Construction Drawing
Date: September 1, 2017
By: J.J. Hall
These record drawings have been prepared by B & A Engineers, Inc. and are subject to the terms and conditions of the contract between B & A Engineers, Inc. and the client. No responsibility is assumed for any errors or omissions.

DATE EXPIRES: FEBRUARY 28, 2018
EXPIRES: FEBRUARY 28, 2018
ISSUED BY: J.J. HALL
DATE: 09/01/17
DRAWING NO.: 18-03-FP-029
SHEET NO.: 5



B & A Engineers, Inc.
Consulting Engineers, Surveyors & Planners
5505 W. Franklin Rd. Boise, ID 83705
(208) 343-3381

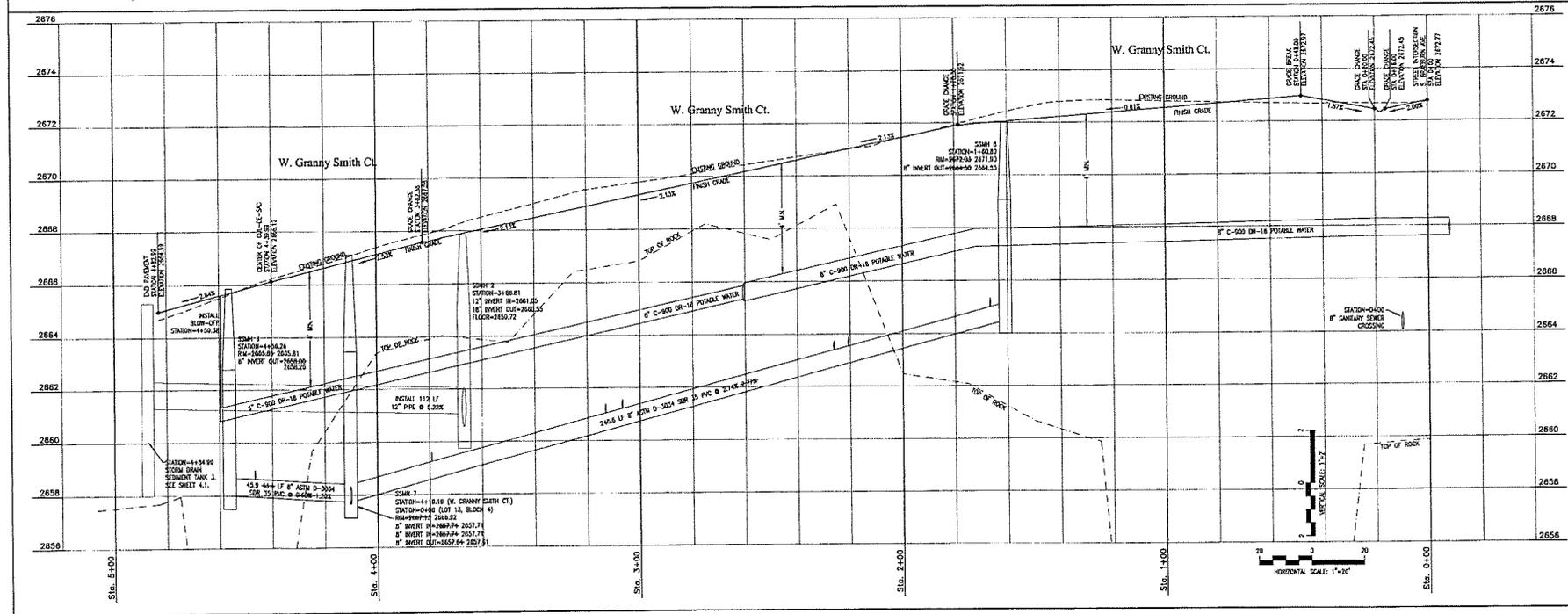
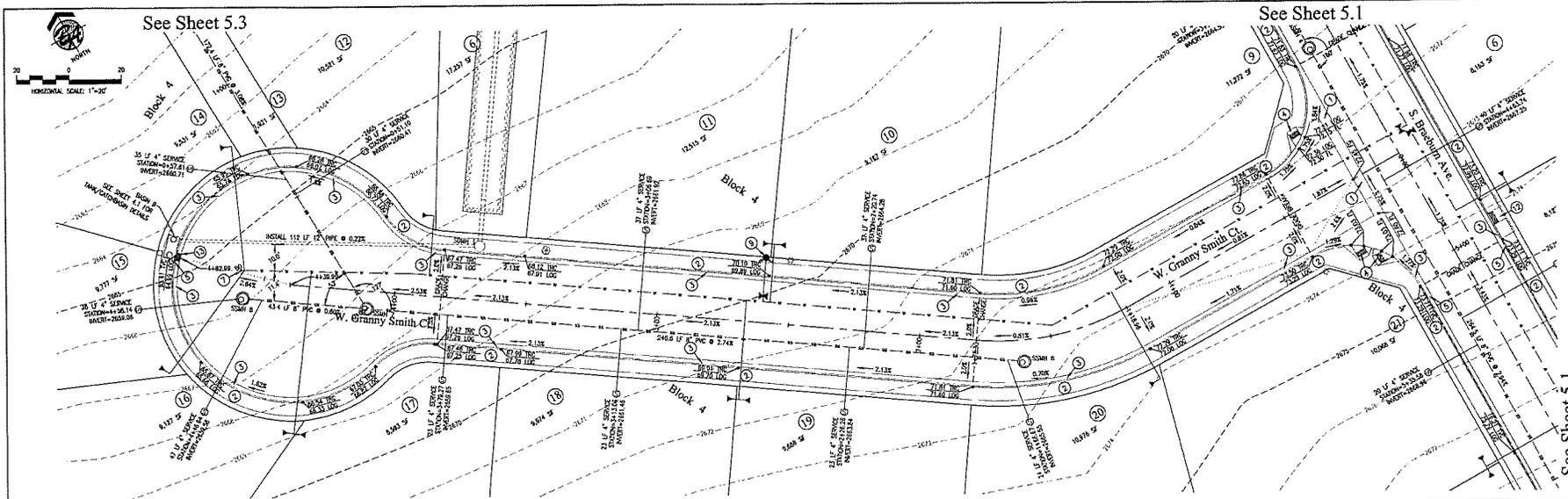


Plan/Profile - S. Braeburn Ave.
Silver Trail Subdivision No. 3
STATION 6+30.00 TO 7+12.44
10" C-900 PVC C
WASHING CROSSING
COUNTY, IDAHO.

Record Construction Drawing
Date: September 1, 2017
By: J.J. Hill
Please note: All work shall be in accordance with the B & A Engineers, Inc. Standard Specifications for Construction and shall be subject to the approval of the local authority having jurisdiction. All construction shall be in accordance with the approved plans and specifications. All construction shall be in accordance with the approved plans and specifications. All construction shall be in accordance with the approved plans and specifications.

SCALE:	AS SHOWN
DATE:	SEPTEMBER 20, 2016
DESIGNED BY:	J.J. HILL
CHECKED BY:	J.J. HILL
PROJECT NO.:	18-03-FP
DRAWN BY:	J.J. HILL
DATE:	SEP 20, 2016
BY:	J.J. HILL
SCALE:	AS SHOWN

SHEET NO. **5.1**

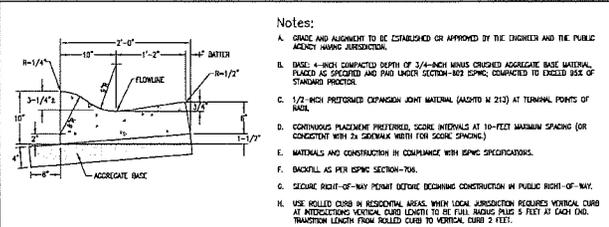


See Sheet 5.1
 See Sheet 5.3
 See Sheet 5.1
 Plan/Profile - W. Granny Smith Ct.
 Record Construction Drawing
 Date: September 1, 2017
 By: J.L. Hill
 Note: This drawing is the property of B & A Engineers, Inc. and shall remain the property of B & A Engineers, Inc. until the project is completed. All rights reserved.

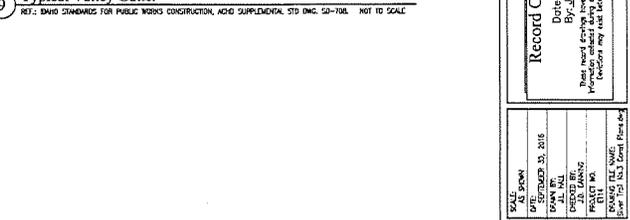
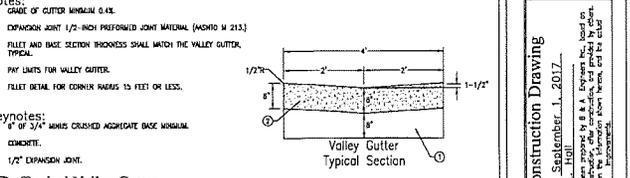
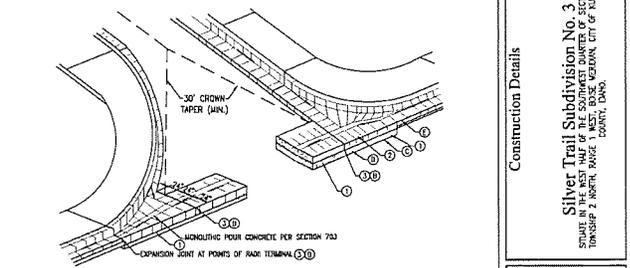
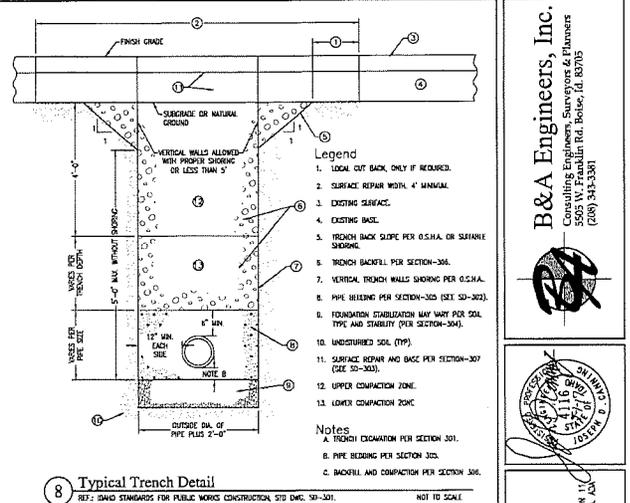
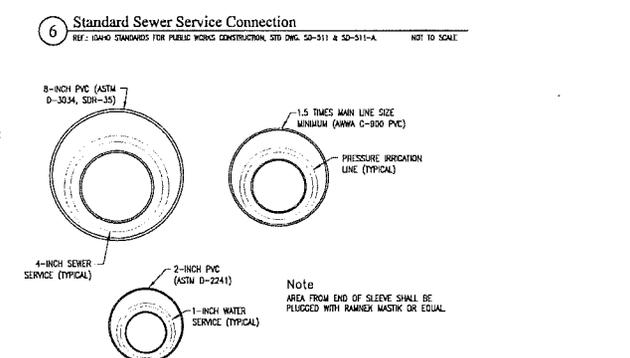
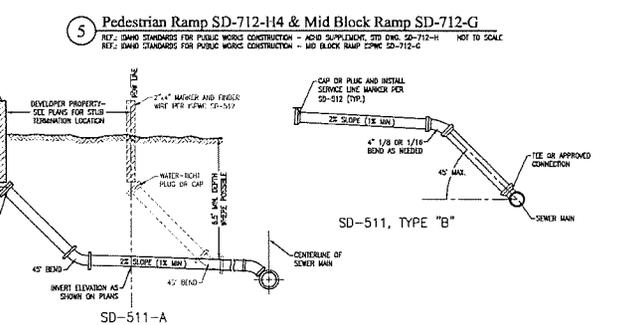
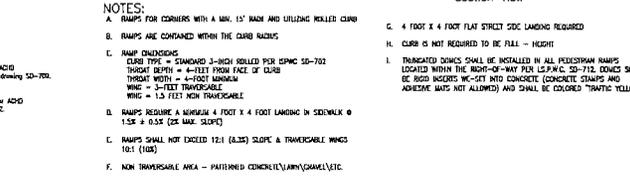
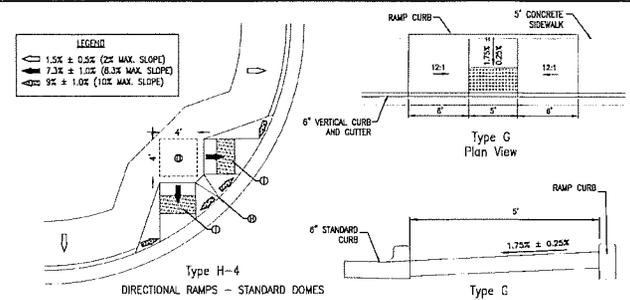
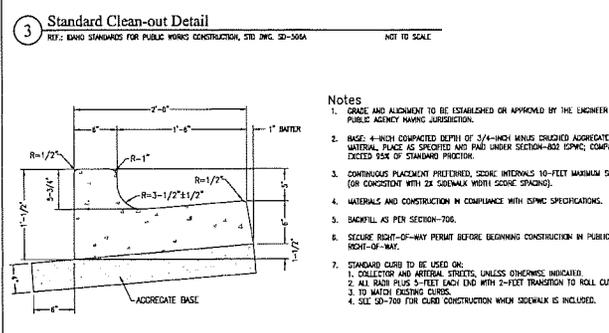
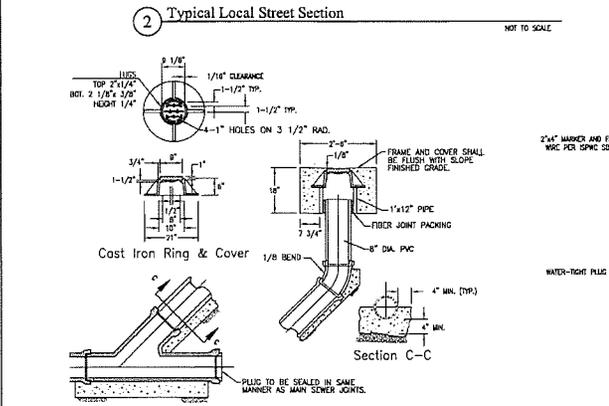
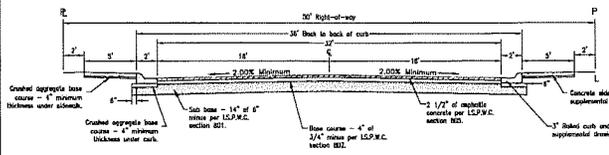
B & A Engineers, Inc.
 Consulting Engineers, Surveyors & Planners
 5905 W. Franklin Rd. Boise, ID 83725
 (208) 343-3381

SILVER TRAIL SUBDIVISION NO. 3
 PLAT 16 OF THE COUNTY RECORDS OF SECONA TWP.
 TOWNSHIP 2 NORTH, RANGE 1 WEST, BESE MEDICAL CITY OF BOISE, ADA
 COUNTY, IDAHO.

SCALE:
 AS SHOWN
 HORIZONTAL SCALE: 1"=30'
 VERTICAL SCALE: 1"=2'
 SHEET NO: 5.2



1 Typical 3" Rolled Curb And Gutter
REF: DAWG STANDARDS FOR PUBLIC WORKS CONSTRUCTION, ACSI SUPPLEMENTAL STD DWG. SD-701. NOT TO SCALE



B & A Engineers, Inc.
 Civil, Mechanical, Electrical, Surveying & Planning
 5505 W. Fullin Road, Dallas, TX 75237
 (214) 343-3381

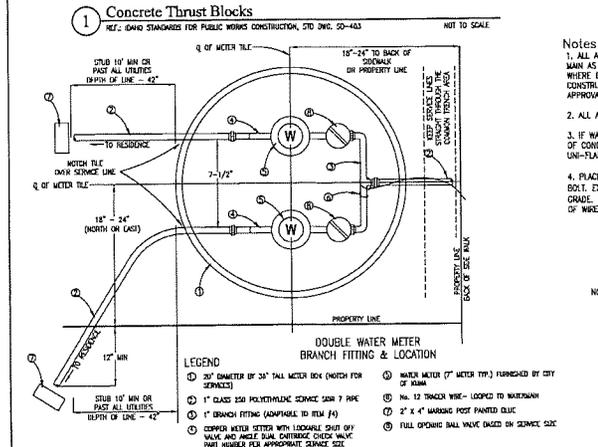
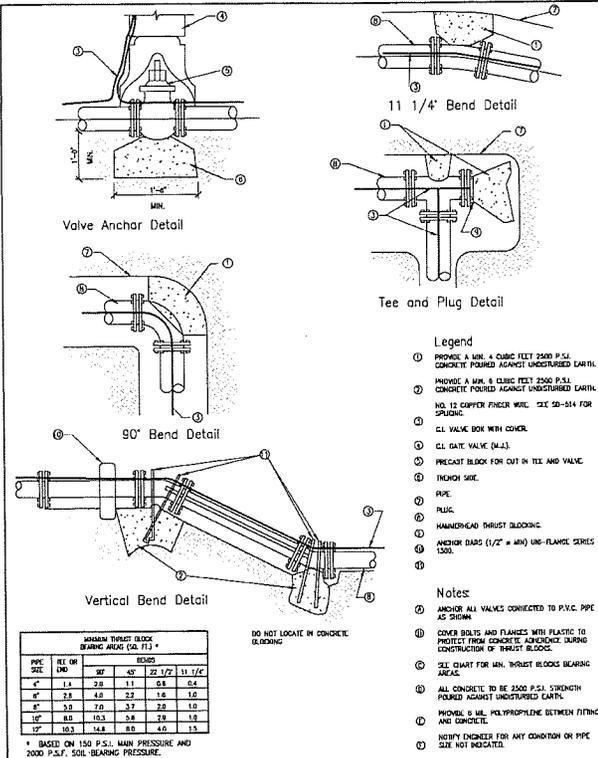


Record Construction Drawing
 Date: September 1, 2017
 By: J.L. Hall
 Project No. 18-03-FP
 Project Name: Silver Trail Subdivision No. 3
 Township 2 North, Range 1 West, Base Meridian, City of New, Jay County, Iowa.

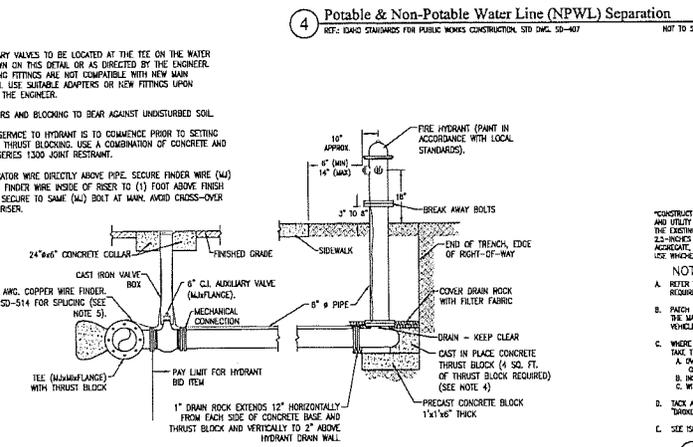
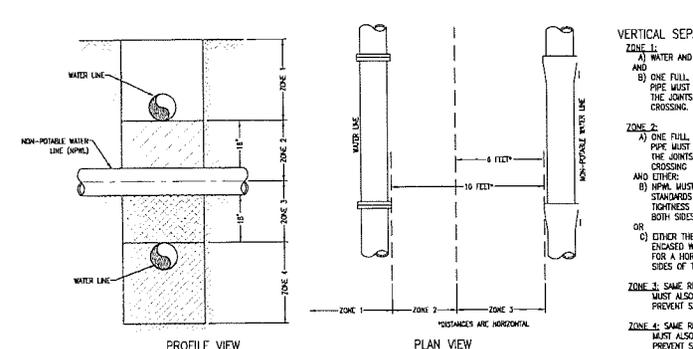
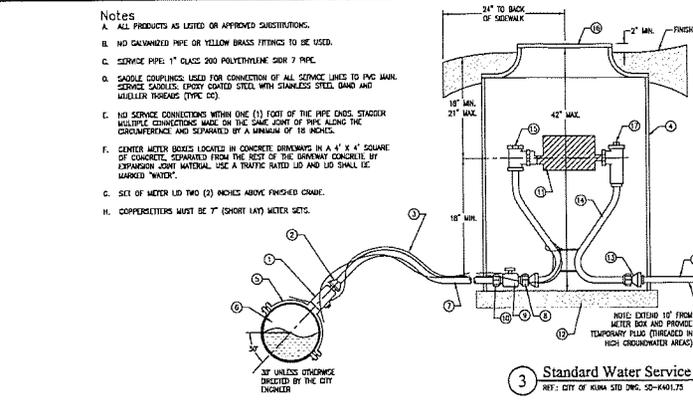
Notes:
 A. GRADE OF CUTTER MINIMUM 0.1%
 B. EXPANSION JOINT 1/2-INCH PREFORMED JOINT MATERIAL (ASTM M 215)
 C. FLEET AND BASE SECTION INDICES SHALL MATCH THE VALLEY CUTTER.
 D. PAV LIMITS FOR VALLEY CUTTER.
 E. FLEET DETAIL FOR CORNER RAMPING 10 FEET OR LESS.
 F. 1/2" EXPANSION JOINT.

Keynotes:
 1. 6" OF 3/4" MINUS CRUSHED AGGREGATE BASE MATERIAL.
 2. CONCRETE.
 3. 1/2" EXPANSION JOINT.

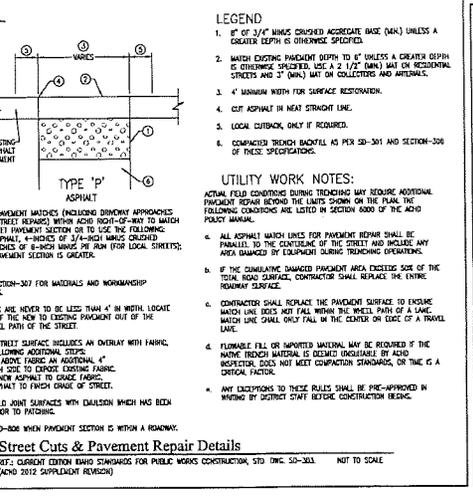
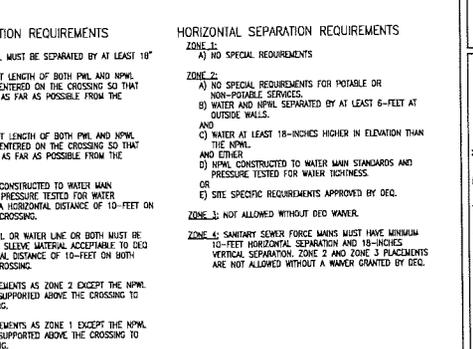
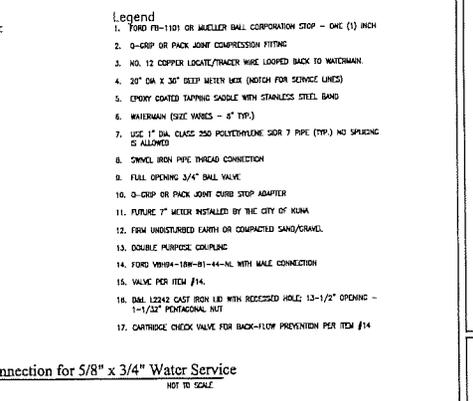
SCALE: AS SHOWN
 DATE: SEPTEMBER 05, 2016
 DRAWN BY: J.L. HALL
 CHECKED BY: J.L. HALL
 PROJECT NO.: 18-03-FP
 PROJECT NAME: SILVER TRAIL SUBDIVISION NO. 3
 TOWNSHIP 2 NORTH, RANGE 1 WEST, BASE MERIDIAN, CITY OF NEW JAY COUNTY, IOWA



2 Water Service Connection Detail
REF.: CITY OF KUNA STD. DWG. 50-1402
NOT TO SCALE



5 Fire Hydrant
REF.: DASH STANDARDS FOR PUBLIC WORKS CONSTRUCTION, STD. DWG. 50-1404
NOT TO SCALE



6 Street Cuts & Pavement Repair Details
REF.: CURRENT EDITION UNIFORM STANDARDS FOR PUBLIC WORKS CONSTRUCTION, STD. DWG. 50-1403
NOT TO SCALE

B & A Engineers, Inc.
Consulting Engineers, Surveyors & Planners
1000 N. W. 10th Ave., Suite 1000
Fort Lauderdale, FL 33304
(954) 343-3381



Construction Details

Silver Trail Subdivision No. 3
SHEET: OF THE WEST END OF THE SOUTHWEST CORNER OF SECTION 10, TOWNSHIP 2 NORTH, RANGE 30 WEST, COUNTY OF BROWARD, FLORIDA

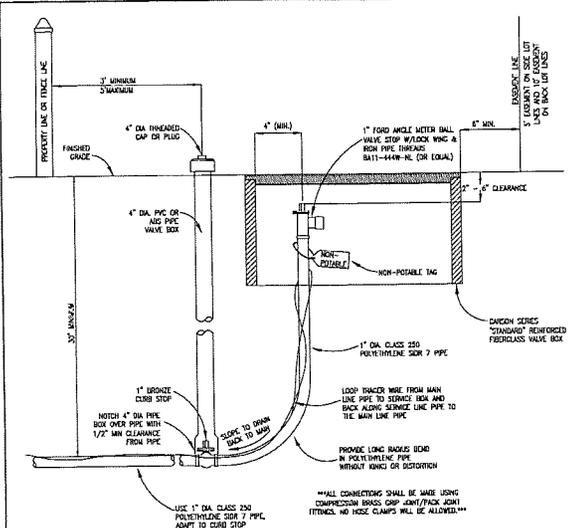
Record Construction Drawing

Date: September 1, 2017
By: J.L. Hill

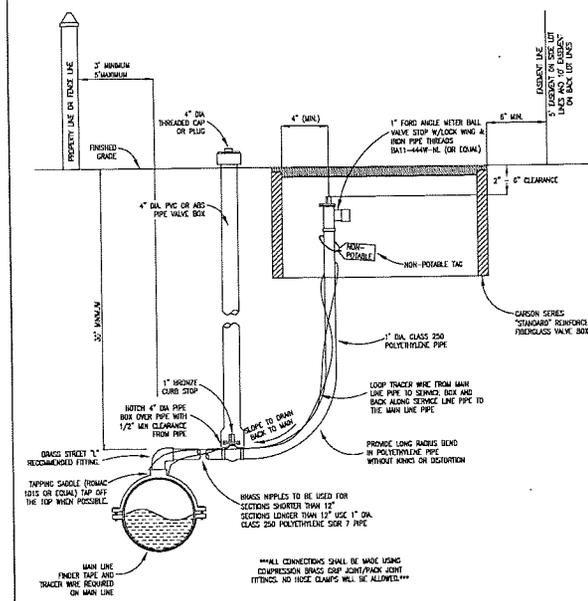
Your record drawings have been prepared by B & A Engineers, Inc. based on information provided to us by you. We warrant that the information provided to us by you is true and correct. We do not warrant the accuracy of the information provided to us by you. We warrant that the information provided to us by you is true and correct. We do not warrant the accuracy of the information provided to us by you.

DATE DRAWN: 09/01/17
DATE CHECKED: 09/01/17
DATE APPROVED: 09/01/17
DRAWN BY: J.L. Hill
CHECKED BY: J.L. Hill
APPROVED BY: J.L. Hill
SCALE: AS SHOWN

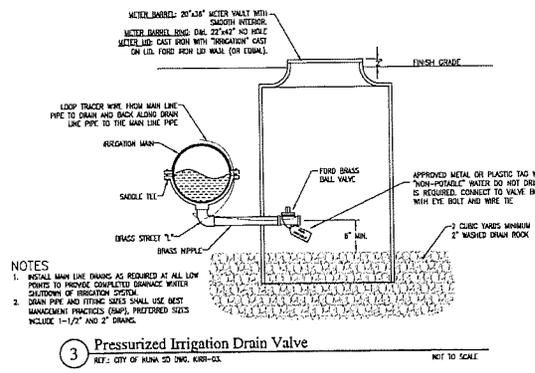
SHEET NO: **6.1**



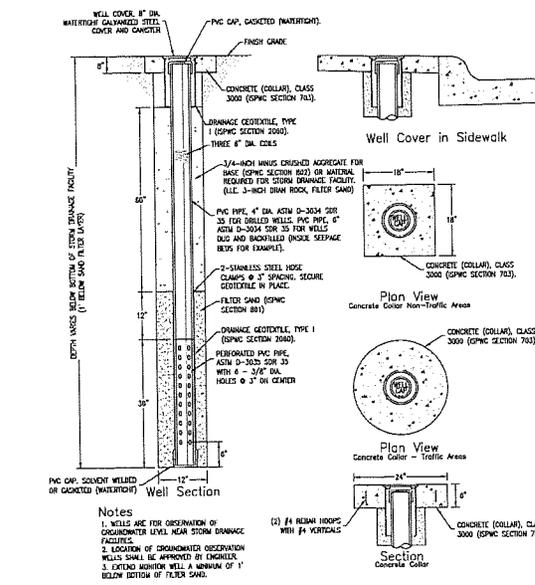
1 Standard Residential 1" Service Main Side (Long Side)
REF: CITY OF KUNA SD DMC 1808-02-02 NOT TO SCALE



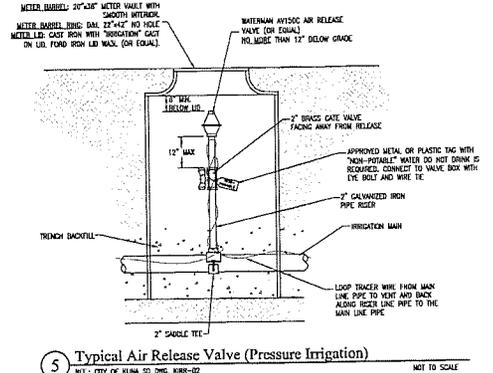
2 Standard Residential 1" Service Main Side (Short Side)
REF: CITY OF KUNA SD DMC 1808-02-01 NOT TO SCALE



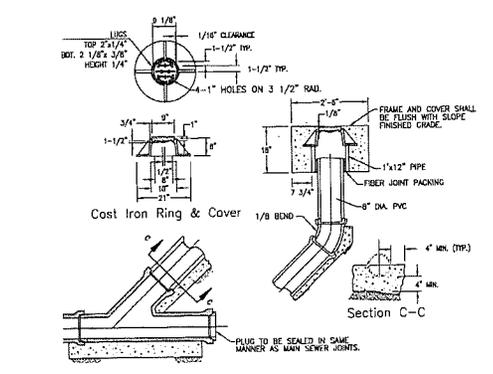
3 Pressurized Irrigation Drain Valve
REF: CITY OF KUNA SD DMC 1808-03 NOT TO SCALE



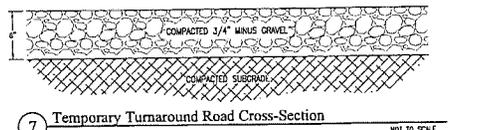
4 Ground Water Observation Well (Monitoring Well)
REF: ISAW STANDARDS FOR PUBLIC WORKS CONSTRUCTION, ADDS SUPPLEMENTAL STD DMC 50-027 NOT TO SCALE



5 Typical Air Release Valve (Pressure Irrigation)
REF: CITY OF KUNA SD DMC 1808-02 NOT TO SCALE



6 Standard Clean-out Detail
REF: ISAW STANDARDS FOR PUBLIC WORKS CONSTRUCTION, STD DMC 50-500A NOT TO SCALE



7 Temporary Turnaround Road Cross-Section
NOT TO SCALE

B & A Engineers, Inc.
Civil Engineering, Surveying & Planning
5505 W. Highway 101, Suite 101
Kuna, ID 83705
(208) 343-3381

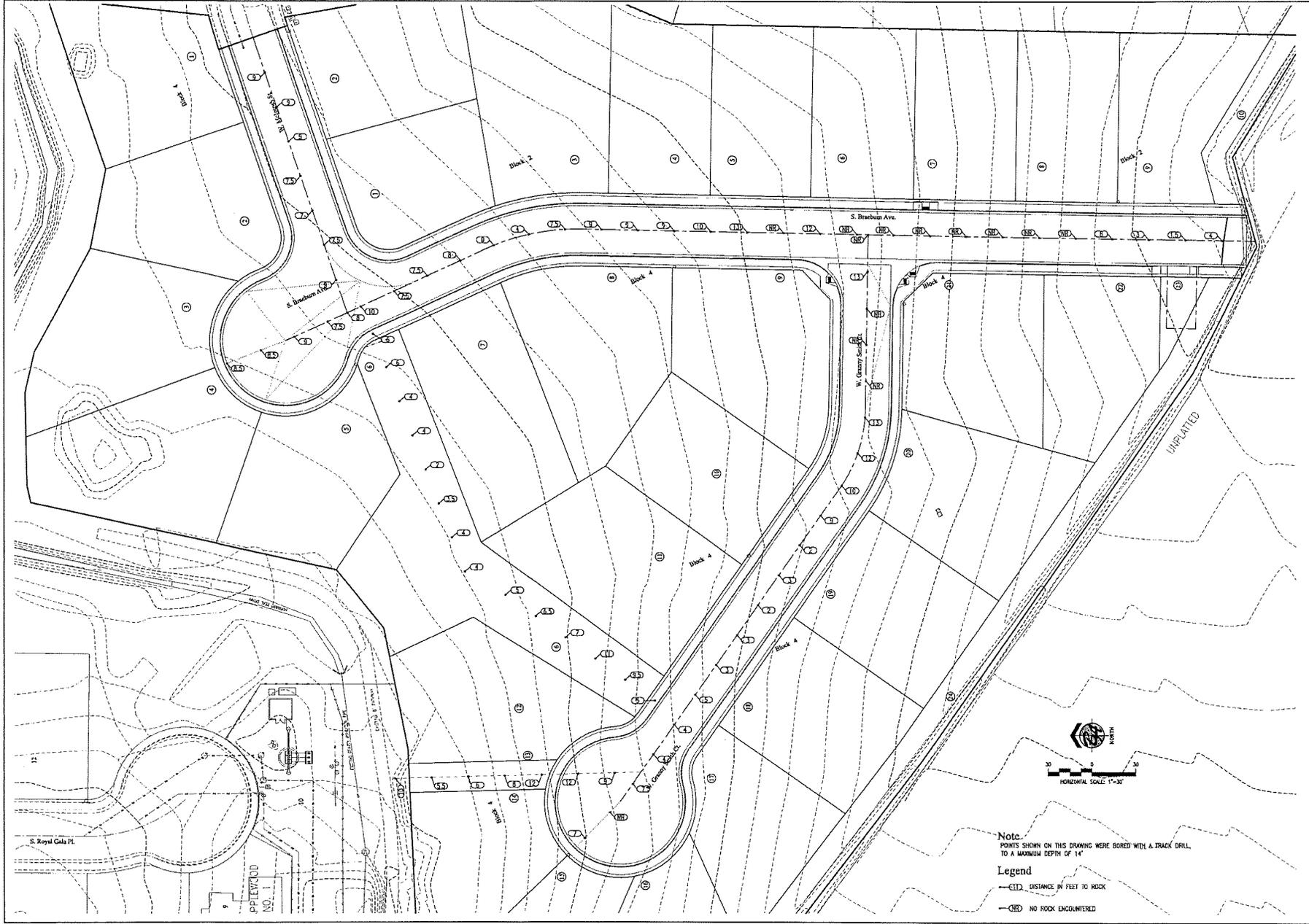


Construction Details
Silver Trail Subdivision No. 3
SITING IN THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 10, T18N34P3E, R18E, W1E, IDAHO COUNTY, IDAHO

Record Construction Drawing
Date: September 1, 2017
By: J. L. Hill
This record drawing has been prepared by B & A Engineers, Inc., based on information provided by the client. It is the responsibility of the client to ensure that the information provided is accurate and complete. B & A Engineers, Inc. is not responsible for any errors or omissions in this drawing.

SCALE	AS SHOWN
DATE	SEPTEMBER 28, 2017
PROJECT	SILVER TRAIL
CLIENT	UNION PACIFIC
PROJECT NO.	18-03-FP
DRAWING TITLE	CONSTRUCTION DETAILS
DESIGNED BY	J. L. HILL
CHECKED BY	J. L. HILL
DATE	SEPTEMBER 28, 2017

SHEET NO.
6.2



Note
 POINTS SHOWN ON THIS DRAWING WERE BORED WITH A TRACK DRILL
 TO A MAXIMUM DEPTH OF 14'

Legend
 —E12— DISTANCE IN FEET TO ROCK
 —E0— NO ROCK ENCOUNTERED

 B&A Engineers, Inc. Consulting Engineers, Surveyors & Planners 5985 W. Franklin Rd. Boise, Id. 83715 (208) 342-5381

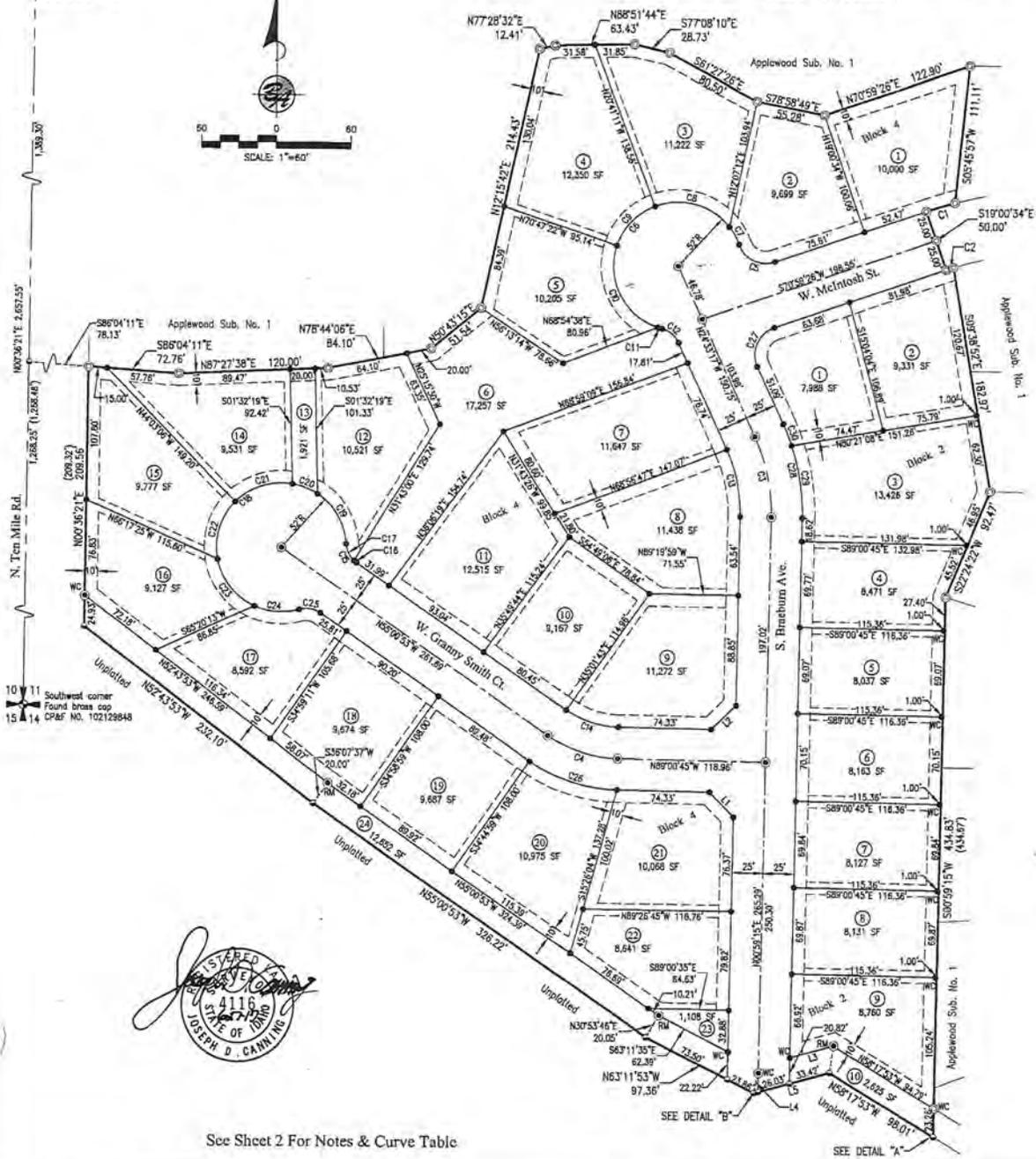
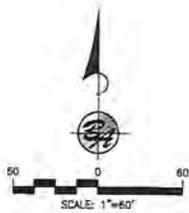
Rock Depth Map Silver Trail Subdivision No. 3 SITUATE IN THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 7 NORTH, RANGE 16E, COUNTY OF BOISE, IDAHO
Record Construction Drawing Date: September 1, 2017. By: J.L. Hill
Note: These drawings have been prepared by B & A Engineers, Inc., based on information furnished to us by the client. We warrant that the drawings are a true and correct representation of the information furnished to us.
DATE: 12/15/18 DRAWN BY: J.L. HILL CHECKED BY: J.L. HILL PROJECT NO.: 18-03-FP SHEET NO.: 36 of 46
RD

Silver Trail Subdivision No. 3

A parcel of land situate in the west half of the southwest quarter of Section 11,
Township 2 North, Range 1 West, Boise Meridian, City of Kuna, Ada County, Idaho.

2017

10 11
West Quarter Corner
Found Brass Cap
CP&F No. 7648451



Legend

- Subdivision boundary
- Lot line
- Section line
- Street centerline
- Water, sewer, drainage, and irrigation easement to benefit the City of Kuna, see note 10 for more information.
- Adjoining property line
- Found brass cap
- Found 5/8" pin
- Set 1/2"x24" iron pin with plastic cap labeled "B&A LS 4116"
- Set 5/8"x30" iron pin with plastic cap labeled "B&A LS 4116"
- Calculated point, not found or set
- Witness corner
- Reference monument
- Distance of record

Reference Documents

- Subdivision Plats
 - Applewood Subdivision No. 1 Book 100, Pages 12941-12945
 - Silver Trail Subdivision No. 1 Book 108, Pages 15053-15056
- Records of Survey
 - ROS No. 4238
- Warranty Deed
 - Instrument No. 2015-043505

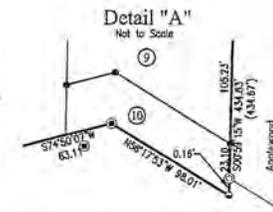
Line Table

Line	Bearing	Distance
L1	S44°00'45"E	27.76'
L2	S45°59'15"W	27.76'
L3	N74°50'07"E	36.30'
L4	N13°22'22"E	16.39'
L5	S74°50'07"W	63.11'

10 11
15 14
Southwest corner
Found brass cap
CP&F No. 102129848



See Sheet 2 For Notes & Curve Table



B&A Engineers, Inc.
Consulting Engineers, Surveyors & Planners
5505 W. Franklin Rd. Boise, Id. 83705
(208) 343-3381

Silver Trail Subdivision
Sheet 1

Exhibit
A4

Certificate of Owners

KNOW ALL MEN BY THESE PRESENTS: That the undersigned do hereby certify that it is the owner of a certain tract of land to be known as SILVER TRAIL SUBDIVISION NO. 3, and that it intends to include the following described land in this plat:

A parcel of land situate in the west half of the southwest quarter of Section 11, Township 2 North, Range 1 West, Boise Meridian, City of Kuna, Ada County, Idaho, being more particularly described as follows:

Commencing at the west quarter corner of said Section 11; thence S00°36'21"W, 1,389.30 feet along the westerly boundary of the southwest quarter of said Section 11 and the centerline of North Ten Mile Road to a point which bears N00°36'21"E, 1,268.25 feet from the southwest corner of said Section 11; thence S86°04'11"E, 48.08 feet to the easterly right-of-way of North Ten Mile Road; thence continuing S86°04'11"E, 30.05 feet to the southwesterly boundary of Applewood Subdivision No. 1 as shown in Book 100 of Plats at Pages 12941 through 12945 records of Ada County, Idaho, which is also the Point of Beginning;

Thence along the southerly boundary of said Applewood Subdivision No. 1 the following courses and distances:
S86°04'11"E, 72.76 feet; N87°27'38"E, 120.00 feet;
N78°44'06"E, 84.10 feet; N50°43'15"E, 51.54 feet;
N12°15'42"E, 214.43 feet; N77°28'32"E, 12.41 feet;
N86°51'44"E, 63.43 feet; S77°08'10"E, 28.73 feet;
S61°27'26"E, 80.50 feet; S78°58'49"E, 55.28 feet;
N70°59'26"E, 122.90 feet;

Thence along the westerly boundary of said Applewood Subdivision No. 1 the following courses and distances:
S05°45'57"W, 111.11 feet to the northerly right-of-way of West McIntosh Street;
23.99 feet along a non-tangent curve deflecting to the left, having a radius of 325.00 feet, a central angle of 04°13'46", a long chord bearing of S73°06'19"W, and a long chord distance of 23.99 feet along the northerly right-of-way of West McIntosh Street;
S19°00'34"E, 50.00 feet to the southerly right-of-way of West McIntosh Street;
6.07 feet along a non-tangent curve deflecting to the right, having a radius of 275.00 feet, a central angle of 01°15'54", a long chord bearing of N71°37'23"E, and a long chord distance of 6.07 feet along the southerly right-of-way of West McIntosh Street;
S09°38'52"E, 182.97 feet;
S22°24'22"W, 92.47 feet;
S00°58'15"W, 434.83 feet;

Thence N58°17'53"W, 98.01 feet;

Thence S74°50'07"W, 63.11 feet;

Thence N63°11'53"W, 97.36 feet;

Thence N55°00'53"W, 326.22 feet;

Thence N52°43'53"W, 232.10 feet to the easterly boundary of Lot 1 of Block 4 of said Applewood Subdivision No. 1;

Thence N00°36'21"E, 209.56 feet along the easterly boundary of Lot 1 of Block 4 of said Applewood Subdivision No 1 to the Point of Beginning.

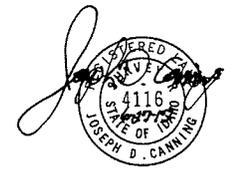
Comprising 9.13 acres, more or less.

Curve Table

CURVE	DELTA	RADIUS	ARC	CHORD BEARING	CHORD DISTANCE
C1	4°13'46"	325.00'	23.99'	S73°06'19"W	23.99'
C2	1°15'54"	275.00'	6.07'	N71°37'23"E	6.07'
C3	25°32'32"	150.00'	66.87'	N11°47'01"W	66.32'
C4	33°59'52"	100.00'	59.34'	S72°00'49"E	58.47'
C5	88°53'54"	23.00'	35.69'	S64°33'37"E	32.21'
C6	235°43'53"	52.00'	213.94'	S41°59'35"W	91.94'
C7	18°06'11"	52.00'	16.43'	N29°11'34"W	16.36'
C8	73°08'23"	52.00'	66.38'	N74°48'51"W	61.96'
C9	50°17'18"	52.00'	45.64'	S43°28'19"W	44.19'
C10	90°10'02"	52.00'	81.83'	S26°45'20"E	73.65'
C11	4°02'00"	52.00'	3.66'	S73°51'21"E	3.66'
C12	51°19'04"	20.00'	17.91'	N50°12'49"W	17.32'
C13	25°32'32"	125.00'	55.72'	N11°47'01"W	55.26'
C14	33°59'52"	75.00'	44.50'	S72°00'49"E	43.85'
C15	51°19'04"	20.00'	17.91'	S29°21'21"E	17.32'
C16	7°27'25"	20.00'	2.60'	S51°17'11"E	2.60'
C17	43°51'39"	20.00'	15.31'	S25°37'38"E	14.94'
C18	282°38'08"	52.00'	256.51'	S34°58'07"W	65.00'
C19	52°35'24"	52.00'	47.73'	N29°59'31"W	46.07'
C20	24°08'59"	52.00'	21.92'	N68°21'43"W	21.76'
C21	55°05'32"	52.00'	50.00'	S72°01'02"W	48.10'
C22	55°05'32"	52.00'	50.00'	S16°55'30"W	48.10'
C23	55°05'32"	52.00'	50.00'	S38°10'01"E	48.10'
C24	40°37'10"	52.00'	36.87'	S86°01'22"E	36.10'
C25	51°19'04"	20.00'	17.91'	N80°40'25"W	17.32'
C26	33°59'52"	125.00'	74.17'	S72°00'49"E	73.09'
C27	95°32'43"	23.00'	38.35'	S23°13'04"W	34.06'
C28	25°32'32"	175.00'	78.01'	N11°47'01"W	77.37'
C29	19°29'39"	175.00'	59.54'	N8°45'34"W	59.25'
C30	6°02'54"	175.00'	18.47'	N21°31'50"W	18.46'

Notes

- Irrigation water will be provided by the City of Kuna in compliance with Idaho Code Section §31-3805(1)(b). All lots within this subdivision will be entitled to irrigation rights through Boise-Kuna Irrigation District, and will be obligated for assessments from the City of Kuna.
- All references to Homeowners' Association herein are to the Silver Trail Subdivision Homeowners' and the owners of the lots, within said subdivision, jointly.
- Any resubdivision of this plat shall comply with the applicable zoning regulations in effect at the time of the resubdivision and may require amendment of the development agreement.
- Building setbacks and dimensional standards in this subdivision shall be in compliance with the applicable zoning regulations of the City of Kuna and conditions of the staff report for Applewood Subdivision.
- Lots shall not be reduced in size without prior approval from the health authority.
- Lot 10, Block 2 and Lots 6, 13, 23, & 24, Block 4 are designated as common area lots to be owned and maintained by the Homeowners' Association. This ownership and maintenance commitment may not be dissolved without the express consent of the City of Kuna. The Homeowners' Association is responsible for payment of irrigation assessments. In the event the Homeowners' Association fails to pay assessments, each residential lot is responsible for a fractional share of the assessment.
- No easement shown or designated hereon shall preclude the construction and maintenance of hard-surfaced driveways, landscaping (except trees), parking, or other such non-permanent improvements.
- All easements are parallel (or concentric) to the lines (or arcs) that they are dimensioned from unless otherwise noted.
- Public utility easement is hereby dedicated as follows:
• 10-foot wide along public rights-of-ways.
- Water, sewer, drainage, and irrigation easements are hereby dedicated to the City of Kuna for the installation and maintenance of lines as shown hereon (unless otherwise dimensioned).
• 10-foot wide along public rights-of-ways, rear lot lines and the exterior boundary.
• 10-foot wide centered on interior lot lines.
- Direct lot access to Ten Mile Road is prohibited.
- Maintenance of any irrigation, drainage pipe, or ditch crossing a lot is the responsibility of the lot owner unless such responsibility is assumed by an irrigation/drainage district.
- This development recognizes Idaho Code Section §22-4503, Right to Farm Act, which states: "No Agricultural operation, agricultural facility or expansion thereof shall be or become a nuisance, private or public, by any changed conditions in or about the surrounding non-agricultural activities after it has been in operation for more than one (1) year, when the operation, facility or expansion was not a nuisance at the time it began or was constructed. The provisions of this section shall not apply when a nuisance results from the improper or negligent operation of an agricultural operation, agricultural facility or expansion thereof."
- Portions of Lot 6 Block 4 is servient to and contains the ACHD storm water drainage system. This lot is encumbered by that certain First Amended Master Perpetual Storm Water Drainage Easement, recorded on November 10, 2015 as Instrument No. 2015-103256, Official Records of Ada County, and incorporated herein by this reference as if set forth in full (The "MASTER EASEMENT"). The Master Easement and the storm water drainage system are dedicated to ACHD pursuant to Section §40-2302 Idaho Code. The Master Easement is for the operation and maintenance of the storm water drainage system.
- Lot 23, Block 4 is subject to a blanket temporary turn around easement to benefit the Kuna Rural Fire Department. Easement is to be removed when S. Braeburn Ave. is extended.
- Lot 13, Block 4 is subject to a sanitary sewer easement to benefit the City of Kuna.
- This development is subject to a License Agreement, Inst. No. _____



B&A Engineers, Inc.
 Consulting Engineers, Surveyors & Planners
 5505 W. Franklin Rd. Boise, Id. 83705
 (208) 343-3381
 Silver Trail Subdivision No. 3
 Sheet 2 of 3

Silver Trail Subdivision No. 3

Certificate of Owners Signature

The public streets shown on this plat are hereby dedicated to the public; the easements shown on this plat are not dedicated to the public, but the right to use said easements is hereby reserved for the uses specifically depicted on the plat, and for any other purposes designated hereon. The lots within this subdivision are eligible to receive water service from the City of Kuna; and the City of Kuna has agreed in writing to serve all of the lots within this subdivision.

IN WITNESS WHEREOF, I have hereunto set my hand on this 10th day of July, 2017.

Justin Blackstock
Justin Blackstock, Manager
DB Development, LLC

Certificate of Surveyor

I, JOSEPH D. CANNING, do hereby certify that I am a Professional Land Surveyor, licensed by the State of Idaho, and that this plat of SILVER TRAIL SUBDIVISION NO. 3, as described in the Certificate of Owners and as shown on the attached plat, was drawn from an actual survey made on the ground under my supervision, and accurately and correctly represents the points plotted thereon, and is in conformance with the State of Idaho Code relating to plats and surveys.

Joseph D. Canning, L.S. No. 4116



Certificate of County Surveyor

I, the undersigned, County Surveyor, in and for Ada County, Idaho, do hereby certify that I have checked this plat and that it complies with the State of Idaho Code relating to plats and surveys.

Ada County Surveyor Date

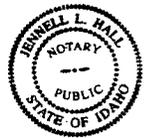
Acknowledgment

State of Idaho)
)ss.
County of Ada)

On this 10th day of July, in the year of 2017, before me the undersigned, a Notary Public in and for said state, personally appeared Justin Blackstock, known or identified to me to be the manager of the limited liability company that executed the instrument or the person who executed the instrument on behalf of said limited liability company and acknowledged to me that such limited liability company executed the same.

IN WITNESS WHEREOF: I have set my hand and seal the day and year in this certificate first above written.

Dwight L. Hall
Notary Public for Idaho
Residing in Boise, Idaho
My Commission Expires 1-12-2022



Approval of Central District Health Department

Sanitary restrictions as required by Idaho Code, Title 50, Chapter 13 have been satisfied according to the letter to be read on file with the County Recorder or his agent listing the conditions of approval. Sanitary restrictions may be re-imposed, in accordance with Section 50-1326, Idaho Code, by the issuance of a certificate of disapproval.

Rosie Taylor REHS
Central District Health Department, EHS



Certificate of County Treasurer

I, the undersigned, County Treasurer in and for the County of Ada, State of Idaho, per requirements of Idaho Code 50-1308, do hereby certify that any and all current and/or delinquent county property taxes for the property included in this proposed subdivision have been paid in full. This certificate is valid for the next thirty (30) days only.

Ada County Treasurer Date

Approval of Ada County Highway District

The foregoing plat was accepted and approved by the Board of Ada County Highway District Commissioners on the _____ day of _____

Commission President
Ada County Highway District

Certificate of County Recorder

State of Idaho)
)ss. Instrument No. _____
County of Ada)

I hereby certify that this instrument was filed at the request of _____ at _____ minutes past _____ o'clock __M., this _____ day of _____, in my office, and was recorded in Book _____ of Plats at Pages _____ through _____. Fee: _____

Ex-Officio Recorder: Christopher D. Rich
Deputy: _____

Approval of County Commissioners

I, the undersigned, Chairman of the Ada County Commissioners, Ada County, Idaho, do hereby certify that at a regular meeting of the Commissioners held on the _____ day of _____, this plat was duly accepted and approved.

Chairman



B&A Engineers, Inc.
Consulting Engineers, Surveyors & Planners
5505 W. Franklin Rd. Boise, Id. 83705
(208) 343-3381



City of Kuna

Findings of Fact

P.O. Box 13
Kuna, ID 83634
Phone: (208) 922-5274
Fax: (208) 922-5989
Kunacity.id.gov

To: Kuna City Council

Case Number: 13-02-S Subdivision, Preliminary Plat

Location: North Red Delicious Avenue (SEC Ten Mile & Mason Creek St.)
Kuna, Idaho 83634

Planner: Troy Behunin, Senior Planner

Meeting Date: August 6, 2013 (Continued)
August 20, 2013

Findings of Fact: September 3, 2013

Applicants: LEI Engineers & Planners, *Laren Bailey*
2040 S. Eagle Road
Meridian, ID, 83642
208.846.9600
Lbailey@LEI-Eng.com

DBTV Applewood Farm LLC, *Tim Eck*
6152 W. Half Moon lane
Eagle, ID, 83616
208.850.0591
Tweenterprises@yahoo.com

received
1. 17. 13

Table of Contents:

- A. Course Proceedings
- B. General Facts, Staff Analysis
- C. Applicable Standards
- D. Comprehensive Plan Analysis
- E. Findings of Fact
- F. Conclusions of Law
- G. Order of Decision by the Council

A. Course of Proceedings

1. Proposing Preliminary Plat for a residential subdivision is designated in Kuna City Code (KCC), 1-14-3 as a public hearing, with the City Council as the decision making body. This land use was given proper public notice and followed the requirements set forth in Idaho Code, Chapter 65, Local Planning Act.
 - a. Notifications
 - i. Agencies April 15, 2013
 - ii. 300' Property Owners July 2, 2013 (sent)
 - iii. Kuna Melba Newspaper July 10, 2013
 - iv. Site Posted July 25, 2013
2. In accordance with KCC Title 6 in Kuna City Code (KCC) this application seeks re-approval for a Preliminary Plat (residential subdivision), known as Silver Trail Subdivision.

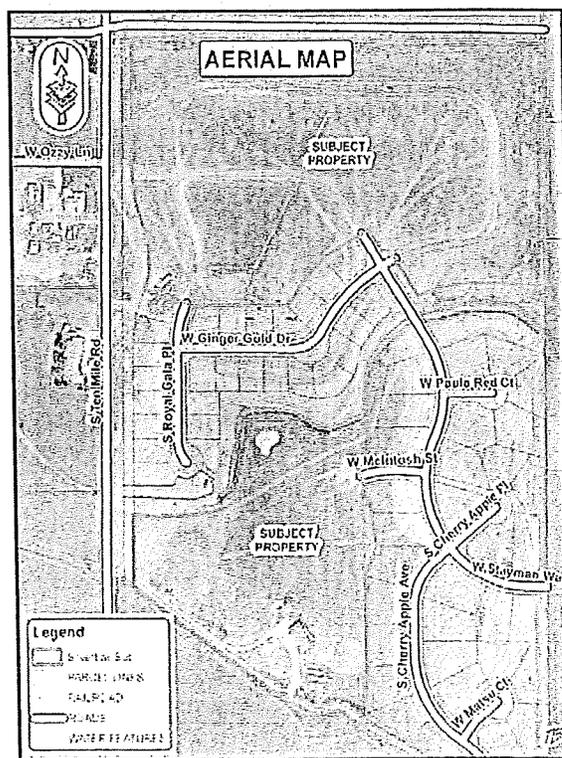
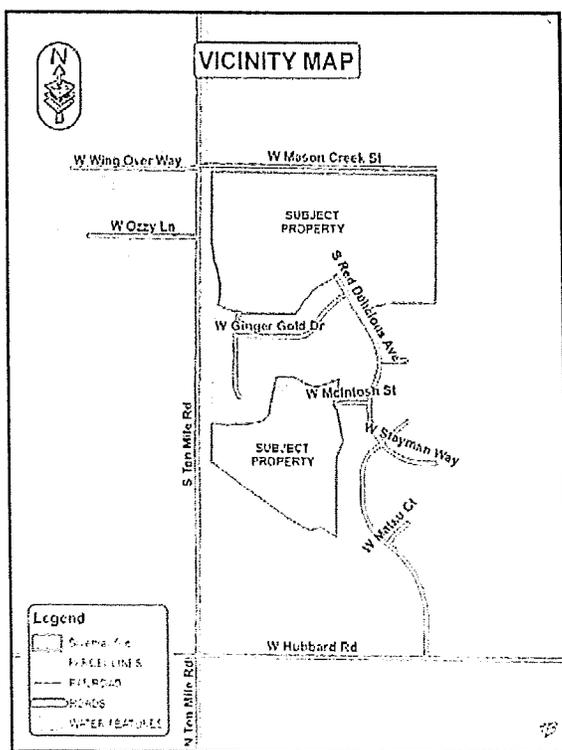
B. General Project Facts, Staff Analysis:

1. **Request:** The applicant is seeking preliminary plat re-approval for a residential subdivision in Kuna consisting of 115 buildable lots and 11 common lots over two parcels, and approximately 29.3 acres.
2. The applicant has submitted all necessary documents and materials for review and has held the appropriate neighborhood meeting and posted the site in accordance with KCC posting requirements.
3. **History:** The applicant is proposing a new preliminary re-plat for 115 lots and 11 common lots. This request has a slightly different lot arrangement than what was previously approved. The new lot count reflects an effort to match the developers Local Improvement District (LID) Equivalent Dwelling Units (EDU) obligation for the parcel. The overall increase in lots from the previous approval is about 15 additional buildable lots but remains within allowable densities for the R-6 zone.
4. **Legal Description:** A legal description was included with the application and is in the file.
5. **Comprehensive Plan Designation:** The Future Land Use map (FLU) identifies a designation of Medium Residential. In 2006 when this preliminary plat was originally approved, it was granted the R-6 zoning. In accordance with KCC 5-3-2, staff views this residential use request as compatible.

6. Land Use:

Direction	Current Zoning	
North	R-6	Medium Residential – Kuna City
South	RR	Rural Residential – Ada County
East	R-6, RR	Medium Residential – Kuna City and Rural Residential – Ada County
West	RR	Rural Residential – Ada County

6.1 Vicinity and Aerial Maps:



6.2 Parcel Numbers: APN: R1727740012, S1311336210

6.3 Parcel Sizes and Current Zoning:

Acres: 20.14 acres, 9.13 acres

Zoning: R-6 for both parcels.

6.4 Services:

Fire Protection – Kuna Fire District

Police Protection – Kuna City Police (Ada County Sheriff's office)

Sanitary Sewer– City of Kuna

Potable Water – City of Kuna

Irrigation District – Boise-Kuna Irrigation District

Pressurized Irrigation – City of Kuna (KMID)

Sanitation Services – K&M Sanitation

6.5 Existing Structures, Vegetation and Natural Features: The site is currently vacant and relatively flat. The vegetation is what is commonly associated with a vacant lot, and the site has more than 1,200 feet of street frontage along Mason Creek Street.

6.6 Transportation / Connectivity: Road frontage is on Mason Creek Street, additional access is from Ten Mile Road.

6.7 Public Services, Utilities and Facilities: The following agencies returned comments on this project; City Engineer, Kuna Forester, Department of Environmental Quality and Central District Health Department.

C. Applicable Standards:

1. City of Kuna Zoning Ordinance No. 230.
2. City of Kuna Design Review Ordinance, 2011-08.
3. City of Kuna Subdivision Ordinance No. 2010-15, title 6 Subdivision Regulations.
4. City of Kuna Landscape Ordinance No. 2006-100.
5. City of Kuna Comprehensive Plan.
6. Idaho Code, Title 67, Chapter 65, Local Land Use Planning Act.

D. Comprehensive Plan Analysis:

The City Council may accept the Comprehensive Plan components as described below.

1. The proposed subdivision preliminary plat for the site is consistent with the following Comprehensive Plan components:

GOALS AND POLICIES – Property Rights

Goal 1: Ensure that the City of Kuna land use policies, restrictions, conditions and fees do not violate private property rights. Establish an orderly, consistent review process for the City of Kuna to evaluate whether proposed actions may result in private property "takings".

Policy 1: As part of a land use action review, the staff shall evaluate with guidance from the City's attorney; The Idaho Attorney General's six criterion established to determine the potential for property taking.

GOALS AND POLICIES – Economic Development

Goal 1: Promote and support a diverse and sustainable economy that will allow more Kuna residents to work in their community.

Policy 1.3: The City will develop a policy to provide incentives and/or assistance in order to competitively attract firms.

GOALS AND POLICIES – Land Use

Goal 2: Encourage a balance of land uses to ensure that Kuna remains a desirable, stable, and self-sufficient community.

Objective 2.2: Plan for areas designed to accommodate a diverse range of businesses and commercial activity, within both the community-scale and neighborhood-scale centers; to strengthen the local economy and to provide more opportunities for social interaction.

Policy 2.3: Retail and residential land uses should be appropriately mixed and balanced with professional offices and service facilities to provide residents with a broader mix of services within walking distance from their homes.

E. Findings of Fact:

1. All required procedural items have been completed as shown in the staff report.
2. The proposed residential development complies with Section 6.0 of Kuna's Comprehensive Plan.
3. Public services are available and are adequate to accommodate this site's development.
4. The residential preliminary plat appears to not be detrimental to the public's health, safety and general welfare.
5. The site is zoned R-6 and intended for use as a residential subdivision after acquiring the proper approvals.
6. The project description and staff analysis and findings of fact are correct
7. Recommendation by the Planning and Zoning Commission:
Based on the facts outlined in staff's report and public testimony as presented, the Planning and Zoning Commission of Kuna, Idaho, hereby recommends *approval* for Case No. 13-02-S, a subdivision request by DBTV Applewood Farm, LLC, (Tim Eck), with the following conditions of approval:
 - a) Follow all staff recommendations listed in the staff report,
 - b) Developer shall coordinate with and follow the City Forester on alternate trees for certain species,
 - c) Single story homes for lots that back North Ten Mile Road,
 - d) Match and continue the existing perimeter fence,
 - e) Work with the City to provide correct fencing around retention ponds.

F. Conclusions of Law:

1. The preliminary plat use is consistent with Kuna City Code.
2. The preliminary plat use appears to meet the general objectives of Kuna's Comprehensive Plan.
3. The site is physically suitable for a preliminary plat use.
4. The preliminary plat use is not likely to cause substantial environmental damage or avoidable injury to wildlife or their habitat.
5. The residential preliminary plat is not likely to cause adverse public health problems.
6. The residential preliminary plat appears to be in compliance with all ordinances and laws of the City.
7. The residential preliminary plat appears to not be detrimental to the present and potential surrounding uses; to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing adjacent uses.
8. The existing and proposed street and utility services in proximity to the site are suitable and adequate for residential purposes.

9. Based on evidence contained in Case #13-02-S, this proposal appears to comply with KCC Title 6.
10. Based on the evidence contained in Case #13-02-S this proposal appears to comply with Section 6.0 of the Comprehensive Plan and the Kuna Comprehensive Future Land Use Map.
11. The City Council has the authority to approve or deny this preliminary plat application.
12. The public notice requirements were met and the public hearing was conducted within the guidelines of applicable Idaho Code and City Ordinances.

G. Order of Decision by the Council

Note: This proposed motion is to approve or deny this subdivision preliminary plat request. If the City Council wishes to recommend approval or denial for specific parts of the requests as detailed in the report, those changes must be specified.

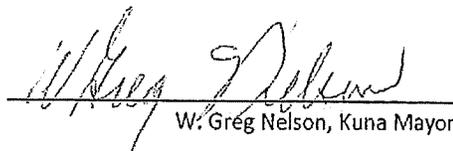
On August 20, 2013, the City Council voted 3-2, to approve case No. **13-02-S** based on the facts outlined in staff's report, case file and public testimony at the public hearing. The City Council of Kuna, Idaho, hereby **approves** Case No. **13-02-S**, a subdivision preliminary plat request by DBTV Applewood Farm, LLC, (Tim Eck), with the following conditions of approval:

Conditions of Approval:

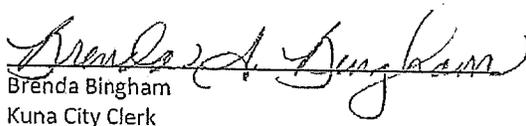
- The City Council did not accept the planning and zoning recommendation for requiring single-story homes along Ten Mile Road. City Council approved two-story homes on lots which back North Ten Mile Road.
1. The applicant shall obtain written approval of the construction plans from the agencies noted below. The approval may be either on agency letterhead referring to the approval use or may be written or stamped upon a copy of the approved plan. All site improvements are prohibited prior to approval of these agencies.
 - a.) The City Engineer shall approve the sewer and water hook-ups.
 - b.) The Kuna Fire District shall approve all fire flow requirements and/or building plans.
 - c.) The Boise-Kuna Irrigation District shall approve all proposed modifications to the existing Irrigation system.
 - d.) Approval from Ada County Highway District / Impact Fees, if any shall be paid prior to building permit approval.
 - e.) The City Engineer shall approve a surface drainage run-off plan, (if needed). As recommended by Central District Health Department, the plan should be designed and constructed in conformance with standards contained in "Catalog for Best Management Practices for Idaho Cities and Counties". No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of a drainage design plan from the Kuna City Engineer. The drainage design plan shall include all proposed site grading.
 2. All public right-of-way shall be dedicated and constructed to standards of the City and Ada County Highway District. No public street construction may be commenced without the approval of the Ada County Highway District. Any work within the Ada County Highway District right-of-way requires a permit. For information regarding the requirements to obtain a permit, contact Ada County Highway District Development Services at 208-387-6100.
 - 2.1 – Dedicate right-of-way in sufficient amounts which follow City and ACHD standards and widths.
 3. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground.
 4. Compliance with Idaho Code Section §31-3805 pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site.
 5. Lighting within the site shall comply with Kuna City Code.
 6. Parking within the site shall comply with Kuna City Code (Except as specifically approved otherwise).
 7. Fencing within and around the sites shall comply with Kuna City Code (Except as specifically approved otherwise).

8. Signage within the site shall comply with Kuna City Code. (The applicant shall apply for a sign permit prior to sign construction).
9. The applicant shall follow all of the requirements for sanitary sewer, potable water, pressure irrigation system connections, and all other requirements of the City engineer, as outlined in the Engineers memorandum dated May 1, 2013, and all future comments and/or corrections.
10. Submit a petition prior to submitting an application for final plat to the City, consenting to the pooling of irrigation surface water rights for delivery purpose and requesting to annex the irrigation surface water rights appurtenant to the property to the Kuna Municipal Pressure Irrigation District (KMID).
11. The applicant's preliminary plat (date stamped 3.18.2013) and landscape, parking and lighting plan, (date stamped 4.12.2013) shall be considered binding site plans.
12. All required landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace any unhealthy or dead plant material immediately (within 5 days as weather permits or as the planting season permits), as required to meet the standards of these requirements. Maintenance and planting within public right-of-way shall be with approval from the public and/or private entities owning the property.
13. The applicant shall comply with all Federal, State and Local Laws.

DATED: this 16th day of Sept., 2013.


W. Greg Nelson, Kuna Mayor

ATTEST:


Brenda Bingham
Kuna City Clerk





CITY OF KUNA
P.O. BOX 13
KUNA, ID 83634
www.kunacity.id.gov
Phone : (208) 639-5347
Email : bbachman@kunaid.gov

Bob Bachman, BOC 1, IBC
 Public Works Director
 City of Kuna

MEMORANDUM

To: Wendy Howell – Director of Planning and Zoning
From: Bob Bachman - Public Works Director
 Paul Stevens – City Engineer
 Michael L. Borzick – GIS Manager/ Plan Review
RE: Final Plat – **Silver Trail 3**
Date: February 13, 2018

Public works staff has reviewed the above mentioned Final Plat(s). The recommendation of Public Works is to proceed with the(se) approval(s) and address any issues and conditions raised below in connection with this application during plan review. Accordingly, Public Works provides the following comments:

1. Record Drawings

- a. This projects Record Drawings (As-builts) have been reviewed and returned to the Engineer of record, we are awaiting the Final Draft of said drawings to be returned and approved by the City Engineer so they may be properly archived in the Cities Map Room and the digital copies placed on the server for archival purposes.
- b. For assistance in understanding issues associated with project, please contact the GIS Manager at 208-287-1726

2. Water Rights

- a) Water Rights have been annexed per the request of the owner/developer per Ord 2017-19.
- b) For further assistance in understanding issues associated with said Water Rights, Assessment(s), Ordinance(s) or the request to Annex, please contact the GIS Manager at 208-287-1726.

3. Final Plat

- a) The applicant's Final Plat adheres to the Preliminary Plat, any Approved Construction Drawings, appropriate easements, rights-of-way and the like.
- b) For assistance in understanding issues associated with the Final Plat, please contact the City Engineer at 208-287-1727

4. Public Works Inspection Fees and Plan Review Fees

- a) The inspection fees and/or the plan review fees have been paid on this project in full and there is no need to reserve bond nor any other holdings.

At this time, the Public Works Staff mentioned in the header that they see no need to hold off on the approval of the above-mentioned subdivision. The Final Plat will be signed by the City Engineer upon completing of the aforementioned items. We look forward to working with you on this project. If we may be of further assistance, feel free to contact me at 208-639-5347.

Sincerely,

Bob Bachman

Bob Bachman
 Public Works Director

received
1.17.18



City of Kuna
Planning & Zoning
Department
P.O. Box 13
Kuna, Idaho 83634
208.922.5274
Fax: 208.922.5989
Website: www.kunacity.id.gov

Final Plat Checklist

A final plat application does not require a public hearing. It will be placed on the City Council agenda as a regular agenda item.

Project name: Crimson Point Subdivision No. 8	Applicant: David Crawford - B&A Engineers, Inc.
---	---

All applications are required to contain one copy of the following:

Applicant (✓)	Description	Staff (✓)
X	Completed and signed Commission & Council Review Application.	X
X	All pages of the proposed Final Plat.	X
X	Approved final engineering construction drawings for streets, water, sewer, sidewalks, pressure irrigation and other public improvements.	X
X	Approved Findings of Fact, Conclusions of Law for Preliminary Plat	X
X	Proof of current ownership of the real property included in the proposed final plat and written consent of the record owners of the final plat (Affidavit of Legal Interest) for all interested parties involved.	X
X	Such other information as deemed necessary to establish whether or not all proper parties have signed and/or approved said final plat.	X
X	A statement of conformance with the following information: ◇ The approved preliminary plat and meeting all requirements or conditions. ◇ The acceptable engineering practices and local standards.	X
X	Any proposed restrictive covenants and/or deed restrictions, and homeowners' association documents.	X
X	The final plat shall include and be in compliance with all items required under title 50, chapter 13 of the Idaho Code.	X

Note: Only one copy of the above items need to be submitted when applying for multiple applications.

This application shall not be considered complete (nor will a meeting date be set) until staff has received all required information. Once the application is deemed complete, staff will notify the applicant of the scheduled hearing date, fees due, additional copies needed, etc.

Exhibit
A2

received
1.17.18



City of Kuna
Planning & Zoning
Department
P.O. Box 13
Kuna, Idaho 83634
208.922.5274
Fax: 208.922.5989
Website: www.kunacity.id.gov

Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

*Please submit the appropriate checklist (s) with application

Type of Review (check all that apply):

- Annexation
- Appeal
- Comprehensive Plan Amendment
- Design Review
- Development Agreement
- Final Planned Unit Development
- Final Plat
- Lot Line Adjustment
- Lot Split
- Planned Unit Development
- Preliminary Plat
- Rezone
- Special Use
- Temporary Business
- Vacation
- Variance

For Office Use Only	
File Number (s)	18-04-FP
Project name	Crimson Point No. 8
Date Received	1.17.18
Date Accepted/Complete	
Cross Reference Files	
Commission Hearing Date	
City Council Hearing Date	

Contact/Applicant Information

Owners of Record: <u>DB Development, LLC. Justin Blackstock - Manager</u>	Phone Number: _____
Address: <u>2228 W. Piazza St.</u>	E-Mail: _____
City, State, Zip: <u>Meridian, ID 83642</u>	Fax #: _____
Applicant (Developer): <u>David Crawford, B&A Engineers, Inc.</u>	Phone Number: <u>208-343-3381</u>
Address: <u>5505 W. Franklin Rd.</u>	E-Mail: <u>dacrawford@baengineers.com</u>
City, State, Zip: <u>Boise, ID 83705</u>	Fax #: _____
Engineer/Representative: <u>Joseph D. Canning, B&A Engineers, Inc.</u>	Phone Number: _____
Address: <u>Same as applicant</u>	E-Mail: _____
City, State, Zip: _____	Fax #: _____

Subject Property Information

Site Address: _____
Site Location (Cross Streets): <u>Sount of Ardell Rd. & West of S. Ten Mile Rd.</u>
Parcel Number (s): <u>S1315346600, S1315347000, 51315346915</u>
Section, Township, Range: <u>Sec. 15 T2N R1W</u>
Property size : <u>11.34 ac</u>
Current land use: <u>N/A</u> Proposed land use: <u>Residential</u>
Current zoning district: <u>R-3</u> Proposed zoning district: <u>no change</u>

Exhibit
A2a

Project Description

Project / subdivision name: Crimson Point Subdivision No. 8

General description of proposed project / request: City signature on final plat

Type of use proposed (check all that apply):

Residential _____

Commercial _____

Office _____

Industrial _____

Other _____

Amenities provided with this development (if applicable): _____

Residential Project Summary (if applicable)

Are there existing buildings? Yes No

Please describe the existing buildings: _____

Any existing buildings to remain? Yes No

Number of residential units: 46 Number of building lots: 46

Number of common and/or other lots: 6

Type of dwellings proposed:

Single-Family _____

Townhouses _____

Duplexes _____

Multi-Family _____

Other _____

Minimum Square footage of structure (s): _____

Gross density (DU/acre-total property): 4.59 u/ac Net density (DU/acre-excluding roads): _____

Percentage of open space provided: _____ Acreage of open space: _____

Type of open space provided (i.e. landscaping, public, common, etc.): common

Non-Residential Project Summary (if applicable)

Number of building lots: _____ Other lots: _____

Gross floor area square footage: _____ Existing (if applicable): _____

Hours of operation (days & hours): _____ Building height: _____

Total number of employees: _____ Max. number of employees at one time: _____

Number and ages of students/children: _____ Seating capacity: _____

Fencing type, size & location (proposed or existing to remain): _____

Proposed Parking:

a. Handicapped spaces: _____ Dimensions: _____

b. Total Parking spaces: _____ Dimensions: _____

c. Width of driveway aisle: _____

Proposed Lighting: _____

Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.): _____

Applicant's Signature: [Signature] - GA Engineering, Inc. Date: 1/16/18

B & A Engineers, Inc.

Consulting Engineers & Surveyors
5505 W. Franklin Rd. Boise, Id. 83705
Ph. 208-343-3381 Fax 208-342-5792

received
1.17.18

January 16, 2018

City of Kuna

751 W. 4th St.
Kuna, Idaho 83634

Subject: **Final Plat Approval Request for – Crimson Point Subdivision No. 8**

City Staff:

We are pleased to present the final plat application and supporting documents with a request for the applicable City signatures for the final plat of Crimson Point Subdivision No. 8.

This 8th Phase of the development has been completed in substantial conformance with the approved preliminary plat.

Based on limited field observations and information provided by others, we believe that all construction has been completed in substantial conformance with the approved construction plans.

On behalf of the applicant, as their representative, we respectfully request the signatures of the City for this Subdivision.

Sincerely,



David Crawford
B&A Engineers, Inc.

ADA COUNTY RECORDER Christopher D. Rich BOISE IDAHO Pgs=5 CHE FOWLER FIDELITY NATIONAL TITLE - BOISE	2017-027264 03/31/2017 12:48 PM \$22.00
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received
1.17.18

34601702692 nb

SPECIAL WARRANTY DEED

FOR VALUE RECEIVED, the receipt and sufficiency of which is hereby acknowledged, **Thistle Farm LLC, an Idaho limited liability company** whose address is **1977 E Overland Rd, Meridian, ID 83642** (the "Grantor"), does hereby grant, bargain, sell and convey unto **DB Development LLC, a Delaware limited liability company**, whose address is **2228 W. Piazza St, Meridian, Idaho 83646**, (the "Grantee"), the following described premises (the "Premises"):

See the attached Schedule I.

TO HAVE AND TO HOLD the Premises, with their appurtenances unto the Grantee, and its successors and assigns forever.

TOGETHER WITH all and singular the improvements, hereditaments, and appurtenances thereon and thereunto belonging or in anywise appertaining, and the reversion or reversions, remainders, rents, issues and profits thereof; and all of the estate, title, interest, claim and demand whatsoever of the Grantor, either in law or in equity, of, in and to the above-described Premises with said improvements, hereditaments and appurtenances.

Grantee is relying solely upon Grantee's inspections as to the condition of the Premises. Grantor and Grantor's agents, employees and attorneys are not making, have not made and expressly disclaim any representations or warranties, express or implied, with respect to any aspect, feature or condition of the Premises, including, without limitation, the existence of hazardous waste, or the suitability of the Premises for Grantee's intended use. Grantee shall independently verify all information regarding any aspect or feature of the Premises provided by Grantor. Grantor does not guaranty the accuracy of any information provided by Grantor, its agents, employees or attorneys. Grantee is purchasing the Premises in "AS IS" "WHERE IS" condition, subject to all faults (whether they be physical, environmental or otherwise), including both latent and patent defects.

Grantor makes no covenants or warranties with respect to title, express or implied, other than as expressly stated hereinafter. Grantor is the owner of the Premises and has not conveyed the same estate to any person other than Grantee and that such estate is at the time of the

Exhibit
AZC

execution of this instrument free from encumbrances caused, created, or suffered directly by Grantor.

In addition to the foregoing, Grantor warrants the Premises is free and clear of all liens and encumbrances. The scope of Grantor's obligation pursuant to the warranty in this paragraph shall be limited to any amounts received by Grantor pursuant to the policy of title insurance, if any, obtained by Grantor upon acquisition of the Premises. All costs of pursuing a claim under such policy of title insurance shall be borne by Grantee.

Grantor does also hereby assign to Grantee, as to the Premises, the warranty Grantor obtained upon acquisition of the Premises if any. Said assignment is without warranty.

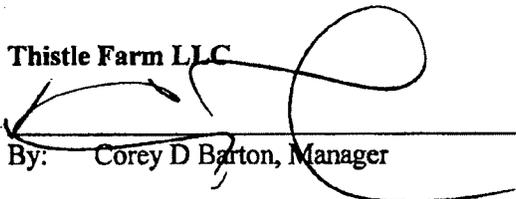
Grantee, by execution of this Special Warranty Deed, acknowledges Grantee's acceptance of the conveyance herein in accordance with the terms hereof and agrees to be bound by the restrictions set out herein.

Effective Date: March 31st, 2017

GRANTOR

Thistle Farm LLC

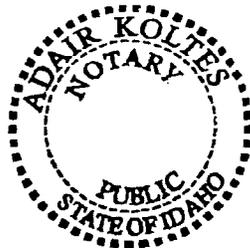
By: Corey D Barton, Manager



STATE OF IDAHO)
): ss.
County of Ada)

On the 30th day of March, 2017, before me, the undersigned notary public in and for said state, personally appeared Corey D Barton, known or identified to me to be the person whose name is subscribed to the within instrument as the Manager of Thistle Farm LLC and acknowledged to me that he executed the same as such Manager.

IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year first above written.



Adair Koltes
Notary Public for State of Idaho
Residing at Nampa, ID
Commission expires: 6-05-22

GRANTEE

DB Development, LLC

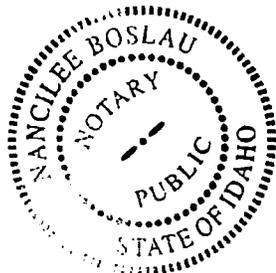
[Signature]
By: Justin Blackstock
Its: Manager

STATE OF IDAHO)
): ss.
County of Ada)

On the 30 day of March, 2017, before me, the undersigned notary public in and for said state, personally appeared Justin Blackstock, known or identified to me to be the person whose name is subscribed to the within instrument as the Manager of DB Development, LLC and acknowledged to me that he executed the same as such Manager.

IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year first above written.

[Signature]
Notary Public for State of Idaho
Residing at _____
Commission expires: _____



Residing in Boise, Idaho
Expiration Date: 11/12/2022

received
1.17.18

Schedule I

A portion of the Southwest quarter of Section 15, Township 2 North, Range 1 West, Boise Meridian, Kuna City, Ada County, Idaho, being more particularly described as follows:

Commencing at the South quarter corner of said Section 15, which bears South 89°44'30" East, 2,656.47 feet from the Southwest corner of said Section 15; thence North 00°06'11" East, 437.06 feet along Easterly boundary of the Southwest quarter of said Section 15 and the Westerly boundary of Crimson Point Subdivision Phase 3 as shown in Book 93 of Plats at Pages 11252 through 11254, records of Ada County, Idaho to the POINT OF BEGINNING:

thence

North 89°44'23" West, 115.01 feet;

thence

North 48°23'19" West, 66.77 feet;

thence

South 90°00'00" West, 222.83 feet;

thence

North 89°45'34" West, 50.00 feet;

thence

South 90°00'00" West, 242.82 feet;

thence

North 89°44'53" West, 50.00 feet;

thence

South 90°00'00" West, 242.19 feet;

thence

South 53°57'37" West, 62.04 feet;

thence

North 90°00'00" West, 130.00 feet;

thence

South 83°43'00" West, 50.21 feet;

thence

South 64°25'23" West, 117.60 feet;

thence

South 73°57'49" West, 52.06 feet;

thence

South 56°18'16" West, 131.35 feet to the boundary of Crimson Point Subdivision Phase 1 as shown in Book 90 of Plats at Page 10621 through Page 10626, records of Ada County, Idaho;

thence

Along the boundary of said Crimson Point Subdivision Phase 1 the following courses and distances:

North 33°41'44" West, 72.81 feet;

North 27°59'23" West, 99.48 feet;

North 18°30'08" West, 99.48 feet;

North 15°31'43" West, 11.53 feet to the Southwesterly corner of Crimson Point Subdivision NO. 7 as shown in Book 109 of Plats at Pages 15548 through 15550, records of Ada County, Idaho;

thence

Along the Southerly boundary of said Crimson Point Subdivision No. 7 the following courses and distances:

LEGAL DESCRIPTION
(continued)

North 71°23'56" East, 132.36 feet;
North 37°47'22" East, 60.66 feet;
North 73°00'51" East, 227.28 feet;
North 87°29'44" East, 369.85 feet to the Southeast corner of said Crimson Point Subdivision No. 7, to the boundary of said Crimson Point Subdivision Phase 1;

thence

Along the boundary of said Crimson Point Subdivision Phase 1 the following courses and distances:

North 87°29'43" East, 108.49 feet;
South 61°05'02" East, 57.54 feet;
North 90°00'00" East, 494.71 feet;
South 85°18'32" East, 50.97 feet;
South 89°44'23" East, 136.70 feet to the Westerly boundary of said Crimson Point Subdivision Phase 3;

thence

South 00°06'11" West, 264.00 feet along the Westerly boundary of said Crimson Point Subdivision Phase 3, to the POINT OF BEGINNING.

ADA COUNTY RECORDER Christopher D. Rich
 BOISE IDAHO Pgs=5 BONNIE OBERBILLIG
 FIDELITY NATIONAL TITLE - BOISE

2017-048327
 05/30/2017 02:28 PM
 \$22.00

3460170 4108nb

SPECIAL WARRANTY DEED

FOR VALUE RECEIVED, the receipt and sufficiency of which is hereby acknowledged, **Thistle Farm LLC, an Idaho limited liability company** whose address is **1977 E Overland Rd, Meridian, ID 83642** (the "Grantor"), does hereby grant, bargain, sell and convey unto **DB Development LLC, a Delaware limited liability company**, whose address is **2228 W. Piazza St, Meridian, Idaho 83646**, (the "Grantee"), the following described premises (the "Premises"):

See the attached Schedule I.

TO HAVE AND TO HOLD the Premises, with their appurtenances unto the Grantee, and its successors and assigns forever.

TOGETHER WITH all and singular the improvements, hereditaments, and appurtenances thereon and thereunto belonging or in anywise appertaining, and the reversion or reversions, remainders, rents, issues and profits thereof; and all of the estate, title, interest, claim and demand whatsoever of the Grantor, either in law or in equity, of, in and to the above-described Premises with said improvements, hereditaments and appurtenances.

Grantee is relying solely upon Grantee's inspections as to the condition of the Premises. Grantor and Grantor's agents, employees and attorneys are not making, have not made and expressly disclaim any representations or warranties, express or implied, with respect to any aspect, feature or condition of the Premises, including, without limitation, the existence of hazardous waste, or the suitability of the Premises for Grantee's intended use. Grantee shall independently verify all information regarding any aspect or feature of the Premises provided by Grantor. Grantor does not guaranty the accuracy of any information provided by Grantor, its agents, employees or attorneys. Grantee is purchasing the Premises in "AS IS" "WHERE IS" condition, subject to all faults (whether they be physical, environmental or otherwise), including both latent and patent defects.

Grantor makes no covenants or warranties with respect to title, express or implied, other than as expressly stated hereinafter. Grantor is the owner of the Premises and has not conveyed the same estate to any person other than Grantee and that such estate is at the time of the

execution of this instrument free from encumbrances caused, created, or suffered directly by Grantor.

In addition to the foregoing, Grantor warrants the Premises is free and clear of all liens and encumbrances. The scope of Grantor's obligation pursuant to the warranty in this paragraph shall be limited to any amounts received by Grantor pursuant to the policy of title insurance, if any, obtained by Grantor upon acquisition of the Premises. All costs of pursuing a claim under such policy of title insurance shall be borne by Grantee.

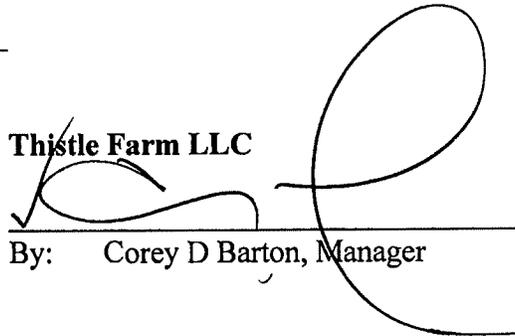
Grantor does also hereby assign to Grantee, as to the Premises, the warranty Grantor obtained upon acquisition of the Premises if any. Said assignment is without warranty.

Grantee, by execution of this Special Warranty Deed, acknowledges Grantee's acceptance of the conveyance herein in accordance with the terms hereof and agrees to be bound by the restrictions set out herein.

Effective Date: May 30, 2017

GRANTOR

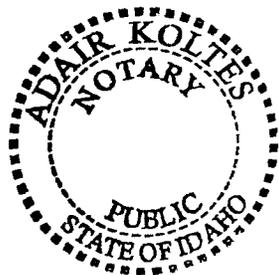
Thistle Farm LLC


By: Corey D Barton, Manager

STATE OF IDAHO)
): ss.
County of Ada)

On the 30th day of May, 2017, before me, the undersigned notary public in and for said state, personally appeared Corey D Barton, known or identified to me to be the person whose name is subscribed to the within instrument as the Manager of Thistle Farm LLC and acknowledged to me that he executed the same as such Manager.

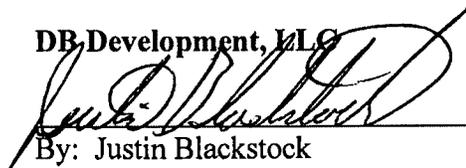
IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year first above written.



Adair Koltes
Notary Public for State of Idaho
Residing at Nampa, ID
Commission expires: 6-05-22

GRANTEE

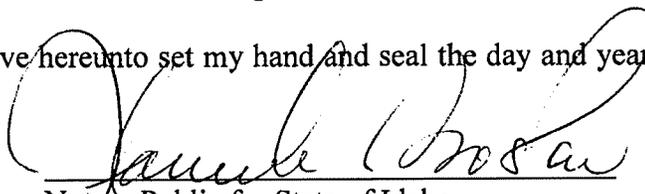
DB Development, LLC


By: Justin Blackstock
Its: Manager

STATE OF IDAHO)
): ss.
County of Ada)

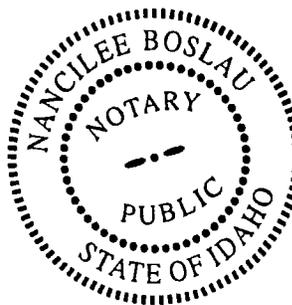
On the 30 day of May, 2017, before me, the undersigned notary public in and for said state, personally appeared Justin Blackstock, known or identified to me to be the person whose name is subscribed to the within instrument as the Manager of DB Development, LLC and acknowledged to me that he executed the same as such Manager.

IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year first above written.



Notary Public for State of Idaho
Residing at _____
Commission expires: _____

Residing in Boise, Idaho
Expiration Date: 11/12/2022



SCHEDULE I

Order No.: 34601704108

A portion of the Southwest quarter of Section 15, Township 2 North, Range 1 West, Boise Meridian, Kuna City, Ada County, Idaho, being more particularly described as follows:

Commencing at the South quarter corner of said Section 15, which bears South 89°44'30" East, 2,656.47 feet from the Southwest corner of said Section 15; thence North 00°06'11" East, 25.00 feet along the Easterly boundary of the Southwest quarter of said Section 15 and the Westerly boundary of Crimson Point Subdivision Phase 3 as shown in Book 93 of Plats at Pages 11252 through 11254, Records of Ada County, Idaho to the POINT OF BEGINNING:

thence

North 89°44'30" West, 115.01 feet along a line parallel with the Southerly boundary of the Southwest quarter of said Section 15;

thence

North 00°06'11" East, 182.50 feet along a line parallel with the Easterly boundary of the Southwest quarter of said Section 15;

thence

North 89°44'30" West, 50.00 feet along a line parallel with the Southerly boundary of the Southwest quarter of said Section 15;

thence

South 00°06'11" West, 52.50 feet along a line parallel with the Easterly boundary of the Southwest quarter of said Section 15;

thence

North 89°44'30" West, 111.88 feet along a line parallel with the Southerly boundary of the Southwest quarter of said Section 15;

thence

North 00°08'31" East, 325.67 feet;

thence

North 90°00'00" East, 111.66 feet;

thence

South 48°23'19" East, 66.77 feet;

thence

South 89°44'23" East, 115.01 feet to the Westerly boundary of said crimson point subdivision phase 3 and to the Easterly boundary of the Southwest quarter of said Section 15;

thence

South 00°06'11" West, 412.06 feet along the Westerly boundary of said Crimson Point Subdivision Phase 3 to the POINT OF BEGINNING.

And including the following:

Commencing at the South quarter corner of said Section 15, which bears South 89°44'30" East, 2,656.47 feet from the Southwest corner of said Section 15; thence

North 89°44'30" West, 165.01 feet along the Southerly boundary of the Southwest quarter of said Section 15 to the POINT OF BEGINNING:

thence

North 89°44'30" West, 78.23 feet along the Southerly boundary of the Southwest quarter of said Section

EXHIBIT A
(continued)

15;

thence

North 00°15'30" East, 104.99 feet:

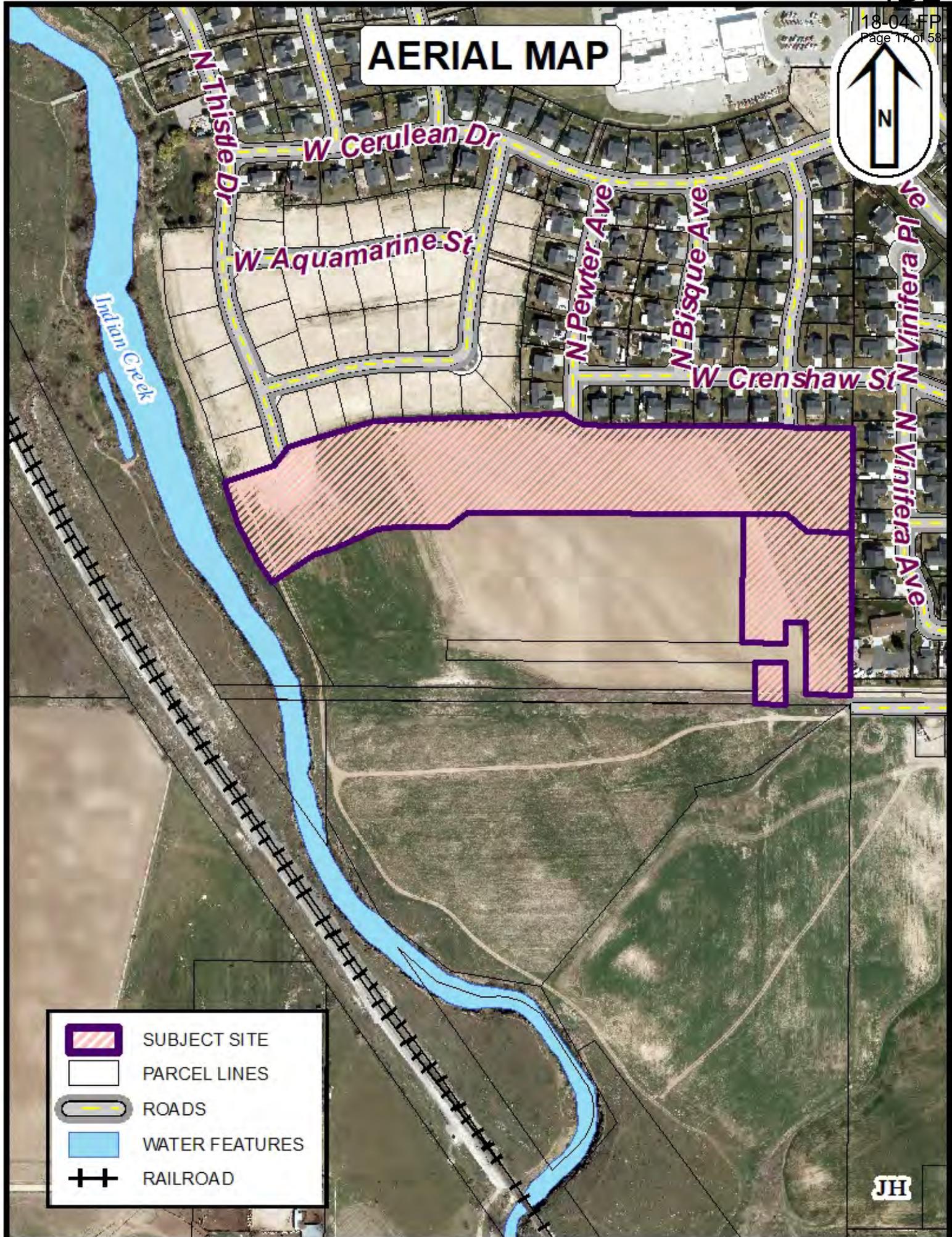
thence

South 89°44'30" East, 77.95 feet along a line parallel with the Southerly boundary of the Southwest quarter of said Section 15:

thence

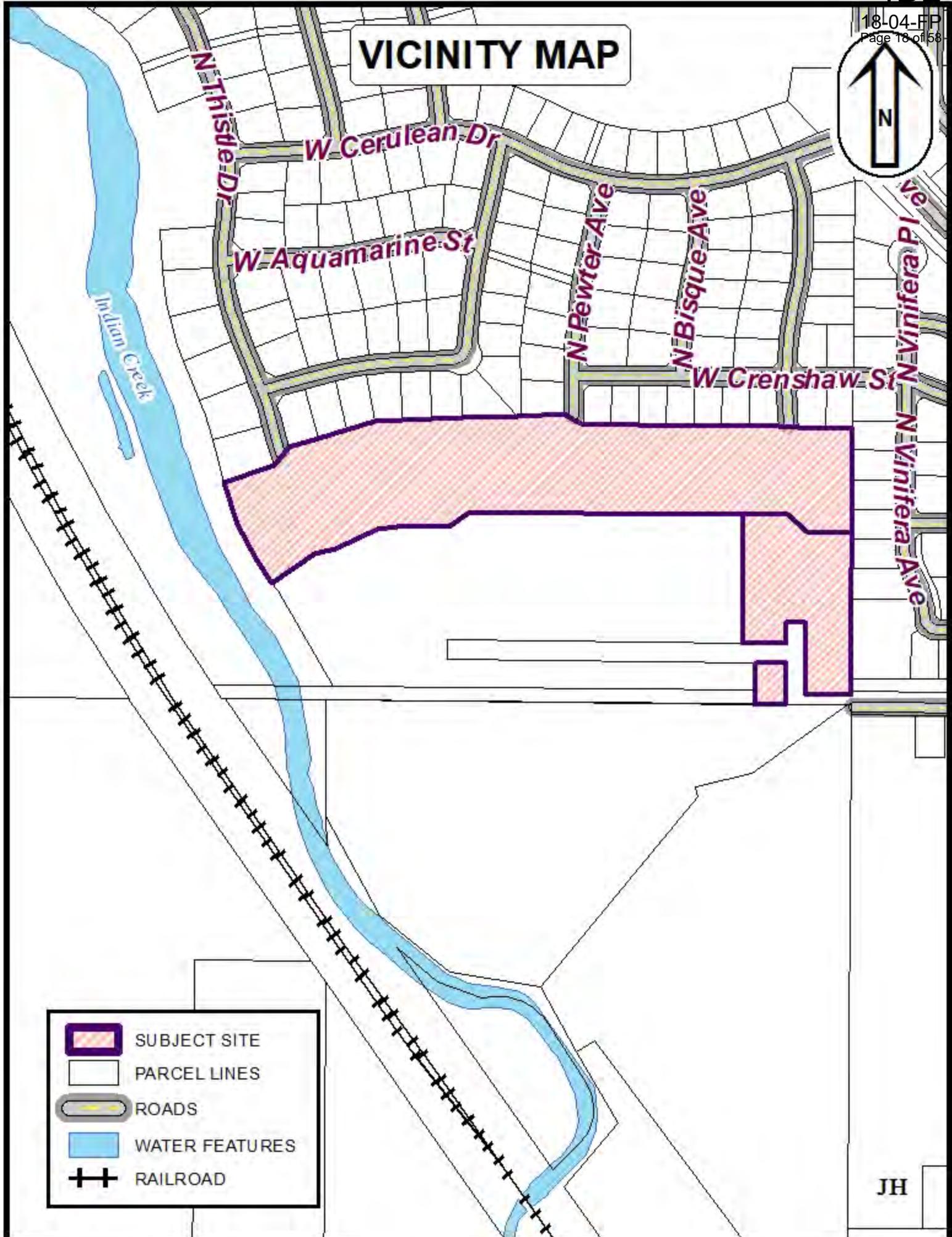
South 00°06'11" West, 105.00 feet along a line parallel with the Easterly boundary of the Southwest quarter of said Section 15 to the POINT OF BEGINNING.

AERIAL MAP



-  SUBJECT SITE
-  PARCEL LINES
-  ROADS
-  WATER FEATURES
-  RAILROAD

VICINITY MAP



	SUBJECT SITE
	PARCEL LINES
	ROADS
	WATER FEATURES
	RAILROAD

ADA COUNTY RECORDER J. DAVID NAVARRO AMOUNT 156.00 52
BOISE IDAHO 06/26/07 02:06 PM
DEPUTY Bonnie Oberbillig
RECORDED - REQUEST OF
Title One



received
1.18.18

DECLARATION OF
COVENANTS, CONDITIONS AND RESTRICTIONS
FOR
ARBOR RIDGE SUBDIVISION AND
SILVERDALE SUBDIVISION

THIS MASTER DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR ARBOR RIDGE SUBDIVISION AND SILVERDALE SUBDIVISION is made effective as of the 22nd day of June 2007, by Dyver Development LLC, an Idaho limited liability company ("Grantor" and "Class B Member").

Exhibit
A2F

improvements thereon, nor Grantor's right to maintain model homes, construction, sales or leasing offices or similar facilities on any portion of the Property, including the Common Area or any public right-of-way, nor Grantor's right to post signs incidental to construction, sales or leasing.

ARTICLE III: DEFINITIONS

3.1 "Abandoned or Inoperable Vehicle" shall mean any vehicle which has not been driven under its own propulsion for a period of seven (7) days or longer.

3.2 "Subdivision" shall mean the Property.

3.3 "Common Area" shall mean all real property in which the Association holds an interest or which is held or maintained, permanently or temporarily, for the common use, enjoyment and benefit of the entire Subdivision development and each Owner therein, which real property is legally described in Exhibit B attached hereto and made a part hereof. Common Area may be established from time to time by Grantor on any portion of the Property by describing it on a plat, by granting or reserving it in a deed or other instrument, or by designating it pursuant to this Declaration or any Supplemental Declaration. Common Area may include easement and/or license rights.

3.4 "Architectural Committee" shall mean the committee created by the Grantor or an Association pursuant to Article XII hereof.

3.5 "Articles" shall mean the Articles of Incorporation of an Association or other organizational or charter documents of an Association.

3.6 "Assessments" shall mean those payments required of Owners, Association Members, including Regular, Special and Limited Assessments of any Association as further defined in this Declaration.

3.7 "Association" shall mean the Idaho nonprofit corporation, its successors and assigns, established by Grantor to exercise the powers and to carry out the duties set forth in this Declaration or any Supplemental Declaration. Grantor shall have the power, in its discretion, to name the Association the "Arbor Ridge/Silverdale Subdivision Homeowners' Association, Inc.", or any similar name which fairly reflects its purpose.

3.8 "Association Rules" shall mean those rules and regulations promulgated by the Association governing conduct upon and use of the Property under the jurisdiction or control of the Association, the imposition of fines and forfeitures for violation of Association Rules and regulations, and procedural matters for use in the conduct of business of the Association.

3.9 "Board" shall mean the Board of Directors or other governing board or individual, if applicable, of the Association.

3.10 "Building Lot" shall mean one or more lots within the Property as specified or shown on any Plat and/or by Supplemental Declaration, upon which Improvements may be

domesticated cats, and other household pets which do not unreasonably bother or constitute a nuisance to others. Without limiting the generality of the foregoing, consistent and/or chronic barking by dogs shall be considered a nuisance. Each dog in the Subdivision shall be kept on a leash, curbed, and otherwise controlled at all times when such animal is off the premises of its owner. Such owner shall clean up any animal defecation immediately from the Common Area or public right-of-way. Failure to do so may result, at the Board's discretion, with a Limited Assessment levied against such animal owner. The construction of dog runs or other pet enclosures shall be subject to applicable Architectural Committee approval, shall be appropriately screened, and shall be maintained in a sanitary condition. Dog runs or other pet enclosures shall be placed a minimum of ten (10) feet from the side and/or rear Building Lot line, shall not be placed in any front yard of a Building Lot, and shall be screened from view so as not to be visible from Common Area or an adjacent Building Lot.

4.19 Landscaping. The Owner of any Building Lot shall sod the front and the side yards and landscape such Building Lot in conformance with the landscape plan approved by the Association, and as approved by the applicable Architectural Committee, prior to occupancy, weather permitting. Prior to construction of Improvements, the Owner (or any Association to which such responsibility has been assigned) shall provide adequate irrigation and maintenance of existing trees and landscaping, shall control weeds, and maintain the Owner's (or Association's) property in a clean and safe condition free of debris or any hazardous condition. All trees located on common Building Lot lines shall be the joint responsibility of the adjoining Building Lot owners. All landscaped Common Areas shall be irrigated by an underground sprinkler system.

The Board and/or applicable Architectural Committee may adopt rules regulating landscaping permitted and required. In the event that any Owner shall fail to install and maintain landscaping in conformance with such rules or shall allow such Owner's landscaping to deteriorate to a dangerous, unsafe, unsightly or unattractive condition, the Board, upon fifteen (15) days' prior written notice to such Owner, shall have the right to correct such condition and to enter upon such Owner's property for the purpose of doing so, and such Owner shall promptly reimburse the Association for the cost thereof. Such cost shall be a Limited Assessment and shall create a lien enforceable in the same manner as other Assessments as set forth in Article IX.

Following commencement of any construction of any Improvement, construction shall be diligently pursued and completed as soon as reasonably practical. All landscaping on a Building Lot, unless otherwise specified by the applicable Architectural Committee, shall be completed as soon as reasonably practical following completion of the residential structure on such Building Lot. The initial landscaping shall include, as a minimum, sod in the front and side yards, two (2) flowering trees of at least one and one-half inch (1 1/2") caliper or one (1) evergreen tree at least six feet (6') in height in the front yard, each with a three foot (3') diameter surrounding tree ring, and eight (8) one-gallon or larger shrubs in the front yard, and if a corner lot, two (2) additional one and one half inch (1 1/2") caliper trees installed on the street side of the residential structure with three foot (3') diameter surrounding tree ring. The use of berms and sculptured planting areas are encouraged. Back yard shall be sodded or seeded to grass within six (6) months of occupancy. The Supplemental Declarations for future phases may include more stringent landscaping requirements.

ARTICLE VII: RIGHTS TO COMMON AREAS

7.1 Use of Common Area. Every Owner shall have a right to use each parcel of Common Area, which right shall be appurtenant to and shall pass with the title to every Building Lot, subject to the following provisions:

7.1.1 The right of the Association to levy and increase Assessments;

7.1.2 The right of such Association to suspend the voting rights and rights to use of, or interest in, Common Area by an Owner for any period during which any Assessment or charge against such Owner's Building Lot remains unpaid; and for a period not to exceed sixty (60) days for any infraction of the Association Rules; and

7.1.3 The right of the Association to dedicate or transfer all or any part of the Common Area to any public agency, authority or utility for such purposes and subject to such conditions as may be permitted by the Articles and Bylaws and agreed to by the Members. No dedication or transfer of said Common Area shall be effective unless an instrument agreeing to such dedication or transfer signed by Members representing two-thirds (2/3) of each class of Members has been recorded.

7.1.4 The right of such Association to prohibit the construction of structures or Improvements, Improvements on all Common Areas.

7.1.5 The right of such Association to prohibit structures, Improvements, including manicured lawns and nursery plants.

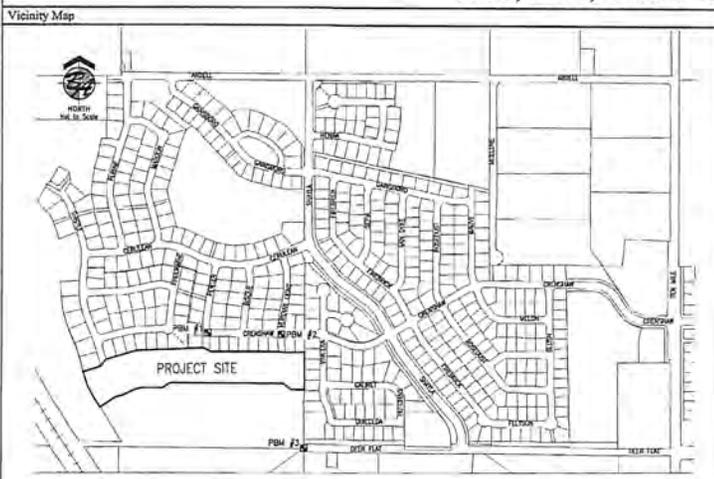
7.2 Designation of Common Area. Grantor shall designate and reserve Common Area in the Declaration, Supplemental Declarations and/or recorded Plats, deeds or other instruments and/or as otherwise provided herein.

7.3 Delegation of Right to Use. Any Owner may delegate, in accordance with the respective Bylaws and Association Rules of the Association, such Owner's right of enjoyment to the Common Area, to the members of such Owner's family in residence, and such Owner's tenants or contract purchasers who reside on such Owner's Building Lot. Only Grantor or the Association shall have the right to delegate the right of enjoyment to the Common Area, to the general public, and such delegation to the general public shall be for a fee set by Grantor or Association.

7.4 Damages. Each Owner shall be fully liable for any damage to any Common Area which may be sustained by reason of the negligence or willful misconduct of the Owner, such Owner's resident tenant or contract purchaser, or such Owner's family and guests, both minor and adult. In the case of joint ownership of a Building Lot, the liability of such Owners shall be joint and several. The cost of correcting such damage shall be a Limited Assessment against the Building Lot and may be collected as provided herein for the collection of other Assessments.

Crimson Point Subdivision No. 8

Street, Water, Pressure Irrigation, Storm Drainage, & Sanitary Sewer Construction Plans



Legend	
	PROJECT / PROPERTY BOUNDARY
	LOT LINE
	STREET CENTERLINE (CENTER OF R-0-0)
	CENTERLINE OF ASPHALT (WHEN DIFFERS FROM R-0-0)
	EXISTING EDGE OF PAVEMENT
	EXISTING SANITARY SEWER MAIN LINE
	CONSTRUCT 4" SANITARY SEWER MAIN LINE, 200' MIN. SEE DETAIL 1 & SHEET 10
	EXISTING 8" P-V-C WATER MAIN LINE
	CONSTRUCT 8" P-V-C WATER MAIN LINE
	CONSTRUCT 1" DOUBLE WATER SERVICE
	EXISTING PRESSURE IRRIGATION LINE, SEE NOTES ON SHEET 3
	CONSTRUCT PRESSURE IRRIGATION LINE, SEE NOTES ON SHEET 3
	1/2" PVC PRESSURE IRRIGATION EXPOSED
	1/2" PVC PRESSURE IRRIGATION (CULVERT), UNLESS NOTED OTHERWISE
	VERTICAL 1/2" PVC GALLON SEDIMENT TANK PER ACHD BLOW-OFF WITH MANHOLE FRINGE AND COVER PER SPEC 20-415 AND 20-417
	VERTICAL 2" BLOW-OFF ASSEMBLY
	EXISTING STORM DRAIN MANHOLE
	VERTICAL 48" FLAT BOTTOM MANHOLE WITH 2' SLUMP ON TOP, AS PER SPEC STANDARD DRAWING 20-811
	VERTICAL SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER MANHOLE
	VERTICAL 18" STREET LIGHT
	REFERENCE
	ASPHALT SAW-CUT LINE
	EXISTING CURB AND GUTTER
	CONSTRUCT 2" ROLLED CURB & GUTTER WITH 5' WIDE ATTACHED SIDEWALK
	CONSTRUCT 4" VERTICAL CURB & GUTTER WITH 5' WIDE ATTACHED SIDEWALK
	FINISH GRADE ELEVATION @ TOP BACK OF ROLLED CURB
	FINISH GRADE ELEVATION @ TOP BACK OF VERTICAL CURB
	EXISTING ELEVATION @ TOP BACK OF VERTICAL CURB
	FINISH GRADE ELEVATION @ LIP OF GUTTER
	EXISTING ELEVATION @ LIP OF EXISTING GUTTER
	FINISH GRADE ELEVATION @ FLOOR LINE
	FINISH GRADE ELEVATION @ CENTERLINE
	GRADE CHANGE
	GRADE CHANGE AND DIRECTION
	GRADE BREAK
	METAL WATER VALVE, SAME SIZE AS MAIN LINE
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	METAL TYPE 3 TURNOVER MANHOLE, W/NO PLATE AT BASE FOR ONE REVISION, AS PER NOTES PREVIOUS SECTION SHEET
	SIGNAL BOX, 8" TERMINUS IMPROVED STAKING THIS ROAD WILL BE EXTENDED IN THE FUTURE, AS PER SPEC STANDARD DRAWING 20-1122
	LOT MARKER

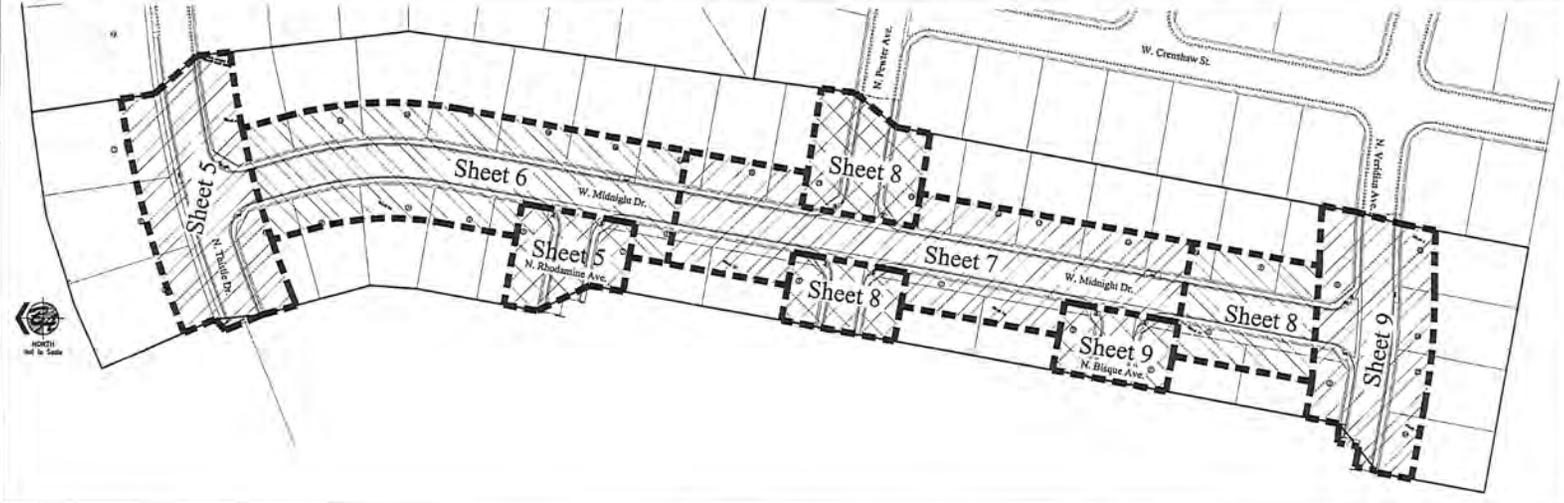
- ### Keynotes
- CONSTRUCT 5'-0" CONCRETE SIDEWALK IN ACCORDANCE WITH ACHD SUPPLEMENTAL STANDARD DRAWING 20-704. SEE DETAILS 2 AND 3, SHEET 11.
 - CONSTRUCT 1" ROLLED CURB AND GUTTER IN ACCORDANCE WITH ACHD SUPPLEMENTAL STANDARD DRAWING 20-702. SEE DETAIL 1, SHEET 11.
 - CONSTRUCT PEDESTRIAN RAMP IN ACCORDANCE WITH THE ACHD SUPPLEMENTAL STANDARD DRAWING 20-712-H-4. SEE DETAIL 5, SHEET 11.
 - INSTALL PIPE SLEEVE PER DETAIL 4, SHEET 11
 - INSTALL 2" WATER MAIN BLOW-OFF VALVE IN ACCORDANCE WITH KUNA CITY WATER MAIN WATER SYSTEM STANDARD DETAIL "BLOW-OFF".
 - INSTALL INLET CATCH BASIN, TYPE 4, FOR ROLLED CURB (2" FLOOR) IN ACCORDANCE WITH ACHD SUPPLEMENTAL STANDARD DRAWING 20-824-A.
 - CONSTRUCT 5" VERTICAL CURB AND GUTTER IN ACCORDANCE WITH ACHD SUPPLEMENTAL STANDARD DRAWING 20-701. SEE DETAIL 6, SHEET 12.
 - INSTALL FIRE HYDRANT IN ACCORDANCE WITH I.S.P.M.C. STANDARD DRAWING 20-404. SEE DETAIL 4, SHEET 12.
 - REMOVE EXISTING BLOW-OFF AND CONNECT NEW 1" POTABLE WATER MANHOLE TO THE EXISTING 1" POTABLE WATER MANHOLE.
 - START OF NEW 3" ROLLED CURB, GUTTER, AND 5' ATTACHED SIDEWALK CONSTRUCTION MATCH INTO THE EXISTING IMPROVEMENTS.
 - START OF NEW 1" VERTICAL CURB, GUTTER, AND 5' ATTACHED SIDEWALK CONSTRUCTION MATCH INTO THE EXISTING IMPROVEMENTS.
 - CONSTRUCT VALLEY GUTTER IN ACCORDANCE WITH ACHD SUPPLEMENTAL STANDARD DRAWING 20-706.
 - CONSTRUCT MID-SLOPE PEDESTRIAN RAMP IN ACCORDANCE WITH I.S.P.M.C. STANDARD DRAWING 20-712-G. SEE DETAIL 3, SHEET 11.
 - REMOVE, REMOVE, AND REPLACE APPROXIMATELY 00 SF EXISTING ASPHALT. SEE DETAIL 9, SHEET 11
 - REMOVE, REMOVE, AND REPLACE APPROXIMATELY 04 SF EXISTING ASPHALT. SEE DETAIL 9, SHEET 11
 - REMOVE, REMOVE, AND REPLACE APPROXIMATELY 04 SF EXISTING ASPHALT. SEE DETAIL 9, SHEET 11
 - INSTALL CONDENSATION AIR RELEASE/VACUUM VALVE IN ACCORDANCE WITH I.S.P.M.C. STANDARD DRAWING 20-408-A, WITH BOLLARDS. SEE DETAIL 7, SHEET 13.

Erosion Control - Storm Water Pollution Prevention Note

1. PRIOR TO CONSTRUCTION CONTRACTORS SHALL BE RESPONSIBLE TO VERIFY THAT A NOTICE OF INTENT TO CONSTRUCT (NOI) HAS BEEN FILED AND ACCEPTED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR COMPLYING WITH THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP).

Benchmark Information (NOID OR DATUM)	Digline Info
BM #1 FOUND 5.87' PIN IN THE INTERSECTION OF W. CROSSHAW WAY AND N. PENDER AVE. ELEVATION = 2658.78	50 South Cole Road Boise, ID 83709 1-800-342-1585 (208) 342-1585
BM #2 FOUND 5.87' PIN AT THE INTERSECTION OF W. CROSSHAW WAY AND N. VICTORIAN AVE. ELEVATION = 2664.78	
BM #3 FOUND 5.87' PIN AT THE WEST END OF W. DEER FLAT RD. (SEE VICINITY MAP). ELEVATION = 2670.47	

Profile Sheet Index



Sheet Index

- TITLE SHEET AND INDEX
- CONSTRUCTION NOTES
- SITE COMPOSITE PLAN
- COMPOSITE SANITARY SEWER PLAN
- COMPOSITE WATER AND STREET LIGHT PLAN
- PRESSURE IRRIGATION PLAN
- FINAL PLAN
- FINAL PLAN
- PLAN/PROFILE - N. THURSDAY DR. & N. RHODANUS AVE.
- PLAN/PROFILE - W. MIDNIGHT DR.
- PLAN/PROFILE - N. MIDNIGHT DR. & N. PENDER AVE.
- PLAN/PROFILE - N. MIDNIGHT DR. & N. VICTORIAN AVE. & N. BOSSUE AVE.
- STORM DRAIN DETAILS
- CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS

B & A Engineers, Inc.
 Consulting Engineers, Inc.
 5505 W. Franklin Rd. Boise, ID 83725
 (208) 342-3331



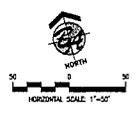
Title Sheet and Index
 Crimson Point Subdivision No. 8
 A PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 7 NORTH, RANGE 1 WEST, BOISE URBAN, CITY OF KUNA, ADA COUNTY, IDAHO.

Record Construction Drawing
 Date: October 31, 2017
 By: J.L. Hill

This record drawing was prepared by B & A Engineers, Inc., based on information furnished to us by the client. We warrant that the information furnished to us was true and correct. We warrant that this drawing was prepared in accordance with the professional standards of the engineering profession. We warrant that this drawing was prepared in accordance with the professional standards of the engineering profession.

DATE: 10/31/17	SCALE: AS SHOWN
DRAWN BY: J.L. HILL	CHECKED BY: J.L. HILL
DATE: 10/31/17	SCALE: AS SHOWN
DRAWN BY: J.L. HILL	CHECKED BY: J.L. HILL

Exhibit
A3



B&A Engineers, Inc.
Consulting Engineers, Surveyors & Planners
5505 W. Franklin Rd., Boise, ID 83705
(208) 343-3381



Site Composite Plan

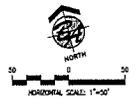
Crimson Point Subdivision No. 8
A PORTION OF THE SOUTH-HALF OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 2
NORTH, RANGE 1 WEST, BOISE TWP. 2N, R. 1W, CO. 3E, ID.

Record Construction Drawing

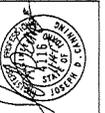
Date: October 31, 2017
By: J.A. Hill
These record drawings have been prepared by B & A Engineers, Inc. based on
information furnished by the client. The client is responsible for the accuracy of the
information and for the correctness of the information shown hereon, and the client
warrants that the information is true and correct.

SHEET NO.	27
DATE	10/31/17
DRAWN BY	J.A. Hill
CHECKED BY	J.A. Hill
DATE	10/31/17
DATE	10/31/17
DATE	10/31/17

SHEET NO. **2**



B&A Engineers, Inc.
Consulting Engineers, Surveyors & Planners
5905 W. Franklin Rd., Boise, ID 83725
(208) 343-3381



Site Sanitary Sewer and Storm Drainage Plan
Crimson Point Subdivision No. 8
A PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 7 N,
RANGE 1 WEST, BEISE MERIDIAN, CITY OF NAVA, ADA COUNTY, IDAHO.

Record Construction Drawing
Date: October 31, 2017
By: J.L. Hall
These record drawings have been prepared by B&A Engineers, Inc., based on information furnished by the owner. B&A Engineers, Inc. does not warrant the accuracy of the information furnished by the owner. The user of these drawings shall be responsible for obtaining all necessary permits and for obtaining all necessary approvals from the appropriate authorities.

DATE	10/31/2017
SCALE	AS SHOWN
BY	J.L. HALL
CHECKED	J.L. HALL
DATE	10/31/2017
PROJECT	CRIMSON POINT SUBDIVISION NO. 8
SHEET	26 OF 58

SHEET NO. **2.1**

Crimson Point Subdivision No. 8

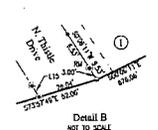
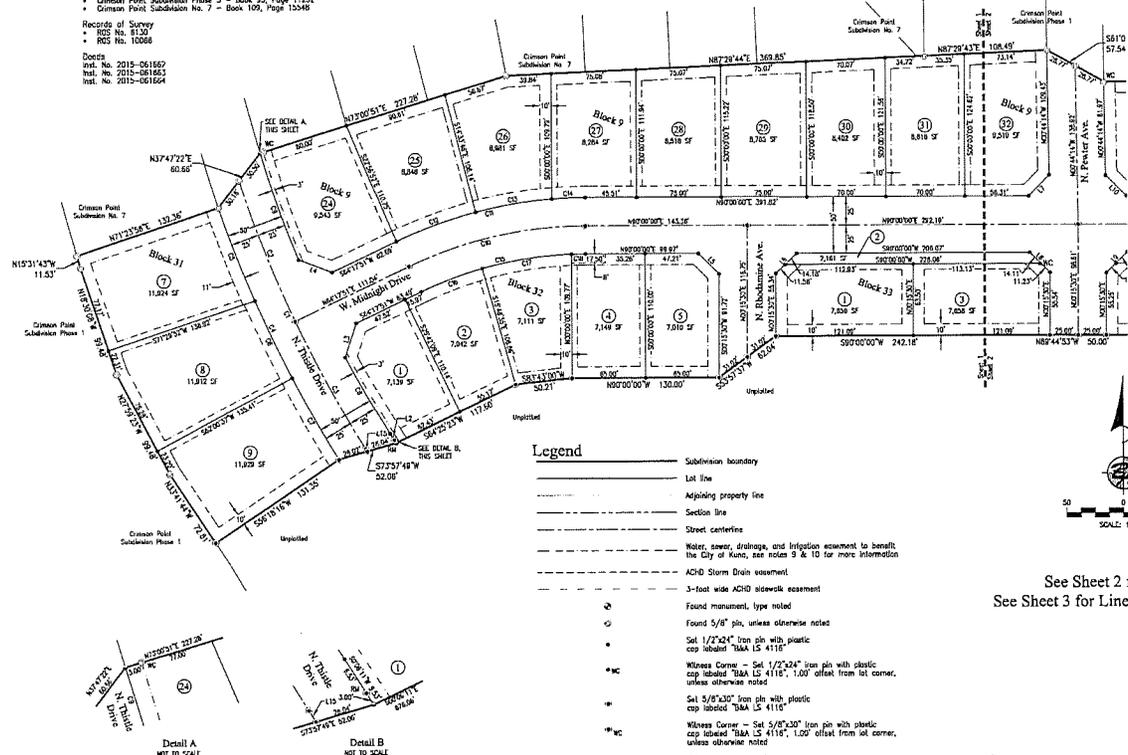
A portion of the south half of the southeast quarter of Section 15, Township 2 North,
Range 1 West, DeWitt Meridian, City of Kuno, Adams County, Idaho.

© 2017

Reference Documents

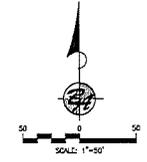
- Subdivision Plats
 - Crimson Point Subdivision Phase 1 - Book 49, Page 10571
 - Crimson Point Subdivision Phase 3 - Book 93, Page 11252
 - Crimson Point Subdivision No. 7 - Book 109, Page 12049
- Records of Survey
 - RCS No. 8130
 - RCS No. 10066

Dates
 Int. No. 2015-061667
 Int. No. 2015-061663
 Int. No. 2015-061664



Legend

- Subdivision boundary
- Lot line
- Adjoining property line
- Section line
- Street centerline
- Water, sewer, drainage, and irrigation easement to benefit the City of Kuno, see notes 9 & 10 for more information
- ACHD Storm Drain easement
- 3-foot wide ACHD sidewalk easement
- Found monument, type noted
- Found 5/8" pin, unless otherwise noted
- Set 1/2"x24" iron pin with plastic cap labeled "B&A LS 4118", 1.00' offset from lot corner, unless otherwise noted
- Set 1/2"x24" iron pin with plastic cap labeled "B&A LS 4118"
- Witness Corner - Set 1/2"x24" iron pin with plastic cap labeled "B&A LS 4118", 1.00' offset from lot corner, unless otherwise noted
- Set 3/8"x30" iron pin with plastic cap labeled "B&A LS 4118"
- Witness Corner - Set 3/8"x30" iron pin with plastic cap labeled "B&A LS 4118", 1.00' offset from lot corner, unless otherwise noted
- Calculated point, nothing found or set
- Witness Corner
- Reference Monument



See Sheet 2 for Notes
See Sheet 3 for Line & Curve Tables



B&A Engineers, Inc.
 Consulting Engineers, Surveyors & Planners
 5505 W. Franklin Rd., Boise, Id. 83705
 (208) 343-3381
 Crimson Point Subdivision No. 8
 Sheet 1 of 4

B&A Engineers, Inc.
 Consulting Engineers, Surveyors & Planners
 5505 W. Franklin Rd., Boise, Id. 83705
 (208) 343-3381



Final Plat
 Crimson Point Subdivision No. 8
 A PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 2 NORTH, RANGE 1 WEST, DEWITT MERIDIAN, CITY OF KUNO, ADAMS COUNTY, IDAHO

Record Construction Drawing
 Date: October 31, 2017
 By: J.L. Hall
 These record drawings were prepared by B&A Engineers, Inc. based on the information provided to us by the client. We warrant that the information provided to us is true and correct. We do not warrant the accuracy of the information provided to us by the client. We are not responsible for any errors or omissions in these drawings.

SCALE	AS SHOWN
DATE	10/31/17
DRAWN BY	J.L. HALL
CHECKED BY	J.L. HALL
DATE PLOTTED	10/31/17
PLotted BY	J.L. HALL
DATE PLOTTED	10/31/17

B & A Engineers, Inc.
Consulting Engineers, Surveyors & Planners
5505 W. Franklin Rd. Boise, ID 83705
(208) 343-3381

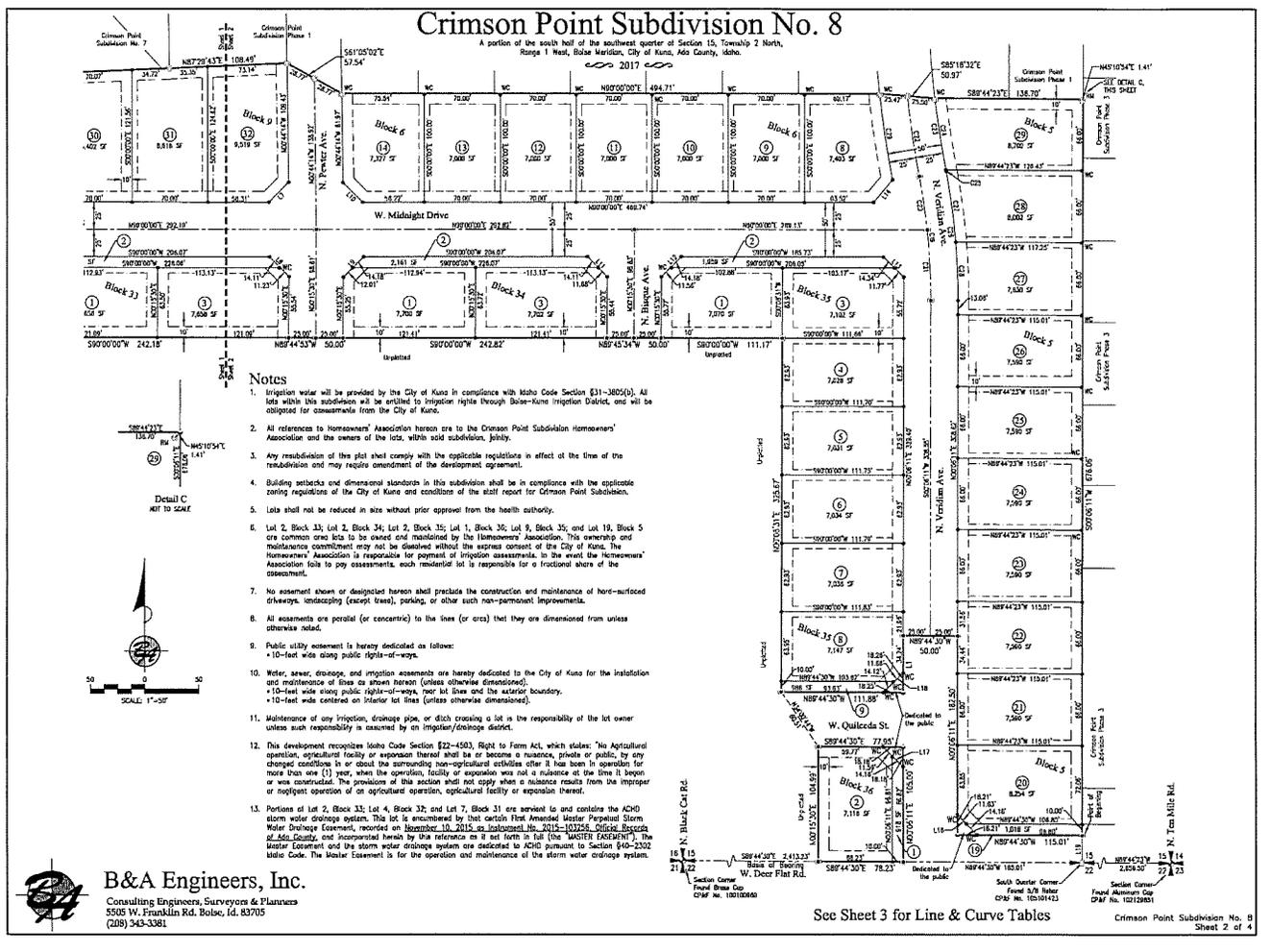


Final Plat
Crimson Point Subdivision No. 8
A PORTION OF THE SOUTH HALF OF THE SOUTH-EAST QUARTER OF SECTION 15, TOWNSHIP 2 NORTH, RANGE 2 WEST, ADA COUNTY, IDAHO.

Record Construction Drawing
Date: October 31, 2017
By: J. Hill

SCALE: AS SHOWN
DATE: 10/31/2017
DRAWN BY: J. HILL
CHECKED BY: J. HILL
DESIGNED BY: J. HILL
PROJECT NO.: 18-04-FP
DATE PLOTTED: 11/16/2017
DRAWN BY: J. HILL

SHEET NO: 4.1



B&A Engineers, Inc.
Consulting Engineers, Surveyors & Planners
5505 W. Franklin Rd., Boise, Id. 83705
(208) 343-3381



Final Plat
Crimson Point Subdivision No. 8
A PORTION OF THE SOUTH HALF OF THE SEVENTH QUARTER OF SECTION 15, TOWNSHIP 2 NORTH, RANGE 1 WEST, BOISE MERIDIAN, KANE COUNTY, IDAHO.

Record Construction Drawing
Date: October 31, 2017
By: J.L. [Signature]
This record drawing has been prepared by B&A Engineers, Inc. based on information provided by the client. It is the responsibility of the client to ensure that the information provided is accurate and complete. B&A Engineers, Inc. does not warrant the accuracy or completeness of the information provided.

SCALE:	DATE:
AS SHOWN	10/31/17
DATE:	BY:
10/31/17	J.L.
DATE:	BY:
10/31/17	J.L.
DATE:	BY:
10/31/17	J.L.
DATE:	BY:
10/31/17	J.L.

Crimson Subdivision No. 8

Line Table

Line	Bearing	Distance
L1	S09°11'W	52.50'
L2	N31°14'18"W	83.3'
L3	N81°11'43"E	31.88'
L4	N69°01'11"W	31.68'
L5	S44°32'15"E	25.78'
L6	N45°07'45"E	25.74'
L7	S44°37'53"W	25.85'
L8	S44°32'15"E	25.34'
L9	N45°07'45"E	26.19'
L10	N45°22'07"W	25.68'
L11	S44°32'12"E	25.78'
L12	N45°07'48"E	25.74'
L13	S45°46'30"E	26.11'
L14	S37°50'11"W	27.15'
L15	S32°14'18"E	2.66'
L16	N44°49'09"W	25.78'
L17	S44°40'00"E	25.25'
L18	S45°16'51"W	25.78'
L19	S20°11'W	23.80'

Curve Table

Curve	Data	Radius	Arc	Chord Bearing	Chord Distance
C1	14°30'08"	1,040.00'	283.23'	S24°58'15"E	282.53'
C2	7°24'58"	1,040.00'	134.80'	S21°38'39"E	134.50'
C3	7°05'13"	1,040.00'	128.64'	S28°41'43"E	128.58'
C4	13°18'53"	1,005.00'	247.49'	S22°18'44"E	246.83'
C5	4°47'22"	1,005.00'	89.03'	S21°02'59"E	89.00'
C6	4°04'44"	1,005.00'	75.82'	S25°29'02"E	75.80'
C7	4°29'43"	1,005.00'	82.65'	S29°44'47"E	82.63'
C8	4°24'15"	1,015.00'	78.02'	S30°02'11"E	78.00'
C9	5°38'44"	1,015.00'	100.31'	S19°35'35"E	100.27'
C10	23°42'09"	360.00'	161.49'	S77°08'55"W	160.14'
C11	20°42'09"	360.00'	172.71'	S77°08'55"W	171.26'
C12	11°08'23"	360.00'	74.85'	S89°52'03"W	74.74'
C13	10°10'10"	360.00'	68.33'	S90°31'18"W	68.24'
C14	4°23'36"	380.00'	29.52'	S87°48'12"W	29.51'
C15	25°42'09"	330.00'	150.28'	S77°08'55"W	149.02'
C16	9°53'34"	330.00'	57.84'	S89°14'36"W	57.77'
C17	17°42'55"	330.00'	80.19'	S81°02'53"W	80.00'
C18	2°05'40"	330.00'	12.25'	S89°57'10"W	12.25'
C19	10°52'20"	600.00'	113.85'	N8°19'59"W	113.86'
C20	4°44'01"	600.00'	49.57'	N8°24'08"W	49.50'
C21	6°08'19"	600.00'	64.28'	N2°57'59"W	64.25'
C22	4°18'59"	1,000.00'	74.76'	S8°37'38"E	74.74'
C23	3°58'34"	875.00'	67.84'	S8°46'22"E	67.83'
C24	3°55'39"	875.00'	66.84'	S8°44'25"E	66.82'
C25	0°03'58"	875.00'	1.11'	S10°44'12"E	1.11'
C26	10°52'20"	625.00'	118.60'	N8°19'59"W	118.42'
C27	8°00'44"	625.00'	60.58'	N7°45'47"W	60.55'
C28	4°51'36"	625.00'	53.01'	N7°19'37"W	53.00'
C29	4°28'23"	1,025.00'	80.03'	S8°26'49"E	80.01'

Certificate of Owners

BEFORE ME, CLERK OF DISTRICT COURT, the undersigned does hereby certify that it is the owner of a certain tract of land to be known as CRIMSON POINT SUBDIVISION NO. 8, and that it intends to include the following described land in this plat: A portion of the southwest quarter of Section 15, Township 2 North, Range 1 West, Boise Meridian, Kane City, Ada County, Idaho, being more particularly described as follows:

Commencing at the south quarter corner of said Section 15, which bears S87°44'30"E, 2,858.47 feet from the southwest corner of said Section 15; thence N00°00'11"E, 25.00 feet along the easterly boundary of the southwest quarter of said Section 15 and the westerly boundary of Crimson Point Subdivision Phase 3 as shown in Book 93 of Plats at Page 11252 through 11254, records of Ada County, Idaho to the Point of Beginning;

Thence N82°44'30"W, 115.01 feet along a line parallel with the westerly boundary of the southwest quarter of said Section 15; thence N00°00'11"E, 182.50 feet along a line parallel with the easterly boundary of the southwest quarter of said Section 15; thence N82°44'30"W, 50.00 feet along a line parallel with the southerly boundary of the southwest quarter of said Section 15; thence S00°00'11"W, 52.50 feet along a line parallel with the easterly boundary of the southwest quarter of said Section 15; thence N82°44'30"W, 111.88 feet along a line parallel with the southerly boundary of the southwest quarter of said Section 15; thence N07°08'31"E, 325.87 feet; thence S80°00'00"W, 111.17 feet; thence N82°44'30"W, 50.00 feet; thence S87°44'30"W, 242.82 feet; thence N82°44'30"W, 50.00 feet; thence S89°00'00"W, 242.18 feet; thence S32°57'37"W, 62.04 feet; thence N00°00'00"W, 130.00 feet; thence S83°43'30"W, 262.31 feet; thence S84°25'23"W, 117.60 feet; thence S73°57'49"W, 32.06 feet; thence S56°19'16"W, 131.35 feet to the boundary of Crimson Point Subdivision Phase 1 as shown in Book 90 of Plats at Page 10521 through Page 10626, records of Ada County, Idaho;

Thence along the boundary of said Crimson Point Subdivision Phase 1 the following courses and distances: N33°41'44"W, 72.81 feet; N27°20'23"W, 96.48 feet; N18°30'00"W, 89.48 feet; N12°31'43"W, 111.53 feet to the southwestly corner of Crimson Point Subdivision No. 7 as shown in Book 109 of Plats at Page 15248 through 15350, records of Ada County, Idaho;

Thence along the southerly boundary of said Crimson Point Subdivision No. 7 the following courses and distances: N71°23'50"E, 132.38 feet; N37°42'22"E, 103.85 feet; N72°05'17"E, 227.28 feet; N87°20'44"E, 369.65 feet to the southeast corner of said Crimson Point Subdivision No. 7, to the boundary of said Crimson Point Subdivision Phase 1;

Thence along the boundary of said Crimson Point Subdivision Phase 1 the following courses and distances: N87°20'44"E, 195.49 feet; S81°02'07"E, 37.24 feet; N80°00'00"E, 494.71 feet; S85°18'27"E, 50.97 feet; S89°42'21"E, 135.70 feet to the westerly boundary of said Crimson Point Subdivision Phase 3 and to the westerly boundary of the southwest quarter of said Section 15;

Thence S00°00'11"W, 876.09 feet along the westerly boundary of said Crimson Point Subdivision Phase 3 and along the easterly boundary of the southwest quarter of said Section 15 to the Point of Beginning.

AND INCLUDING THE FOLLOWING:
Commencing at the south quarter corner of said Section 15, which bears S87°44'30"E, 2,858.47 feet from the southwest corner of said Section 15; thence N82°44'30"W, 165.01 feet along the southerly boundary of the southwest quarter of said Section 15 to the Point of Beginning;

Thence N82°44'30"W, 78.23 feet along the southerly boundary of the southwest quarter of said Section 15; thence N07°15'30"E, 104.99 feet;

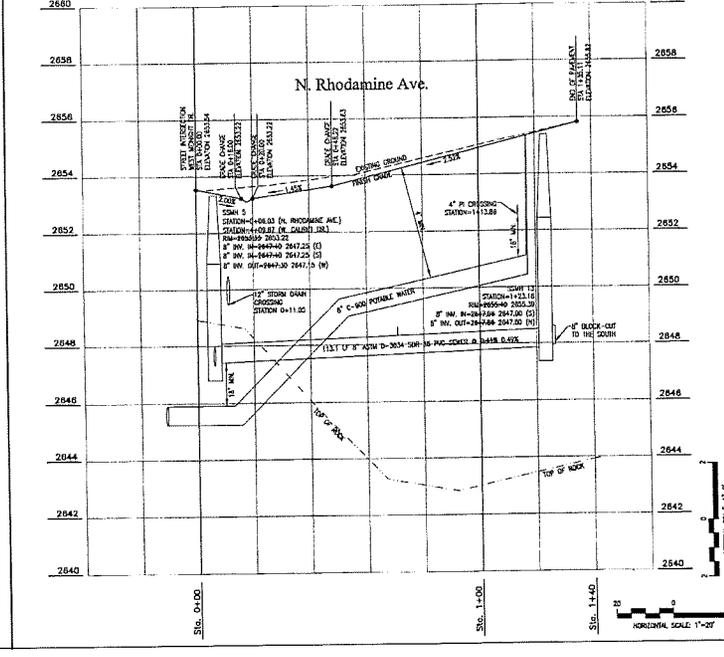
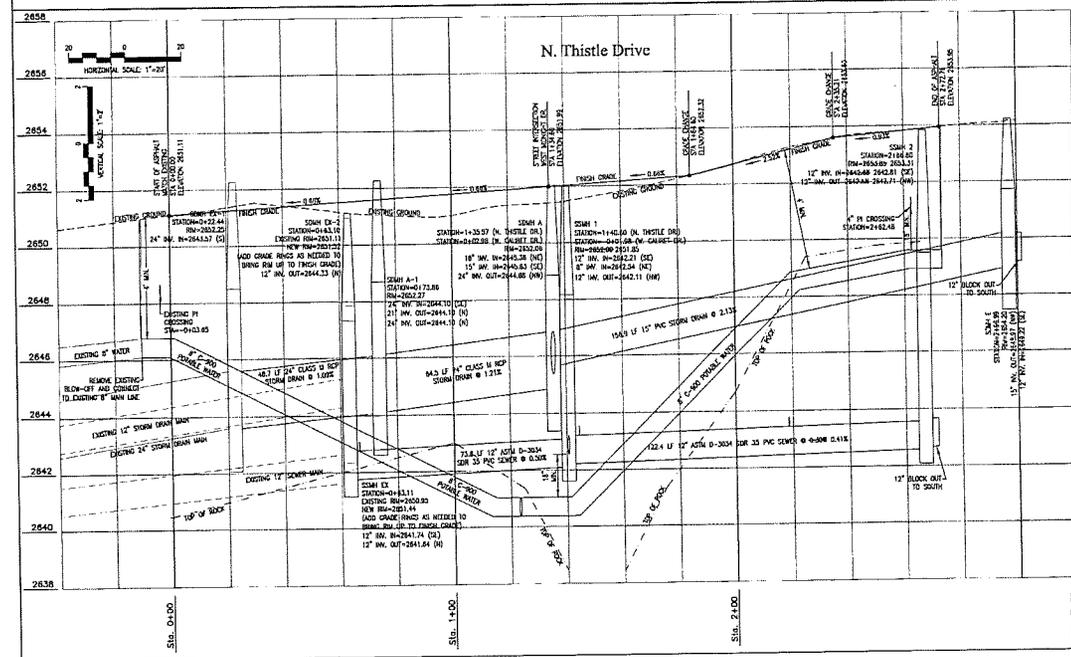
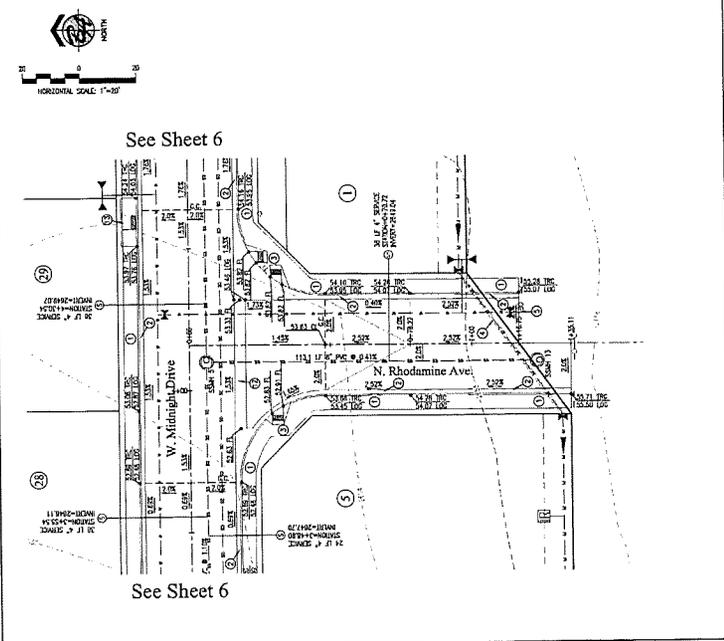
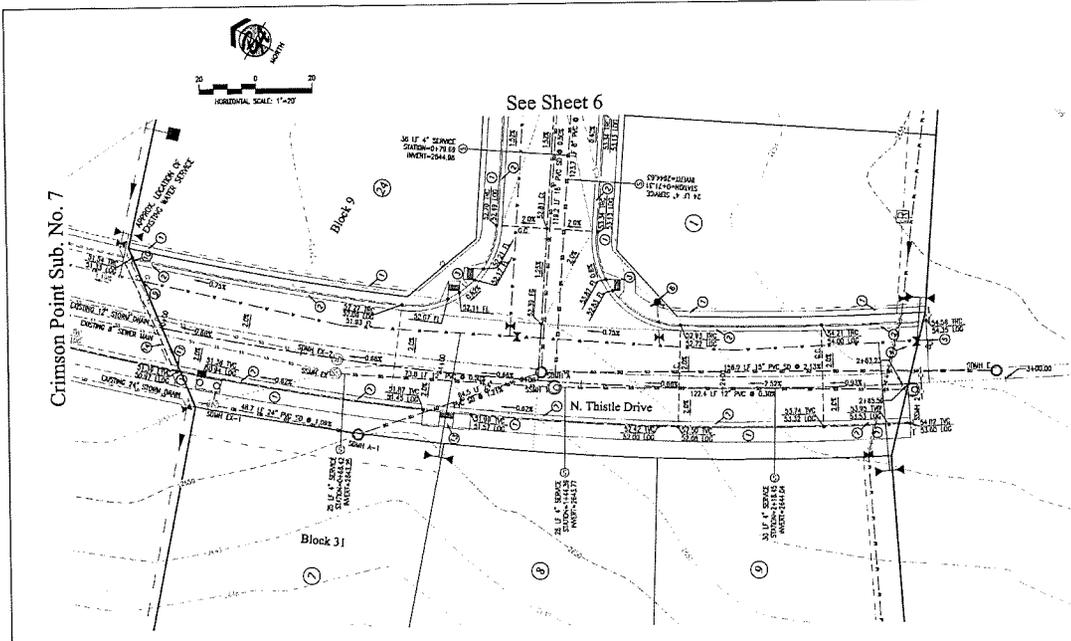
Thence S87°44'30"E, 77.95 feet along a line parallel with the southerly boundary of the southwest quarter of said Section 15; thence S00°00'11"W, 105.00 feet to the Point of Beginning.

Containing 11.34 Acres, more or less.

See Sheet 4 for Owner's Signature



B&A Engineers, Inc.
Consulting Engineers, Surveyors & Planners
5505 W. Franklin Rd., Boise, Id. 83705
(208) 343-3381 Crimson Point Subdivision No. 8
Sheet 3 of 4



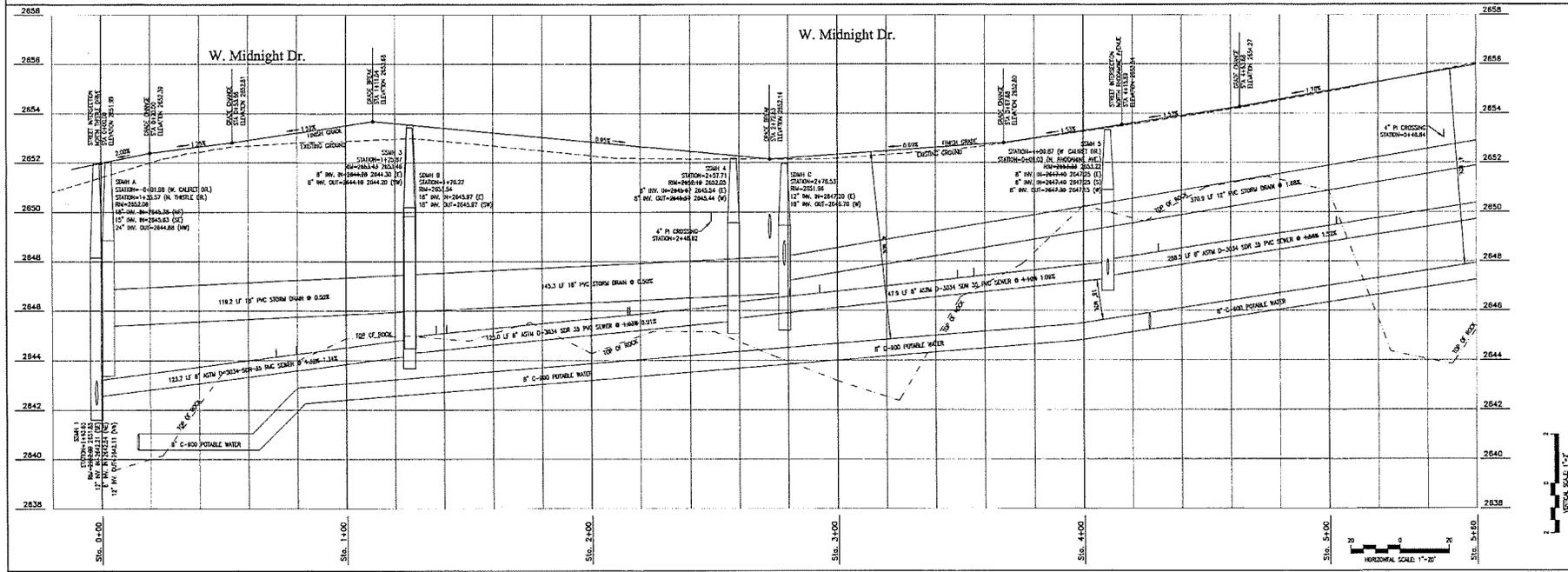
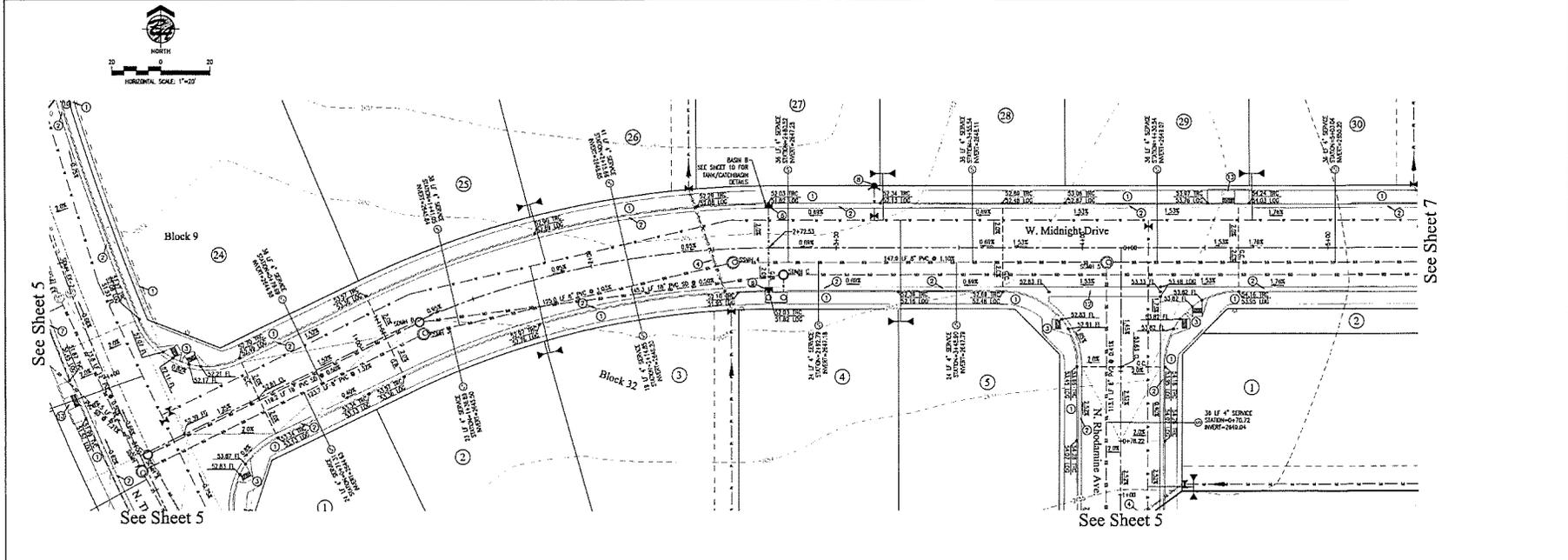
B&A Engineers, Inc.
Consulting Engineers, Surveyors, & Planners
5505 W. Franklin Rd. Boise, ID 83705
(208) 343-5531



Plan/Profile - N. Thistle Dr. & N. Rhodamine Ave.
Crimson Point Subdivision No. 8
A FORMER OF THE STATE OF IDAHO
NORTH, BLOCK 1, WEST, SAGE HERMAN, CITY OF TANA, ADA COUNTY, IDAHO.

Record Construction Drawing
Date: October 31, 2017
By: J.L. Holladay, P.E.
This record drawing is the property of B&A Engineers, Inc. and shall remain the property of B&A Engineers, Inc. unless otherwise stated. No part of this drawing shall be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of B&A Engineers, Inc.

DATE: 10/31/2017
DRAWN BY: J.L. HOLLADAY
CHECKED BY: J.L. HOLLADAY
PROJECT NO: 18-04-FP
USER: J.L. HOLLADAY
JOB: 18-04-FP



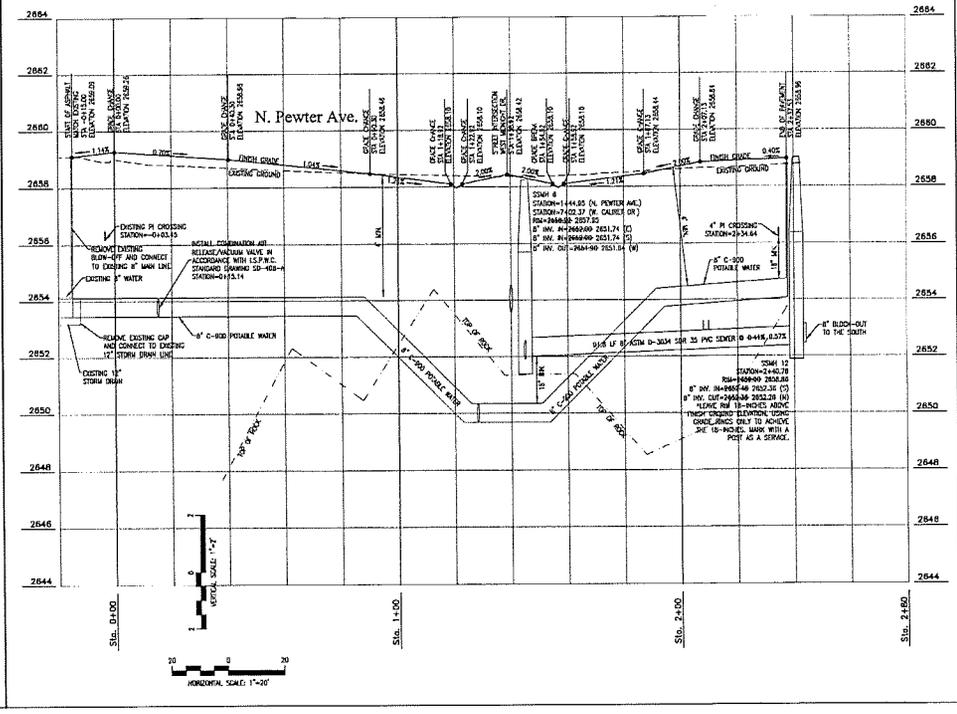
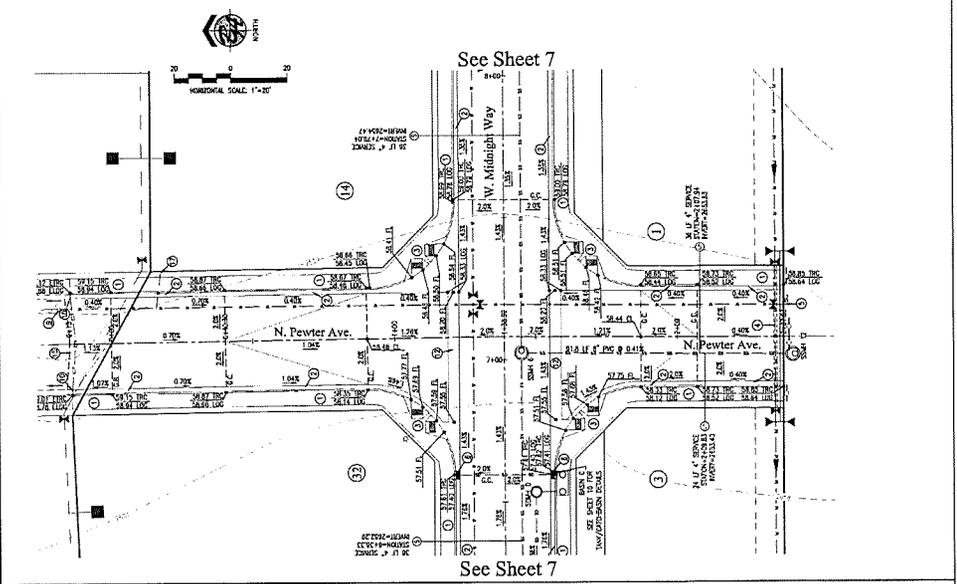
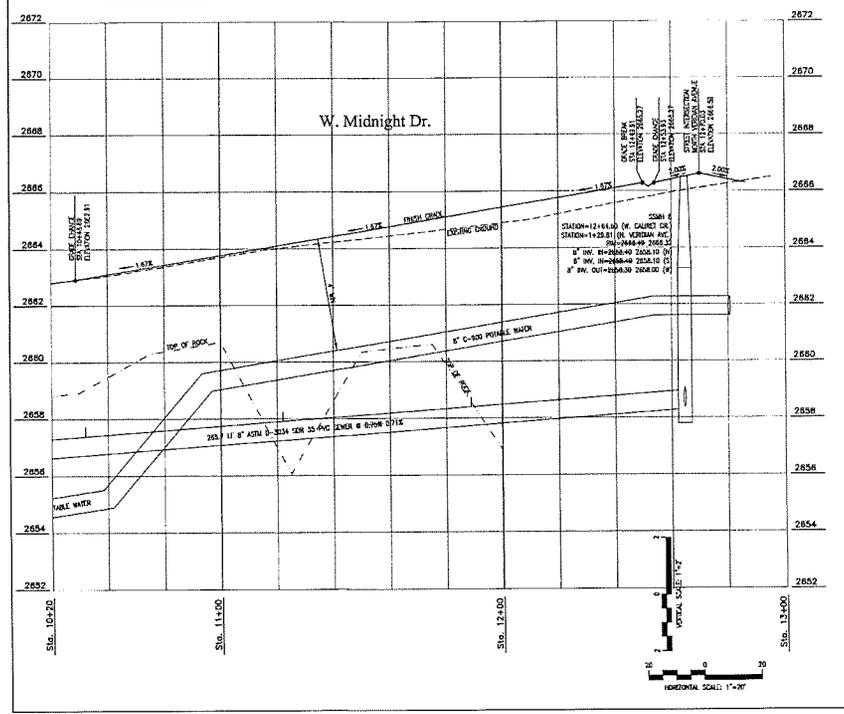
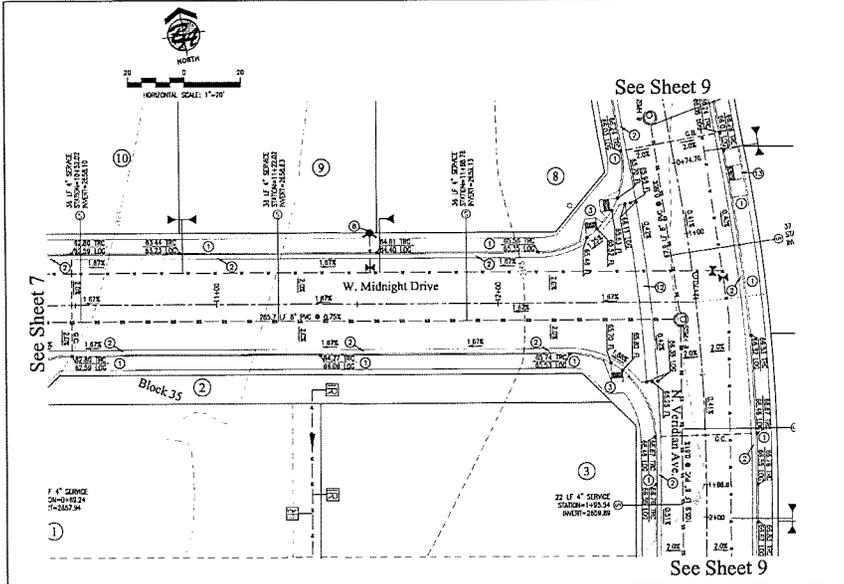
B & A Engineers, Inc.
Consulting Engineers, Surveyors & Planners
5905 W. Franklin Rd. Boise, ID 83705
(208) 343-3351



Plan/Profile - W. Midnight Dr.
Crimson Point Subdivision No. 8
A PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 34 N., RANGE 1 WEST, 600E, WETLAND CITY OF IDAHO, ADA COUNTY, IDAHO.

Record Construction Drawing
Date: October 31, 2017
By: J.L. Hill
This record drawing has been prepared by B & A Engineers, Inc. based on information furnished to us by the client. We warrant that the information was true and correct when furnished to us. We do not warrant the accuracy of the information shown hereon, nor the use of the information for any other purpose.

Scale: 1"=4'
Date: 10/31/17
By: J.L. Hill
Checked: J.L. Hill
Title: 18-04-FP
Drawing File Name: 18-04-FP-033.dwg



B&A Engineers, Inc.
Consulting Engineers, Surveyors & Planners
5505 W. Franklin Rd., Boise, Id. 83705
(208) 343-3381

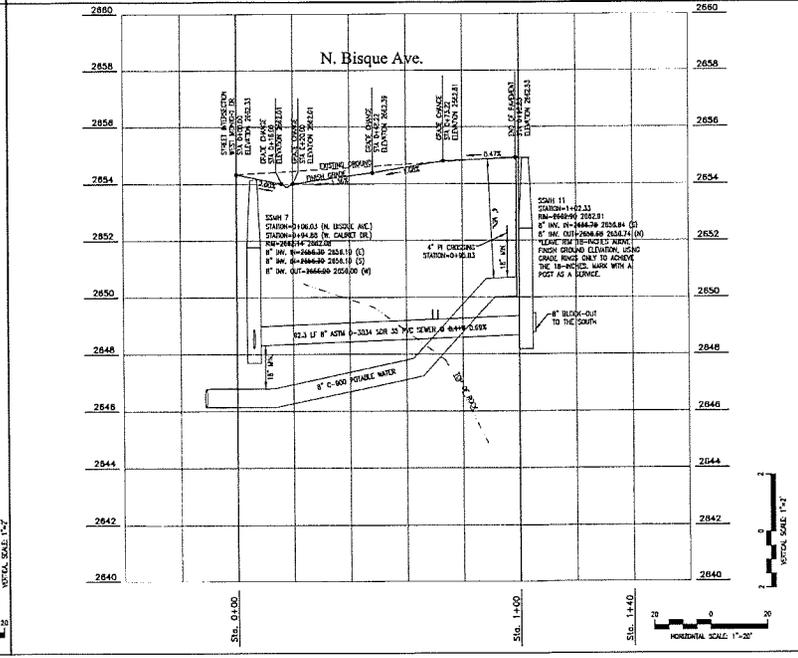
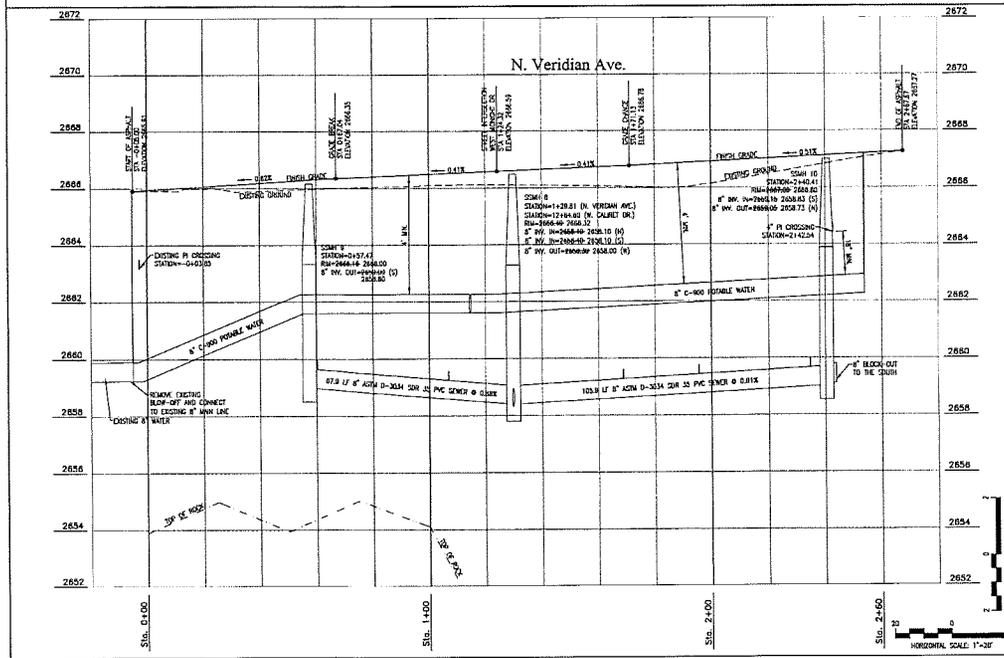
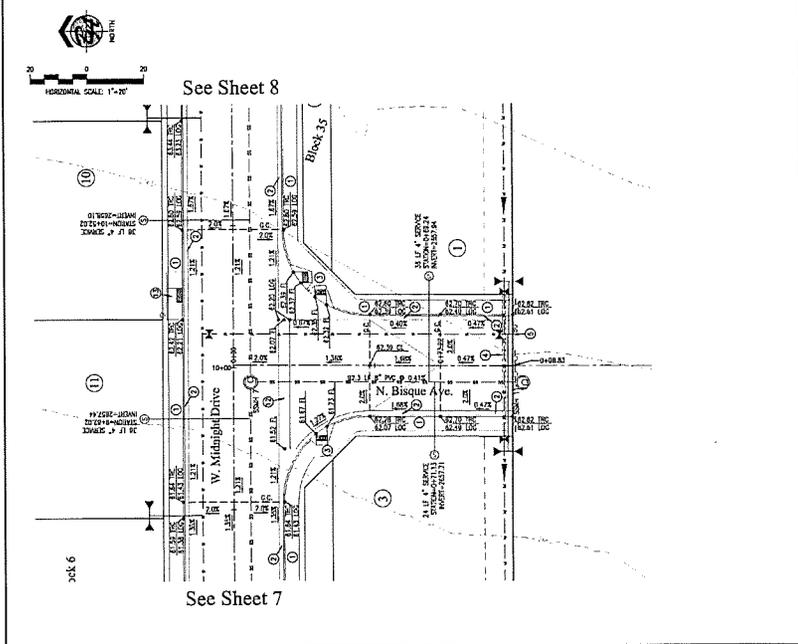
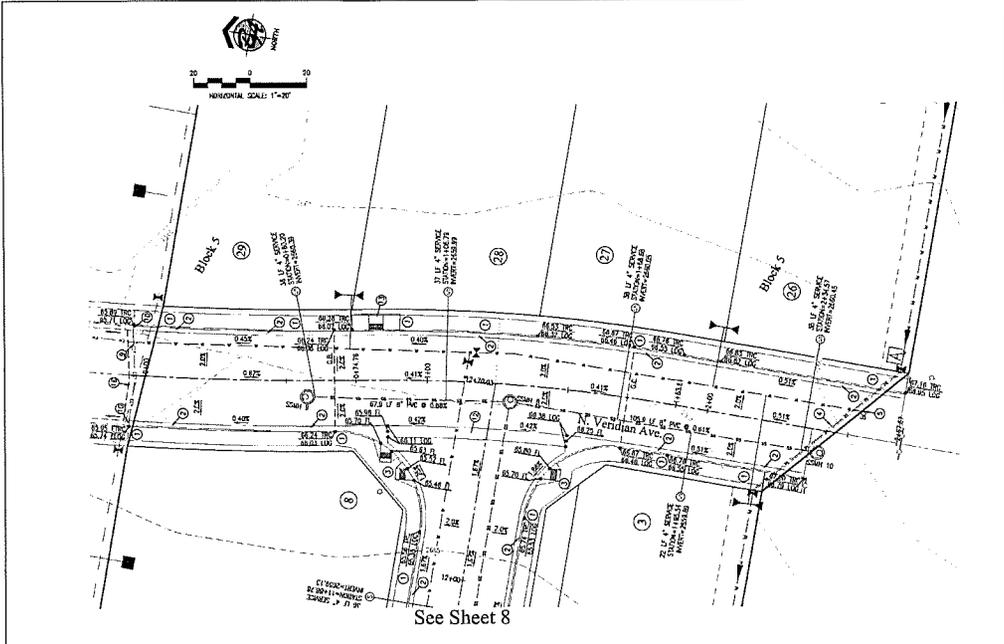


Plan/Profile - W. Midnight Dr. & N. Pewter Ave.
Crimson Point Subdivision No. 8
A PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 13, TOWNSHIP 14N, RANGE 12E, DISTRICT 14E, BOISE COUNTY, IDAHO.

Record Construction Drawing
Date: October 31, 2017
This record drawing has been prepared by B & A Engineers, Inc. based on information furnished to us by the client. It is the responsibility of the client to provide accurate information. We do not warrant the accuracy of the information provided. We are not responsible for any errors or omissions in this drawing.

SCALE: 1" = 20'
DATE: 10/31/17
DRAWN BY: JML
CHECKED BY: JML
PROJECT NO.: 18-04-FP
SHEET NO.: 8

8



B&A Engineers, Inc.
Consulting Engineers, Surveyors & Planners
5965 W. Franklin Rd., Boise, ID 83705
(208) 343-3381



Plan/Profile - N. Veridian Ave. & N. Bisque Ave.
Crimson Point Subdivision No. 8
A PORTION OF THE SOUTH HALF OF SURVEY QUARTER 8, SECTION 15, TOWNSHIP 33N, RANGE 12E, BOISE MERIDIAN, CITY OF BOISE, ADA COUNTY, IDAHO.

Record Construction Drawing
Date: October 31, 2017
This record drawing has been prepared by B&A Engineers, Inc. based on information supplied by the client. It is the responsibility of the client to ensure that all information is accurate and complete. B&A Engineers, Inc. is not responsible for any errors or omissions in this drawing.

SCALE: 1"=20'
DATE: 10/31/17
PROJECT NO.: 18-04-FP
DRAWN BY: J. H. HARRIS
CHECKED BY: J. H. HARRIS

SHEET NO. 9

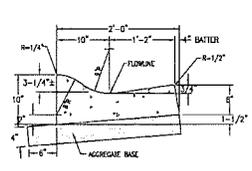


Construction Details
Crimson Point Subdivision No. 8
A PORTION OF THE SOUTH END OF THE SOUTHWEST QUARTER OF SECTION 15, T14N-S-2
NORTH, RANGE 1 WEST, E2E2 MERIDIAN, COUNTY OF IDAHO, AND COUNTY, IDAHO.

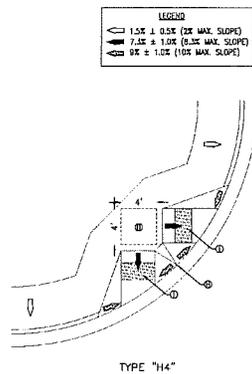
Record Construction Drawing
Date: October 31, 2017
By: JAL, JCB
These record drawings have been prepared by B & A Engineers, Inc. based on information furnished to us by the client. We warrant that the drawings were prepared in accordance with the professional standards and the seal of the professional engineer.

DATE: 10/31/2017
DRAWN BY: JCB
CHECKED BY: JAL
SCALE: AS SHOWN
SHEET NO: 38
TOTAL SHEETS: 40

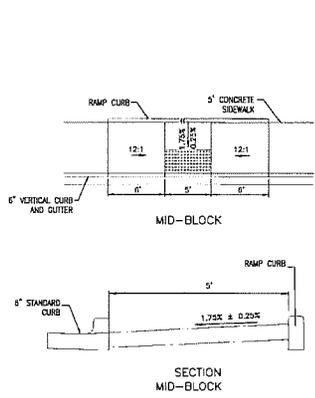
- Notes:
- GRADE AND ADJUSTMENT TO BE ESTABLISHED OR APPROVED BY THE ENGINEER AND THE PUBLIC AGENCY FINANCING AGENCIES.
 - BASE: 4-INCH COMPACTED DEPTH OF 3/4-INCH WASH CRUSHED AGGREGATE BASE MATERIAL, PLACED AS SPECIFIED AND FINE UNDESIRABLE SECTION-SIZE SPONGE COMPACTED TO EXISTING SURFACE.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (NIGHTO V 213) AT TERMINAL POINTS OF EACH.
 - CONTINUOUS PRECASTED PREFORMED, SLOPE INTERVALS (AS NOTED) WITH SPACING OF CONCRETE WITH 2x2 STEELBAR WITH FOR SLOPE SPACING.
 - MATERIALS AND CONSTRUCTION IN COMPLIANCE WITH CONCRETE SPECIFICATIONS.
 - MANHOLE AS PER CONCRETE SECTION-705.
 - SEALATE HEIGHT-OF-WAY PRIOR TO BEGINNING CONSTRUCTION IN PUBLIC RIGHT-OF-WAY.
 - USE ROLLED CURB IN RESIDENTIAL AREAS, WHEN LOCAL JURISDICTION REQUIRED VERTICAL CURB AT INTERSECTION VERTICAL CURB LENGTH TO BE 100' RADII PLUS 3 FEET AT EACH END. TRANSITION LENGTH FROM ROLLED CURB TO VERTICAL CURB 2 FEET.



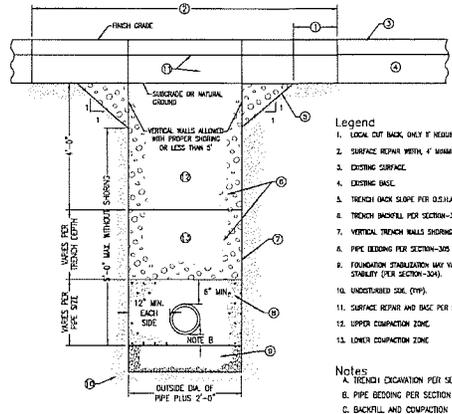
1 Typical 3" Rolled Curb And Gutter
REF: DAWG STANDARDS FOR PUBLIC WORKS CONSTRUCTION, STD DMC 20-702. NOT TO SCALE



TYPE "H4"



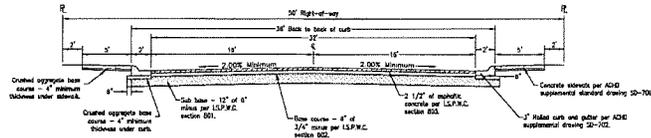
MID-BLOCK
SECTION
MID-BLOCK



- Legend
- LOCAL CUT BACK, ONLY IF REQUIRED.
 - SURFACE REPAIR WITH 4" WORKMAN.
 - EXISTING SURFACE.
 - EXISTING BASE.
 - TRENCH BACK SLOPE PER O.S.I.H.A. OR SUITABLE SHORING.
 - TRENCH MANHOLE PER SECTION-308.
 - VERTICAL TRENCH WALLS SHORING PER O.S.I.H.A.
 - PIPE BEDDING PER SECTION-305 (SEE 20-305).
 - FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION-204).
 - UNDISTURBED SOIL (TYP).
 - SURFACE REPAIR AND BASE PER SECTION-307 (SEE 20-307).
 - UPPER COMPACTION ZONE.
 - LOWER COMPACTION ZONE.

- Notes:
- TRENCH EXCAVATION PER SECTION 301.
 - PIPE BEDDING PER SECTION 305.
 - BACKFILL AND COMPACTION PER SECTION 306.

7 Typical Trench Detail
REF: DAWG STANDARDS FOR PUBLIC WORKS CONSTRUCTION, STD DMC 20-301. NOT TO SCALE

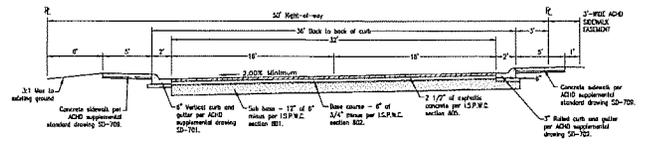


2 Typical Local Street Section
(All streets other than North Thistle Drive)
NOT TO SCALE

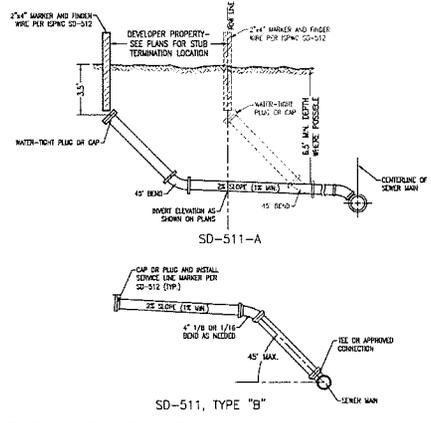
DIRECTIONAL RAMPS - STANDARD DOMES

- NOTES:
- RAMPS FOR CORNERS WITH A 1/4" RISE AND UTILIZING ROLLED CURB.
 - RAMPS ARE CONTAINED WITHIN THE CURB RADIUS.
 - RAMP DIMENSIONS:
CURB TYPE - STANDARD 3-INCH ROLLED PER CONCRETE SECTION-702
TRENCH DEPTH - 4 FEET FROM FACE OF CURB
TRENCH WIDTH - 4 FEET MINIMUM
RAMP - 3 FEET TRANSVERSE
RAMP - 1.25% MIN. TRANSVERSE
 - RAMPS REQUIRE A MINIMUM 4 FEET x 4 FEET LANDING IN SIDEWALK OR 1.25 ± 0.25% MAX. SLOPE.
 - RAMPS SHALL NOT EXCEED 12:1 (0.83%) SLOPE & TRANSVERSE WIDTH 10:1 (10%).
 - NON TRANSFERABLE AREA - PAVERED CONCRETE/JAMB/CURB/ETC.
 - 4 FEET x 4 FEET FLAT STREET SIDE LANDING REQUIRED.
 - DOMES IS NOT REQUIRED TO BE FULL - HEIGHT.
 - TRANSVERSE RIBS SHALL BE INSTALLED IN ALL PAVED/DIRTY RAMPS LOCATED WITHIN THE RIGHT-OF-WAY PER (L.S.P.W.C. 20-712). DOMES SHALL BE USED ACCORDING TO THE CONCRETE CONSTRUCTION MANUAL AND ADJUSTED WITH NOT ALLOWED AND SHALL BE CONSIDERED "TRAFFIC FILLER".
 - SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2.0% AND "TOLERANCE" ARE ALLOWED.

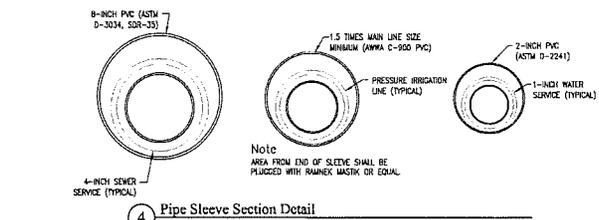
5 Pedestrian Ramp SD-712 H - H4 & Mid Block Ramp SD-712 G
REF: DAWG STANDARDS FOR PUBLIC WORKS CONSTRUCTION - ADO SUPPLEMENT, STD DMC 20-712-H - MID BLOCK RAMP PER CONCRETE SECTION-702. NOT TO SCALE



3 North Thistle Drive Street Section (Looking North)
NOT TO SCALE



6 Standard Sewer Service Connection
REF: DAWG STANDARDS FOR PUBLIC WORKS CONSTRUCTION, STD DMC 20-511 & 20-511-A. NOT TO SCALE

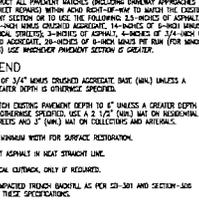


4 Pipe Sleeve Section Detail
NOT TO SCALE

8 Standard Clean-out Detail
REF: DAWG STANDARDS FOR PUBLIC WORKS CONSTRUCTION, STD DMC 20-300A. NOT TO SCALE

- NOTES:
- REFER TO SECTION-307 FOR MATERIALS AND WORKMANSHIP REQUIREMENTS.
 - PATCH WIDTHS ARE NEVER TO BE LESS THAN 4" IN WIDTH, LOCATE THE PATCH OF THE HOP TO EXISTING PAVEMENT OUT OF THE VEHICLE WHEEL PATH OF THE STREET.
 - WHEN THE STREET SURFACE REQUIRES AN OVERLAY WITH FABRIC, TAKE THE FOLLOWING ADDITIONAL STEPS:
A. OVERLAY AREA FABRIC AN ADDITIONAL 4" ON EACH SIDE TO EXPOSE EXISTING FABRIC.
B. INSTALL NEW ASPHALT TO GRADE FORMS.
C. PATCH REPAIR TO FINISH GRADE OF STREET.
 - SEAL ALL JOINT SURFACES WITH DILUTION WHEN IT HAS BEEN "TROWEL" PRIOR TO FINISHING.

- UTILITY WORK NOTES:
- ACTUAL FIELD CONDITIONS DURING PROCEEDING MAY REQUIRE ADDITIONAL PAVEMENT REPAIR BEYOND THE LIMITS SHOWN ON THE PLAN. THE FOLLOWING CONDITIONS ARE LISTED IN SECTION 2000 OF THE ADO PROJECT MANUAL.
- ALL ASPHALT PATCH WORK FOR PAVEMENT REPAIR SHALL BE PARALLEL TO THE CENTERLINE OF THE STREET AND INCLUDE ANY AREA MARKED BY SIGNAGE DURING PROCEEDING OPERATIONS.
 - IF THE CUMULATIVE DAMAGED PAVEMENT AREA EXCEEDS THE SIZE OF THE TOTAL ROAD SURFACE, CONSTRUCTION SHALL REPAIR THE ENTIRE ROADWAY SURFACE.
 - CONSTRUCTION SHALL REPAIR THE PAVEMENT SURFACE TO EXISTING PATCH LINE DOES NOT FALL WITHIN THE WHEEL PATH OF A LANE. PATCH LINE SHALL ONLY FALL IN THE CENTER OR SIDE OF A TRAVEL LANE.
 - FINISHING FILL OR DAMAGED MATERIAL MAY BE REQUIRED IF THE PATCH THROUGH MATERIAL IS DEEMED UNSUITABLE BY ADO INSPECTOR, DOES NOT MEET COMPACTION STANDARDS, OR THIS IS A CRITICAL FACILITY.
 - ANY EXCAVATIONS TO EXISTING UTILITIES SHALL BE PRE-APPROVED IN WRITING BY DISTRICT STAFF BEFORE CONSTRUCTION BEGINS.



9 Street Cuts & Pavement Repair Details
REF: CURRENT EDITION DAWG STANDARDS FOR PUBLIC WORKS CONSTRUCTION, STD DMC 20-303. NOT TO SCALE (ADO 2012 SUPPLEMENT REGION)

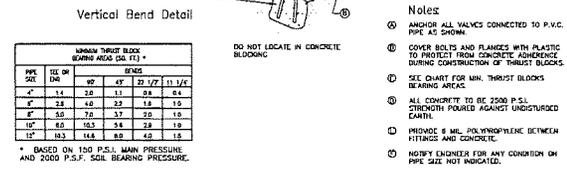
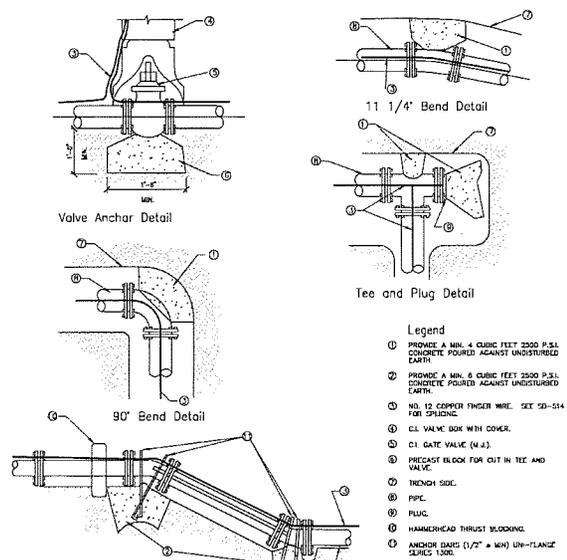
B & A Engineers, Inc.
Consulting Engineers, Surveyors & Planners
5005 W. Emerald Rd. Boise, ID 83725
(208) 344-3381



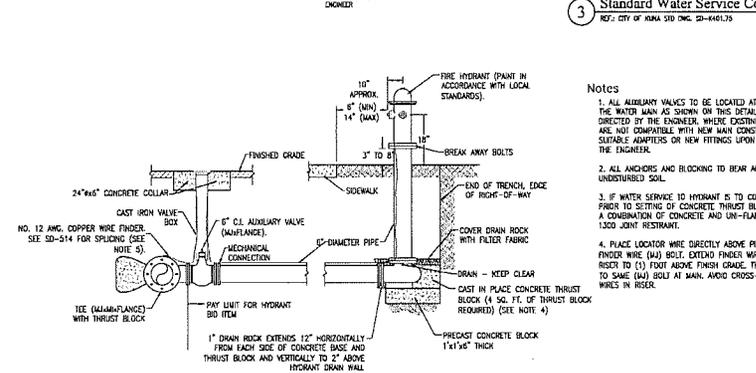
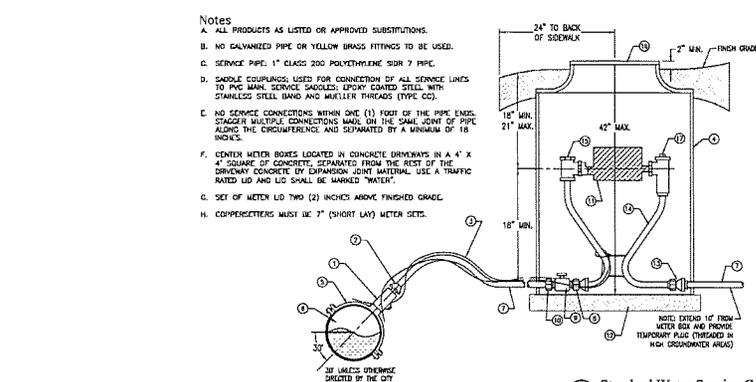
Crinsson Point Subdivision No. 8
A PORTION OF THE SUDLEY & CO. ENGINEERS' SURVEY OF SECTION 16, TOWNSHIP 1 NORTH, RANGE 1 WEST, BOYD COUNTY, IOWA, AND ADJACENT TOWNSHIP 1 NORTH, RANGE 1 WEST, BOYD COUNTY, IOWA, CITY OF WINN, IOWA COUNTY, IOWA.

Record Construction Drawing
DATE: DECEMBER 31, 2017
BY: [Signature]
CHECKED BY: [Signature]
DESIGNED BY: [Signature]
DRAWN BY: [Signature]
PROJECT NO.: [Number]
SHEET NO.: [Number]

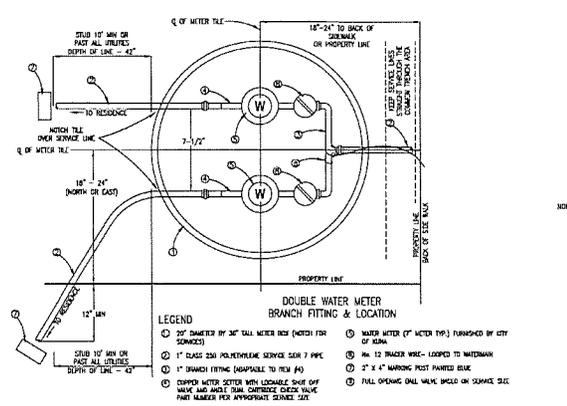
SCALE: 2" = 1'-0"
DATE: MAY 13, 2013
BY: [Signature]
CHECKED BY: [Signature]
DESIGNED BY: [Signature]
DRAWN BY: [Signature]
PROJECT NO.: [Number]
SHEET NO.: [Number]



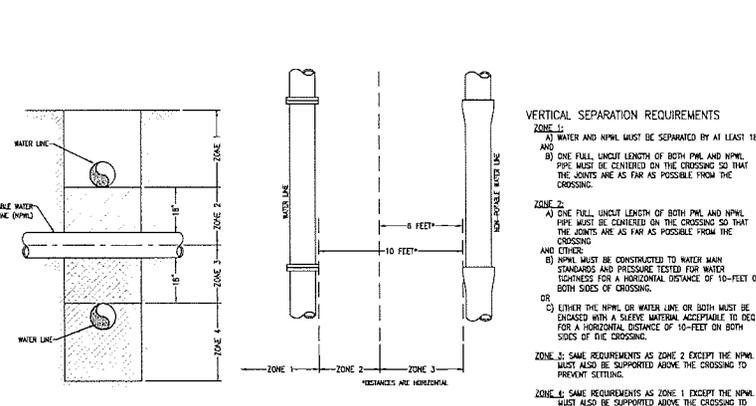
1 Concrete Thrust Blocks
REF: DMO STANDARDS FOR PUBLIC WORKS CONSTRUCTION, STD DMC 50-463
NOT TO SCALE



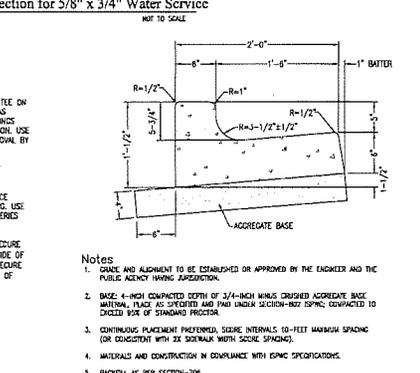
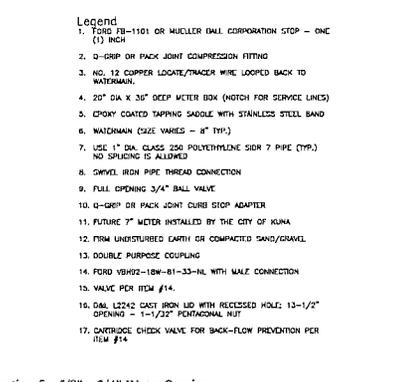
4 Fire Hydrant
REF: DMO STANDARDS FOR PUBLIC WORKS CONSTRUCTION, STD DMC 50-464
NOT TO SCALE



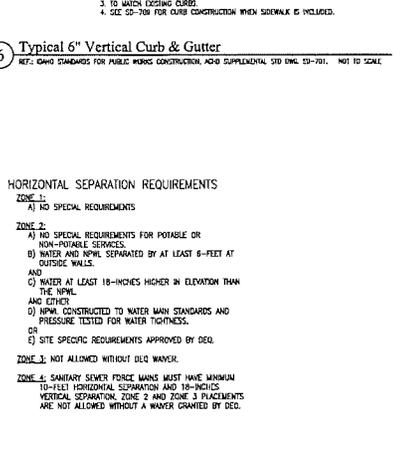
2 Water Service Connection Detail
REF: CITY OF KAMA STD DMC 50-462
NOT TO SCALE



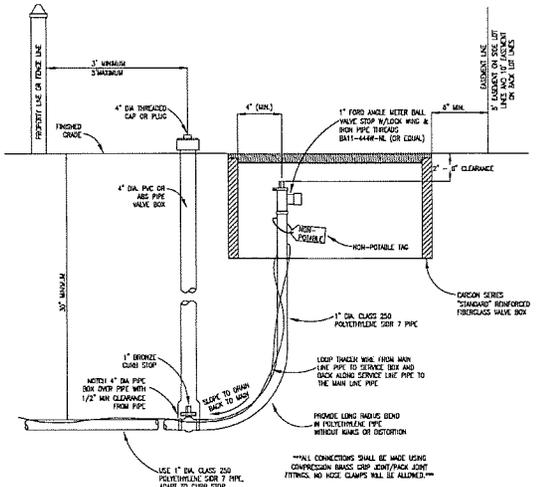
5 Potable & Non-Potable Water Line (NPWL) Separation
REF: DMO STANDARDS FOR PUBLIC WORKS CONSTRUCTION, STD DMC 50-467
NOT TO SCALE



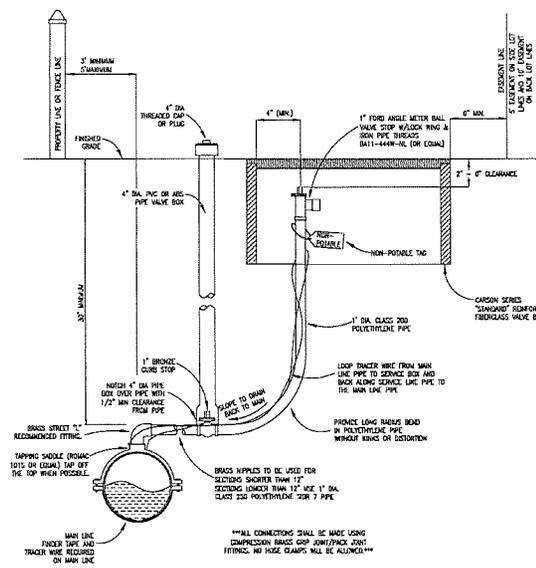
6 Typical 6\"/>



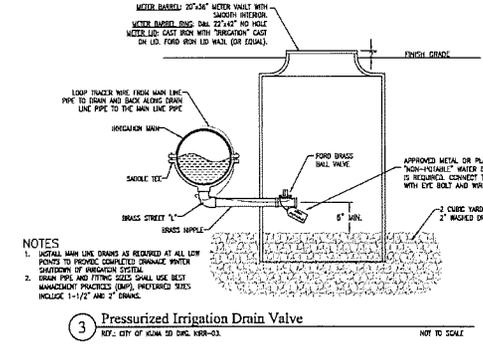
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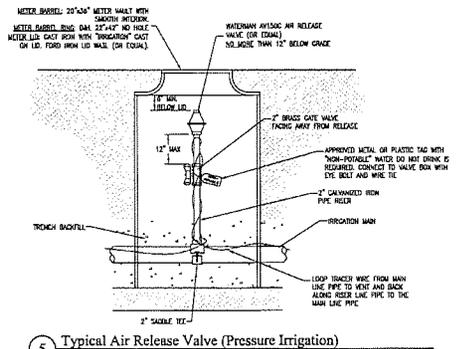
1 Standard Residential 1" Service Main Side (Long Side)
REF: CITY OF KUMIA SD DWG. NRR-02-02
NOT TO SCALE



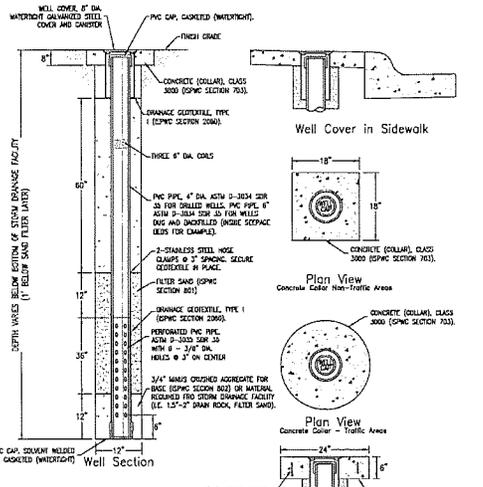
2 Standard Residential 1" Service Main Side (Short Side)
REF: CITY OF KUMIA SD DWG. NRR-02-01
NOT TO SCALE



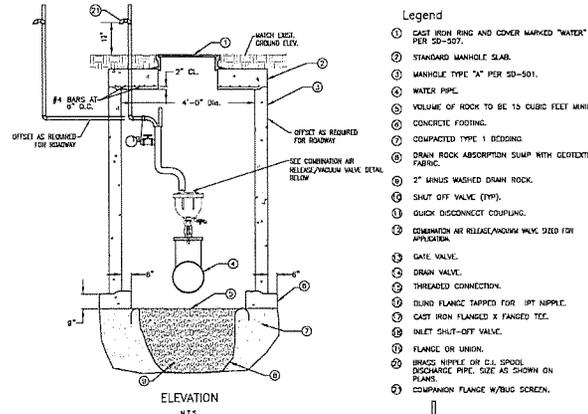
3 Pressurized Irrigation Drain Valve
REF: CITY OF KUMIA SD DWG. NRR-03
NOT TO SCALE



5 Typical Air Release Valve (Pressure Irrigation)
REF: CITY OF KUMIA SD DWG. NRR-02
NOT TO SCALE



4 Ground Water Observation Well (Monitoring Well)
REF: AASD STURMATTER DESIGN GUIDELINES STANDARD DRAWING 7.
NOT TO SCALE



6 Combination Air Release/Vacuum Valve (Domestic Water)
REF: SDAS STANDARD FOR PUBLIC WORKS CONSTRUCTION, STD DWG. SD-23-A
NOT TO SCALE

B & A Engineers, Inc.
Consulting Engineers, Surveyors & Planners
5609 W. Franklin Rd., Boise, ID 83725
(208) 344-3381



Construction Details
Crimson Point Subdivision No. 8
A PORTION OF THE STRIP MAP IS THE SURVEY QUARTER 6 SECTION, 11S, TOWNSHIP 6 N, RANGE 1 WEST, BOISE MERIDIAN, CITY OF KUMIA, WADE COUNTY, IDAHO

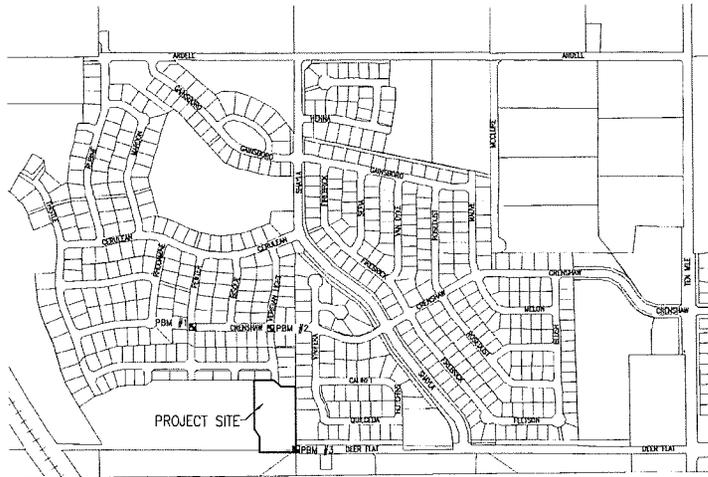
Record Construction Drawing
DATE: 31-10-2017
DRAWN BY: [Name]
CHECKED BY: [Name]
DESIGNED BY: [Name]
PROJECT NO: [Number]
SHEET NO: [Number]

SCALE: AS SHOWN
DATE: 10-31-2017
DRAWN BY: [Name]
CHECKED BY: [Name]
DESIGNED BY: [Name]
PROJECT NO: [Number]
SHEET NO: [Number]

Crimson Point Subdivision No. 8-B

Street, Water, Pressure Irrigation, & Sanitary Sewer Construction Plans

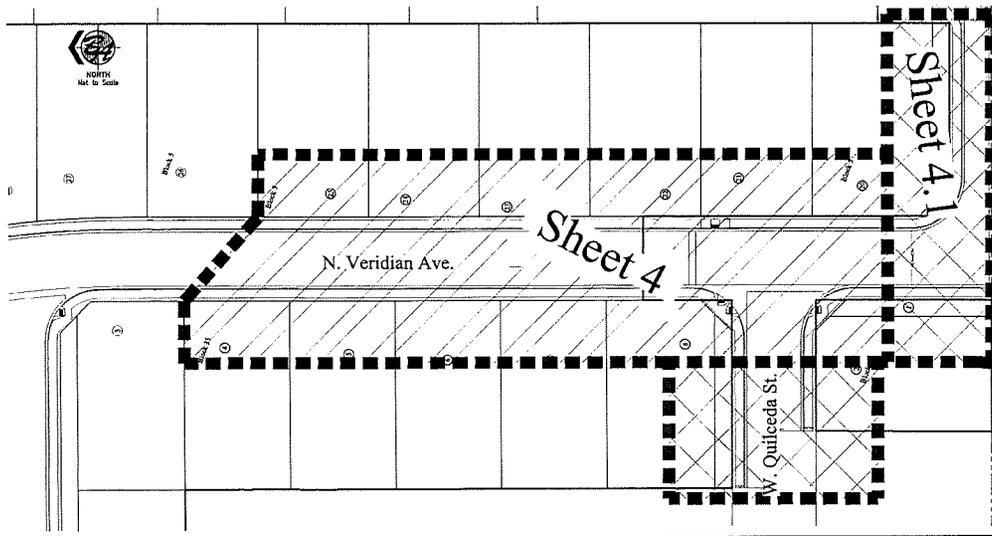
Vicinity Map



Legend

<p>PROJECT / PROPERTY BOUNDARY</p> <p>LOT LINE</p> <p>SMALLEST CENTERLINE (CENTER OF R-D-4)</p> <p>CENTERLINE OF ASPHALT (WHEN DIFFERS FROM R-D-4)</p> <p>EXISTING EDGE OF PAVEMENT</p> <p>EXISTING SANITARY SEWER MAIN LINE</p> <p>EXISTING SANITARY SEWER MAIN LINE, SIZE NOTED</p> <p>CONSTRUCT 4" SEWER SERVICE PER (SPWC SD-511 SEE DETAIL 6, SHEET 13)</p> <p>EXISTING 8" C-900 PVC WATER MAIN LINE</p> <p>CONSTRUCT 8" C-900 PVC WATER MAIN LINE</p> <p>CONSTRUCT 1" DOUBLE WATER SERVICE</p> <p>EXISTING PRESSURE IRRIGATION LINE, SIZES NOTED ON SHEET 3</p> <p>CONSTRUCT PRESSURE IRRIGATION LINE, SIZES NOTED ON SHEET 3</p> <p>10" WIDE PRESSURE IRRIGATION EASEMENT</p> <p>3" WIDE ACID SODIUM EASEMENT, UNLESS NOTED OTHERWISE</p> <p>INSTALL 1,000 GALLON CEMENT TANK PER ACRE (RMP-31 WITH MANHOLE, FRAME AND COVER PER SPWC SD-414 AND SD-417)</p> <p>INSTALL 2" BLOW-OFF ASSEMBLY</p> <p>EXISTING STORM DRAIN MANHOLE</p> <p>INSTALL MANHOLE 48" FLAT BOTTOM MANHOLE WITH 2" CLAMP OR EQUAL AS PER SPWC STANDARD DRAWING SD-611</p> <p>INSTALL SANITARY SEWER MANHOLE</p> <p>EXISTING SANITARY SEWER MANHOLE</p> <p>INSTALL LED STREET LIGHT</p> <p>KEYNOTE REFERENCES</p> <p>INSTALL COMBINATION AIR RELEASE/SHOULDER VALVE IN ACCORDANCE WITH SPWC SD-402-A</p> <p>EXISTING UTILITY POLE</p>	<p>ASPHALT SAW-CUT LINE</p> <p>EXISTING CURB AND CUTTER</p> <p>CONSTRUCT 3" ROLLED CURB & CUTTER WITH 5" WIDE ATTACHED SIDEWALK</p> <p>CONSTRUCT 6" VERTICAL CURB & CUTTER WITH 5" WIDE ATTACHED SIDEWALK</p> <p>70.00 PRC</p> <p>70.00 ETC</p> <p>70.00 FVC</p> <p>70.00 LDC</p> <p>70.00 ELDC</p> <p>70.00 FL</p> <p>70.00 EIP</p> <p>2.00E</p> <p>GRADE CHANGE</p> <p>GRADE BREAK</p> <p>INSTALL WATER VALVE, SAME SIDE AS MAIN LINE</p> <p>EXISTING FIRE HYDRANT</p> <p>EXISTING WATER VALVE</p> <p>INSTALL TYPE 6 TERMINUS BARRICADE W/NOX PLATE AT BASE FOR CAME DETECTION, AS PER WACD PROTECTIVE SECTION 02.02</p> <p>INSTALL TYPE 8 TERMINUS BARRICADE STAINING THIS ROAD WILL BE EXTENDED IN THE FUTURE, AS PER SPWC STANDARD DRAWING SD-1132</p> <p>LOT NUMBER</p> <p>EXISTING TELEPHONE POLE</p> <p>EXISTING IRRIGATION CONTROL VALVE, RETAIN AND PROTECT</p> <p>EXISTING IRRIGATION MANHOLE, RETAIN AND PROTECT</p>
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Profile Sheet Index



Sheet Index

<p>1. TITLE SHEET AND INDEX</p> <p>1.1 CONSTRUCTION NOTES</p> <p>2. SITE COMPOSITE PLAN</p> <p>2.1 SANITARY SEWER AND STORM DRAINAGE PLAN</p> <p>2.2 WATER & STREET LIGHT AND IRRIGATION PLAN</p> <p>3. FINAL PLAN</p> <p>3.1 FINAL PLAN</p> <p>3.2 FINAL PLAN</p> <p>4. PLAN/PROFILE - N. VERIDIAN AVE.</p> <p>4.1 PLAN/PROFILE - W. QUILCEDA ST.</p> <p>5.1 CONSTRUCTION DETAILS</p> <p>5.2 CONSTRUCTION DETAILS</p>
--

Digline Information

50 South Cole Road
Boise, ID 83709
1-800-342-1585
(208) 342-1585

Keynotes

- CONSTRUCT 5'-0" CONCRETE SIDEWALK IN ACCORDANCE WITH ACID SUPPLEMENTAL STANDARD DRAWING SD-709. SEE DETAILS 2, SHEET 5.
- CONSTRUCT 3" ROLLED CURB AND CUTTER IN ACCORDANCE WITH ACID SUPPLEMENTAL STANDARD DRAWING SD-702. SEE DETAIL 1, SHEET 5.
- CONSTRUCT PEDESTRIAN RAMP IN ACCORDANCE WITH THE ACID SUPPLEMENTAL STANDARD DRAWING SD-712-H-4. SEE DETAIL 5, SHEET 5.
- INSTALL PIPE SLEEVE PER DETAIL 7, SHEET 5.
- INSTALL 2" WATER MAIN BLOW-OFF VALVE IN ACCORDANCE WITH KUNA CITY MUNICIPAL WATER SYSTEM STANDARD DETAIL "BLOW-OFF".
- CONSTRUCT 6" VERTICAL CURB AND CUTTER IN ACCORDANCE WITH ACID SUPPLEMENTAL STANDARD DRAWING SD-701. SEE DETAIL 4, SHEET 5.
- INSTALL FIRE HYDRANT IN ACCORDANCE WITH I.S.P.W.C. STANDARD DRAWING SD-404. SEE DETAIL 5, SHEET 5.1.
- CONSTRUCT VALLEY CUTTER IN ACCORDANCE WITH ACID SUPPLEMENTAL STANDARD DRAWING SD-708.
- CONSTRUCT M40-BLOCK PEDESTRIAN RAMP IN ACCORDANCE WITH I.S.P.W.C. STANDARD DRAWING SD-712-G. SEE DETAIL 5, SHEET 5.
- START OF NEW 5' DETACHED SIDEWALK CONSTRUCTION. MATCH INTO THE EXISTING SIDEWALKS.
- CONSTRUCT 5'-0" CURB TERMINUS IN ACCORDANCE WITH I.S.P.W.C. STANDARD DRAWING SD-707.
- INSTALL GRAVEL SURFACE, 6.5" OF 3/4" MINUS CRUSHED AC OVER 12" OF 6" WASHES PITHUM (MINIMUM 85% COMPACTED TO STANDARD PROCTOR DENSITY).

Benchmark Information (NVD 88 DATUM)

<p>BM #1 FOUND 5/8" PIN IN THE INTERSECTION OF W. CRENSHAW WAY AND N. PENTER AVE. ELEVATION = 2658.78</p> <p>BM #2 FOUND 5/8" PIN IN THE INTERSECTION OF W. CRENSHAW WAY AND N. VERIDIAN AVE. ELEVATION = 2664.78</p> <p>BM #3 FOUND 5/8" PIN AT THE WEST END OF W. DEER FLAT RD. (SEE VICINITY MAP). ELEVATION = 2670.42</p>

Erosion Control - Storm Water Pollution Prevention Note

1. PRIOR TO CONSTRUCTION CONTRACTOR(S) SHALL BE RESPONSIBLE TO VERIFY THAT A NOTICE OF INTENT TO CONSTRUCT (NOI) HAS BEEN FILED AND ACCEPTED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR COMPLYING WITH THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP).

B & A Engineers, Inc.
Consulting Engineers, Surveyors & Planners
200 N. Myrtle St., Boise, ID 83706
(208) 343-5381



Crimson Point Subdivision No. 8-B
A PORTION OF THE SOUTH HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 16, T4N, R10E, S2E, OF MAPSAN, CITY OF KUNA, KAN. COUNTY, IDAHO.

Record Construction Drawing
Date: November 14, 2017
By: J. L. Hall
These record drawings have been prepared by B & A Engineers, Inc. based on information provided by the client. B & A Engineers, Inc. does not warrant the accuracy of the information provided. The client is responsible for the accuracy of the information provided.

DATE: 11/14/17
SCALE: AS SHOWN
DRAWN BY: J. L. HALL
CHECKED BY: J. L. HALL
ESTIMATED COST: \$1,000,000
DRAWING NO.: 18-04-FP-041

SHEET NO.: 1

Crimson Point Subdivision No. 8

A portion of the south half of the southwest quarter of Section 15, Township 2 North,
Range 1 West, Bolivar Meridian, City of Kuno, Ado County, Idaho.

© 2017

Reference Documents

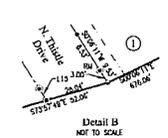
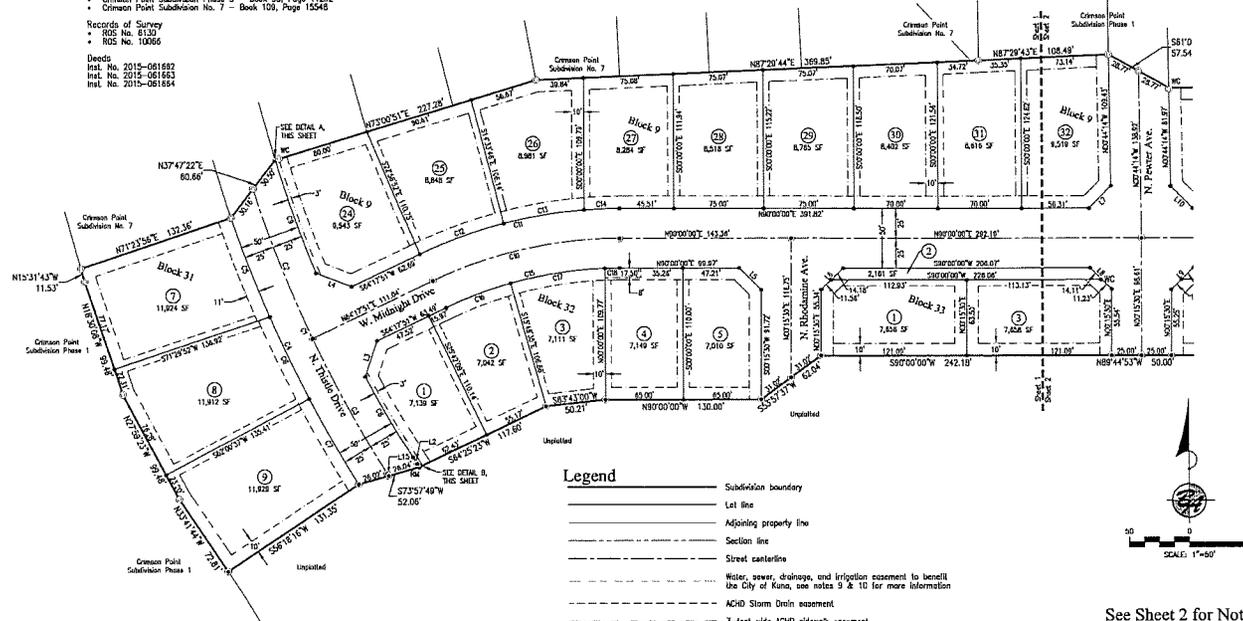
- Subdivision Plots
- Crimson Point Subdivision Phase 1 - Book 40, Page 10631
- Crimson Point Subdivision Phase 2 - Book 93, Page 11292
- Crimson Point Subdivision No. 7 - Book 109, Page 15548

Records of Survey

- RDS No. 6130
- RDS No. 10066

Deeds

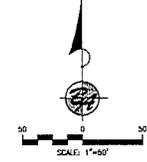
- Inst. No. 2015-081692
- Inst. No. 2015-081663
- Inst. No. 2015-081654



Legend

- Subdivision boundary
- Lot line
- Adjoining property line
- Section line
- Street centerline
- Water, sewer, drainage, and irrigation easement to benefit the City of Kuno, see notes 9 & 10 for more information
- AGHD Storm Drain easement
- 3-foot wide AGHD sidewalk easement
- Found monument, type noted
- Found 5/8\"/>
- Set 1/2\"/>
- Witness Corner - Set 1/2\"/>
- Set 5/8\"/>
- Witness Corner - Set 5/8\"/>
- Witness Corner - Set 5/8\"/>
- Calculated point, nothing found or set
- Witness Corner
- Reference Monument

See Sheet 2 for Notes
See Sheet 3 for Line & Curve Tables



B&A Engineers, Inc.
Consulting Engineers, Surveyors & Planners
5505 W. Franklin Rd. Boise, Id. 83705
(208) 343-3381

Crimson Point Subdivision No. 8
Sheet 1 of 4

B&A Engineers, Inc.
Consulting Engineers, Surveyors & Planners
5505 W. Franklin Rd. Boise, Id. 83705
(208) 343-3381

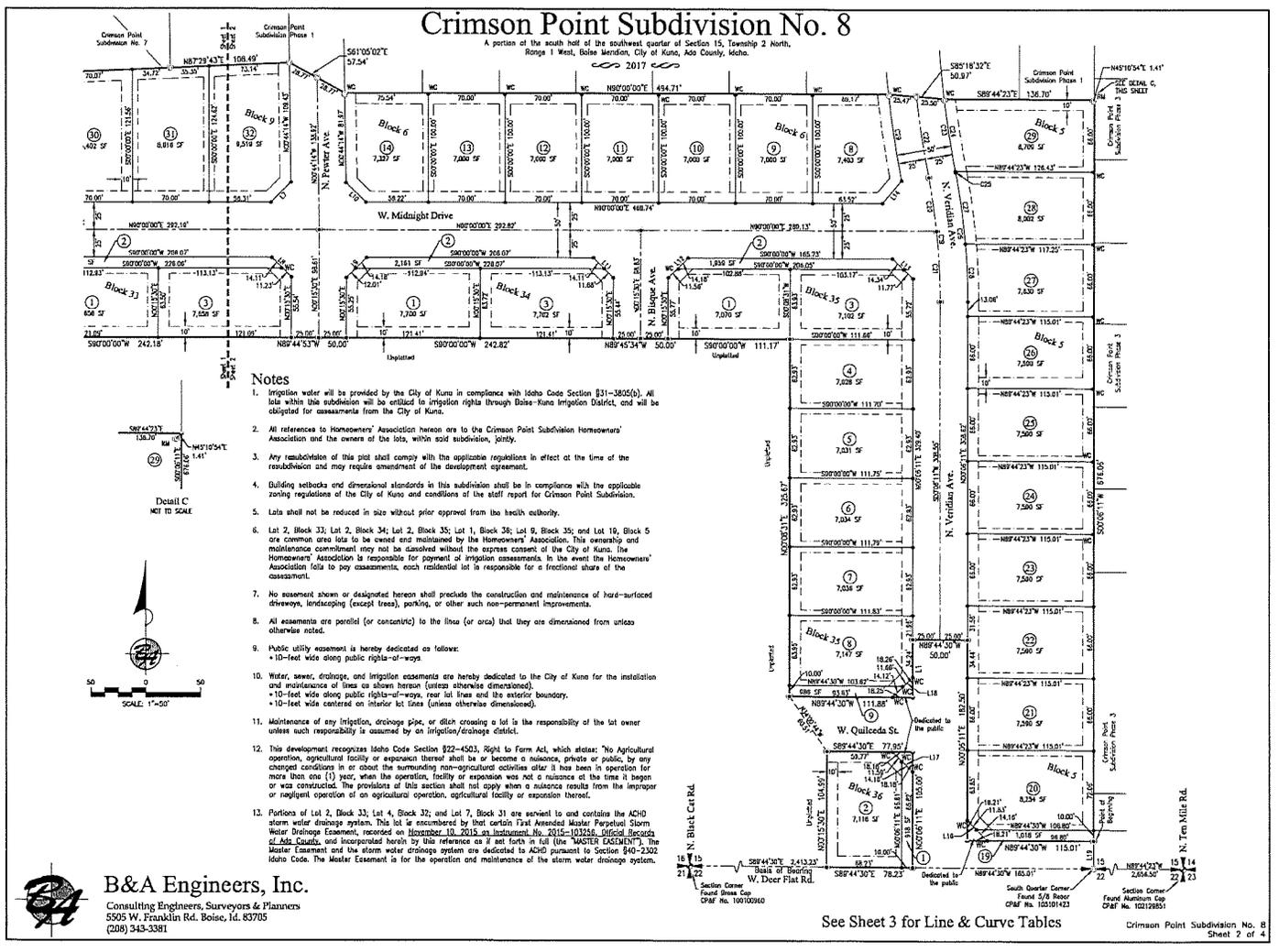


Final Plot
Crimson Point Subdivision No. 8
A PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 2 NORTH, RANGE 1 WEST, BOLIVAR MERIDIAN, CITY OF KUNO, ADAMS COUNTY, IDAHO.

Record Construction Drawing
Book Number: 14, 2017.
Book Title: Final Plot
These record drawings have been prepared by B & A Engineers, Inc. based on information furnished by the client. It is the responsibility of the client to verify the accuracy of the information furnished and to ensure that the information is complete and correct. B & A Engineers, Inc. is not responsible for any errors or omissions in the information furnished.

SCALE	AS SHOWN
DATE	12.2015
TITLE	FINAL PLOT
PROJECT NO.	18-04-FP
PROJECT FILE NAME	18-04-FP
PROJECT FOLDER	18-04-FP

SHEET NO.
3



B&A Engineers, Inc.
Consulting Engineers, Surveyors & Planners
5505 W. Franklin Rd. Boise, ID 83705
(208) 343-3381



Final Plat
Crimson Point Subdivision No. 8
A PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 2 NORTH, RANGE 1 WEST, BOISE MERIDIAN, CITY OF KUNA, IDAHO.

Record Construction Drawing
Date: November 14, 2017
By: J. Hill
This record drawing was prepared by B&A Engineers, Inc., based on a survey conducted by J. Hill on November 14, 2017. The drawing is a true and correct representation of the information shown hereon, and the original drawing may be obtained from the author upon request and fee. B&A Engineers, Inc. is not responsible for any errors or omissions in this drawing.

SCALE: 1"=50'
DATE: NOV 13, 2015
DRAWN BY: J. Hill
CHECKED BY: J. Hill
DATE: NOV 13, 2015
CITY OF KUNA
SHEET NO. 3.1

Crimson Subdivision No. 8

Line Table

Line	Bearing	Distance
L1	S0°06'11"W	52.50'
L2	N32°14'19"W	9.53'
L3	N18°11'43"E	31.58'
L4	N69°01'11"W	31.68'
L5	S44°52'15"E	23.79'
L6	N45°07'45"E	25.74'
L7	S45°37'54"W	29.85'
L8	S44°52'15"E	25.34'
L9	N45°07'45"E	26.19'
L10	N45°22'07"W	26.88'
L11	S44°52'15"E	25.79'
L12	N45°07'48"E	25.74'
L13	S45°46'59"E	26.11'
L14	S39°20'11"W	27.15'
L15	S32°14'19"E	2.26'
L16	N44°48'09"W	25.79'
L17	S44°48'09"E	25.75'
L18	S45°10'51"W	23.78'
L19	S0°06'11"W	25.00'

Curve Table

Curve	Data	Radius	Arc	Chord Bearing	Chord Distance
C1	14°30'08"	1,040.00'	263.23'	S24°59'15"E	282.53'
C2	7°24'55"	1,040.00'	134.60'	S21°26'39"E	134.50'
C3	7°05'13"	1,040.00'	128.64'	S28°41'43"E	128.56'
C4	13°18'53"	1,065.00'	247.49'	S25°18'44"E	246.93'
C5	4°47'22"	1,065.00'	89.03'	S21°02'59"E	89.00'
C6	4°04'44"	1,065.00'	75.82'	S25°26'02"E	75.80'
C7	4°26'47"	1,065.00'	82.85'	S29°44'47"E	82.63'
C8	4°24'15"	1,015.00'	78.02'	S30°02'11"E	78.00'
C9	5°38'44"	1,015.00'	100.31'	S19°35'35"E	100.27'
C10	29°42'09"	385.00'	161.49'	S77°08'55"W	160.14'
C11	29°42'09"	385.00'	172.71'	S77°08'55"W	171.28'
C12	11°08'23"	385.00'	74.85'	S89°52'03"W	74.74'
C13	10°10'10"	385.00'	68.33'	S87°31'18"W	68.24'
C14	4°23'36"	385.00'	29.52'	S87°48'12"W	29.51'
C15	29°42'09"	335.00'	150.28'	S77°08'55"W	149.02'
C16	9°53'34"	335.00'	57.84'	S88°14'38"W	57.77'
C17	13°42'55"	335.00'	80.19'	S81°02'53"W	80.00'
C18	2°05'40"	335.00'	12.25'	S88°57'10"W	12.25'
C19	10°52'20"	600.00'	113.63'	N51°19'59"W	113.68'
C20	4°44'01"	600.00'	49.57'	N82°44'08"W	49.25'
C21	6°08'19"	600.00'	64.78'	N75°59'59"W	64.25'
C22	4°16'59"	1,000.00'	74.76'	S63°37'30"E	74.74'
C23	3°59'34"	975.00'	67.04'	S84°48'22"E	67.93'
C24	3°55'39"	975.00'	66.84'	S84°44'25"E	66.82'
C25	0°03'56"	975.00'	1.11'	S10°44'12"E	1.11'
C26	10°52'20"	625.00'	118.60'	N51°19'59"W	118.42'
C27	6°00'44"	625.00'	65.58'	N74°49'47"W	65.55'
C28	4°51'38"	625.00'	53.01'	N21°19'37"W	53.00'
C29	4°28'25"	1,025.00'	80.03'	S82°16'46"E	80.01'

Certificate of Owners

KNOW ALL MEN BY THESE PRESENTS: That the undersigned does hereby certify that it is the owner of a certain tract of land to be known as CRIMSON POINT SUBDIVISION NO. 8, and that it intends to include the following described land in this plat:
A portion of the southwest quarter of Section 15, Township 2 North, Range 1 West, Boise Meridian, Nune City, Ada County, Idaho, being more particularly described as follows:

Commencing at the south quarter corner of said Section 15, which bears S89°44'30"E, 2,856.47 feet from the southwest corner of said Section 15; thence N02°06'11"E, 25.00 feet along the easterly boundary of the southwest quarter of said Section 15 and the westerly boundary of Crimson Point Subdivision Phase 3 as shown in Book 93 of Plats at Pages 11252 through 11254, records of Ada County, Idaho to the Point of Beginning;

Thence N89°44'30"W, 115.01 feet along a line parallel with the southerly boundary of the southwest quarter of said Section 15; thence N02°06'11"E, 182.50 feet along a line parallel with the easterly boundary of the southwest quarter of said Section 15; thence N87°44'30"W, 50.00 feet along a line parallel with the southerly boundary of the southwest quarter of said Section 15; thence S03°06'11"W, 105.00 feet along a line parallel with the westerly boundary of the southwest quarter of said Section 15; thence N89°44'30"W, 111.88 feet along a line parallel with the southerly boundary of the southwest quarter of said Section 15; thence N02°06'11"E, 325.87 feet; thence S80°00'00"W, 111.17 feet; thence N89°45'34"W, 20.80 feet; thence S89°00'00"W, 242.82 feet; thence N87°44'30"W, 50.00 feet; thence S02°00'00"W, 242.18 feet; thence S33°57'37"W, 62.04 feet; thence N87°00'00"W, 130.00 feet; thence S83°43'00"W, 50.21 feet; thence S84°25'23"W, 117.60 feet; thence S72°57'49"W, 52.06 feet; thence S58°18'16"W, 131.25 feet to the boundary of Crimson Point Subdivision Phase 1 as shown in Book 90 of Plats at Page 10621 through Page 10626, records of Ada County, Idaho;

Thence along the boundary of said Crimson Point Subdivision Phase 1 the following courses and distances:
N02°59'23"W, 99.48 feet; N18°30'08"W, 99.48 feet; N12°31'43"W, 11.53 feet to the southeasterly corner of Crimson Point Subdivision No. 7 as shown in Book 109 of Plats of Pages 15548 through 15550, records of Ada County, Idaho;

Thence along the southerly boundary of said Crimson Point Subdivision No. 7 the following courses and distances:
N71°23'57"E, 132.36 feet; N37°47'32"E, 80.86 feet; N73°00'51"E, 227.38 feet; N67°29'44"E, 389.85 feet to the southeast corner of said Crimson Point Subdivisions No. 7, to the boundary of said Crimson Point Subdivision Phase 1;

Thence along the boundary of said Crimson Point Subdivision Phase 1 the following courses and distances:
N67°29'43"E, 108.49 feet; S61°00'00"E, 57.54 feet; N92°00'00"E, 494.71 feet; S82°18'32"E, 50.97 feet; S89°44'30"E, 132.70 feet to the westerly boundary of said Crimson Point Subdivision Phase 3 and to the easterly boundary of the southwest quarter of said Section 15;

Thence S02°06'11"W, 478.00 feet along the westerly boundary of said Crimson Point Subdivision Phase 3 and along the easterly boundary of the southwest quarter of said Section 15 to the Point of Beginning.

AND INCLUDING THE FOLLOWING:

Commencing at the south quarter corner of said Section 15, which bears S89°44'30"E, 2,856.47 feet from the southwest corner of said Section 15; thence N89°44'30"W, 165.01 feet along the southerly boundary of the southwest quarter of said Section 15 to the Point of Beginning;

Thence N89°44'30"W, 78.23 feet along the southerly boundary of the southwest quarter of said Section 15; thence N02°15'30"E, 104.98 feet; thence S89°44'30"E, 77.95 feet along a line parallel with the southerly boundary of the southwest quarter of said Section 15; thence S03°06'11"W, 105.00 feet to the Point of Beginning.

Comprising 11.34 Acres, more or less.

See Sheet 4 for Owner's Signature



B&A Engineers, Inc.
Consulting Engineers, Surveyors & Planners
5505 W. Franklin Rd. Boise, Id. 83705
(208) 343-3381 Crimson Point Subdivision No. 8
Sheet 3 of 4

B&A Engineers, Inc.
Consulting Engineers, Surveyors & Planners
5505 W. Franklin Rd. Boise, Id. 83705
(208) 343-3381

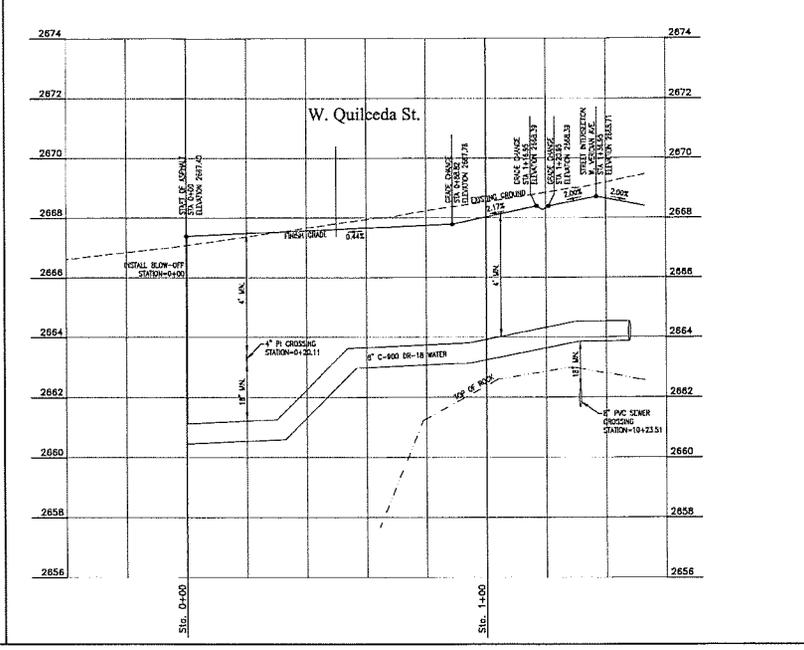
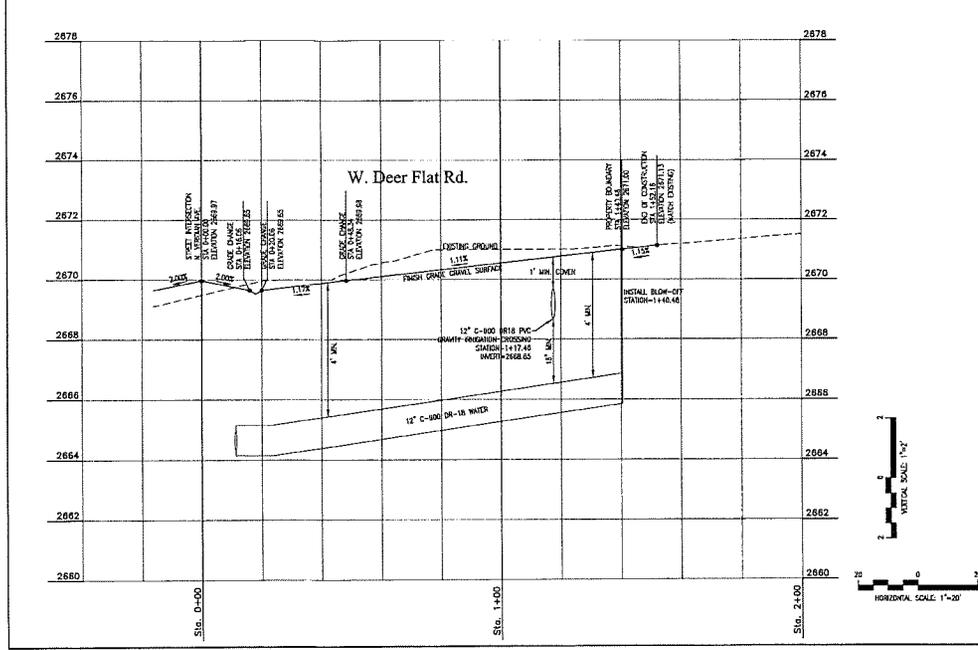
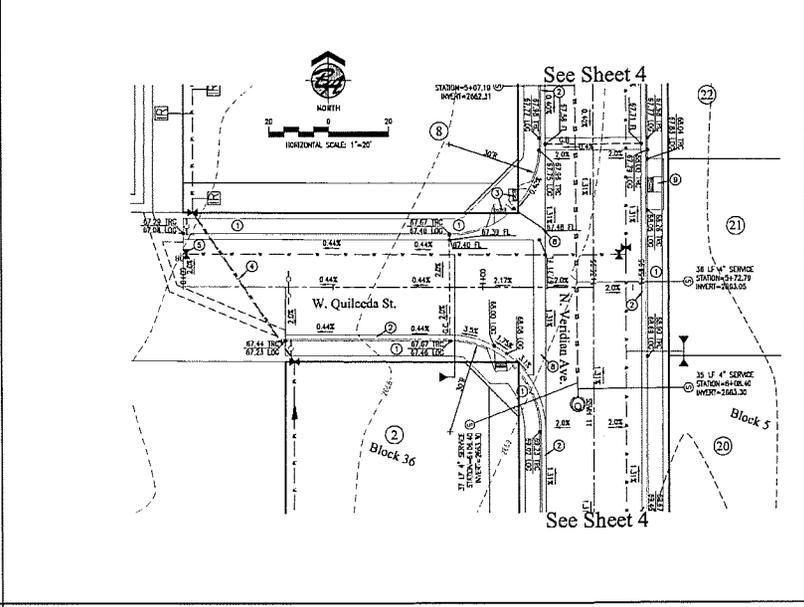
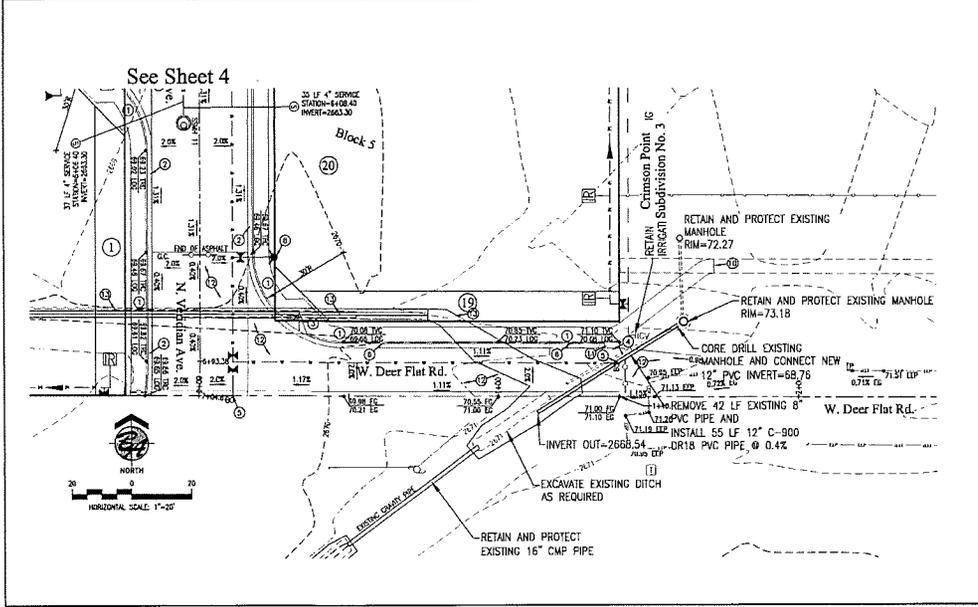


Final Plat
Crimson Point Subdivision No. 8
A. SPOFFORD, REGISTERED PROFESSIONAL ENGINEER
15. JAMESON 7. NORTH, RANGE 1 WEST, BOISE MERIDIAN, CITY OF IDAHO
AND COUNTY, IDAHO

Record Construction Drawing
Date: November, 14, 2017.
By: J.L. Hill
This record drawing is to be used only for the construction of the project shown hereon and for no other purpose.
Decision of said Surveyor is final and binding.

SCALE: AS SHOWN
DATE: 11/14/17
DRAWN BY: J.L. Hill
CHECKED BY: J.L. Hill
PROJECT NO.
BOISE FILE NO.
DATE PLOTTED

SHEET NO:
3.2



B & A Engineers, Inc.
Consulting Engineers, Surveyors & Planners
5568 W. Franklin Rd., Boise, Id. 83705
(208) 343-5381

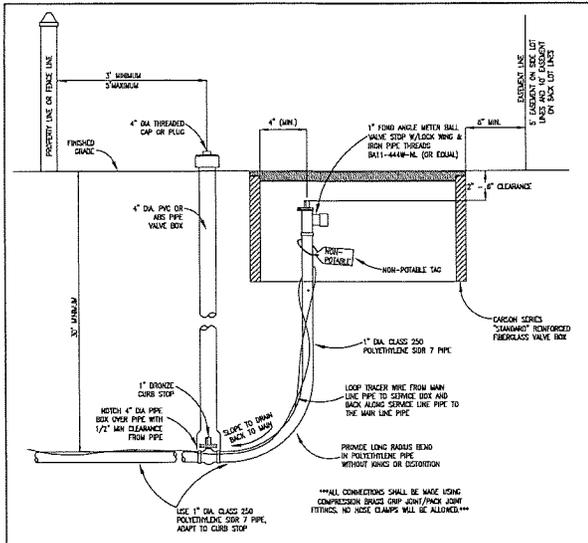


Plan/Profile - W. Quilceda St. & W. Deer Flat Rd.
Crimson Point Subdivision No. 8-B
A PORTION OF THE SOUTH HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 7 NORTH, RANGE 18 WEST, BOISE MERIDIAN, CITY OF BOISE, BOISE COUNTY, IDAHO.

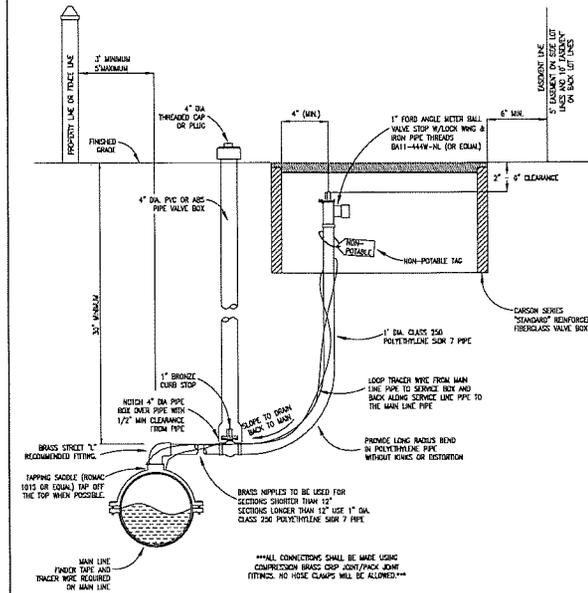
Record Construction Drawing
Date: November 14, 2017
By: J.L. Hill
These record drawings have been prepared by B & A Engineers, Inc. based on information provided and furnished by the contractor and other sources. The contractor shall be responsible for the accuracy of the information provided and furnished by the contractor and other sources. The contractor shall be responsible for the accuracy of the information provided and furnished by the contractor and other sources.

SCALE: 24'
DATE: 8.22.17
DRAWN BY: J.L. HILL
CHECKED BY: J.L. HILL
PROJECT NO.: 18-04-FP
SHEET NO.: 41

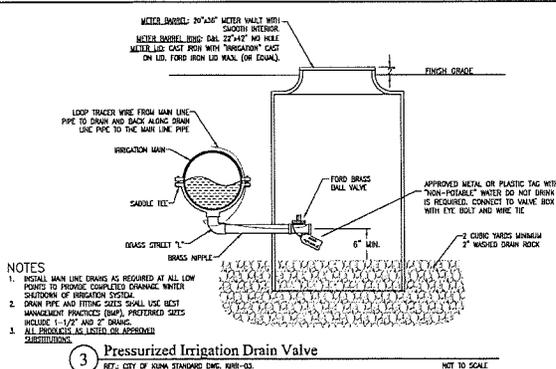
4.1



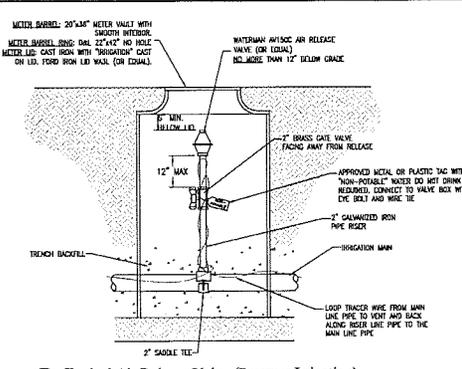
1 Standard Residential 1" Service Main Side (Long Side)
REF.: CITY OF KIWA STANDARD DWG. KR9-02-02. NOT TO SCALE



2 Standard Residential 1" Service Main Side (Short Side)
REF.: CITY OF KIWA STANDARD DWG. KR9-02-01. NOT TO SCALE



3 Pressurized Irrigation Drain Valve
REF.: CITY OF KIWA STANDARD DWG. KR9-03. NOT TO SCALE



5 Typical Air Release Valve (Pressure Irrigation)
REF.: CITY OF KIWA STANDARD DWG. KR9-02. NOT TO SCALE

- NOTES
1. TYPICAL MAIN LINE DRINKS AS REQUIRED AT ALL LOW POINTS TO PROMOTE COMPLETE DRAINAGE. WATER SECTIONS OF IRRIGATION SYSTEM.
 2. DRAIN PIPE AND FITTING SIZES SHALL USE BEST MANAGEMENT PRACTICES (BMP), PRETREATED SITES INCLUDE 1-1/2" AND 2" DRINK.
 3. ALL PROBLEMS AS LISTED OR APPROPRIATE SUBSTITUTIONS.

B & A Engineers, Inc.
Consulting Engineers, Surveyors & Planners
5505 N. Franklin Rd., Boise, ID 83705
(208) 343-3381

Construction Details
Crimson Point Subdivision No. 8-B
A PORTION OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF SECTION 16, T15N, R10E, S1E, BOISE PLATS, CITY OF BOISE, TOWN OF BOISE, BOISE COUNTY, ID.

Record Construction Drawing
Date: November 14, 2017
By: J.L. 1801
These record drawings have been prepared by B & A Engineers, Inc. based on information provided by the client. B & A Engineers, Inc. is not responsible for any errors or omissions in the information provided by the client or for any consequences arising therefrom.

SCALE: AS SHOWN	DATE: 11/14/2017
DRAWN BY: J.L.	CHECKED BY: J.L.
PROJECT NO. 1801	CLIENT: B & A ENGINEERS, INC.
DRAWING NO. 5.2	DESIGNED BY: J.L.

SHEET NO: 5.2

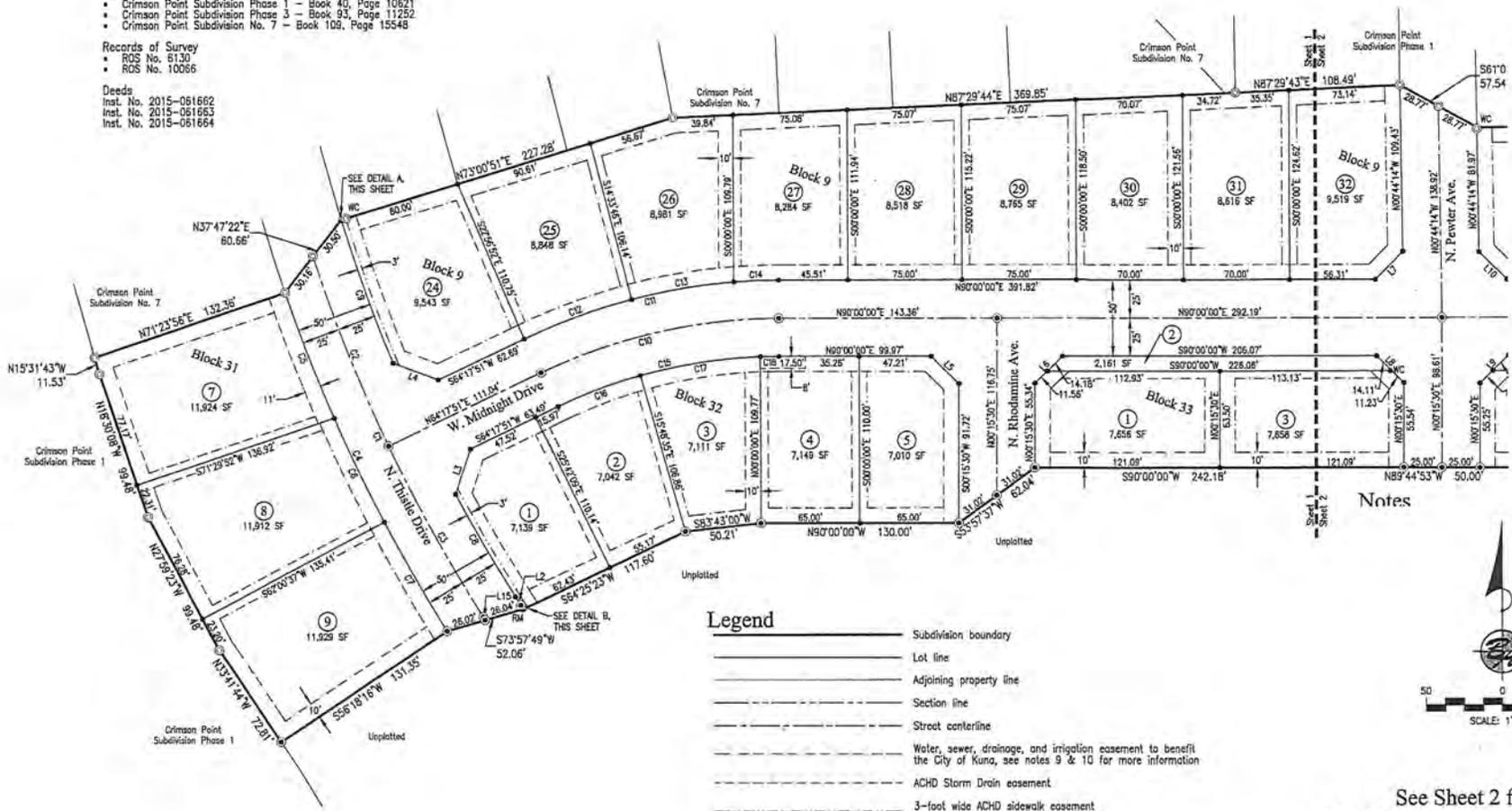
Crimson Point Subdivision No. 8

A portion of the southwest quarter of Section 15, Township 2 North, Range 1 West,
Boise Meridian, City of Kuna, Ada County, Idaho.

2018

Reference Documents

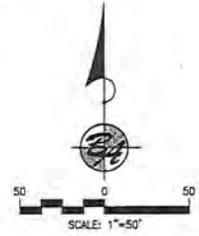
- Subdivision Plats
 - Crimson Point Subdivision Phase 1 - Book 40, Page 10621
 - Crimson Point Subdivision Phase 3 - Book 93, Page 11252
 - Crimson Point Subdivision No. 7 - Book 109, Page 15548
- Records of Survey
 - ROS No. 6130
 - ROS No. 10086
- Deeds
 - Inst. No. 2015-081662
 - Inst. No. 2015-081663
 - Inst. No. 2015-081664



Notes

Legend

- Subdivision boundary
- Lot line
- Adjoining property line
- Section line
- Street centerline
- Water, sewer, drainage, and irrigation easement to benefit the City of Kuna, see notes 9 & 10 for more information
- ACHD Storm Drain easement
- 3-foot wide ACHD sidewalk easement
- Found monument, type noted
- Found 5/8" pin, unless otherwise noted
- Set 1/2"x24" iron pin with plastic cap labeled "B&A LS 4116"
- Witness Corner - Set 1/2"x24" iron pin with plastic cap labeled "B&A LS 4116", 1.00' offset from lot corner, unless otherwise noted
- Set 5/8"x30" iron pin with plastic cap labeled "B&A LS 4116"
- Witness Corner - Set 5/8"x30" iron pin with plastic cap labeled "B&A LS 4116", 1.00' offset from lot corner, unless otherwise noted
- Calculated point, nothing found or set
- Witness Corner
- Reference Monument



See Sheet 2 for Notes
See Sheet 3 for Line & Curve Tables



Detail A
NOT TO SCALE



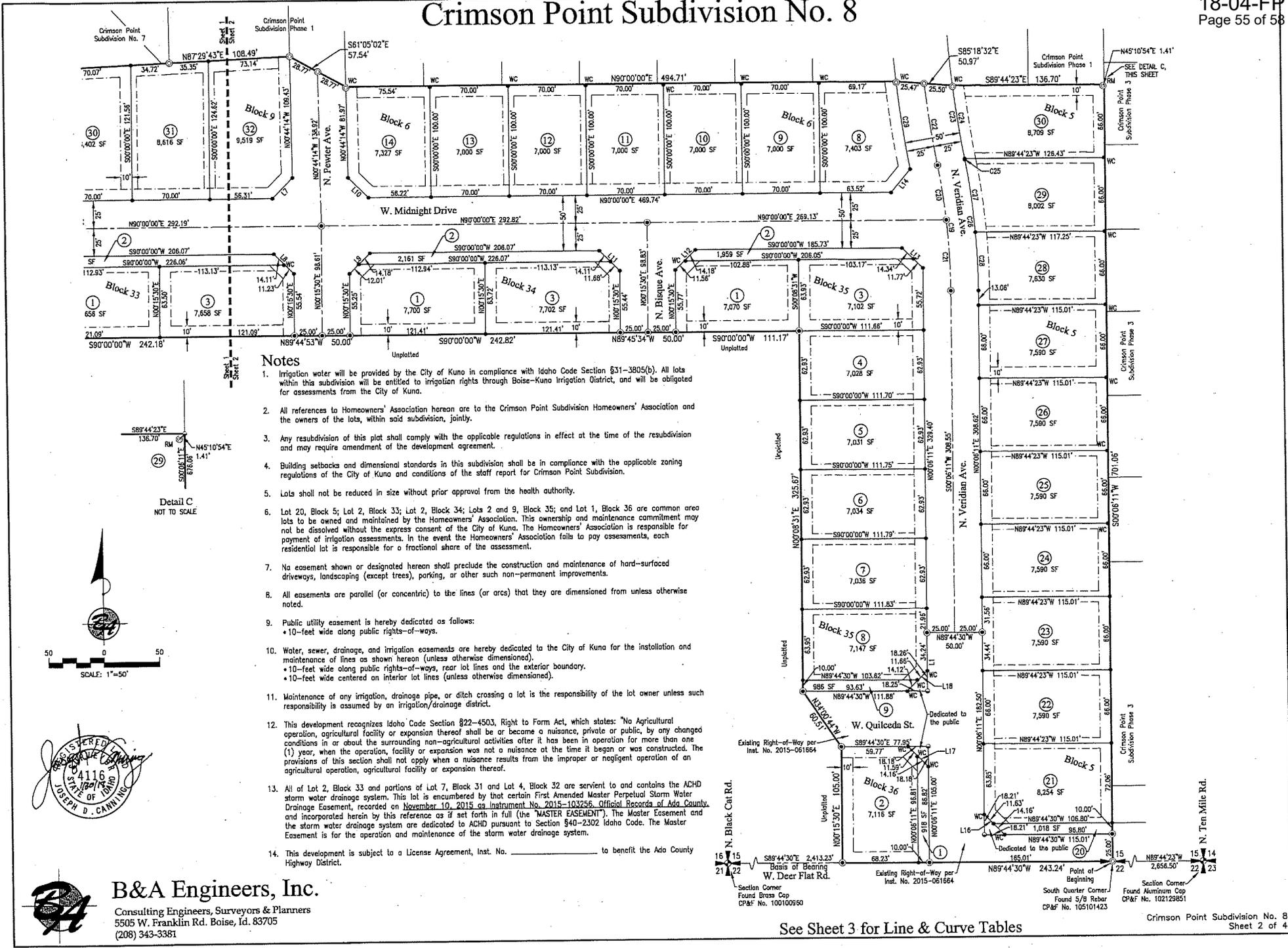
Detail B
NOT TO SCALE



B&A Engineers, Inc.
 Consulting Engineers, Surveyors & Planners
 5505 W. Franklin Rd. Boise, Id. 83705
 (208) 343-3381

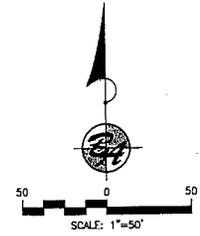
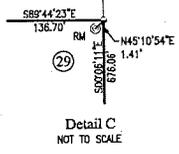
Exhibit
A6

Crimson Point Subdivision No. 8



Notes

1. Irrigation water will be provided by the City of Kuna in compliance with Idaho Code Section §31-3805(b). All lots within this subdivision will be entitled to irrigation rights through Boise-Kuna Irrigation District, and will be obligated for assessments from the City of Kuna.
2. All references to Homeowners' Association hereon are to the Crimson Point Subdivision Homeowners' Association and the owners of the lots, within said subdivision, jointly.
3. Any resubdivision of this plot shall comply with the applicable regulations in effect at the time of the resubdivision and may require amendment of the development agreement.
4. Building setbacks and dimensional standards in this subdivision shall be in compliance with the applicable zoning regulations of the City of Kuna and conditions of the staff report for Crimson Point Subdivision.
5. Lots shall not be reduced in size without prior approval from the health authority.
6. Lot 20, Block 5; Lot 2, Block 33; Lot 2, Block 34; Lots 2 and 9, Block 35; and Lot 1, Block 36 are common area lots to be owned and maintained by the Homeowners' Association. This ownership and maintenance commitment may not be dissolved without the express consent of the City of Kuna. The Homeowners' Association is responsible for payment of irrigation assessments. In the event the Homeowners' Association fails to pay assessments, each residential lot is responsible for a fractional share of the assessment.
7. No easement shown or designated hereon shall preclude the construction and maintenance of hard-surfaced driveways, landscaping (except trees), parking, or other such non-permanent improvements.
8. All easements are parallel (or concentric) to the lines (or arcs) that they are dimensioned from unless otherwise noted.
9. Public utility easement is hereby dedicated as follows:
• 10-foot wide along public rights-of-ways.
10. Water, sewer, drainage, and irrigation easements are hereby dedicated to the City of Kuna for the installation and maintenance of lines as shown hereon (unless otherwise dimensioned).
• 10-foot wide along public rights-of-ways, rear lot lines and the exterior boundary.
• 10-foot wide centered on interior lot lines (unless otherwise dimensioned).
11. Maintenance of any irrigation, drainage pipe, or ditch crossing a lot is the responsibility of the lot owner unless such responsibility is assumed by an irrigation/drainage district.
12. This development recognizes Idaho Code Section §22-4503, Right to Farm Act, which states: "No Agricultural operation, agricultural facility or expansion thereof shall be or become a nuisance, private or public, by any changed conditions in or about the surrounding non-agricultural activities after it has been in operation for more than one (1) year, when the operation, facility or expansion was not a nuisance at the time it began or was constructed. The provisions of this section shall not apply when a nuisance results from the improper or negligent operation of an agricultural operation, agricultural facility or expansion thereof."
13. All of Lot 2, Block 33 and portions of Lot 7, Block 31 and Lot 4, Block 32 are servient to and contains the ACHD storm water drainage system. This lot is encumbered by that certain First Amended Master Perpetual Storm Water Drainage Easement, recorded on November 10, 2015 as Instrument No. 2015-103256, Official Records of Ada County, and incorporated herein by this reference as if set forth in full (the "MASTER EASEMENT"). The Master Easement and the storm water drainage system are dedicated to ACHD pursuant to Section §40-2302 Idaho Code. The Master Easement is for the operation and maintenance of the storm water drainage system.
14. This development is subject to a License Agreement, Inst. No. _____ to benefit the Ada County Highway District.



B&A Engineers, Inc.
Consulting Engineers, Surveyors & Planners
5505 W. Franklin Rd. Boise, Id. 83705
(208) 343-3381

See Sheet 3 for Line & Curve Tables

Crimson Point Subdivision No. 8
Sheet 2 of 4

Crimson Subdivision No. 8

Line Table

Line	Bearing	Distance
L1	S0°06'11"W	52.50'
L2	N32°14'19"W	9.53'
L3	N18°11'43"E	31.58'
L4	N89°01'11"W	31.68'
L5	S44°52'15"E	25.79'
L6	N45°07'45"E	25.74'
L7	S44°37'53"W	25.85'
L8	S44°52'15"E	25.34'
L9	N45°07'45"E	26.19'
L10	N45°22'07"W	25.68'
L11	S44°52'12"E	25.79'
L12	N45°07'48"E	25.74'
L13	S45°46'59"E	26.11'
L14	S39°50'11"W	27.15'
L15	S32°14'19"E	2.26'
L16	N44°49'09"W	25.79'
L17	S44°49'09"E	25.75'
L18	S45°10'51"W	25.78'

Curve Table

Curve	Delta	Radius	Arc	Chord Bearing	Chord Distance
C1	14°30'08"	1,040.00'	263.23'	S24°59'15"E	262.53'
C2	724°55"	1,040.00'	134.60'	S21°26'39"E	134.50'
C3	7°05'13"	1,040.00'	128.64'	S28°41'43"E	128.56'
C4	13°18'53"	1,065.00'	247.49'	S25°18'44"E	246.93'
C5	4°47'22"	1,065.00'	89.03'	S21°02'59"E	89.00'
C6	4°04'44"	1,065.00'	75.82'	S25°29'02"E	75.80'
C7	4°26'47"	1,065.00'	82.65'	S29°44'47"E	82.63'
C8	4°24'15"	1,015.00'	78.02'	S30°02'11"E	78.00'
C9	5°39'44"	1,015.00'	100.31'	S19°35'35"E	100.27'
C10	25°42'09"	360.00'	161.49'	S77°08'55"W	160.14'
C11	25°42'09"	385.00'	172.71'	S77°08'55"W	171.26'
C12	11°08'23"	385.00'	74.85'	S69°52'03"W	74.74'
C13	10°10'10"	385.00'	68.33'	S80°31'19"W	68.24'
C14	4°23'36"	385.00'	29.52'	S87°48'12"W	29.51'
C15	25°42'09"	335.00'	150.28'	S77°08'55"W	149.02'
C16	9°53'34"	335.00'	57.84'	S69°14'38"W	57.77'
C17	13°42'55"	335.00'	80.19'	S81°02'53"W	80.00'
C18	2°05'40"	335.00'	12.25'	S88°57'10"W	12.25'
C19	10°52'20"	600.00'	113.85'	N5°19'59"W	113.68'
C20	4°44'01"	600.00'	49.57'	N8°24'08"W	49.56'
C21	6°08'19"	600.00'	64.28'	N2°57'59"W	64.25'
C22	4°16'59"	1,000.00'	74.76'	S8°37'39"E	74.74'
C23	3°59'34"	975.00'	67.94'	S8°46'22"E	67.93'
C24	3°55'39"	975.00'	66.84'	S8°44'25"E	66.82'
C25	0°03'55"	975.00'	1.11'	S10°44'12"E	1.11'
C26	10°52'20"	625.00'	118.60'	N5°19'59"W	118.42'
C27	6°00'44"	625.00'	65.58'	N7°45'47"W	65.55'
C28	4°51'36"	625.00'	53.01'	N2°19'37"W	53.00'
C29	4°28'25"	1,025.00'	80.03'	S8°26'49"E	80.01'

Certificate of Owners

KNOW ALL MEN BY THESE PRESENTS, That the undersigned does hereby certify that it is the owner of a certain tract of land to be known as CRIMSON POINT SUBDIVISION NO. 8, and that it intends to include the following described land in this plat:

A portion of the southwest quarter of Section 15, Township 2 North, Range 1 West, Boise Meridian, Kuna City, Ada County, Idaho, being more particularly described as follows:

Beginning at the south quarter corner of said Section 15, which bears S89°44'30"E, 2,656.47 feet from the southwest corner of said Section 15; which is the Point of Beginning:

Thence N89°44'30"W, 243.24 feet along the southerly boundary of the southwest quarter of said Section 15;
 Thence N00°15'30"E, 105.00 feet;
 Thence N34°00'44"W, 60.51 feet;
 Thence N00°08'31"E, 325.67 feet;
 Thence S90°00'00"W, 111.17 feet;
 Thence N89°45'34"W, 50.00 feet;
 Thence S90°00'00"W, 242.82 feet;
 Thence N89°44'53"W, 50.00 feet;
 Thence S90°00'00"W, 242.18 feet;
 Thence S53°57'37"W, 62.04 feet;
 Thence N80°00'00"W, 130.00 feet;
 Thence S83°43'00"W, 50.21 feet;
 Thence S64°25'23"W, 117.60 feet;
 Thence S73°57'49"W, 52.06 feet;
 Thence S56°18'16"W, 131.35 feet to the boundary of Crimson Point Subdivision Phase 1 as shown in Book 90 of Plats at Page 10621 through Page 10626, records of Ada County, Idaho;

Thence along the boundary of said Crimson Point Subdivision Phase 1 the following courses and distances:
 N33°41'44"W, 72.81 feet;
 N27°59'23"W, 99.48 feet;
 N18°30'08"W, 99.48 feet;
 N15°31'43"W, 11.53 feet to the southwesterly corner of Crimson Point Subdivision No. 7 as Shown in Book 109 of Plats at Pages 15548 through 15550, records of Ada County, Idaho;

Thence along the southerly boundary of said Crimson Point Subdivision No. 7 the following courses and distances:
 N71°23'56"E, 132.36 feet;
 N37°47'22"E, 60.66 feet;
 N73°00'51"E, 227.28 feet;
 N67°29'44"E, 369.85 feet to the southeast corner of said Crimson Point Subdivision No. 7, to the boundary of said Crimson Point Subdivision Phase 1;

Thence along the boundary of said Crimson Point Subdivision Phase 1 the following courses and distances:
 N87°29'43"E, 108.49 feet;
 S61°05'02"E, 57.54 feet;
 N90°00'00"E, 484.71 feet;
 S85°18'32"E, 50.97 feet;
 S89°44'23"E, 136.70 feet to the westerly boundary of Crimson Point Subdivision Phase 3 as shown in Book 93 of Plats at Pages 11252 through 11254, records of Ada County, and to the easterly boundary of the southwest quarter of said Section 15;
 Thence S00°06'11"W, 701.06 feet along the westerly boundary of said Crimson Point Subdivision Phase 3, and along the easterly boundary of the southwest quarter of said Section 15 to the Point of Beginning.

Comprising 11.71 Acres, more or less.
 Subject to right-of-way, records, Ada County instrument number 2015-061664.

See Sheet 4 for Owner's Signature



B&A Engineers, Inc.
 Consulting Engineers, Surveyors & Planners
 5505 W. Franklin Rd. Boise, Id. 83705
 (208) 343-3381 Crimson Point Subdivision No. 8
 Sheet 3 of 4

Crimson Subdivision No. 8

Certificate of Owners (Continued)

The public streets shown on this plat are hereby dedicated to the public; the easements shown on this plat are not dedicated to the public, but the right to use said easements is hereby reserved for the uses specifically depicted on the plat, and for any other purposes designated hereon. The lots within this subdivision are eligible to receive water service from the City of Kuna; and the City of Kuna has agreed in writing to serve all of the lots within this subdivision.

IN WITNESS WHEREOF: I have hereunto set my hand on this 22nd day of January, 2018

Justin Blackstock
Justin Blackstock, Manager
OB Development, LLC. Date 1-22-18

Acknowledgment

State of Idaho)
)ss.
County of Ada)

On this 22nd day of January, in the year of 2018 before me the undersigned, a Notary Public in and for said state, personally appeared Justin Blackstock, known or identified to me to be the manager of the limited liability company that executed the instrument or the person who executed the instrument on behalf of said limited liability company and acknowledged to me that such limited liability company executed the same.

IN WITNESS WHEREOF: I have set my hand and seal the day and year in this certificate first above written.

Sandy J. Smallwood
Notary Public for Idaho
Residing in Boise, Idaho
My Commission Expires 7/24/2018



Approval of Ada County Highway District

The foregoing plat was accepted and approved by the Board of Ada County Highway District Commissioners on the 4th day of September, 2018.

Baker
Commission President
Ada County Highway District
Trustee of Existing Public Right-of-way



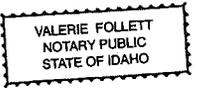
Acknowledgment

State of Idaho)
)ss.
County of Ada)

On this 4th day of September, in the year of 2018, before me the undersigned, a Notary Public in and for said state, personally appeared Sarah Baker, known or identified to me to be the President of the Ada County Highway District that executed the instrument or the person who executed the instrument on behalf of said District and acknowledged to me that the Ada County Highway District executed the same.

IN WITNESS WHEREOF: I have set my hand and seal the day and year in this certificate first above written.

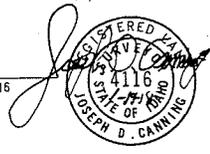
Valerie Follett
Notary Public for Idaho
Residing in Boise, Idaho
My Commission Expires November 20, 2018



Certificate of Surveyor

I, JOSEPH D. CANNING, do hereby certify that I am a Professional Land Surveyor, licensed by the State of Idaho, and that this plat of CRIMSON POINT SUBDIVISION NO. 8, as described in the Certificate of Owners and as shown on the attached plat, was drawn from an actual survey made on the ground under my supervision, and accurately and correctly represents the points platted thereon, and is in conformance with the State of Idaho Code relating to plats and surveys.

Joseph D. Canning, P.L.S. No. 4116



Approval of City Council

I, the undersigned, City Clerk in and for the City of Kuna, Ada County, Idaho, do hereby certify that at a regular meeting of the City Council held on the _____ day of _____, this plat was duly accepted and approved.

Kuna City Clerk

Certificate of County Surveyor

I, the undersigned, Professional Land Surveyor for Ada County, Idaho, do hereby certify that I have checked this plat and that it complies with the State of Idaho Code relating to plats and surveys.

County Surveyor Date

Approval of Central District Health Department

Sanitary restrictions as required by Idaho Code, Title 50, Chapter 13 have been satisfied according to the letter to be read on file with the County Recorder or his agent listing the conditions of approval. Sanitary restrictions may be re-imposed, in accordance with Section 50-1326, Idaho Code, by the issuance of a certificate of disapproval.

Roni Paez EHS 1-24-18
Central District Health Department, EHS Date



Certificate of County Treasurer

I, the undersigned, County Treasurer in and for the County of Ada, State of Idaho, per requirements of Idaho Code 50-1308, do hereby certify that any and all current and/or delinquent county property taxes for the property included in this proposed subdivision have been paid in full. This certificate is valid for the next thirty (30) days only.

Ada County Treasurer Date

Certificate of County Recorder

State of Idaho)
)ss. Instrument No. _____
County of Ada)

I hereby certify that this instrument was filed at the request of _____ at _____ minutes past _____ o'clock _____ M., this _____ day of _____, _____ in my office, and was recorded in Book _____ of Plats at Pages _____ through _____.
Fee: _____

Ex-Officio Recorder: Christopher D. Rich

Deputy: _____

Approval of City Engineer

I, the undersigned, the City Engineer in and for the City of Kuna, Ada County, Idaho, on this _____ day of _____, hereby approve this plat.

Kuna City Engineer Date



B&A Engineers, Inc.
Consulting Engineers, Surveyors & Planners
5505 W. Franklin Rd. Boise, Id. 83705
(208) 343-3381 Crimson Point Subdivision No. 8
Sheet 4 of 4



CITY OF KUNA
P.O. BOX 13
KUNA, ID 83634
www.kunacity.id.gov
Phone : (208) 639-5347
Email : bbachman@kunaid.gov

Bob Bachman, BOC 1, IBC
Public Works Director
City of Kuna

MEMORANDUM

To: Wendy Howell – Director of Planning and Zoning
From: Bob Bachman - Public Works Director
Paul Stevens – City Engineer
Michael L. Borzick – GIS Manager/ Plan Review
RE: Final Plat – **Crimson Point 8**
Date: February 13, 2018

Public works staff has reviewed the above mentioned Final Plat(s). The recommendation of Public Works is to proceed with the(se) approval(s) and address any issues and conditions raised below in connection with this application during plan review. Accordingly, Public Works provides the following comments:

1. Record Drawings

- a. This projects Record Drawings (As-builts) have been reviewed and returned to the Engineer of record, we are awaiting the Final Draft of said drawings to be returned and approved by the City Engineer so they may be properly archived in the Cities Map Room and the digital copies placed on the server for archival purposes.
- b. For assistance in understanding issues associated with project, please contact the GIS Manager at 208-287-1726

2. Water Rights

- a) Water Rights have been annexed per the request of the owner/developer per Ord 2018-03.
- b) For further assistance in understanding issues associated with said Water Rights, Assessment(s), Ordinance(s) or the request to Annex, please contact the GIS Manager at 208-287-1726.

3. Final Plat

- a) The applicant's Final Plat adheres to the Preliminary Plat, any Approved Construction Drawings, appropriate easements, rights-of-way and the like.
- b) For assistance in understanding issues associated with the Final Plat, please contact the City Engineer at 208-287-1727

4. Public Works Inspection Fees and Plan Review Fees

- a) The inspection fees and/or the plan review fees have been paid on this project in full and there is no need to reserve bond nor any other holdings.

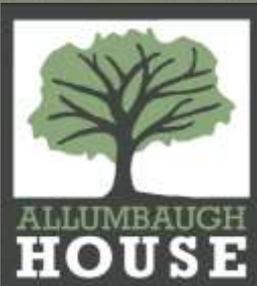
At this time, the Public Works Staff mentioned in the header that they see no need to hold off on the approval of the above-mentioned subdivision. The Final Plat will be signed by the City Engineer upon completing of the aforementioned items. We look forward to working with you on this project. If we may be of further assistance, feel free to contact me at 208-639-5347.

Sincerely,

Bob Bachman

Bob Bachman
Public Works Director

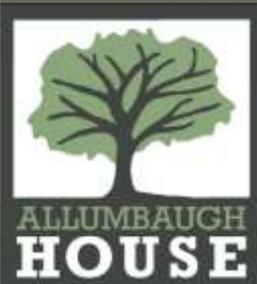
Allumbaugh House



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Overview

- History
- Governance
- Operations



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Saving Lives

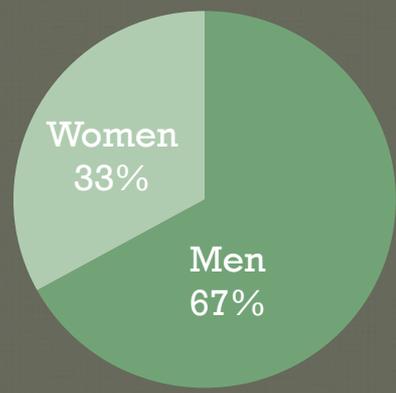
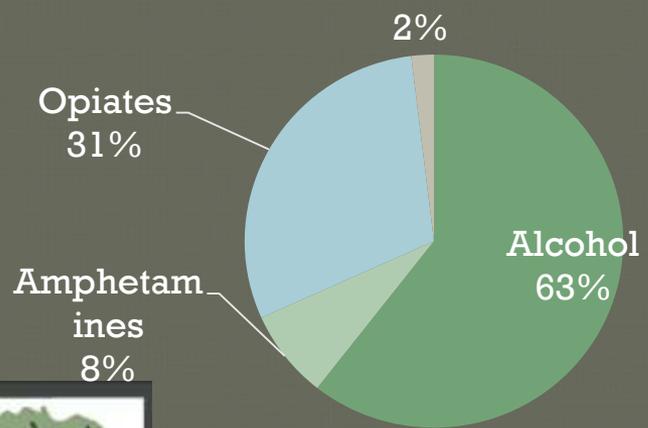
- Allumbaugh House Services
 - Detox
 - Mental Health



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Saving Lives

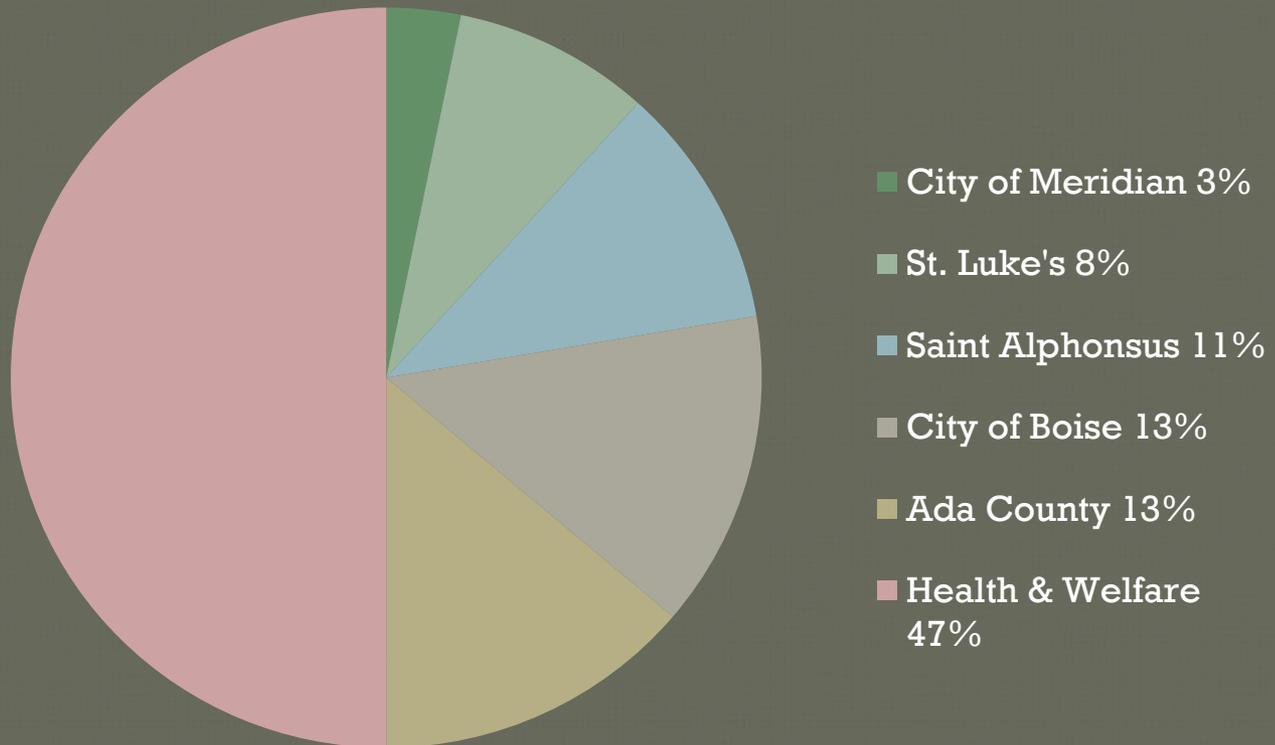
Client admissions (2016)	964
Average length of stay	5.5 days
Completed treatment	61%
Repeat client visit	18%



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Saving Resources

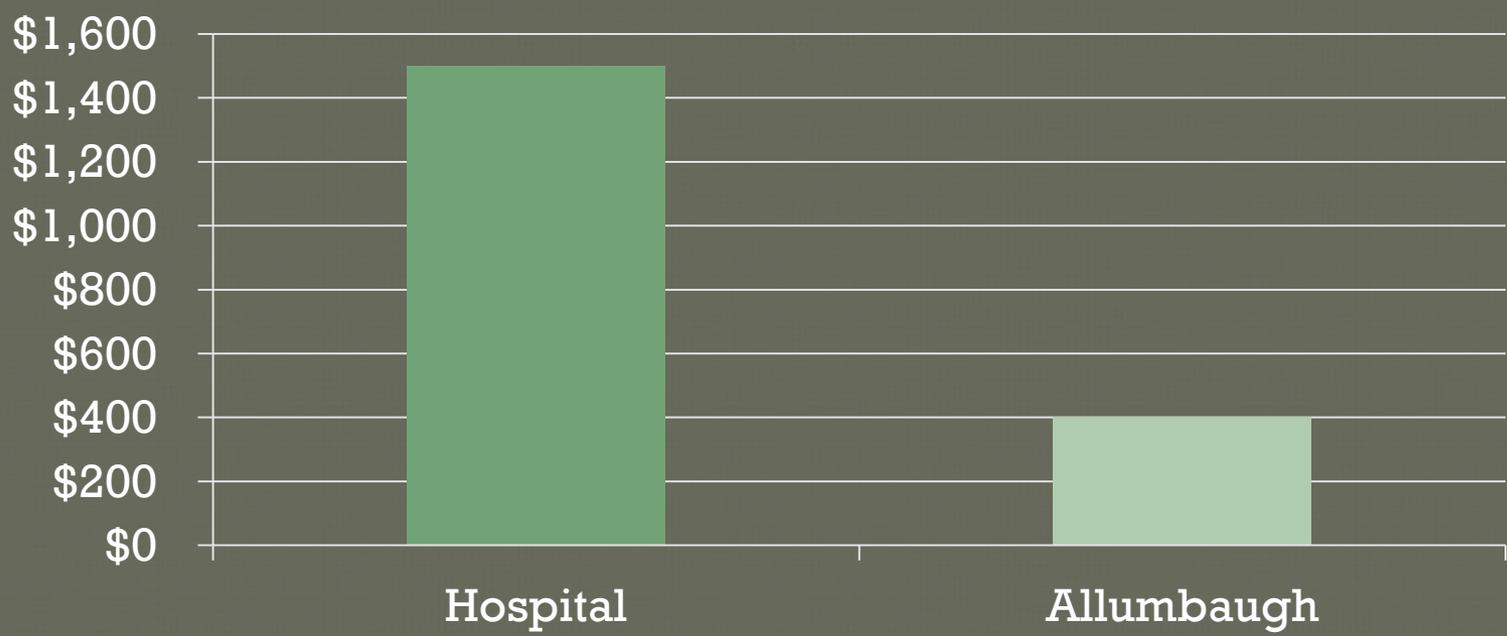
Income \$1,969,264



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Saving Resources

Average Client Cost per Night



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Saving Resources

Cost Savings	
Hospital Stay per Client Cost per Night (Average)*	\$1,500
Allumbaugh per Client Cost per Night (Average)**	(\$403)
Per Client Savings	\$1097
Length of Stay (Average)	5.5 days
Per Client Savings Per Stay	\$6,033
Admissions	964 (2016)
Total Annual Savings	\$5,816,294

* Hospital does not include labs, medications and imaging estimated at an additional \$1,800

** Allumbaugh House includes labs and medications



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Funding

Financial Contributor	Proposed FY18 Amount
Dept. of Health & Welfare	\$1,075,437.00
Ada County	\$298,732.50
City of Boise	\$288,045.48
City of Meridian	\$62,418.80
St. Luke's	\$180,028.15
St. Alphonsus	\$240,047.32



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Potential Additional Partners

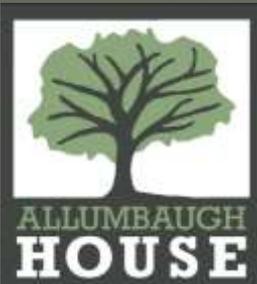
City	Potential amount*	City Population (2016)
Garden City (confirmed)	\$7,854.00	11,550
Eagle (confirmed)	\$16,056.16	23,612
Kuna	\$11,713.68	17,226
Star	\$5,301.96	7,797



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Additional Data

- Eagle 126
- Kuna 134
- Star 74
- Garden City 585



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Opioid Epidemic



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Opioid Epidemic



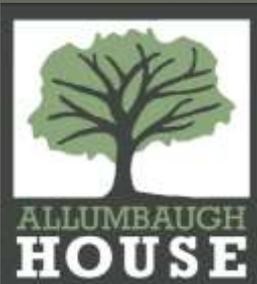
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Boise opiate related stats

- 2013- 1
- 2014- 2
- 2015- 8
- 2016- 26
- 2017- Projected to be 96



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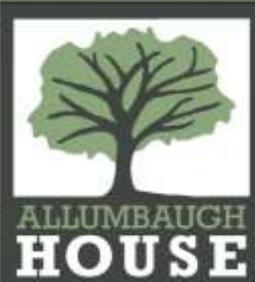
Ada County Crime/Jail

OPIATE RELATED CHARGES (POSSESSION/TRAFFICKING)	2014	2015	2016	TOTAL
	33	65	145	243
PEOPLE ARRESTED ON OPIATE RELATED CHARGES	32	57	128	217

ADA COUNTY JAIL TREATING PEOPLE FOR OPIOID DEPENDENCY/WITHDRAWALS

2013-2014= 20

2015-2016= 140



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Questions

Allumbaugh House
400 N Allumbaugh St.
Boise, ID 83704
208-377-9669
www.trhs.org



Facility operated by Terry Reilly Health Systems and
maintained by Boise City Ada County Housing Authority

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City of Kuna

Staff Memo – City Council

P.O. Box 13
 Phone: (208) 922-5274
 Fax: (208) 922-5989
www.Kunacity.id.gov

To: Mayor, and City Council

Case Numbers: 17-09-AN (Annexation)
Former Urza Property

Location: Near the northwest corner of Ten Mile and Kuna Roads, Kuna, Idaho 83642

Planner: Troy Behunin, Planner III

Hearing Date: February 20, 2018

Engineer: **KM Engineering**
 Kirsti Grabo
 9233 W. State St,
 Boise, ID 83714
 208.639.6930
KGrabo@kmengllp.com

Owner: *N Star Farm, LLC*,
 6152 W. Half Moon Ln.
 Eagle, ID, 83616

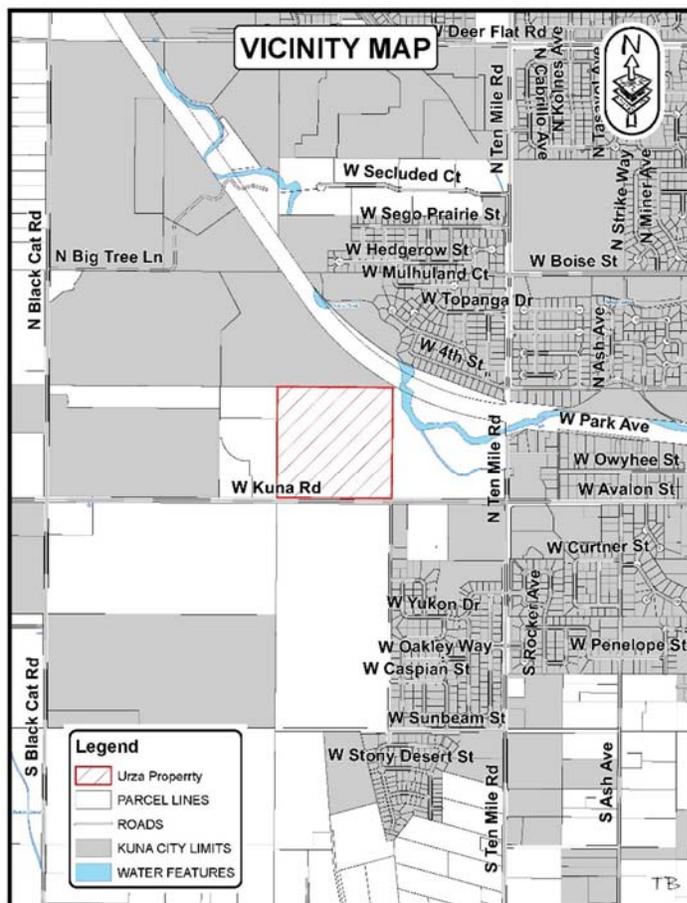


Table of Contents:

- | | |
|--------------------------|---|
| A. Process and Noticing | I. Proposed Factual Summary |
| B. Applicants Request | J. Proposed Findings of Fact |
| C. Aerial map | K. Proposed Comprehensive Plan Analysis |
| D. Site History | L. Proposed Idaho Code Analysis |
| E. General Project Facts | M. Proposed Conclusions of Law |
| F. Staff Analysis | N. Commissions' Recommendation |
| G. Applicable Standards | O. Proposed Councils' Order of Decision |
| H. Procedural Background | |

A. Process and Noticing:

1. Kuna City Code (KCC), Title 1, Chapter 14, Section 3, states that annexations are designated as public hearings, with the P & Z Commission as a recommending body and City Council as the decision making body. These land use applications were given proper public notice and followed the requirements set forth in Idaho Code, Chapter 65, Local Planning Act.

a. Notifications

- i. Neighborhood Meeting October 18, 2017 (five persons attended)

- | | |
|----------------------------------|-------------------|
| ii. Agency Comment Request | December 1, 2017 |
| iii. 315' Property Owners Notice | February 12, 2018 |
| iv. Kuna, Melba Newspaper | January 31, 2018 |
| v. Site Posted | January 25, 2018 |

B. Applicant's Request:

On behalf of N Star Farm, LLC (the applicant), Kirsti Grabo with KM Engineering, requests approval to annex approximately 39.48 acres into Kuna City with an R-8 (Medium Density Residential) zone. This site is located near the NWC of Ten Mile and Kuna Roads. *The owner/developer is not seeking development entitlements at this time, however, he will likely submit for preliminary plat approval later in 2018.*

C. Aerial Map:



©Copyrighted

D. Site History:

This parcel is currently in the County, with varying historical uses, ranging from residential to farming and is adjacent to Kuna City limits in two places.

E. General Projects Facts:

1. **Comprehensive Plan Map:** The Future Land Use Map (Comp Plan Map) is intended to serve as a *guide* for the decision making body for the City. The Comp Plan map indicates land use designations generally speaking, it is not the actual zone. The Comp Plan Map calls for Medium Density Residential for this parcel.
2. **Recreation and Pathways Map:** The Recreation and Pathways Master Plan Map indicates a future trail through the NEC of the site, situated along Indian Creek. Accordingly, it is the City's goal and desire to increase the number of trails and pathways in Kuna. It is necessary for each parcel to develop trails and pathways along

their frontages of creeks, canals and ditches to comply with the Master Plan’s goals by either starting a pathway, or extending one in that area at time of development.



3. **Surrounding Land Uses:**

North	A	Agriculture – Kuna City
South	RUT	Rural Urban Transition – Ada County
East	RUT	Rural Urban Transition – Ada County
West	RR	Rural Residential – Ada County

4. **Parcel Sizes, Current Zoning, Parcel Numbers:**

Property Owner	Parcel Size (Approximately)	Current Zone: (RUT)	Parcel Number
N Star Farm, LLC	39.48 acres	RUT – Ada County	S1322438400

5. **Services:**

- Sanitary Sewer– City of Kuna (at time of development)
- Potable Water – City of Kuna (at time of development)
- Irrigation District – Boise-Kuna Irrigation District
- Pressurized Irrigation – City of Kuna (KMID) (at time of development)
- Fire Protection – Kuna Rural Fire District
- Police Protection – Kuna Police (Ada County Sheriff’s office)
- Sanitation Services – J & M Sanitation

6. **Existing Structures, Vegetation and Natural Features:**

The majority of this land is being used for agricultural purposes, a small part of it was used for residential purposes (Approx. 1.5 ac.) Applicant anticipates that the land will continue the historic agricultural uses on the lands until development occurs. The mobile home that was on site, has been removed. There are two outbuildings on site any ancillary sheds or other buildings remaining will be removed prior to development.

7. **Transportation / Connectivity:**

The applicant has not proposed connection to public streets at this time, as the application is solely for annexation into Kuna City limits. At the time of future development, access points will need to follow design standards according to City and ACHD (Ada County Highway Dist.) codes in place at that time. Current legal points of access being used at this time may remain until development requires a change.

8. **Environmental Issues:**

Staff is not aware of any environmental, health or safety conflicts.

9. **Agency Responses:** The following responding agency comments are included as exhibits with this case file:

- Kuna City Engineer (Paul Stevens) – Exhibit B-1
- Ada County Highway District (ACHD – Austin Miller) – Exhibit B-2
- Boise-Kuna Irrigation District (Lauren Boehlke) – Exhibit B-3
- Cable One TV (Brett Pike) – Exhibit B-4
- Community Planning Association of Southwest Idaho (COMPASS – Carl Miller) – Exhibit B-5

F. **Staff Analysis:**

The applicant is only interested in annexation of the property at this time. However, in the future when development is desired, the project will be required to submit for subdivision and design review approvals (for landscaping and monument signage) and follow the public hearing process for those entitlements.

Among the Category 'A' annexation requirements for annexing lands into the city, a land owner must submit a written request for annexation. Furthermore, it requires that parcels must touch current city limits. The property touches Kuna City limits on its north property line and is adjacent to a principle arterial, Kuna Road. All major public utilities are approximately 1,325 feet east, at Ten Mile and Kuna Roads. Applicant has been made aware that development of this parcel will require extension of, and connection to all city services and require connection fees for that purpose. It is anticipated when these lands move forward with development in the future, it will likely require more than one phase for complete build-out.

Staff has reviewed Kuna's Comprehensive Plan (Comp Plan), and found the Comp Plan encourages a variety of housing types for all income levels numerous times throughout the document. Pertinent sections of the Comp Plan that address housing types are included below, in Section K (Comp Plan Analysis) of this report. The City attempts to balance all housing types within the City. Staff will work with the applicant in the future when an application comes forward for a preliminary plat to ensure technical compliance with Kuna City Code (KCC), as required. Staff would recommend that the applicant work with Kuna City, ACHD, and Kuna Rural Fire District (KRFD) to conform to each agency's requirements.

Staff has determined this application complies with Title 5 of the Kuna City Code; Idaho Statute § 67-6511; and the Kuna Comprehensive Plan document; and forwards a recommendation of approval for Case No's 17-09-AN, subject to any conditions of approval outlined by Kuna's Commission and City Council.

G. **Applicable Standards:**

1. City of Kuna Zoning Ordinance Title 5, Chapter 13.
2. City of Kuna Comprehensive Plan, adopted September 1, 2009.
3. Idaho Code, Title 67, Chapter 65- the Local Land Use Planning Act.

H. **Procedural Background:**

On February 20, 2018, the Council considered the case, including the application, agency comments, staff's memo, the application exhibits and public testimony presented or given.

I. Proposed Factual Summary:

This parcel is located near the northwest corners of Ten Mile and Kuna Roads. The project consists of 39.48 (approx.) acres and is adjacent to City limits and is currently zoned RUT (Rural Urban Transition – County). Applicant requests to annex the parcel into Kuna City with the R-8 (Medium Density Residential) zone. This parcel is adjacent to Kuna Road; a principle arterial.

J. Proposed Findings of Fact:

Based upon the record contained in Case No. 17-09-AN, including the Comprehensive Plan, Kuna City Code, staff's memorandums, including the exhibits, and the testimony during the public hearing, the Kuna Council hereby **approve/ approves with conditions / denies** the Findings of Fact and Conclusions of Law, and conditions of approval for Case No. 17-09-AN, a request for annexation into Kuna City limits by the applicant based on the following:

The Council concludes that the applications comply with the City of Kuna's Zoning regulations (Title 5) of KCC and/or the Subdivision regulations outlined in title 6 of KCC.

1. The Kuna Council **does / does not** accept the facts as outlined in the staff memo, the public testimony and the supporting evidence list presented.

Comment: *The Kuna Council held a public hearing on the subject applications on February 20, 2018, to hear from City staff, the applicant and to accept public testimony. The decision by the Council is based on the application, staff report and public testimony, both oral and written.*

2. Based on the evidence contained in Case No. 17-09-AN, this proposal **does /does not** appear to *generally* comply with the Comprehensive Plan.

Comment: *The Comp Plan has listed numerous goals for providing single-family housing in Kuna. The Comp Plan describes this property as Medium Density. As this project proposes single-family residential uses, the project follows the goals of the Comp Plan.*

3. The Kuna Council has the authority to **approve/deny** this application.

Comment: *At a regular meeting on February 20, 2018, the Council voted to **approve /approve with conditions /deny** case No. 17-09-AN.*

4. The public notice requirements were met and the public hearing was conducted within the guidelines of applicable Idaho Code and City Ordinances.

Comment: *As noted in the process and noticing sections, notice requirements were met to hold a public hearing on February 20, 2018.*

K. City Council Comprehensive Plan Analysis:

Council determines the proposed annexation and zoning request for the *site is / is not* consistent with the following Comp Plan components:

Housing:

Residents expressed interest in a mix of residential type dwellings applications; including a variety of housing. They were receptive to a greater mix of lot sizes and house price to appeal to a variety of people. A goal expressed by many was the preservation of large lots and rural cluster development in appropriate balance with a complement of other types of residential development (Page 21 Comprehensive Plan [CP]).

Comment: *The Comp Plan provides for a mix of residential uses. This project has proposed a zone that provides an opportunity for a variety of densities, therefore it generally conforms to the Comp Plan goals and policies.*

Private Property Rights Goals and Objectives - Section 2 - Summary:

Ensure the City land use policies, restrictions, conditions and fees do not violate private property rights and ensure that land use actions, decisions, and regulations do not effectively eliminate all economic value of the subject property. Ensure that City land use actions, decisions, and regulations do not prevent a private property owner from taking advantage of a fundamental property right and staff shall evaluate with guidance from the City's attorney; the Idaho Attorney General's six criterion established to determine the potential for property taking.

Comment: *Utilizing the Idaho Attorney General's criteria, and a review by the City Attorney, the proposed project does/does not constitute a "takings" and the Economic value is intact.*

Economic Development Goals and Objectives - Section 5 - Summary:

Promote and ensure an adequate supply of housing for all income levels and facilitate pedestrian connections, both visually and physically, to enhance pedestrian movement (Pg. 42 – 1.5 and Pg. 43 – 3.1 [CP]).

Comment: *The Comp Plan encourages an adequate mix of housing for all income levels and calls for increasing pedestrian connections. The requested zoning for this project provides an opportunity for a number of additional housing types to Kuna's inventory and quality housing. At time of development, this project should be conditioned to add to the City's pedestrian network for non-motorized transportation, by proposing pathway connections for future development to connect to in the future.*

Land Use Goals and Objectives - Section 6 - Summary:

Adopt a future land use plan and map that includes natural and developed open spaces, while providing a variety of housing densities and types to accommodate various lifestyles, ages and economic groups. Protect existing neighborhoods and ensure new development is sustainable and keeps Kuna desirable. Develop cohesive neighborhoods with character and quality while incorporating a variety of densities and styles (Pg. 64 – 3.1 & Goal 3, and Pg. 65 – 4.3 [CP]).

Comment: *The requested zoning provides an opportunity for quality housing opportunities and multiple housing varieties to the City's inventory for all types of lifestyles, ages and economic groups.*

Housing Goals and Objectives - Section 12 - Summary:

Encourage developers to provide high-quality development with a variety of lot sizes, dwelling types, densities and price points to meet the needs of current and future population while creating safe and aesthetically-pleasing neighborhoods. Ensure housing is available throughout the community for all income levels and those with special needs. Encourage logical and orderly development while discouraging development of land divisions greater than one half acre because large lot subdivisions increase municipal costs, require public subsidy and create sprawl (Pg. 155 – Obj. 1.1, Pg. 163 12.4 and Pg. 165 – 2.1 [CP]).

Comment: *With the requested zoning, applicant proposes a future high quality development with a variety of dwelling types, densities, and price points for all income levels Kuna as encouraged by the Comp Plan. In the future, this project could add to the City's overall network of, utilities, sidewalks and roadways, therefore it complies with logical, orderly development and discourages land divisions and development greater than one half acre, and could avoid increased municipal services costs and sprawl.*

Community Design Goals and Objectives - Section 13 - Summary:

Strengthen Kuna's Image through good community and urban design principles that create well planned neighborhoods. Foster good community design concepts that incorporate landscape features to serve as buffers between incompatible uses while reducing scale and creates a sense of place (Pg.167 – Goal 1 and Pg. 168 – 1.2 and 2.1[CP]).

Comment: Applicant should be conditioned to offer good community and urban design principles through creation of greenspaces, add to the pedestrian pathway network and add to the City's sidewalk network. At time of future development, applicant shall improve classified roadways, which add to the roadway system thereby complying with the adopted Master Street Plan of Kuna (Functional Classified Road Map). At time of development, the applicant should be conditioned to incorporate landscape buffers creating a sense of place for citizens. With future development, the applicant should be conditioned to follow sound community design concepts and comply with the Comp Plan goals and help strengthen Kuna's image.

L. Proposed City Council's Idaho State Code Analysis:

1. **IC §67-6511 (2) C;** requires that the Council analyze the proposed changes to zoning ordinances to ensure that they are not in conflict with the policies of the adopted comprehensive plan. If the request is found by the governing board to be in conflict with the adopted plan, **or** would result in demonstrable adverse impacts upon the delivery of services by any political subdivision providing public services, including school districts, within the planning jurisdiction.
2. **IC §67-6513;** provides that the City provide for mitigation of the effects of subdivision development on the ability of political subdivisions of the state, including school districts, to deliver services without compromising quality of service delivery to current residents or imposing substantial additional costs upon current residents to accommodate the proposed subdivision.
3. Through discussions and comments submitted by public service providers, the project would not create demonstrable adverse impact to quality of emergency service and/or delivery of said services, or impose substantial additional costs to current residents.

M. Proposed Conclusions of Law:

The public notice requirements have been met and the neighborhood meeting was conducted within the guidelines of applicable Idaho Code and City Ordinances.

1. The Council feels the site **is / is not** physically suitable for development in the future.

Comment: The 39.48 acre (approximate) proposal appears to be suitable for annexation, as proposed.

2. The annexation request **is / is not** likely to cause substantial environmental damage or avoidable injury to wildlife or their habitat.

Comment: The land to be annexed is not used as wildlife habitat. Roads, driveways, family units and open spaces are planned for construction according the City and ACHD requirements and best practices and will therefore not cause environmental damage or loss of habitat.

3. The annexation application **is / is not** likely to cause adverse public health problems.

Comment: The annexation of the property would generally comply with the Comp Plan. In the future, the project would connect to public sewer and potable water systems, therefore eliminating the occurrence of adverse public health problems.

4. The application appears to avoid detriment to the present and potential surrounding uses; to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing adjacent uses.

Comment: *Through correspondence with public service providers and application evaluation, this annexation request appears to avoid detriment to surrounding uses. Council did consider the annexation and the location of the property with adjacent uses.*

5. The existing and proposed street and utility services in proximity to the site **are / are not** suitable or adequate for future residential purposes.

Comment: *Correspondence from ACHD and Kuna Public Works confirms that the streets and utility services are / are not suitable and adequate for this specific project.*

6. Based on the evidence contained in Case No. 17-09-AN, Council finds Case No. 17-09-AN **do / do not** adequately comply with Kuna City Code.
7. Based on the evidence contained in Case No. 17-09-AN, Council finds Case No. 17-09-AN generally **do / do not** comply with Kuna's Zoning Code.

N. Commission's Recommended Conditions of Approval:

On January 23, 2018, the Commission voted 3-0 to recommend approval for case No. 17-09-AN (Annexation). Based upon the facts outlined in staff's memo, the Comp Plan, City Code, the record before the Commission, the applicant's presentation, public testimony and discussion during the January 9, 2018, public hearing, the Kuna Commission votes to **recommend approval** for Case No. 17-09-AN with the following conditions of approval to be applied at time of development in the future:

- Applicant shall follow all applicable staff recommended conditions stated in the staff report.
- Applicant shall be awarded the R-8 Medium Density Zoning.
- Sewer capacity issues will be discussed at City Council.

O. Proposed Councils' Order of Decision:

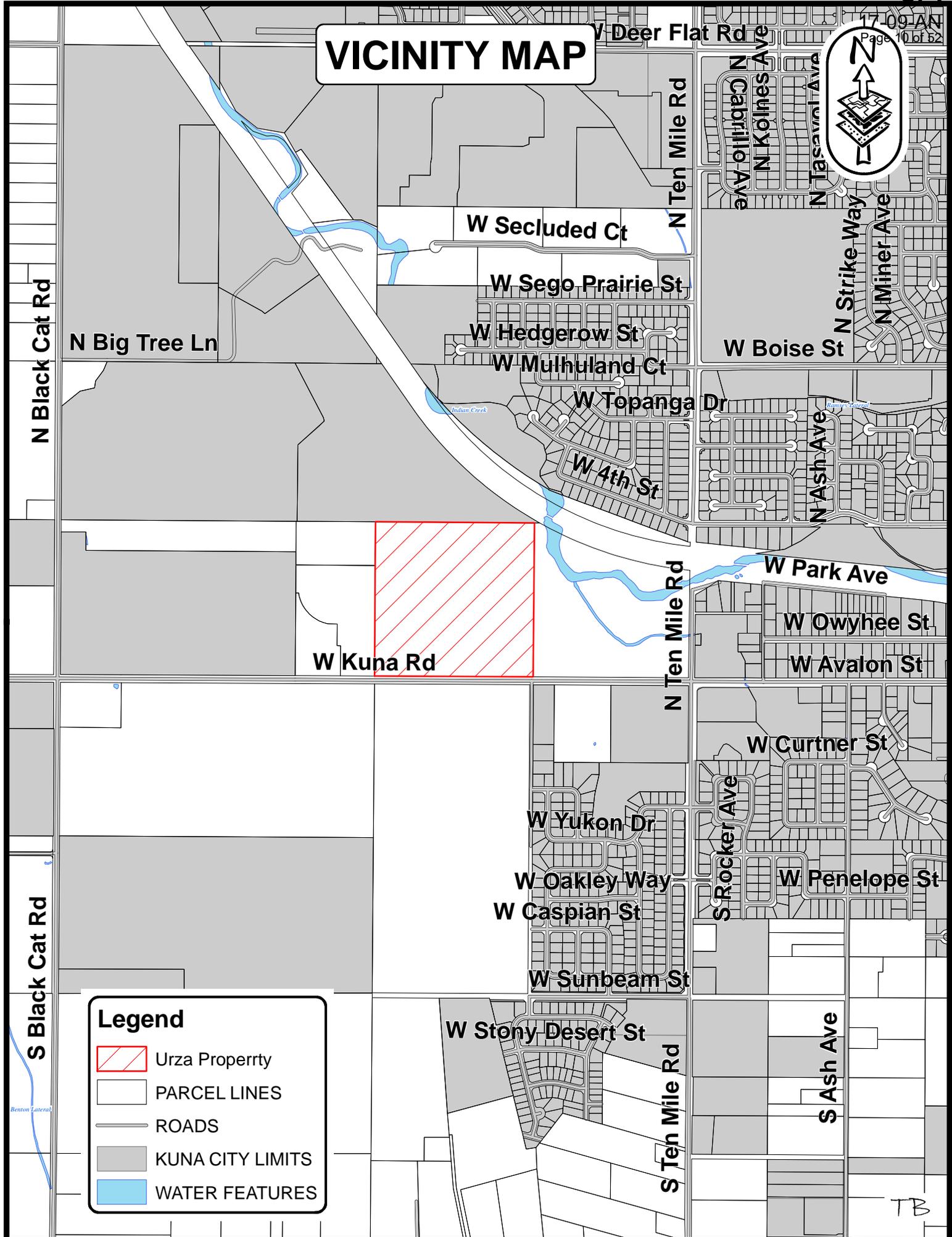
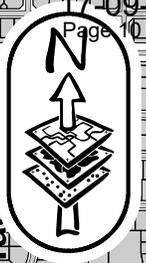
Based upon the facts outlined in staff's memo, the Comp Plan, City Code, the record before the Council, the applicant's presentation, public testimony and discussion during the January 9, 2018, public hearing, the Kuna Council hereby votes to **approve / approve with conditions / deny** Case No. 17-09-AN with the following conditions of approval at time of development in the future:

1. The applicant and/or owner shall obtain written approval on letterhead or may be written/stamped on the approved plans of the construction plans from the agencies noted below. All submittals are required to include the lighting, landscaping, drainage, and development plans. All site improvements are prohibited prior to approval of the following agencies:
 - a. The City Engineer shall approve the sewer hook-ups.
 - b. The City Engineer shall approve the drainage and grading plans. Central District Health Department recommends the plan be designed and constructed in conformance with standards contained in, "Catalog for Best Management Practices for Idaho Cities and Counties". No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of the drainage plan.
 - c. The Kuna Fire District shall approve fire flow requirements and/or building plans. Installation of fire protection facilities as required by Kuna Fire District is required.
 - d. The Boise-Kuna Irrigation District shall approval any modifications to the existing irrigation system.
 - e. Approval from Ada County Highway District (ACHD) shall be obtained and Impact Fees must be paid prior to *issuance* of any building permit(s).
2. All public rights-of-way shall be dedicated and constructed to standards of the City, Ada County Highway District and Idaho Transportation Department. No public street construction may commence without the approval and permit from Ada County Highway District and/or Idaho Transportation Department.

- 2.1– With development and as necessary, dedicate right-of-way in sufficient amounts to follow City and ACHD standards and widths.
3. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground, see **KCC 6-4-2-W**.
 4. Compliance with Idaho Code, Section §31-3805 pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site. Compliance with the requirements of the Boise Project Board of Control is required.
 5. When required, submit a petition to the City (as necessary, confirmed with the City engineer) consenting to the pooling of irrigation surface water rights for delivery purposes and request to annex the irrigation surface water rights appurtenant to the property over to the Kuna Municipal Pressure Irrigation system of the City (KMID).
 6. Street lights and parking lights for the site shall be LED lighting and must comply with Kuna City Code and established Dark Skies practices.
 7. Parking within the site shall comply with Kuna City Code. (Unless specifically approved otherwise).
 8. Fencing within and around the site shall comply with Kuna City Code (Unless specifically approved otherwise and permitted). Perimeter fencing (and permit) is required prior to requesting final plat signatures from Kuna City Clerk and Engineer.
 9. All signage within/for the project shall comply with Kuna City Code and shall be approved in the design review process with all new commercial and multi-family.
 10. All required landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace unhealthy or dead plant material within 3 days or as the planting season permits as required to meet the standards of these requirements. Maintenance and planting within public rights-of-way shall be with approval from the public entities owning the property.
 11. The land owner/applicant/developer, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the City Council, or seek amending them through public hearing processes.
 12. Applicant shall follow staff, City engineers and other agency recommended requirements as applicable.
 13. Developer/owner/applicant shall comply with all local, state and federal laws.

DATED: This _____ day of _____, 2018.

VICINITY MAP



Legend

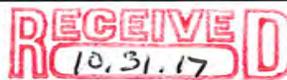
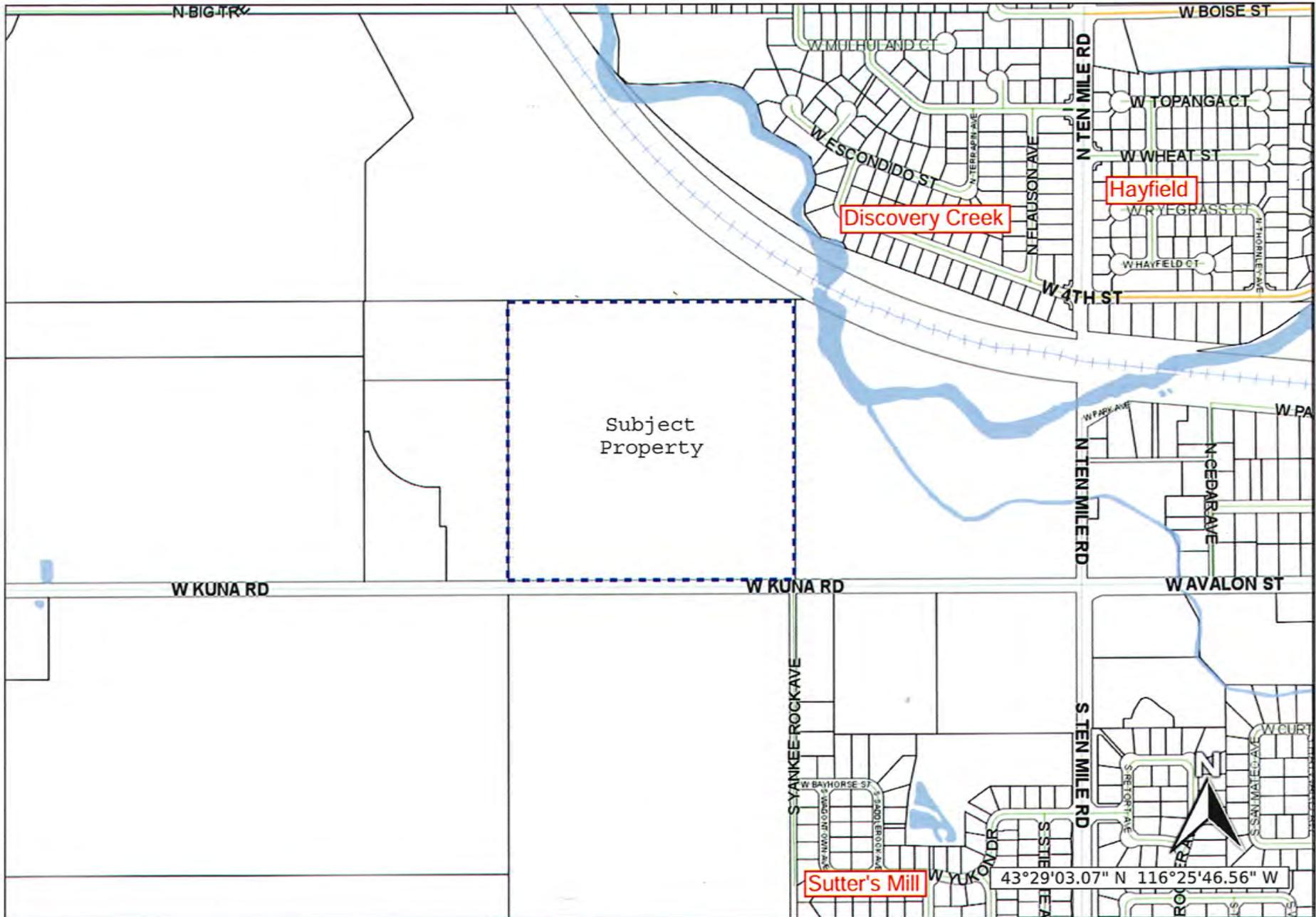
-  Urza Property
-  PARCEL LINES
-  ROADS
-  KUNA CITY LIMITS
-  WATER FEATURES

TB



Vicinity Map

2030 West Kuna Road



October 30, 2017
Project No.: 17-054

Mr. Troy Behunin
Planning & Zoning Department
City of Kuna
751 West 4th Street
Kuna, ID 83634

**RE: Property at 2030 West Kuna Road – Ada County, ID
Annexation Application**

Dear Mr. Behunin:

On behalf of N Star Farm, LLC, and Waters Edge Farm, LLC, we are pleased to submit the attached application and required supplements for annexation and zoning of the property referenced above.

The subject property is approximately 39.5 acres of agricultural ground identified as parcel number S1322438400 and located approximately one quarter mile west of Ten Mile on the north side of Kuna Road. The site is currently zoned RUT in Ada County with a comprehensive plan designation of Medium Density Residential and is contiguous to City limits on the north and in the southeast corner across Kuna Road. As a part of this application, we are requesting to annex the property into the City of Kuna with a zoning designation of R-8 to accommodate future single-family residential development. The requested zoning is commensurate with the comprehensive plan designation of Medium Density Residential, and is compatible with other residential developments in the area.

The applicant has met with the City regarding water, sewer, and pressure irrigation facilities in the area and will continue to do so to ensure that adequate public facilities are available to accommodate future development of the property. It is our intention to follow this application package with a preliminary plat submittal in the coming months; however, before expending resources to prepare the drawings, we felt it prudent to obtain the City's feedback on the requested zoning designation.

With the proposals discussed herein, we feel that this project complements the City's vision for growth and will ultimately provide opportunities for additional housing in this growing area. Should you have questions or require further information in order to process this application, please feel free to contact me.

Sincerely,
KM Engineering, LLP



Kirsti Grabo
Development Coordinator

cc: N Star Farm, LLC
Waters Edge Farm, LLC

Kuna
New City Hall

OLD Kuna City Hall

Former Urza
Property

W Kuna Rd

S Yankee Fork Ave

W Bayhorse St

W Polos Way

W Caspian St

W Oakley Way

W Whitehorse Ave

W Placerville Dr

S Sublime Ave

S Fernside Rd

N Green Ave

N Green Ave

N Green Ave

N Green Ave



City of Kuna
Planning & Zoning
Department
P.O. Box 13
Kuna, Idaho 83634
208.922.5274
Fax: 208.922.5989
Website: www.kunacity.id.gov

Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

*Please submit the appropriate checklist (s) with application

Type of Review (check all that apply):

- Annexation
- Appeal
- Comprehensive Plan Amendment
- Design Review
- Development Agreement
- Final Planned Unit Development
- Final Plat
- Lot Line Adjustment
- Lot Split
- Planned Unit Development
- Preliminary Plat
- Rezone
- Special Use
- Temporary Business
- Vacation
- Variance

For Office Use Only	
File Number (s)	17-09-AN
Project name	Former Urza Property
Date Received	10.31.2017
Date Accepted/ Complete	
Cross Reference Files	
Commission Hearing Date	1.9.2018
City Council Hearing Date	2.20.2018

Contact/Applicant Information

Owners of Record: <u>N Star Farm, LLC and</u>	Phone Number: <u>Waters Edge Farm, LLC</u>
Address: <u>6152 West Half Moon Lane</u>	E-Mail: _____
City, State, Zip: <u>Eagle, Idaho 83616</u>	Fax #: _____
Applicant (Developer): <u>same</u>	Phone Number: _____
Address: _____	E-Mail: _____
City, State, Zip: _____	Fax #: _____
Engineer/Representative: <u>KM Engineering, LLP</u>	Phone Number: <u>208.639.6939</u>
Address: <u>9233 West State Street</u>	E-Mail: <u>kqrabo@kmenqllp.com</u>
City, State, Zip: <u>Boise, Idaho 83714</u>	Fax #: <u>208.639.6930</u>

Subject Property Information

Site Address: <u>2030 West Kuna Road</u>
Site Location (Cross Streets): <u>N Ten Mile Road & W Kuna Road</u>
Parcel Number (s): <u>S1322438400</u>
Section, Township, Range: <u>Section 22, T2N, R1W</u>
Property size: <u>39.48 acres</u>
Current land use: <u>agriculture</u> Proposed land use: <u>residential</u>
Current zoning district: <u>Ada County RUT</u> Proposed zoning district: <u>R-8</u>

RECEIVED
10.31.17

Project Description

Project / subdivision name: TBD

General description of proposed project / request: Annexation of +/-39.48 acres into the City of Kuna with the R8 zoning designation.

Type of use proposed (check all that apply):

Residential single-family

Commercial _____

Office _____

Industrial _____

Other _____

Amenities provided with this development (if applicable): _____

Residential Project Summary (if applicable)

Are there existing buildings? Yes No

Please describe the existing buildings: existing residence with aq outbuildings

Any existing buildings to remain? Yes No

Number of residential units: _____ Number of building lots: _____

Number of common and/or other lots: _____

Type of dwellings proposed:

Single-Family _____

Townhouses _____

Duplexes _____

Multi-Family _____

Other _____

Minimum Square footage of structure (s): _____

Gross density (DU/acre-total property): _____ Net density (DU/acre-excluding roads): _____

Percentage of open space provided: _____ Acreage of open space: _____

Type of open space provided (i.e. landscaping, public, common, etc.): _____

Non-Residential Project Summary (if applicable)

Number of building lots: _____ Other lots: _____

Gross floor area square footage: _____ Existing (if applicable): _____

Hours of operation (days & hours): _____ Building height: _____

Total number of employees: _____ Max. number of employees at one time: _____

Number and ages of students/children: _____ Seating capacity: _____

Fencing type, size & location (proposed or existing to remain): _____

Proposed Parking:

a. Handicapped spaces: _____ Dimensions: _____

b. Total Parking spaces: _____ Dimensions: _____

c. Width of driveway aisle: _____

Proposed Lighting: _____

Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.): _____

Applicant's Signature: [Signature] Date: 10-30-17



9233 WEST STATE STREET | BOISE, ID 83714 | 208.639.6939 | FAX 208.639.6930

October 30, 2017
Project No.: 17-054

**Exhibit A
Legal Description for
Annexation and Rezone**

A parcel of land being the Southwest 1/4 of the Southeast 1/4 of Section 22, Township 2 North, Range 1 West, Boise Meridian, Ada County, Idaho and being more particularly described as follows:

Beginning at a found brass cap monument marking the South 1/4 corner of said Section 22, which bears $S00^{\circ}21'13''W$ a distance of 5,298.67 feet from a found 5/8-inch rebar marking the North 1/4 corner of said Section 22, thence following the westerly line of the Southeast 1/4 of said Section 22, $N00^{\circ}21'13''E$ a distance of 1,324.70 feet to the Northwest corner of said Southwest 1/4 of the Southeast 1/4;

Thence leaving said westerly line and following the northerly line of said Southwest 1/4 of the Southeast 1/4, $S89^{\circ}37'26''E$ a distance of 1,330.95 feet to a found 5/8-inch rebar marking the Northeast corner of said Southwest 1/4 of the Southeast 1/4;

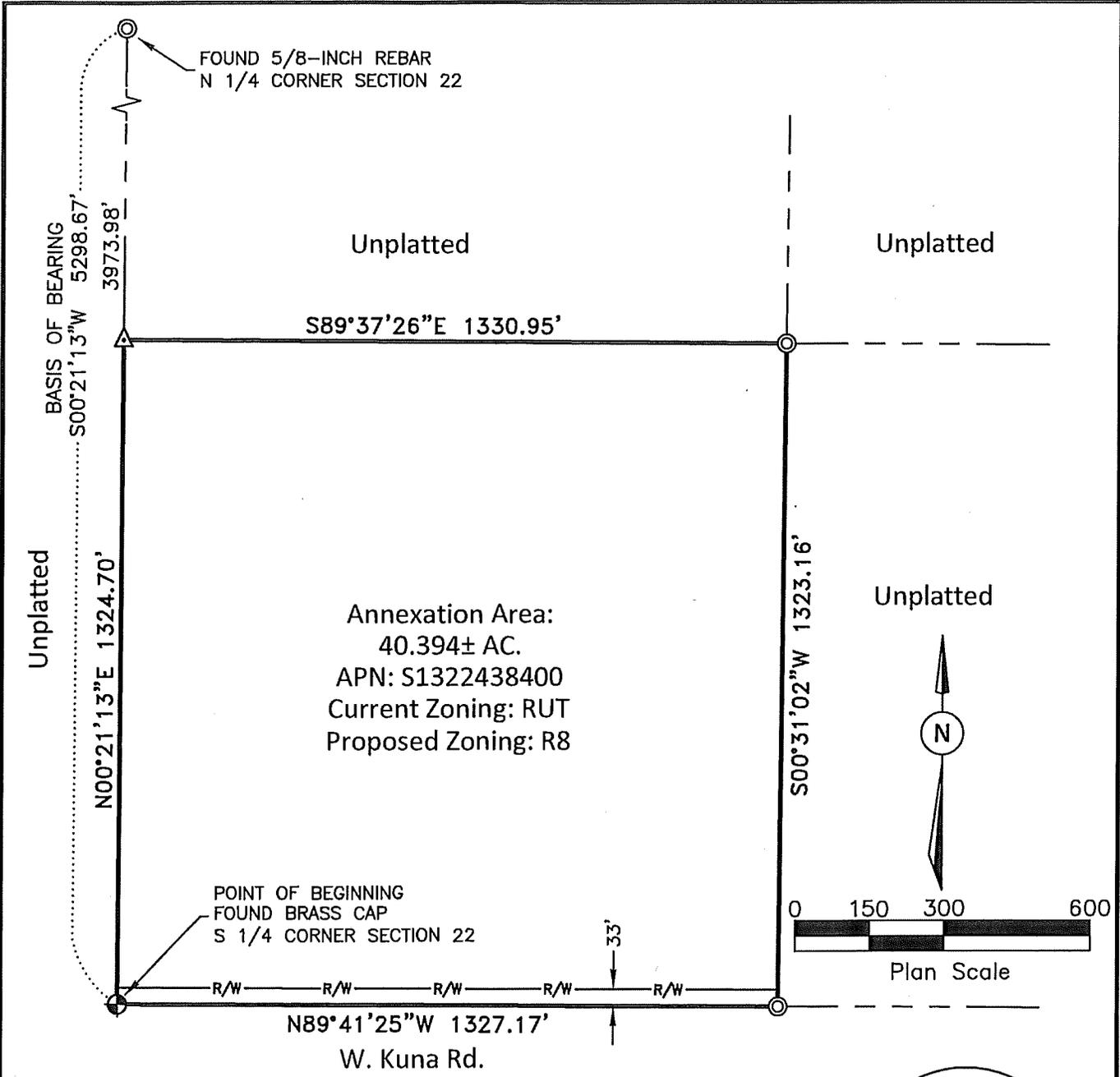
Thence leaving said northerly line and following the easterly line of said Southwest 1/4 of the Southeast 1/4, $S00^{\circ}31'02''W$ a distance of 1,323.16 feet to a found 5/8-inch rebar marking the Southeast corner of said Southwest 1/4 of the Southeast 1/4;

Thence leaving said easterly line and following the southerly line of said Southwest 1/4 of the Southeast 1/4, $N89^{\circ}41'25''W$ a distance of 1,327.17 feet to the **POINT OF BEGINNING**.

Said parcel contains a total of 40.394 acres, more or less, and is subject to all existing easements and/or rights-of-way of record or implied.

Attached hereto is Exhibit B and by this reference is made a part hereof.





P:\17-054\CAD\EXHIBITS\17-054 ANNEXATION.DWG, AARON BALLARD, 10/30/2017, KYOCERA TASKALFA 4550CI KX.PCS, ---

km
ENGINEERING
ENGINEERS . SURVEYORS . PLANNERS

9233 WEST STATE STREET
BOISE, IDAHO 83714
PHONE (208) 639-6939
FAX (208) 639-6930

LEGEND

	FOUND BRASS CAP
	FOUND 5/8-INCH REBAR
	CALCULATED POINT
	ANNEXATION AND ZONING BOUNDARY
	SECTION LINE



DATE:	10/30/2017
PROJECT:	17-054
SHEET:	1 OF 1

Exhibit B
Annexation and Rezone

N. Star Farm, LLC - 2030 W. Kuna Rd.
The SW 1/4 of the SE 1/4 of Section 22, T2N., R1W., B.M., Ada County, Idaho



CITY OF KUNA
P.O. BOX 13
KUNA, ID 83634
www.KunaID.gov

MICHAEL L. BORZICK
GIS MAPPING

Telephone (208) 208-287-1726; Fax (208) 287-1731
Email: mborzick@kunaID.gov

MEMORANDUM

TO: Director of Kuna Planning and Zoning

FROM: Bob Bachman ~ Public Works Director
Paul Stevens ~ City Engineer
Michael L. Borzick ~ GIS Manager/Plan Review

RE: The Urza 40 Subdivision

DATE: January 4, 2018

We have reviewed the request of the above applicant. It is noted that specific development plans are not provided except those implied as allowed or permitted in a residential subdivision. Our recommendation is to proceed with this Project and address any issues and conditions raised below in connection with this application during plan review. Accordingly, we have provided the following comments:

1. Sanitary Sewer Needs

- a) The City requires connection to all city utilities.
- b) Wastewater from the applicant's property will be treated at the South Treatment Plant, which has sufficient capacity to serve this site at this time. The nearest point of connection for the Urza Subdivision property is located ½ mile to the East of said property within a 15" sewer main that discharges into the Ten Mile Lift Station. When connecting to the sewer system, the applicant shall abide by all relevant inspection, sewer reimbursement policies and agreements and all relevant connection fees. One (1) unit is responsible for one (1) sewer connection fee. 90 units – 90 connection fees.
- c) The Ten Mile Lift Station is "over-committed" for future sewer connections. At this time, the City opines that this project *will* over-burden the Lift Station and there may be a delay in the connections to the City sewer while we are working on a solution.
- d) Applicant must conform to City of Kuna Sewer Master Plan.
- e) For assistance in locating existing facilities and understanding issues associated with connection, please contact the GIS Manager at 208-287-1726.

2. Potable Water Needs

- a) The applicant's property is currently vacant and it is required that the applicant connect to City facilities at the commencement of development even though water is greater than 300' away.
- b) The nearest point of connection for this property is in a 12-inch water main 1/4 mile to the east of said property. When connecting to the water system, the applicant will need to abide by any relevant water reimbursement policies and agreements and any relevant connection fees.
- c) Improvements necessary to provide adequate fire protection as required by Kuna Fire District will be required of the development.
- d) Applicant must conform to City of Kuna Water Master Plan.
- e) For assistance in locating existing facilities, please contact the GIS Manager at 208-287-1726.

3. Pressure and Gravity Irrigation

- a) There is no pressurized irrigation available to this property however the applicant would be responsible for the "to and through" policy and must conform to City of Kuna Irrigation Master Plan which entails extending a 12" PI main along the section line road of Avalon St and along the mid mile alignment on the western boundary.
- b) Provide adequate request(s) and legal descriptions for annexing and pooling the irrigation water in a phased approach.
- c) For assistance in locating existing facilities, please contact the GIS Manager at 208-287-1726.

4. Grading and Storm Drainage

The following is not required for an Annexation or a Re-zone but will be required when alteration of surface features is proposed (such as grading or paving) in connection with future land use applications:

- a) Please provide a grading and drainage plan which supports and maintains all upstream drainage rights and all downstream irrigation delivery rights as they presently exist for this property.
- b) Please provide a storm water disposal plan acceptable to the City Engineer which accounts for the increased storm water drainage. Please provide detail drawings of drainage facilities for review. The city relies on the ACHD Storm water policy as guidance for design.
- c) Any increase in quantity or rate of runoff or decrease in quality of runoff from the site compared to historical conditions must be detained, treated and released at rates no greater than historical amounts.
- d) If offsite disposal of storm water in excess of historical rates or conditions is proposed, or disposed at locations different than provided historically, the approval of the affected entities is required.

5. General

- a) Verify that existing and proposed elevations match at property boundaries such that a slope burden is not imposed on adjacent properties.
- b) What is the intent for the existing buildings, well(s) and septic tank(s)
- c) State the vertical datum used for elevations on all drawings.
- d) Provide engineering certification on all final engineering drawings.

e) Inspection Fees

An inspection fee will be required for City inspection of the construction of any **public** water, sewer and irrigation facility associated with this development. The developer will still require a qualified responsible engineer to do sufficient inspection to justly certify to DEQ the project was completed in accordance with approved plans and specifications and to provide accurate as-built drawings to the City. The developer's engineer and the City's inspector are permitted to coordinate inspections as much as

possible. The current inspection fee is \$1.00 per lineal foot of sewer, water and pressure irrigation pipe and payment is due and payable prior to City's approval of final construction plans.

f) Right-of-Way

The following conditions are related to these classified streets and future quarter line classified streets and apply at the time of additional development:

- a) It is recommended new and existing approaches onto the classified streets comply with ACHD approach policies.
- b) It is recommended that sidewalk, curb and gutter, street widening and any related storm drainage facilities, consistent with city code and policies, are provided at the time of land-use change or re-development.

g) As-Built Drawings

As-built drawings are required at the conclusion of any public facility construction project and are the responsibility of the developer's engineer. The city may help track changes, but will not be responsible for the finished product. As-built drawings will be required before occupancy or final plat approval is granted.

h) Property Description

- a) The applicant provided a metes and bounds property description of the subject parcel.

i) Recommendation

Public Works recommends this property be zoned no more than R-4 or less due to the real capacity issues at the Ten Mile Lift Station. We are working on several solutions to increase the capacity issues within the Ten Mile LS, however these solutions can only be slowly implemented due to budget restraints/cycles and one of the "easiest" options may require putting an older outdated force main into service which is not recommended by staff because of the issues that are associated with that force main.

We look forward to working with you on this project. If we may be of further assistance, feel free to contact me at 208-287-1726.

Sincerely,



Michael L Borzick
GIS Manager



Project/File: Annexation and Zoning / KUNA17-0017 / 17-07-5

The applicant is requesting annexation into the City of Kuna with an R-8 zoning designation.

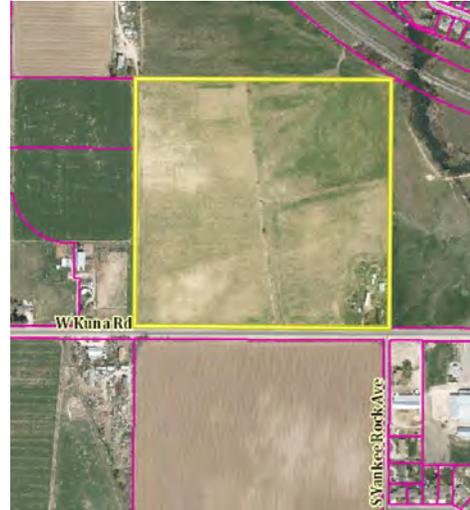
Lead Agency: City of Kuna

Site address: 2030 W. Kuna Rd.

Staff Approval: December 21, 2017

Applicant: Kirsti Grabo
KM Engineering
9233 W. State St.
Boise, ID 83714

Staff Contact: Austin Miller
Phone: 387-6335
E-mail: amiller@achdidaho.org



A. Findings of Fact

1. **Description of Application:** The applicant is requesting annexation into the City of Kuna. The 39.5-acre site is currently zoned RUT. The proposed R-8 zoning is consistent with the City of Kuna's comprehensive plan.

2. **Description of Adjacent Surrounding Area:**

Direction	Land Use	Zoning
North	Agricultural District	A
South	Rural-Urban Transition Zone	RUT
East	Rural-Urban Transition Zone	RUT
West	Rural Residential Zone	RR

3. **Site History:** ACHD has not previously reviewed this site for a development application.

4. **Adjacent Development:** The following developments are pending or underway in the vicinity of the site:

- Deserthawk Subdivision, a 115-lot residential subdivision located at the southwest corner of Ten Mile Road and Sunbeam Street, was approved by ACHD in November 2010 and is currently in various stages of construction.

5. **Transit:** Transit services are not available to serve this site.

6. **New Center Lane Miles:** The proposed development includes 0 centerline miles of new public road.

7. **Impact Fees:** There will be an impact fee that is assessed and due prior to issuance of any building permits. The assessed impact fee will be based on the impact fee ordinance that is in effect at that time.

8. Capital Improvements Plan (CIP) / Integrated Five Year Work Plan (IFYWP):

There are currently no roadways, bridges or intersections in the general vicinity of the project that are currently in the Integrated Five Year Work Plan (IFYWP) or the District's Capital Improvement Plan (CIP).

B. Traffic Findings for Consideration

1. **Trip Generation:** Single family dwelling units are estimated to generate 9.52 additional vehicle trips per day per dwelling unit; 1 additional vehicle trips per hour in the PM peak hour per dwelling unit, based on the Institute of Transportation Engineers Trip Generation Manual, 9th edition.
2. **Condition of Area Roadways**
Traffic Count is based on Vehicles per hour (VPH)

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service
Kuna Road	1,327-feet	Minor Arterial	232	Better than "E"

* Acceptable level of service for a two-lane minor arterial is "E" (575 VPH).

3. Average Daily Traffic Count (VDT)

Average daily traffic counts are based on ACHD's most current traffic counts.

- The average daily traffic count for Kuna Road east of Black Cat Road was 4,592 on July 27, 2016.

C. Findings for Consideration

This application is for annexation and rezone only. Listed below are some findings for consideration that the District may identify when it reviews a future development application. The District may add additional findings for consideration when it reviews a specific redevelopment application.

1. Kuna Road

- a. **Existing Conditions:** Kuna Road is improved with 2-travel lanes (27-feet of pavement) and no curb, gutter or sidewalk abutting the site. There is 66-feet of right-of-way for Kuna Road (33-feet from centerline).

b. Policy:

Arterial Roadway Policy: District Policy 7205.2.1 states that the developer is responsible for improving all street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

Master Street Map and Typology Policy: District Policy 7205.5 states that the design of improvements for arterials shall be in accordance with District standards, including the Master Street Map and Livable Streets Design Guide. The developer or engineer should contact the District before starting any design.

Street Section and Right-of Way Width Policy: District Policy 7205.2.1 & 7205.5.2 states that the standard 3-lane street section shall be 46-feet (back-of-curb to back-of-curb) within 70 feet of right-of-way. This width typically accommodates a single travel lane in each direction, a continuous center left-turn lane, and bike lanes.

Right-of-Way Dedication: District Policy 7205.2 states that The District will provide compensation for additional right-of-way dedicated beyond the existing right-of-way along arterials listed as impact fee eligible in the adopted Capital Improvements Plan using available impact fee revenue in the Impact Fee Service Area.

No compensation will be provided for right-of-way on an arterial that is not listed as impact fee eligible in the Capital Improvements Plan.

The District may acquire additional right-of-way beyond the site-related needs to preserve a corridor for future capacity improvements, as provided in Section 7300.

Sidewalk Policy: District Policy 7205.5.7 requires a concrete sidewalk at least 5-feet wide to be constructed on both sides of all arterial streets. A parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip. Sidewalks constructed next to the back-of-curb shall be a minimum of 7-feet wide.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

Frontage Improvements Policy: District Policy 7205.2.1 states that the developer shall widen the pavement to a minimum of 17-feet from centerline plus a 3-foot wide gravel shoulder adjacent to the entire site. Curb, gutter and additional pavement widening may be required (See Section 7205.5.5).

ACHD Master Street Map: ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, arterial street requirements, and specific roadway features required through development. This segment of Kuna Road is designated in the MSM as a Residential Arterial with 3-lanes and on-street bike lanes, a 50-foot street section within 74-feet of right-of-way.

- c. **Staff Comments/Recommendations:** The applicant should be required to dedicate the necessary right-of-way to total 37-feet from centerline on Kuna Road (approximately 4-feet). As Kuna Road is not listed in the Capital Improvements Plan, the applicant will not be compensated for the right-of-way dedication.

The applicant should be required to improve Kuna Road to provide a minimum of 17-feet of pavement from centerline and a 3-foot wide gravel shoulder abutting the site.

The applicant should be required to construct a minimum of 5-foot wide detached concrete sidewalk along Kuna Road abutting the site located a minimum of 30-feet from centerline. Provide a permanent sidewalk easement for all public sidewalks located outside the right-of-way.

2. Master Street Map Collector Roadway

- a. **Existing Conditions:** No collector roadways exist internal to the site.

A collector roadway is shown on the Master Street Map (MSM) at the ½-mile between Ten Mile Road and Black Cat Road abutting the site's western property line.

- b. **Policy:**

Collector Street Policy: District policy 7206.2.1 states that the developer is responsible for improving all collector frontages adjacent to the site or internal to the development as required below, regardless of whether access is taken to all of the adjacent streets.

Master Street Map and Typologies Policy: District policy 7206.5 states that if the collector street is designated with a typology on the Master Street Map, that typology shall be considered for the required street improvements. If there is no typology listed in the Master Street Map, then standard street sections shall serve as the default.

Street Section and Right-of-Way Policy: District policy 7206.5.2 states that the standard right-of-way width for collector streets shall typically be 50 to 70-feet, depending on the location and width of the sidewalk and the location and use of the roadway. The right-of-way width may be reduced, with District approval, if the sidewalk is located within an easement; in which case the District will require a minimum right-of-way width that extends 2-feet behind the back-of-curb on each side.

The standard street section shall be 46-feet (back-of-curb to back-of-curb). This width typically accommodates a single travel lane in each direction, a continuous center left-turn lane, and bike lanes.

Residential Collector Policy: District policy 7206.5.2 states that the standard street section for a collector in a residential area shall be 36-feet (back-of-curb to back-of-curb). The District will consider a 33-foot or 29-foot street section with written fire department approval and taking into consideration the needs of the adjacent land use, the projected volumes, the need for bicycle lanes, and on-street parking.

Half Street Policy: District Policy 7206.2.2 required improvements shall consist of pavement widening to one-half the required width, including curb, gutter and concrete sidewalk (minimum 5-feet), plus 12-feet of additional pavement widening beyond the centerline established for the street to provide an adequate roadway surface, with the pavement crowned at the ultimate centerline. A 3-foot wide gravel shoulder and a borrow ditch sized to accommodate the roadway storm runoff shall be constructed on the unimproved side.

Sidewalk Policy: District policy 7206.5.6 requires a concrete sidewalks at least 5-feet wide to be constructed on both sides of all collector streets. A parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip. Sidewalks constructed next to the back-of-curb shall be a minimum of 7-feet wide.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

ACHD Master Street Map: ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, collector street requirements, and specific roadway features required through development. A new collector roadway was identified on the MSM with the street typology of Residential Collector. The new collector roadway should continue through the property stubbing to the north. The Residential Collector typology as depicted in the Livable Street Design Guide recommends a 2-lane roadway with bike lanes, and on street parking, a 47-foot street section within 69-feet of right-of-way.

- c. **Staff Comments/Recommendations:** Consistent with the MSM, the applicant should be required to construct a collector roadway abutting the site's west property line as one half of a 36-foot street section with vertical curb, gutter and 5-foot wide detached concrete sidewalk (or 7-foot wide attached concrete sidewalk) abutting the site, plus 12 additional feet of pavement (to total 30-feet), a 3-foot wide gravel shoulder and a borrow ditch sized to accommodate the drainage on the west side of the roadway.

3. Local Internal Streets

- a. **Existing Conditions:** No local streets exist internal to the site.
- b. **Policy:**

Local Roadway Policy: District Policy 7207.2.1 states that the developer is responsible for improving all local street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

Street Section and Right-of-Way Policy: District Policy 7207.5 states that right-of-way widths for all local streets shall generally not be less than 50-feet wide and that the standard street section shall be 36-feet (back-of-curb to back-of-curb). The District will consider the utilization of a street width less than 36-feet with written fire department approval.

Standard Urban Local Street—36-foot to 33-foot Street Section and Right-of-way Policy: District Policy 7207.5.2 states that the standard street section shall be 36-feet (back-of-curb to back-of-curb) for developments with any buildable lot that is less than 1 acre in size. This street section shall include curb, gutter, and minimum 5-foot concrete sidewalks on both sides and shall typically be within 50-feet of right-of-way.

The District will also consider the utilization of a street width less than 36-feet with written fire department approval. Most often this width is a 33-foot street section (back-of-curb to back-of-curb) for developments with any buildable lot that is less than 1 acre in size.

Sidewalk Policy: District Policy 7207.5.7 states that five-foot wide concrete sidewalk is required on both sides of all local street, except those in rural developments with net densities of one dwelling unit per 1.0 acre or less, or in hillside conditions where there is no direct lot frontage, in which case a sidewalk shall be constructed along one side of the street. Some local jurisdictions may require wider sidewalks.

The sidewalk may be placed next to the back-of-curb. Where feasible, a parkway strip at least 8-feet wide between the back-of-curb and the street edge of the sidewalk is recommended to provide increased safety and protection of pedestrians and to allow for the planting of trees in accordance with the District's Tree Planting Policy. If no trees are to be planted in the parkway strip, the applicant may submit a request to the District, with justification, to reduce the width of the parkway strip.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

Cul-de-sac Streets Policy: District policy 7207.5.8 requires cul-de-sacs to be constructed to provide a minimum turning radius of 45-feet; in rural areas or for temporary cul-de-sacs the emergency service providers may require a greater radius. Landscape and parking islands may be constructed in turnarounds if a minimum 29-foot street section is constructed around the island. The pavement width shall be sufficient to allow the turning around of a standard AASHTO SU design vehicle without backing. The developer shall provide written approval from the appropriate fire department for this design element.

The District will consider alternatives to the standard cul-de-sac turnaround on a case-by-case basis. This will be based on turning area, drainage, maintenance considerations and the written approval of the agency providing emergency fire service for the area where the development is located.

Landscape Medians Policy: District policy 7207.5.16 states that landscape medians are permissible where adequate pavement width is provided on each side of the median to accommodate the travel lanes and where the following is provided:

- The median is platted as right-of-way owned by ACHD.

- The width of an island near an intersection is 12-feet maximum for a minimum distance of 150-feet. Beyond the 150-feet, the island may increase to a maximum width of 30-feet.
 - At an intersection that is signalized or is to be signalized in the future, the median width shall be reduced to accommodate the necessary turn lane storage and tapers.
 - The Developer or Homeowners Association shall apply for a license agreement if landscaping is to be placed within these medians.
 - The license agreement shall contain the District's requirements of the developer including, but not limited to, a "hold harmless" clause; requirements for maintenance by the developer; liability insurance requirements; and restrictions.
 - Vertical curbs are required around the perimeter of any raised median. Gutters shall slope away from the curb to prevent ponding.
- c. **Staff Comments/Recommendations:** The applicant should be required to construct all public local internal streets as 36-foot street sections, complete with curb gutter and 5-foot wide concrete sidewalk.

4. Roadway Offsets

- a. **Existing Conditions:** No streets exist internal to the site.
- b. **Policy:**
Local Street Intersection Spacing on Minor Arterials: District policy 7205.4.3 states that new local streets should not typically intersect arterials. Local streets should typically intersect collectors. If it is necessary, as determined by ACHD, for a local street to intersect an arterial, the minimum allowable offset shall be 660-feet as measured from all other existing roadways as identified in Table 1a (7205.4.6).

Local Offset Policy: District policy 7206.4.5, requires local roadways to align or offset a minimum of 330-feet when intersecting a collector roadway (measured centerline to centerline).

District policy 7207.4.2, requires local roadways to align or provide a minimum offset of 125-feet from any other street (measured centerline to centerline).

- c. **Staff Comments/Recommendations:** All new public street intersections should be located a minimum of 660-feet from all other public streets and driveways intersecting Kuna Road.

Local streets intersecting the new collector should offset a minimum of 330-feet.

5. Stub Streets

- a. **Existing Conditions:** No streets exist internal to the site, and no stubs exist abutting this site.

- b. **Policy:**
Stub Street Policy: District policy 7206.2.4 and 7207.2.4 state that stub streets will be required to provide circulation or to provide access to adjoining properties. Stub streets will conform with the requirements described in Section 7206.2.5.4 and 7207.2.5.4, except a temporary cul-de-sac will not be required if the stub street has a length no greater than 150-feet. A sign shall be installed at the terminus of the collector stub street stating that, "THIS IS A DESIGNATED COLLECTOR ROADWAY. THIS STREET WILL BE EXTENDED AND WIDENED IN THE FUTURE." A sign shall be installed at the terminus of the local streets stating that, "THIS ROAD WILL BE EXTENDED IN THE FUTURE."

In addition, stub streets must meet the following conditions:

- A stub street shall be designed to slope towards the nearest street intersection within the proposed development and drain surface water towards that intersection; unless an alternative storm drain system is approved by the District.

- The District may require appropriate covenants guaranteeing that the stub street will remain free of obstructions.

Temporary Dead End Streets Policy: District policy 7206.2.4 and 7207.2.4 require that the design and construction for cul-de-sac streets shall apply to temporary dead end streets. The temporary cul-de-sac shall be paved and shall be the dimensional requirements of a standard cul-de-sac. The developer shall grant a temporary turnaround easement to the District for those portions of the cul-de-sac which extend beyond the dedicated street right-of-way. In the instance where a temporary easement extends onto a buildable lot, the entire lot shall be encumbered by the easement and identified on the plat as a non-buildable lot until the street is extended.

- c. **Staff Comments/Recommendations:** In addition to the collector street, the applicant should be required to provide stub streets to the east and north. Construct a paved temporary cul-de-sac for all stubs in excess of 150-feet.

6. Tree Planters

Tree Planter Policy: Tree Planter Policy: The District's Tree Planter Policy prohibits all trees in planters less than 8-feet in width without the installation of root barriers. Class II trees may be allowed in planters with a minimum width of 8-feet, and Class I and Class III trees may be allowed in planters with a minimum width of 10-feet.

7. Landscaping

Landscaping Policy: A license agreement is required for all landscaping proposed within ACHD right-of-way or easement areas. Trees shall be located no closer than 10-feet from all public storm drain facilities. Landscaping should be designed to eliminate site obstructions in the vision triangle at intersections. District Policy 5104.3.1 requires a 40-foot vision triangle and a 3-foot height restriction on all landscaping located at an uncontrolled intersection and a 50-foot offset from stop signs. Landscape plans are required with the submittal of civil plans and must meet all District requirements prior to signature of the final plat and/or approval of the civil plans.

8. Other Access

Other than the access specifically approved as part of a future development application, direct lot access is prohibited to Kuna Road and the collector roadway.

D. Site Specific Conditions of Approval

This application is for annexation and rezone only. Listed below are some of the site specific conditions of approval that the District may identify when it reviews a future development application. The District may add additional site specific conditions of approval when it reviews a specific redevelopment application.

1. Dedicate the necessary right-of-way to total 37-feet from centerline on Kuna Road (approximately 4-feet). The applicant will not be compensated for the right-of-way dedication.
2. Improve Kuna Road to provide a minimum of 17-feet of pavement from centerline and a 3-foot wide gravel shoulder abutting the site.
3. Construct a minimum of 5-foot wide detached concrete sidewalk located a minimum of 30-feet from centerline on Kuna Road abutting the site. Provide a permanent sidewalk easement for all public sidewalks located outside of the dedicated right-of-way.
4. Construct a collector roadway on the western property line as one half of a 36-foot street section complete with vertical curb, gutter and 5-foot wide detached concrete sidewalk (or 7-foot wide attached concrete sidewalk) for. Provide an additional 12-feet of pavement from centerline, a 3-

foot wide gravel shoulder and a borrow ditch sized to accommodate the drainage on the west side of the roadway.

5. Construct all public local internal streets as 36-foot street sections, complete with curb gutter and 5-foot wide concrete sidewalk.
6. Provide a minimum of 660-feet of spacing for all intersections on Kuna Road.
7. Local streets intersecting the collector road should offset a minimum of 330-feet.
8. Provide a stub street to the east and the north.
9. Direct lot access is prohibited to Kuna Road and the collector roadway and should be noted on the final plat.
10. Payment of impact fees is due prior to issuance of a building permit.
11. Comply with all Standard Conditions of Approval.

E. Standard Conditions of Approval

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).
2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
3. In accordance with District policy, 7203.3, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA) requirements. The applicant's engineer should provide documentation of ADA compliance to District Development Review staff for review.
4. Replace any existing damaged curb, gutter and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.
5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.
9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.
10. Construction, use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.

11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.
12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.

F. Conclusions of Law

1. The proposed site plan is approved, if all of the Site Specific and Standard Conditions of Approval are satisfied.
2. ACHD requirements are intended to assure that the proposed use/development will not place an undue burden on the existing vehicular transportation system within the vicinity impacted by the proposed development.

G. Attachments

1. Vicinity Map
2. Site Plan
3. Utility Coordinating Council
4. Development Process Checklist
5. Request for Reconsideration Guidelines

Ada County Utility Coordinating Council

Developer/Local Improvement District Right of Way Improvements Guideline Request

Purpose: To develop the necessary avenue for proper notification to utilities of local highway and road improvements, to help the utilities in budgeting and to clarify the already existing process.

- 1) **Notification:** Within five (5) working days upon notification of required right of way improvements by Highway entities, developers shall provide written notification to the affected utility owners and the Ada County Utility Coordinating Council (UCC). Notification shall include but not be limited to, project limits, scope of roadway improvements/project, anticipated construction dates, and any portions critical to the right of way improvements and coordination of utilities.
- 2) **Plan Review:** The developer shall provide the highway entities and all utility owners with preliminary project plans and schedule a plan review conference. Depending on the scale of utility improvements, a plan review conference may not be necessary, as determined by the utility owners. Conference notification shall also be sent to the UCC. During the review meeting the developer shall notify utilities of the status of right of way/easement acquisition necessary for their project. At the plan review conference each company shall have the right to appeal, adjust and/or negotiate with the developer on its own behalf. Each utility shall provide the developer with a letter of review indicating the costs and time required for relocation of its facilities. Said letter of review is to be provided within thirty calendar days after the date of the plan review conference.
- 3) **Revisions:** The developer is responsible to provide utilities with any revisions to preliminary plans. Utilities may request an updated plan review meeting if revisions are made in the preliminary plans which affect the utility relocation requirements. Utilities shall have thirty days after receiving the revisions to review and comment thereon.
- 4) **Final Notification:** The developer will provide highway entities, utility owners and the UCC with final notification of its intent to proceed with right of way improvements and include the anticipated date work will commence. This notification shall indicate that the work to be performed shall be pursuant to final approved plans by the highway entity. The developer shall schedule a preconstruction meeting prior to right of way improvements. Utility relocation activity shall be completed within the times established during the preconstruction meeting, unless otherwise agreed upon.

Notification to the Ada County UCC can be sent to: 50 S. Cole Rd. Boise 83707, or Visit iducc.com for e-mail notification information.

Troy Behunin

From: Lauren Boehlke <laurenboehlke@yahoo.com>
Sent: Monday, December 04, 2017 8:40 AM
To: Troy Behunin
Subject: Re: Former Urza Property Annexation

Categories: Agency Comments

Good Morning Troy,
Just to let you know that this property does have a valid water right of 39.24 acres through Boise-Kuna Irrigation District. Our 2017 Fall/2018 Spring assessments have been mailed out and the Fall assessment is due by 12/20/17, with Spring Toll due by 4/1/17. Boise Project Board of Control, our delivery entity, will need to be contacted as to where water delivery is on this property and making sure that no other water user is deterred from receiving water do to any development of this property.

Thank you,
Lauren

Lauren S Boehlke
Sec.-Treasurer
Boise-Kuna Irrigation District
Phone# 922-5608
Fax# 922-5659

On Friday, 1 December 2017, 16:24, Troy Behunin <tbehunin@kunaid.gov> wrote:

Good afternoon everyone,
Please review the packet for a new request for annexation into Kuna City Limits. Please send relevant comments to our office within the 15 business days as requested. If your agency needs additional time, please let our office know as soon as possible.
If your agency needs hard copies, please let us know and we will be happy to send them.
Thanks and have a great weekend.
Troy

Troy Behunin
Planner III
City of Kuna
751 W. 4th Street
Kuna, ID 83634
TBehunin@Kunald.Gov

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Troy Behunin

From: Pike, Brett <Brett.Pike@cableone.biz>
Sent: Thursday, December 14, 2017 3:08 PM
To: Troy Behunin
Subject: FW: Former Urza Property Annexation
Attachments: Agency Transmittal PACKET.pdf

We don't have cable plant there at this time.

Thanks

Brett

This transmittal is a confidential communication or may otherwise be privileged. If it is not clear that you are the intended recipient, you are hereby notified that you have received this transmittal in error; any review, dissemination, distribution or copying of this transmittal is strictly prohibited. If you suspect that you have received this communication in error, please notify the sender and immediately delete this message and all its attachments.

From: Ingram, Adam
Sent: Friday, December 1, 2017 4:53 PM
To: Weed, Dan <Daniel.Weed@cableone.biz>; Pike, Brett <Brett.Pike@cableone.biz>
Subject: FW: Former Urza Property Annexation

Adam Ingram
 Field Technical Supervisor – Construction Department



West Valley
 2101 East Karcher Road
 Nampa, Idaho 83687
 PH: 208.442.6601
 FAX: 208.454.3065
adam.ingram@cableone.biz

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From: Troy Behunin [<mailto:tbehunin@kunaaid.gov>]
Sent: Friday, December 1, 2017 4:24 PM
To: ACHD <clittle@achdidaho.org>; Ada County Engineer <agilman@adaweb.net>; Attorney Icloud <kunaattorney@icloud.com>; Becky Rone - Kuna USPS Addressing <rebecca.i.rone@usps.gov>; Bob Bachman <bbachman@kunaaid.gov>; Boise Project Board of Control <tpage@boiseproject.org>; Boise Project Board of Control <bcarter@boiseproject.org>; Boise-Kuna Irrigation Distr. <laurenboehlke@yahoo.com>; Ingram, Adam <Adam.Ingram@cableone.biz>; Goettsche, Cheryl <Cheryl.Goettsche@cableone.biz>; Central District Health Dept. CDHD <lbadigia@cdhd.idaho.gov>; COMPASS <cmiller@compassidaho.org>; DEQ <Alicia.martin@deq.idaho.gov>; Eric Adolphson <eadolphson@compassidaho.org>; Idaho Power <ahawkins@idahopower.com>; Idaho Power Easements <MAlandt@idahopower.com>; Intermountain Gas <robert.miller@mdu.com>; Intermountain Gas <bryce.ostler@intgas.com>; J&M Sanitation - Chad Gordon <Chad.Gordon@jmsanitation.com>; Julie Stanley - Regional Address Mgmt. <Julie.R.Stanley@usps.gov>; Ken

Exhibit B 4

6A

17-09-AN
Page 33 of 52

Couch: Idaho Transportation Department <ken.couch@itd.idaho.gov>; Kuna Police Chief <so4217@adaweb.net>; Kuna Postmaster - Marc C. Boyer <marc.c.boyer@usps.gov>; Kuna School District <kbekkedahl@kunaschools.org>; Kuna School District <bsaxton@kunaschools.org>; Kuna School District <wjohnson@kunaschools.org>; Mike Borzick <mborzick@kunaid.gov>; New York Irrigation District <terri@nyid.org>; Planning Mgr: Ada County Development Services <jboal@adaweb.net>; Terry Gammel <tgammel@kunafire.com>; Vic Steelman <vsteelman@idpower.com>; ppalmer@kunafire.com

Subject: Former Urza Property Annexation

Good afternoon everyone,

Please review the packet for a new request for annexation into Kuna City Limits. Please send relevant comments to our office within the 15 business days as requested. If your agency needs additional time, please let our office know as soon as possible.

If your agency needs hard copies, please let us know and we will be happy to send them.

Thanks and have a great weekend.

Troy

Troy Behunin

Planner III

City of Kuna

751 W. 4th Street

Kuna, ID 83634

TBehunin@Kunald.Gov

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Communities in Motion 2040 Development Review

The Community Planning Association of Southwest Idaho (COMPASS) is the metropolitan planning organization (MPO) for Ada and Canyon Counties. COMPASS has developed this review as a tool for local governments to evaluate whether land developments are consistent with the goals of *Communities in Motion 2040 (CIM 2040)*, the regional long-range transportation plan for Ada and Canyon Counties. This checklist is not intended to be prescriptive, but rather a guidance document based on [CIM 2040 goals](#).

Development Name: Urza

Agency: Kuna

CIM Vision Category: Future Neighborhoods

New households: Up to 320

New jobs: 0

Exceeds CIM forecast: YES

	CIM Corridor: None Pedestrian level of stress: R—Kuna Road Bicycle level of stress: R—Kuna Road	Level of Stress considers facility type, number of vehicle lanes, and speed. Roads with G or PG ratings better support bicyclists and pedestrians of all ages and comfort levels.
	Housing within 1 mile: 1,507 Jobs within 1 mile: 307 Jobs/Housing Ratio: 0.2	A good jobs/housing balance – a ratio between 1 and 1.5 – reduces traffic congestion. Higher numbers indicate the need for more housing and lower numbers indicate an employment need.
	Nearest police station: 1.2 miles Nearest fire station: 1.6 miles	Developments within 1.5 miles of police and fire stations ensure that emergency services are more efficient and reduce the cost of these important public services.
	Farmland consumed: Yes Farmland within 1 mile: 1,008 acres Farmland Value: N/A	Farmland contributes to the local economy, creates additional jobs, and provides food security to the region. Development in farm areas decreases the productivity and sustainability of farmland.
	Nearest bus stop: >4 miles Nearest public school: 0.7 miles Nearest public park: 0.8 miles Nearest grocery store: 2.1 miles	Residents who live or work less than ½ mile from critical services have more transportation choices. Walking and biking reduces congestion by taking cars off the road, while supporting a healthy and active lifestyle.

Recommendations

The proposal is requesting a rezone which would allow up to 320 residential units. At this maximum amount, the proposal would exceed the *Communities in Motion 2040* forecast for this area. Transportation infrastructure may not be able to support the new transportation demands.

The proposal did not include a site plan. Encourage the developer to provide stub streets, internal bicycle and pedestrian circulation, and pathway connectivity to the northeast corner of the site for access to a future Indian Creek pathway. Consider improving the crossing at the South Ten Mile Road and West Kuna Road intersection or a mid-block signalized crossing near the subject property to provide safe crossing to Winchester Park, or provide sufficient internal open space.

More information about COMPASS and *Communities in Motion 2040*:

Web: www.compassidaho.org

Email info@compassidaho.org

More information about the development review process:

<http://www.compassidaho.org/dashboard/devreview.htm>





Neighborhood Meeting Certification

CITY OF KUNA PLANNING & ZONING * 763 W. Avalon, Kuna, Idaho, 83634 * www.kunacity.id.gov * (208) 922-5274 * Fax: (208) 922-5989

GENERAL INFORMATION:

You must conduct a neighborhood meeting prior to application for variance, conditional use, zoning ordinance map amendment, expansion or extension of a nonconforming use, and/or a subdivision. Please see Section 8-7A-3 of the Kuna City Code or ask one of our planners for more information on neighborhood meetings.

The meeting must be held either on a weekend between 10 a.m. and 7 p.m., or a weekday between 6 p.m. and 8 p.m. Meetings cannot be conducted on holidays, holiday weekends, or the day before or after a holiday or holiday weekend. The meeting must be held at one of the following locations:

- The Subject Property;
- The nearest available public meeting place (Examples include fire stations, libraries and community centers);
- An office space within a 1-mile radius of the subject property.

The meeting cannot take place more than 2 months prior to acceptance of the application and the application will not be accepted before the neighborhood meeting is conducted. You are required to send written notification of your meeting, allowing a reasonable amount of time before your meeting for property owners to plan to attend. Contacting and/or meeting individually with residents will not fulfill Neighborhood Meeting requirements.

You may request a list of the people you need to invite to the neighborhood meeting from our department. This list includes property owners within 300 feet of the subject property. Once you have held your neighborhood meeting, please complete this certification form and include it with your application.

Please Note: The neighborhood meeting must be conducted in one location for attendance by all neighboring residents. Contacting and/or meeting individually with residents does not comply with the neighborhood meeting requirements.

Please include a copy of the sign-in sheet for your neighborhood meeting, so we have written record of who attended your meeting and the letter of intent sent to each recipient. In addition, provide any concerns that may have been addressed by individuals that attended the meeting.

Description of proposed project: Annexation with Request for R8 Zoning

Date and time of neighborhood meeting: October 18, 2017 - 6:00 p.m.

Location of neighborhood meeting: Kuna Public Library

SITE INFORMATION:

Location: Quarter: SE Section: 22 Township: 2N Range: 1W Total Acres: 39.48

Subdivision Name: _____ Lot: _____ Block: _____

Site Address: 2030 W Kuna Road Tax Parcel Number(s): S1322438400

Please make sure to include **all** parcels & addresses included in your proposed use.

CURRENT PROPERTY OWNER:

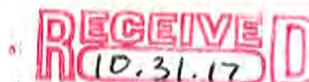
Name: N Star Farm, LLC & Waters Edge Farm, LLC - Tim Eck

Address: 6152 West Half Moon Lane City: Eagle State: ID Zip: 83616

CONTACT PERSON (Mail recipient and person to call with questions):

Name: Kirsti Grabo Business (if applicable): KM Engineering, LLP

Address: 9233 W State Street City: Boise State: ID Zip: 83714



PROPOSED USE:

I request a neighborhood meeting list for the following proposed use of my property (check all that apply):

Application Type

Brief Description

Annexation	<input checked="" type="checkbox"/> - annexation with zoning request for R8
Re-zone	
Subdivision (Sketch Plat and/or Prelim. Plat)	
Special Use	
Variance	
Expansion of Extension of a Nonconforming Use	
Zoning Ordinance Map Amendment	

APPLICANT:

Name: N Star Farm, LLC & Waters Edge Farm, LLC

Address: 6152 West Half Moon Lane

City: Eagle State: ID Zip: 83616

Telephone: _____ Fax: _____

I certify that a neighborhood meeting was conducted at the time and location noted on this form and in accord with Section 5-1A-2 of the Kuna City Code

Signature: (~~Applicant~~)  Date 10.30.17
Applicants Representative

Neighborhood Meeting Notes
Urza Property Annexation & Zoning
10.18.2017 – 6:00 pm – Kuna Public Library

Discussion Topics

- How many lots are permitted in the R8 zone?
- Will the developer build houses or apartments?
- How many access roads will serve the site?
- Will storm water be retained onsite? Property to the east keeps getting washed out and there are concerns about future water runoff.
- When will construction begin?
- Will we mark crosswalks for kids to cross the street?



City of Kuna

P&Z Findings of Fact & Conclusions of Law

P.O. Box 13
 Phone: (208) 922-5274
 Fax: (208) 922-5989
www.Kunacity.id.gov

To: Planning and Zoning Commission (P & Z)

Case Numbers: 17-09-AN (Annexation)
Former Urza Property

Location: Near the northwest corner of Ten Mile and Kuna Roads, Kuna, Idaho 83642

Planner: Troy Behunin, Planner III

Hearing Date: January 9, 2018
Findings: January 23, 2018

Engineer: **KM Engineering**
 Kirsti Grabo
 9233 W. State St,
 Boise, ID 83714
 208.639.6930
KGrabo@kmengllp.com

Owners (6): *N Star Farm, LLC*,
 6152 W. Half Moon Ln.
 Eagle, ID, 83616

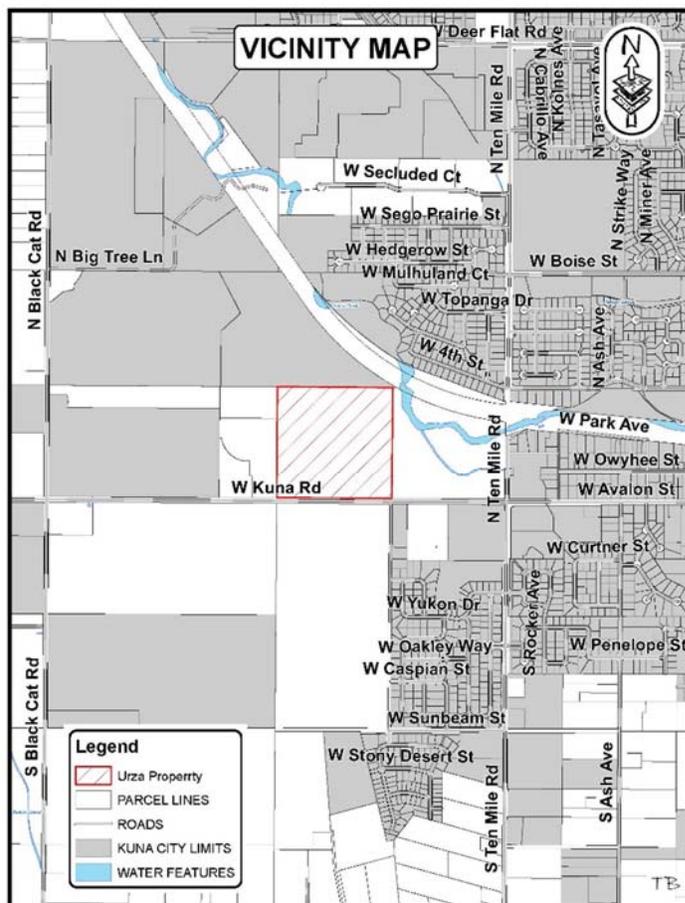


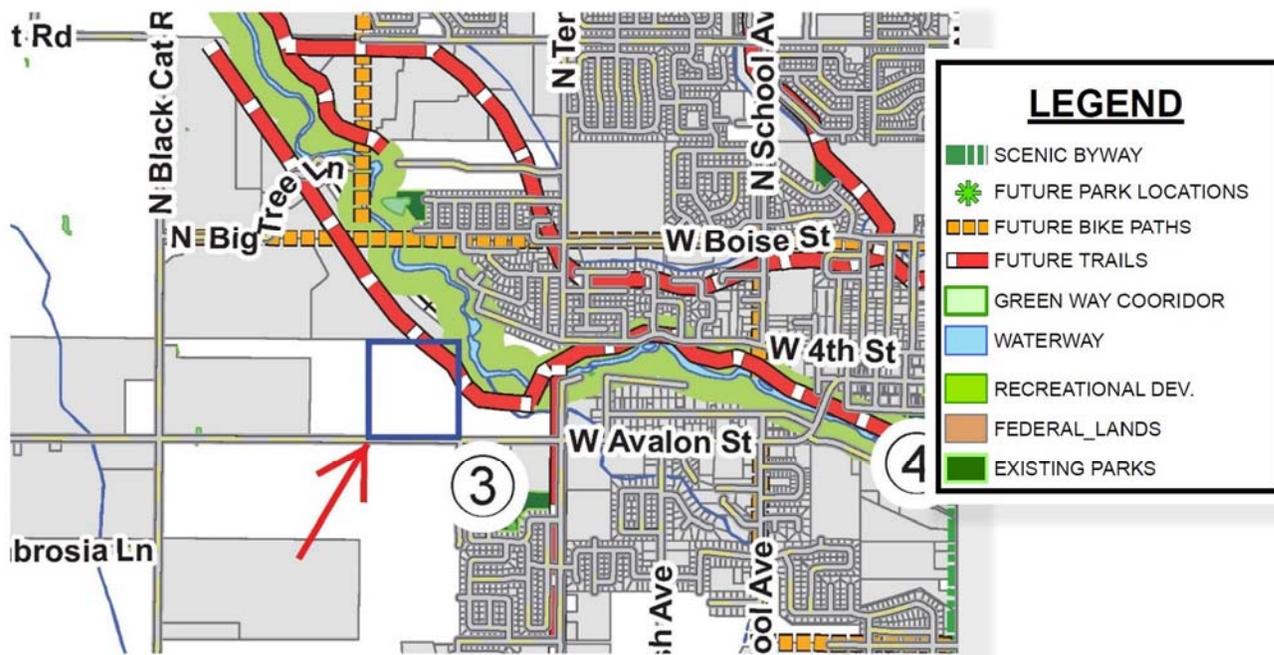
Table of Contents:

- | | |
|--------------------------|---------------------------------------|
| A. Process and Noticing | H. Procedural Background |
| B. Applicants Request | I. Factual Summary |
| C. Aerial map | J. Findings of Fact |
| D. Site History | K. Comprehensive Plan Analysis |
| E. General Project Facts | L. Idaho Code Analysis |
| F. Staff Analysis | M. Conclusions of Law |
| G. Applicable Standards | N. Recommended Conditions of Approval |

A. Process and Noticing:

1. Kuna City Code (KCC), Title 1, Chapter 14, Section 3, states that annexations are designated as public hearings, with the P & Z Commission as a recommending body and City Council as the decision making body. These land use applications were given proper public notice and followed the requirements set forth in Idaho Code, Chapter 65, Local Planning Act.

2. **Recreation and Pathways Map:** The Recreation and Pathways Master Plan Map indicates a future trail through the NEC of the site, situated along Indian Creek. Accordingly, it is the City’s goal and desire to increase the number of trails and pathways in Kuna. It is necessary for each parcel to develop trails and pathways along their frontages of creeks, canals and ditches to comply with the Master Plan’s goals by either starting a pathway, or extending one in that area at time of development.



3. **Surrounding Land Uses:**

North	A	Agriculture – Kuna City
South	RUT	Rural Urban Transition – Ada County
East	RUT	Rural Urban Transition – Ada County
West	RR	Rural Residential – Ada County

4. **Parcel Sizes, Current Zoning, Parcel Numbers:**

Property Owner	Parcel Size (Approximately)	Current Zone: (RUT) Rural Urban Transition	Parcel Number
N Star Farm, LLC	39.48 acres	RUT – Ada County	S1322438400

5. **Services:**

- Sanitary Sewer– City of Kuna (at time of development)
- Potable Water – City of Kuna (at time of development)
- Irrigation District – Boise-Kuna Irrigation District
- Pressurized Irrigation – City of Kuna (KMID) (at time of development)
- Fire Protection – Kuna Rural Fire District
- Police Protection – Kuna Police (Ada County Sheriff’s office)
- Sanitation Services – J & M Sanitation

6. **Existing Structures, Vegetation and Natural Features:**

The majority of this land is being used for agricultural purposes, a small part of it was used for residential purposes (Approx. 1.5 ac.) Applicant anticipates that the land will continue the historic agricultural uses on

the lands until development occurs. The mobile home that was on site, has been removed. There are two outbuildings on site any ancillary sheds or other buildings remaining will be removed prior to development.

7. Transportation / Connectivity:

The applicant has not proposed connection to public streets at this time, as the application is solely for annexation into Kuna City limits. At the time of future development, access points will need to follow design standards according to City and ACHD (Ada County Highway Dist.) codes in place at that time. Current legal points of access being used at this time may remain until development requires a change.

8. Environmental Issues:

Staff is not aware of any environmental, health or safety conflicts.

9. Agency Responses: The following responding agency comments are included as exhibits with this case file:

- Kuna City Engineer (Paul Stevens) – Exhibit B-1 [*This report will be late, due to his recent hiring*].
- Ada County Highway District (ACHD – Austin Miller) – Exhibit B-2
- Boise-Kuna Irrigation District (Lauren Boehlke) – Exhibit B-3
- Cable One TV (Brett Pike) – Exhibit B-4
- Community Planning Association of Southwest Idaho (COMPASS – Carl Miller) – Exhibit B-5

F. Staff Analysis:

The applicant is only interested in annexation of the property at this time. However, in the future when development is desired, the project will be required to submit for subdivision and design review approvals (for landscaping and monument signage) and follow the public hearing process for those entitlements.

Among the Category ‘A’ annexation requirements for annexing lands into the city, a land owner must submit a written request for annexation. Furthermore, it requires that parcels must touch current city limits. The property touches Kuna City limits on its north property line and is adjacent to a principle arterial, Kuna Road. All major public utilities are approximately 1,325 feet east, at Ten Mile and Kuna Roads. Applicant has been made aware that development of this parcel will require extension of, and connection to all city services and require connection fees for that purpose. It is anticipated when these lands move forward with development in the future, it will likely require more than one phase for complete build-out.

Staff has reviewed Kuna’s Comprehensive Plan (Comp Plan), and found the Comp Plan encourages a variety of housing types for all income levels numerous times throughout the document. Pertinent sections of the Comp Plan that address housing types are included below, in Section K (Comp Plan Analysis) of this report. The City attempts to balance all housing types within the City. Staff will work with the applicant in the future when an application comes forward for a preliminary plat to ensure technical compliance with Kuna City Code (KCC), as required. Staff would recommend that the applicant work with Kuna City, ACHD, and Kuna Rural Fire District (KRFD) to conform to each agency’s requirements.

Staff has determined this application complies with Title 5 of the Kuna City Code; Idaho Statute § 67-6511; and the Kuna Comprehensive Plan document; and forwards a recommendation of approval for Case No’s 17-09-AN, subject to any conditions of approval outlined by Kuna’s Commission and City Council.

G. Applicable Standards:

1. City of Kuna Zoning Ordinance Title 5, Chapter 13.
2. City of Kuna Comprehensive Plan, adopted September 1, 2009.
3. Idaho Code, Title 67, Chapter 65- the Local Land Use Planning Act.

H. Procedural Background:

On January 9, 2018, the Planning and Zoning Commission considered the case, including the application, agency comments, staff's memo, the application exhibits and public testimony presented or given.

I. Factual Summary:

This parcel is located near the northwest corners of Ten Mile and Kuna Roads. The project consists of 39.48 (approx.) acres and is adjacent to City limits and is currently zoned RUT (Rural Urban Transition – County). Applicant requests to annex the parcel into Kuna City with the R-8 (Medium Density Residential) zone. This parcel is adjacent to Kuna Road; a principle arterial.

J. Findings of Fact:

Based upon the record contained in Case No. 17-09-AN, including the Comprehensive Plan, Kuna City Code, staff's memorandums, including the exhibits, and the testimony during the public hearing, the Kuna Commission hereby recommends **approval** of the Findings of Fact and Conclusions of Law, and conditions of approval for Case No. 17-09-AN, a request for annexation into Kuna City limits by the applicant follows:

The Commission concludes that the applications comply with the City of Kuna's Zoning regulations (Title 5) of KCC and/or the Subdivision regulations outlined in title 6 of KCC.

1. The Kuna Commission accepts the facts as outlined in the staff memo, the public testimony and the supporting evidence list presented.

Comment: *The Kuna Commission held a public hearing on the subject applications on January 2, 2018, to hear from City staff, the applicant and to accept public testimony. The decision by the Commission is based on the application, staff report and public testimony, both oral and written.*

2. Based on the evidence contained in Case No. 17-09-AN, this proposal appears to *generally* comply with the Comprehensive Plan.

Comment: *The Comp Plan has listed numerous goals for providing single-family housing in Kuna. The Comp Plan describes this property as Medium Density. As this project proposes to accommodate single-family residential uses, the project follows the goals of the Comp Plan.*

3. The Kuna Commission has the authority to recommend **approval** for this application.

Comment: *On January 9, 2018, the Commission voted to recommend **approval** for case No. 17-09-AN.*

4. The public notice requirements were met and the public hearing was conducted within the guidelines of applicable Idaho Code and City Ordinances.

Comment: *As noted in the process and noticing sections, notice requirements were met to hold a public hearing on January 9, 2018.*

K. City Commissions Comprehensive Plan Analysis:

Commission determines the proposed annexation and zoning request for the *site is* consistent with the following Comp Plan components:

Housing:

Residents expressed interest in a mix of residential type dwellings applications; including a variety of housing. They were receptive to a greater mix of lot sizes and house price to appeal to a variety of people. A goal expressed by many was the preservation of large lots and rural cluster development in appropriate balance with a complement of other types of residential development (Page 21 Comprehensive Plan [CP]).

Comment: *The Comp Plan provides for a mix of residential uses. This project has proposed a zone that provides an opportunity for a variety of densities, therefore it generally conforms to the Comp Plan goals and policies.*

Private Property Rights Goals and Objectives - Section 2 - Summary:

Ensure the City land use policies, restrictions, conditions and fees do not violate private property rights and ensure that land use actions, decisions, and regulations do not effectively eliminate all economic value of the subject property. Ensure that City land use actions, decisions, and regulations do not prevent a private property owner from taking advantage of a fundamental property right and staff shall evaluate with guidance from the City's attorney; the Idaho Attorney General's six criterion established to determine the potential for property taking.

Comment: *Utilizing the Idaho Attorney General's criteria, and a review by the City Attorney, the proposed project does/does not constitute a "takings" and the Economic value is intact.*

Economic Development Goals and Objectives - Section 5 - Summary:

Promote and ensure an adequate supply of housing for all income levels and facilitate pedestrian connections, both visually and physically, to enhance pedestrian movement (Pg. 42 – 1.5 and Pg. 43 – 3.1 [CP]).

Comment: *The Comp Plan encourages an adequate mix of housing for all income levels and calls for increasing pedestrian connections. The requested zoning for this project provides an opportunity for a number of additional housing types to Kuna's inventory and quality housing. At time of development, this project should be conditioned to add to the City's pedestrian network for non-motorized transportation, by proposing pathway connections for future development to connect to in the future.*

Land Use Goals and Objectives - Section 6 - Summary:

Adopt a future land use plan and map that includes natural and developed open spaces, while providing a variety of housing densities and types to accommodate various lifestyles, ages and economic groups. Protect existing neighborhoods and ensure new development is sustainable and keeps Kuna desirable. Develop cohesive neighborhoods with character and quality while incorporating a variety of densities and styles (Pg. 64 – 3.1 & Goal 3, and Pg. 65 – 4.3 [CP]).

Comment: *The requested zoning provides an opportunity for quality housing opportunities and multiple housing varieties to the City's inventory for all types of lifestyles, ages and economic groups.*

Housing Goals and Objectives - Section 12 - Summary:

Encourage developers to provide high-quality development with a variety of lot sizes, dwelling types, densities and price points to meet the needs of current and future population while creating safe and aesthetically-pleasing neighborhoods. Ensure housing is available throughout the community for all income levels and those with special needs. Encourage logical and orderly development while discouraging development of land divisions greater than one half acre because large lot subdivisions increase municipal costs, require public subsidy and create sprawl (Pg. 155 – Obj. 1.1, Pg. 163 12.4 and Pg. 165 – 2.1 [CP]).

Comment: *With the requested zoning, applicant proposes a future high quality development with a variety of dwelling types, densities, and price points for all income levels Kuna as encouraged by the Comp Plan. In the future, this project could add to the City's overall network of, utilities, sidewalks and roadways, therefore it complies with logical, orderly development and discourages land divisions and development greater than one half acre, and could avoid increased municipal services costs and sprawl.*

Community Design Goals and Objectives - Section 13 - Summary:

Strengthen Kuna's Image through good community and urban design principles that create well planned neighborhoods. Foster good community design concepts that incorporate landscape features to serve as buffers between incompatible uses while reducing scale and creates a sense of place (Pg.167 – Goal 1 and Pg. 168 – 1.2 and 2.1[CP]).

Comment: Applicant should be conditioned to offer good community and urban design principles through creation of greenspaces, add to the pedestrian pathway network and add to the City's sidewalk network. At time of future development, applicant shall improve classified roadways, which add to the roadway system thereby complying with the adopted Master Street Plan of Kuna (Functional Classified Road Map). At time of development, the applicant should be conditioned to incorporate landscape buffers creating a sense of place for citizens. With future development, the applicant should be conditioned to follow sound community design concepts and comply with the Comp Plan goals and help strengthen Kuna's image.

L. City Council's Idaho State Code Analysis:

1. **IC §67-6511 (2) C** requires that the Commission analyze the proposed changes to zoning ordinances to ensure that they are not in conflict with the policies of the adopted comprehensive plan. If the request is found by the governing board to be in conflict with the adopted plan, **or** would result in demonstrable adverse impacts upon the delivery of services by any political subdivision providing public services, including school districts, within the planning jurisdiction.
2. **IC §67-6513** provides that the City provide for mitigation of the effects of subdivision development on the ability of political subdivisions of the state, including school districts, to deliver services without compromising quality of service delivery to current residents or imposing substantial additional costs upon current residents to accommodate the proposed subdivision.
3. Through discussions and comments submitted by public service providers, the project would not create demonstrable adverse impact to quality of emergency service and/or delivery of said services, or impose substantial additional costs to current residents.

M. P & Z Commission's Conclusions of Law:

The public notice requirements have been met and the neighborhood meeting was conducted within the guidelines of applicable Idaho Code and City Ordinances.

1. The Commission feels the site **is** physically suitable for development in the future.

Comment: The 39.48 acre (approximate) proposal appears to be suitable for annexation, as proposed.

2. The annexation request **is not** likely to cause substantial environmental damage or avoidable injury to wildlife or their habitat.

Comment: The land to be annexed is not used as wildlife habitat. Roads, driveways, family units and open spaces are planned for construction according the City and ACHD requirements and best practices and will therefore not cause environmental damage or loss of habitat.

3. The annexation application **is not** likely to cause adverse public health problems.

Comment: The annexation of the property would generally comply with the Comp Plan. In the future, the project would connect to public sewer and potable water systems, therefore eliminating the occurrence of adverse public health problems.

4. The application appears to avoid detriment to the present and potential surrounding uses; to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing adjacent uses.

Comment: *Through correspondence with public service providers and application evaluation, this annexation request appears to avoid detriment to surrounding uses. Commission did consider the annexation and the location of the property with adjacent uses.*

5. The existing and proposed street and utility services in proximity to the site **are not** suitable or adequate for future residential purposes.

Comment: *Correspondence from ACHD and Kuna Public Works confirms that the streets and utility services are not suitable and adequate for this specific project.*

6. Based on the evidence contained in Case No. 17-09-AN, Commission finds Case No. 17-09-AN adequately complies with Kuna City Code.
7. Based on the evidence contained in Case No. 17-09-AN, Commission finds Case No. 17-09-AN generally complies with Kuna's Zoning Code.

N. Commission's Recommended Conditions of Approval:

Note: 17-09-AN (Annexation): Based upon the facts outlined in staff's memo, the Comp Plan, City Code, the record before the Commission, the applicant's presentation, public testimony and discussion during the January 9, 2018, public hearing, the Kuna Commission votes to **recommend approval** for Case No. 17-09-AN with the following conditions of approval at time of development in the future:

- Applicant shall follow all applicable staff recommended conditions stated in the staff report.
 - Applicant shall be awarded the R-8 Medium Density Zoning.
 - Sewer capacity issues will be discussed at City Council.
1. The applicant and/or owner shall obtain written approval on letterhead or may be written/stamped on the approved plans of the construction plans from the agencies noted below. All submittals are required to include the lighting, landscaping, drainage, and development plans. All site improvements are prohibited prior to approval of the following agencies:
 - a. The City Engineer shall approve the sewer hook-ups.
 - b. The City Engineer shall approve the drainage and grading plans. Central District Health Department recommends the plan be designed and constructed in conformance with standards contained in, "Catalog for Best Management Practices for Idaho Cities and Counties". No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of the drainage plan.
 - c. The Kuna Fire District shall approve fire flow requirements and/or building plans. Installation of fire protection facilities as required by Kuna Fire District is required.
 - d. The *Boise-Kuna* Irrigation District shall approval any modifications to the existing irrigation system.
 - e. Approval from Ada County Highway District (ACHD) shall be obtained and Impact Fees must be paid prior to *issuance* of any building permit(s).
 2. All public rights-of-way shall be dedicated and constructed to standards of the City, Ada County Highway District and Idaho Transportation Department. No public street construction may commence without the approval and permit from Ada County Highway District and/or Idaho Transportation Department.
 - 2.1- With development and as necessary, dedicate right-of-way in sufficient amounts to follow City and ACHD standards and widths.
 3. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground, see **KCC 6-4-2-W**.
 4. Compliance with Idaho Code, Section §31-3805 pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site. Compliance with the requirements of the Boise Project Board of Control is required.

5. When required, submit a petition to the City (as necessary, confirmed with the City engineer) consenting to the pooling of irrigation surface water rights for delivery purposes and request to annex the irrigation surface water rights appurtenant to the property over to the Kuna Municipal Pressure Irrigation system of the City (KMID).
6. Street lights and parking lights for the site shall be LED lighting and must comply with Kuna City Code and established Dark Skies practices.
7. Parking within the site shall comply with Kuna City Code. (Unless specifically approved otherwise).
8. Fencing within and around the site shall comply with Kuna City Code (Unless specifically approved otherwise and permitted). Perimeter fencing (and permit) is required prior to requesting final plat signatures from Kuna City Clerk and Engineer.
9. All signage within/for the project shall comply with Kuna City Code and shall be approved in the design review process with all new commercial and multi-family.
10. All required landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace unhealthy or dead plant material within 3 days or as the planting season permits as required to meet the standards of these requirements. Maintenance and planting within public rights-of-way shall be with approval from the public entities owning the property.
11. The land owner/applicant/developer, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the City Council, or seek amending them through public hearing processes.
12. Applicant shall follow staff, City engineers and other agency recommended requirements as applicable.
13. Developer/owner/applicant shall comply with all local, state and federal laws.

DATED: This 23rd day of January, 2018.



Lee Young, Chairman
Kuna Planning & Zoning Commission

ATTEST:



Troy Behunin, Planner III
Kuna Planning & Zoning Dept.

**CITY OF KUNA
PLANNING & ZONING COMMISSION**

**MEETING MINUTES
Tuesday, January 9, 2018**

PZ COMMISSION MEMBER	PRESENT	CITY STAFF PRESENT:	PRESENT
Chairman Lee Young	Absent	Wendy Howell, Planning Director	X
Commissioner Dana Hennis	Absent	Troy Behunin, Senior Planner	X
Commissioner Cathy Gealy	X	Jace Hellman, Planner II	X
Commissioner Stephen Damron	X		
Commissioner John Laraway	X		

6:00 pm – COMMISSION MEETING & PUBLIC HEARING

Commissioner Gealy called the meeting to order at **6:00 pm**.

Call to Order and Roll Call

1. CONSENT AGENDA

- a) Meeting Minutes for December 12, 2017
- b) **Findings of Fact and Conclusions of Law** for 17-10-S (Pre-Plat) and 17-23-DR (Design Review); Gran Prado Subdivision.

Commissioner Damron motions to approve the consent agenda; Commissioner Laraway Seconds, all aye and motion carried 3-0.

2. PUBLIC HEARING

- a. **17-06-SUP (Special Use Permit) & 17-19-DR (Design Review)**; On behalf of Victor Clark, Troy Lachcik with ALC Architecture requests Special Use Permit (SUP) and Design Review (DR) approval to construct one triplex of townhouses on the north end of an approximately 0.51-acre lot. The site is located at 1394 W Park Avenue, Kuna, ID 83634.
- Applicant has requested this item be tabled to the regular Planning & Zoning Commission meeting on January 23, 2018

Jace Hellman: This case, was rather contentious, and with shortage of commission members this evening, that applicant has requested that this case be tabled out of fairness to all of those who may be impacted by the decision. So, the applicant has requested that this case be tabled to January 23rd.

Commissioner Damron Motions to table case Nos. 17-06-SUP & 17-19-DR until the meeting of January 23rd; Commissioner Laraway Seconds, all aye and motion carried 3-0.

- b. **17-09-AN (Annexation)**; A request from Kirsti Grabo with KM Engineering (on behalf of N Star Farm, LLC), seeking annexation of approximately 39.48 acres into Kuna City with an R-8 zone (Med. Den. Res.). The site is formerly known as the Urza property and is addressed as 2030 W. Kuna Road, located near the northwest corner of Ten Mile and Kuna Roads, Kuna, Idaho, within Section 22, T2N, R1W, (A.P.N. # S1322438400).

Kirsti Grabo: Good evening, my name is Kirsti Grabo with KM engineering, 9233 W State St in Boise. I am here tonight on behalf of Tim Eck, the owner of this property. This property before is about 40 acres of agricultural

**CITY OF KUNA
PLANNING & ZONING COMMISSION**

**MEETING MINUTES
Tuesday, January 9, 2018**

ground about a quarter mile west of Ten Mile Rd. on the north side of Kuna Rd. Currently the property is zoned RUT in Ada County, but it is contiguous to city limits on the north and also on the southeast corner of the property. The future land use map for this area calls of medium density residential, so our request would be to be annexed into the city with an R-8 zoning. There are some R-4's and R-6's in the general vicinity, but nothing contiguous to this, so we feel like this would be a good opportunity to get some higher density, and some of those smaller lot sizes that we know the market is looking for at this point and time, but then obviously we would still be in compliance with the comprehensive plan and that medium density residential. We do have a preliminary lot layout in the works, but we do not have a preliminary plat at this time. We thought it would be prudent to have feedback on the zoning before we put together any formal drawings, but we do anticipate following up this application with preliminary plat in the coming months. Not a whole lot more to say about this one, but I would be happy to stand for any questions that you might have. **C/Gealy:** Any questions? **C/Damron:** Not at this time. **C/Gealy:** Thank you. **Troy Behunin:** Good evening Commissioners, for the record, Troy Behunin, Planner III, 751 W 4th St. The application that is before you tonight, 17-09-AN, annexation is for the former Urza property, and is presented to you for your recommendation of approval, conditional approval or denial of this annexation application. Hopefully you have had a chance to review your packet for tonight's hearing, and I am sure you all have. Staff and the applicant have worked together to put all of this material together, so you can come to a recommendation for this application at the end. So, Kirsti already did a very good job, and I would just like to punctuate that they are seeking just annexation at this time, they are not seeking any development at this time. The property does touch city limits which is a requirement for a category "A" annexation. It touches the limits at the north side of this property, it is approximately 39 acres, and they are requesting an R-8 zone which does fit squarely within the comprehensive plan map designation. So, it does follow that, the site is located near the northwest corner of Kuna Rd. & Ten Mile Rd. They do have plenty of frontage on Kuna Rd, and it is possible that we will have a mid-mile collector on the west side of the property. That is where the transportation map has the mid-mile collector located. It is anticipated that sometime in the future when things do line up a preliminary plat will come forward, and possibly with multiple phases, but that is not being presented tonight. The applicant will be required to extend all public utilities at the time of development, which will consist of about a quarter mile of trenching from the intersection of Kuna Rd. and Ten Mile to the east side of this property. Staff has worked with the applicant to get you all of this information tonight, and staff does find this application to be in concert with the Comprehensive Plan, its goals and its map and we look forward to this project bringing a new chapter to Kuna's history in the southwest corner of Kuna, and I will stand for any questions that you have. **C/Laraway:** Just a clarification, and I heard you use this phrase, they are requesting annexation AND an R-8 zone, are we doing two things? **Troy Behunin:** At the time of annexation they have to request a zone, because the zoning in the county does not correlate with the zoning in the City, so they have to choose a zone. So, we are not rezoning the property in terms of city to city, they are changing the zone from county to city, does that make sense? **C/Laraway:** I think so. **Troy Behunin:** They have to choose a zone. **C/Damron:** The applicant has been given the City Engineers comments? **Troy Behunin:** Yes, that was a late arrival today, but they were forwarded that, and you folks have received that as well, and I apologize for the late entry. **C/Gealy:** Any other questions for staff? **C/Damron:** No, thanks Troy. **C/Gealy:** In which case it is 6:10 and we will open the public hearing. **Troy Behunin:** I just wanted to put on record, that the reason for the delay is that we have just hired a new City Engineer. **C/Gealy:** Do we have a sign in sheet? So, the public hearing for 17-09-AN we have a sign in sheet and there is nobody signed in to speak either in favor, neutral, or in opposition. We have some people gathered here, is there anyone that hasn't signed in that would like to speak. Seeing one hand raised, I would ask you to step forward and sign in. **Tim Gordon:** Tim Gordon, 1206 N Black Cat, we are the property contiguous to this on the North, and I just wanted to say I support the annexation. **C/Gealy:** Is there anyone else that wants to speak? **Tim Eck:** Good evening commissioners, my name is Tim Eck, I am the applicant 6152 W Half Moon Lane, in Eagle, Idaho. We did receive

**CITY OF KUNA
PLANNING & ZONING COMMISSION**

**MEETING MINUTES
Tuesday, January 9, 2018**

the comments from Public Works at about 4:00 PM, and are a bit surprised at the comment on the density over the failure of the City to maintain the services I was promised when I went to the City Engineer prior to buying this property. I was assured, there was more than adequate capacity to service the property, and I know there have been issues at the Ten Mile lift station, and they currently working on many plans to get resolved. This will be a multi-phase project, it will take years to build, and we wont even touch it until 2019. We will work on the entitlement process this year and get the phase one design. We are asking for an R-8 allowed in the Comp Plan, we have a layout that is currently right at five per acre, if the Engineer would have said five per acre I would have even commented. Less than four is not consistent with the Comp Plan, and it is not consistent with anything. I believe it is a knee jerk reaction to failing to meet commitment that have been made. Before I buy any property, I make sure capacity exists for the facilities I will need, and that is my standard due diligence. I believe there is time to achieve the necessary improvements, repairs and modifications or whatever has to happen to the current City facilities to accommodate the R-8 zoning that we are asking for, the five per acre density that we will likely have, but to fall in suite with the Engineer's recommendations to limit it to less than four per acre is a Ludacris comment, so I would stand for any questions. **C/Laraway:** I have none. **C/Damron:** When you proposed that to the City Engineer before you bought that property and you notified him what your plan was, did you get that in writing? **Tim Eck:** No, I did not. **C/Damron:** Okay. **Tim Eck:** No, this was verbal conversations that took place on a regular basis with the City Engineer at the time, Mr. Law, and I know that he certainly had plans and visions for what would happen with the City's infrastructure, and when he retired I think there is a line of uncertainty where everything is going. **C/Gealy:** Thank you, if there are no further comments I would close the public hearing at 6:15. Staff would you have any comments to offer? **Troy Behunin:** Staff has nothing to add at this time. **C/Gealy:** Thank you, which brings it back to us for a discussion. **C/Laraway:** It falls within the Comp Plan, it's a medium density and it falls within everything that we require. I don't see any issues with it. I don't have a problem with anything I am seeing or hearing so far. The plat will come out later and we will have more information, but for annexation, and our coding, I don't have a problem with it. **C/Damron:** Well we have seen Mr. Eck here many times working with the City. If he says he had those conversations with the Engineer, I tend to say the probably happened. The lift station, not having enough connection, as it says here or the capacity, I believe that is a City issue that we need to rectify knowing that there is probably going to be more building out there, so I think we need to have that addressed, but I don't believe that is his issue. His issue is to go along with the Engineer that he had prior conversations with. I am in agreement with you John that is all seems to meet everything we have in the Comp Plan, and everything we want to do in those more rural areas. **C/Laraway:** I have nothing else.

Commissioner Laraway Motions to recommend approval to City Council 17-09-AN, with an R-8 zone and with the conditions as outlined in the staff report, Commissioner Damron Seconds, all aye and motion carried 3-0.

3. COMMISSION REPORTS

4. ADJOURNMENT

Commissioner Damron motions to adjourn; Commissioner Laraway Seconds, all aye and motion carried 3-0.

**CITY OF KUNA
PLANNING & ZONING COMMISSION**

**MEETING MINUTES
Tuesday, January 9, 2018**

Lee Young, Chairman
Kuna Planning and Zoning Commission

ATTEST:

Wendy I. Howell, Planning and Zoning Director
Kuna Planning and Zoning Department

CITY OF KUNA

**PO BOX 13 KUNA, ID 83643 * 751 W. 4TH* PH. 208.922.5546 * FAX 208.922.5989 *
JMARSH@KUNAID.GOV**

TO: MAYOR STEAR AND MEMBERS OF KUNA CITY COUNCIL
FROM: John Marsh – Kuna City Treasurer
SUBJECT: FINANCIAL RESULTS YTD MONTH ENDING 1/31/2018
DATE: 2/15/2018

SUMMARY DISCUSSION

The year-to-date (YTD) financial results through January 31, 2018 are attached. The results are positive and as expected thus far. As a result I have nothing negative to report.

As such, I don't plan on presenting detail unless you have specific questions. If you do have specific questions please pose them to me prior to the meeting so that I can provide the necessary detail at the meeting.

Thank You,

John Marsh
Kuna City Treasurer



CITY OF KUNA, IDAHO
YEAR-TO-DATE (YTD) FINANCIAL RESULTS
AS OF MONTH ENDING JANUARY 31, 2018
FISCAL YEAR ENDING SEPTEMBER 30, 2018

GENERAL FUND										
YTD AS OF MONTH ENDING JANUARY 31, 2018					FIVE-YEAR YTD COMPARISON					
FINANCIAL ACTIVITY	YTD ACTUAL	ANNUAL BUDGET	% OF ANNUAL BUDGET REALIZED	% OF FISCAL YEAR ELAPSED	FY 2014	FY 2015	FY 2016	FY 2017	FY 2018	TREND
REVENUE										
TAXES	\$529,816	\$3,209,476	17%		\$224,564	\$233,631	\$259,659	\$293,043	\$529,816	
INTERGOVERNMENTAL	\$74,574	\$184,594	40%		\$33,941	\$33,231	\$38,239	\$39,919	\$74,574	
LICENSES/PERMITS/FEES	\$436,670	\$1,273,676	34%		\$88,160	\$133,547	\$184,937	\$289,741	\$436,670	
OTHER	\$8,098	\$28,085	29%		\$13,514	\$4,097	\$6,240	\$4,250	\$8,098	
RESERVES FORWARD	\$1,562,576	\$1,411,604	111%		\$864,374	\$1,051,071	\$1,449,814	\$1,487,385	\$1,562,576	
TOTAL REVENUE	\$2,611,734	\$6,107,435	43%		\$1,224,553	\$1,455,577	\$1,938,889	\$2,114,338	\$2,611,734	
OPERATING REVENUE	\$1,049,158	\$4,695,831	22%		\$360,179	\$404,506	\$489,075	\$626,953	\$1,049,158	
EXPENDITURES										
PUBLIC SAFETY	\$677,670	\$2,032,994	33%	33.33%	\$405,163	\$409,183	\$420,495	\$431,104	\$677,670	
LABOR & BENEFITS	\$481,192	\$1,702,777	28%		\$214,744	\$217,372	\$237,135	\$321,358	\$481,192	
GENERAL GOVT.	\$204,665	\$748,734	27%		\$112,243	\$100,672	\$135,744	\$130,972	\$204,665	
INTERFUND TRANSFERS	\$0	\$388,110	0%		\$0	\$0	\$0	\$608,075	\$0	
CAPITAL OUTLAY	\$0	\$0	-		\$74,009	\$29,353	\$0	\$0	\$0	
DEBT COVERAGE	\$0	\$0	-		\$0	\$0	\$0	\$0	\$0	
OTHER	\$0	\$9,000	0%		\$5,000	\$2,575	\$2,500	\$0	\$0	
CONTINGENCY	\$378,088	\$1,225,819	31%		\$2,000	\$106,617	\$1,350	\$4,564	\$378,088	
ENCUMBRANCES	\$8,558	-	-		\$41,258	\$926	\$1,047	\$1,775	\$8,558	
TOTAL EXPENDITURES	\$1,750,173	\$6,107,435	29%		\$854,417	\$866,698	\$798,271	\$1,497,848	\$1,750,173	
OPERATING EXPENDITURES	\$1,372,085	\$4,881,616	28%		\$852,417	\$760,081	\$796,921	\$1,493,284	\$1,372,085	
TOTAL REVENUE NET OF TOTAL EXPENDITURES	\$861,561	\$0			\$370,136	\$588,879	\$1,140,618	\$616,490	\$861,561	
OPERATING REVENUE NET OF OPERATING EXPENDITURES	(\$322,927)	(\$185,785)			-\$492,238	-\$355,575	-\$307,846	-\$866,331	-\$322,927	
OUTSTANDING DEBT	\$0									
CASH & NET INVESTMENT POSITION										
TOTAL	\$996,783				\$730,753	\$657,390	\$1,163,618	\$666,570	\$996,783	
AVAILABLE	\$893,610				-	-	-	-	-	
NOT AVAILABLE (ENCUMBERED)	\$103,173				-	-	-	-	-	
RESTRICTED	\$0				-	-	-	-	-	

WATER FUND										
YTD AS OF MONTH ENDING JANUARY 31, 2018					FIVE-YEAR YTD COMPARISON					
FINANCIAL ACTIVITY	YTD ACTUAL	ANNUAL BUDGET	% OF ANNUAL BUDGET REALIZED	% OF FISCAL YEAR ELAPSED	FY 2014	FY 2015	FY 2016	FY 2017	FY 2018	TREND
REVENUE										
<i>USER FEES</i>	\$571,712	\$1,849,903	31%		\$323,197	\$345,309	\$373,046	\$399,758	\$571,712	
<i>CAPITAL REVENUE</i>	\$278,836	\$586,089	48%		\$30,078	\$44,265	\$76,318	\$184,013	\$278,836	
<i>OTHER</i>	\$65,870	\$201,431	33%		\$5,309	\$4,305	\$13,133	\$31,239	\$65,870	
<i>RESERVES FORWARD</i>	\$4,021,414	\$2,754,793	146%		\$2,128,130	\$2,218,170	\$2,386,249	\$2,743,699	\$4,021,414	
TOTAL REVENUE	\$4,937,832	\$5,392,216	92%		\$2,486,714	\$2,612,049	\$2,848,746	\$3,358,709	\$4,937,832	
OPERATING REVENUE	\$916,418	\$2,637,423	35%		\$358,584	\$393,879	\$462,497	\$615,010	\$916,418	
EXPENDITURES										
<i>LABOR & BENEFITS</i>	\$188,347	\$708,892	27%	33.33%	\$137,516	\$119,268	\$129,950	\$148,660	\$188,347	
<i>GENERAL GOVT.</i>	\$108,132	\$510,215	21%		\$91,366	\$92,685	\$91,413	\$103,853	\$108,132	
<i>CAPITAL OUTLAY</i>	\$82,429	\$2,108,024	4%		\$6,149	\$24,544	\$109,622	\$114,834	\$82,429	
<i>DEBT COVERAGE</i>	\$0	\$0	-		\$0	\$0	\$0	\$0	\$0	
<i>OTHER</i>	\$0	\$4,000	0%		\$4	\$8	\$33	\$0	\$0	
<i>CONTINGENCY</i>	\$2,497	\$2,061,085	0%		\$0	\$0	\$0	\$4,415	\$2,497	
<i>ENCUMBRANCES</i>	\$1,935	-	-		\$19,900	\$15,704	\$59,979	\$8,890	\$1,935	
TOTAL EXPENDITURES	\$383,340	\$5,392,216	7%		\$254,935	\$252,209	\$390,997	\$380,652	\$383,340	
OPERATING EXPENDITURES	\$380,843	\$3,331,131	11%		\$254,935	\$252,209	\$390,997	\$376,237	\$380,843	
TOTAL REVENUE NET OF TOTAL EXPENDITURES	\$4,554,492	(\$0)			\$2,595,661	\$2,359,840	\$2,457,749	\$2,978,057	\$4,554,492	
OPERATING REVENUE NET OF OPERATING EXPENDITURES	\$535,575	(\$693,708)			\$103,649	\$141,670	\$71,500	\$238,773	\$535,575	
OUTSTANDING DEBT	\$0									

CASH & NET INVESTMENT POSITION										
TOTAL	\$4,644,369				\$2,342,349	\$2,435,773	\$2,605,837	\$3,125,304	\$4,644,369	
AVAILABLE	\$4,292,391				-	-	-	-	-	
NOT AVAILABLE (ENCUMBERED)	\$52,568				-	-	-	-	-	
RESTRICTED	\$299,410				-	-	-	-	-	

SEWER FUND										
YTD AS OF MONTH ENDING JANUARY 31, 2018					FIVE-YEAR YTD COMPARISON					
FINANCIAL ACTIVITY	YTD ACTUAL	ANNUAL BUDGET	% OF ANNUAL BUDGET REALIZED	% OF FISCAL YEAR ELAPSED	FY 2014	FY 2015	FY 2016	FY 2017	FY 2018	TREND
REVENUE										
<i>USER FEES</i>	\$758,650	\$2,227,403	34%		\$428,387	\$449,689	\$482,947	\$515,391	\$758,650	
<i>CAPITAL REVENUE</i>	\$216,046	\$480,878	45%		\$17,794	\$14,594	\$40,357	\$127,977	\$216,046	
<i>OTHER</i>	\$46,415	\$327,020	14%		\$36,574	\$42,943	\$41,650	\$41,571	\$46,415	
<i>RESERVES FORWARD</i>	\$3,502,603	\$2,984,664	117%		\$1,986,438	\$2,226,175	\$2,400,505	\$2,668,775	\$3,502,603	
TOTAL REVENUE	\$4,523,714	\$6,019,965	75%		\$2,469,193	\$2,733,401	\$2,965,459	\$3,353,714	\$4,523,714	

OPERATING REVENUE	\$1,021,111	\$3,035,301	34%	33.33%	\$482,755	\$507,226	\$564,954	\$684,939	\$1,021,111		
EXPENDITURES											
LABOR & BENEFITS	\$215,784	\$805,120	27%			\$144,057	\$140,670	\$154,312	\$171,581	\$215,784	
GENERAL GOVT.	\$204,468	\$1,163,733	18%			\$152,591	\$158,621	\$170,349	\$164,704	\$204,468	
CAPITAL OUTLAY	\$18,837	\$2,416,770	1%			\$265,271	\$250,382	\$171,236	\$53,459	\$18,837	
DEBT COVERAGE	\$0	\$0	-			\$0	\$0	\$0	\$0	\$0	
OTHER	\$0	\$10,000	0%			\$0	\$8	\$33	\$0	\$0	
CONTINGENCY	\$0	\$1,624,342	0%			\$0	\$0	\$0	\$4,437	\$0	
ENCUMBRANCES	\$392	-	-			\$31,672	\$5,166	\$2,244	\$94,831	\$392	
TOTAL EXPENDITURES	\$439,481	\$6,019,965	7%			\$593,591	\$554,847	\$498,174	\$489,012	\$439,481	
OPERATING EXPENDITURES	\$439,481	\$4,395,623	10%		\$561,919	\$549,681	\$495,930	\$394,181	\$439,481		
TOTAL REVENUE NET OF TOTAL EXPENDITURES	\$4,084,233	\$0			\$1,875,602	\$2,178,554	\$2,467,285	\$2,864,702	\$4,084,233		
OPERATING REVENUE NET OF OPERATING EXPENDITURES	\$581,630	(\$1,360,322)			-\$79,164	-\$42,455	\$69,024	\$290,758	\$581,630		
OUTSTANDING DEBT	\$0										

CASH & NET INVESTMENT POSITION										
TOTAL	\$4,094,238				\$2,886,304	\$2,843,404	\$3,260,257	\$3,506,100	\$4,094,238	
AVAILABLE	\$4,029,368				-	-	-	-	-	
NOT AVAILABLE (ENCUMBERED)	\$64,870				-	-	-	-	-	
RESTRICTED	\$0				-	-	-	-	-	

IRRIGATION FUND											
YTD AS OF MONTH ENDING JANUARY 31, 2018					FIVE-YEAR YTD COMPARISON						
FINANCIAL ACTIVITY	YTD ACTUAL	ANNUAL BUDGET	% OF ANNUAL BUDGET REALIZED	% OF FISCAL YEAR ELAPSED	FY 2014	FY 2015	FY 2016	FY 2017	FY 2018	TREND	
REVENUE											
USER FEES	\$290,642	\$618,587	47%	33.33%	\$159,200	\$173,529	\$181,429	\$201,776	\$290,642		
CAPITAL REVENUE	\$139,062	\$318,657	44%		\$24,686	\$25,645	\$58,236	\$91,906	\$139,062		
OTHER	\$13,523	\$142,703	9%		\$274	\$1,542	\$2,001	\$1,056	\$13,523		
RESERVES FORWARD	\$1,321,401	\$1,588,537	83%		\$908,580	\$1,017,733	\$1,280,556	\$1,564,973	\$1,321,401		
TOTAL REVENUE	\$1,764,628	\$2,668,484	66%		\$1,092,740	\$1,218,449	\$1,522,222	\$1,859,711	\$1,764,628		
OPERATING REVENUE	\$443,227	\$1,079,947	41%		\$184,160	\$200,716	\$241,666	\$294,738	\$443,227		
EXPENDITURES											
LABOR & BENEFITS	\$58,318	\$192,899	30%		\$34,636	\$29,728	\$34,716	\$41,283	\$58,318		
GENERAL GOVT.	\$59,267	\$409,644	14%		\$18,832	\$34,092	\$29,252	\$50,951	\$59,267		
CAPITAL OUTLAY	\$94,462	\$579,087	16%		\$26,149	\$30,233	\$30,109	\$19,209	\$94,462		
DEBT COVERAGE	\$0	\$0	-	\$0	\$0	\$0	\$0	\$0			
OTHER	\$0	\$100	0%	\$0	\$8	\$13	\$0	\$0			
CONTINGENCY	\$624	\$1,486,754	0%	\$0	\$0	\$0	\$1,696	\$624			
ENCUMBRANCES	\$17	-	-	\$874	\$673	\$10	\$8	\$17			
TOTAL EXPENDITURES	\$212,688	\$2,668,484	8%	\$80,491	\$94,734	\$94,100	\$113,147	\$212,688			

<i>OPERATING EXPENDITURES</i>	\$212,064	\$1,181,730	18%		\$80,491	\$94,734	\$94,100	\$111,451	\$212,064	
TOTAL REVENUE NET OF TOTAL EXPENDITURES	\$1,551,940	\$0			\$1,012,249	\$1,123,715	\$1,428,122	\$1,746,564	\$1,551,940	
OPERATING REVENUE NET OF OPERATING EXPENDITURES	\$231,163	(\$101,783)			\$103,669	\$105,982	\$147,566	\$183,287	\$231,163	
OUTSTANDING DEBT	\$0									

CASH & NET INVESTMENT POSITION										
TOTAL	\$1,514,118				\$966,305	\$1,142,666	\$1,392,748	\$1,710,026	\$1,514,118	
AVAILABLE	\$1,499,571				-	-	-	-	-	
NOT AVAILABLE (ENCUMBERED)	\$14,547				-	-	-	-	-	
RESTRICTED	\$0				-	-	-	-	-	

GRANT FUND

YTD AS OF MONTH ENDING JANUARY 31, 2018					FIVE-YEAR YTD COMPARISON						
FINANCIAL ACTIVITY	YTD ACTUAL	ANNUAL BUDGET	% OF ANNUAL BUDGET REALIZED	% OF FISCAL YEAR ELAPSED	FY 2014	FY 2015	FY 2016	FY 2017	FY 2018	TREND	
REVENUE											
GRANT REVENUE	\$767,680	\$1,100,000	70%	33.33%	\$4,050	\$112,527	\$9,441	\$82,746	\$767,680		
BALANCES FORWARD	(\$370,469)	\$114,216	-324%		\$471	-\$6,385	\$3,785	\$10,772	(\$370,469)		
TOTAL REVENUE	\$397,211	\$1,214,216	33%		\$4,521	\$106,142	\$13,226	\$93,518	\$397,211		
EXPENDITURES											
GRANT EXPENDITURES	\$410,905	\$1,214,216	33.8%		\$7,129	\$16,926	\$21,715	\$122,076	\$410,905		
ENCUMBRANCES	\$0	-	-	\$1,465	\$0	\$0	\$11,809	\$0			
TOTAL EXPENDITURES	\$410,905	\$1,214,216	34%	\$8,594	\$16,926	\$21,715	\$133,885	\$410,905			
TOTAL REVENUE NET OF TOTAL EXPENDITURES	(\$13,694)	\$0			(\$4,073)	\$89,216	(\$8,489)	(\$40,367)	-\$13,694		
OUTSTANDING DEBT	\$0										

CASH & NET INVESTMENT POSITION										
TOTAL	\$146,019				\$3,065	\$98,265	\$9,933	\$44,639	\$146,019	
AVAILABLE	\$0				-	-	-	-	-	
NOT AVAILABLE (ENCUMBERED)	\$0				-	-	-	-	-	
RESTRICTED	\$146,019				-	-	-	-	-	

LATE COMERS FUND

YTD AS OF MONTH ENDING JANUARY 31, 2018					FIVE-YEAR YTD COMPARISON					
FINANCIAL ACTIVITY	YTD ACTUAL	ANNUAL BUDGET	% OF ANNUAL BUDGET REALIZED	% OF FISCAL YEAR ELAPSED	FY 2014	FY 2015	FY 2016	FY 2017	FY 2018	TREND
REVENUE										
CAPACITY REVENUE	\$502,359	\$805,400	62%		\$56,874	\$81,842	\$147,700	\$332,413	\$502,359	
RESERVES FORWARD	\$1,344,581	\$958,209	140%		\$66,604	\$44,713	\$66,795	\$98,429	\$1,344,581	

TOTAL REVENUE	\$1,846,940	\$1,763,609	105%	33.33%	\$123,478	\$126,555	\$214,495	\$430,842	\$1,846,940		
EXPENDITURES											
REIMBURSEMENT EXPENDITURES	\$39,032	\$805,400	5%			\$0	\$0	\$0	\$0	\$39,032	
CONTINGENCY	\$0	\$958,209	-			\$0	\$0	\$0	\$0	\$0	
ENCUMBRANCES	\$0	-	-			\$0	\$0	\$0	\$0	\$0	
TOTAL EXPENDITURES	\$39,032	\$1,763,609	2%		\$0	\$0	\$0	\$0	\$39,032		
TOTAL REVENUE NET OF EXPENDITURES	\$1,807,908	\$0			\$123,478	\$126,555	\$214,495	\$430,842	\$1,807,908		
OUTSTANDING DEBT	\$0										

CASH & NET INVESTMENT POSITION										
TOTAL	\$1,694,775				\$123,488	\$126,564	\$214,500	\$416,828	\$1,694,775	
AVAILABLE	\$0				-	-	-	-	-	
NOT AVAILABLE (ENCUMBERED)	\$0				-	-	-	-	-	
RESTRICTED	\$1,694,775				-	-	-	-	-	

SOLID WASTE FUND											
YTD AS OF MONTH ENDING JANUARY 31, 2018					FIVE-YEAR YTD COMPARISON						
FINANCIAL ACTIVITY	YTD ACTUAL	ANNUAL BUDGET	% OF ANNUAL BUDGET REALIZED	% OF FISCAL YEAR ELAPSED	FY 2014	FY 2015	FY 2016	FY 2017	FY 2018	TREND	
REVENUE				33.33%							
USER FEES	\$628,145	\$1,858,827	34%			\$339,562	\$366,559	\$395,769	\$424,156	\$628,145	
OTHER REVENUE	\$64	\$0	-			\$25	\$13	\$14	\$29	\$64	
RESERVES FORWARD	\$0	\$0	-			\$0	\$0	\$0	\$0	\$0	
TOTAL REVENUE	\$628,209	\$1,858,827	34%			\$339,587	\$366,572	\$395,783	\$424,185	\$628,209	
EXPENDITURES											
CONTRACT EXPENDITURES	\$612,568	\$1,858,827	33%		\$340,607	\$350,194	\$386,341	\$419,678	\$612,568		
CONTINGENCY	\$0	\$0	-		\$0	\$0	\$0	\$0	\$0		
TOTAL EXPENDITURES	\$612,568	\$1,858,827	33%		\$340,607	\$350,194	\$386,341	\$419,678	\$612,568		
TOTAL REVENUE NET OF TOTAL EXPENDITURES	\$15,641	\$0			-\$1,020	\$16,378	\$9,442	\$4,507	\$15,641		
OUTSTANDING DEBT	\$0										

CASH & NET INVESTMENT POSITION										
TOTAL	\$98,150				\$160,709	\$89,390	\$91,891	\$88,281	\$98,150	
AVAILABLE	\$0				-	-	-	-	-	
NOT AVAILABLE (ENCUMBERED)	\$0				-	-	-	-	-	
RESTRICTED	\$98,150				-	-	-	-	-	

GOVERNMENTAL CAPITAL PROJECTS FUND										
YTD AS OF MONTH ENDING JANUARY 31, 2018					FIVE-YEAR YTD COMPARISON					

FINANCIAL ACTIVITY	YTD ACTUAL	ANNUAL BUDGET	% OF ANNUAL BUDGET REALIZED	% OF FISCAL YEAR ELAPSED	FY 2014	FY 2015	FY 2016	FY 2017	FY 2018	TREND
REVENUE										
INTERFUND TRANSFERS	\$0	\$388,110	0%	33.33%	\$0	\$0	\$0	\$608,075	\$0	
OTHER REVENUE	\$0	\$0	-		\$0	\$0	\$0	\$0	\$0	
RESERVES FORWARD	\$367,276	\$75,000	-		\$0	\$0	\$25,000	\$63,451	\$367,276	
TOTAL REVENUE	\$367,276	\$463,110	79%		\$0	\$0	\$25,000	\$671,526	\$367,276	
EXPENDITURES										
CAPITAL EXPENDITURES	\$97,240	\$388,110	25%		\$0	\$0	\$48,287	\$93,934	\$97,240	
CONTINGENCY	\$0	\$75,000	-		\$0	\$0	\$0	\$0	\$0	
INTERFUND TRANSFERS	\$0	\$0	-		\$0	\$0	\$0	\$0	\$0	
TOTAL EXPENDITURES	\$97,240	\$463,110	21%		\$0	\$0	\$48,287	\$93,934	\$97,240	
TOTAL REVENUE NET OF TOTAL EXPENDITURES	\$270,036	\$0			\$0	\$0	(23,287)	\$577,592	\$270,036	
OUTSTANDING DEBT	\$0									

CASH & NET INVESTMENT POSITION										
TOTAL	\$305,002				\$0	\$0	(\$19,810)	\$598,133	\$305,002	
AVAILABLE	\$0				-	-	-	-	-	
NOT AVAILABLE (ENCUMBERED)	\$0				-	-	-	-	-	
RESTRICTED	\$305,002				-	-	-	-	-	

PARK IMPACT FEE & CAPITAL PROJECTS FUND											
YTD AS OF MONTH ENDING JANUARY 31, 2018					FIVE-YEAR YTD COMPARISON						
FINANCIAL ACTIVITY	YTD ACTUAL	ANNUAL BUDGET	% OF ANNUAL BUDGET REALIZED	% OF FISCAL YEAR ELAPSED	FY 2014	FY 2015	FY 2016	FY 2017	FY 2018	TREND	
REVENUE											
IMPACT FEES	\$180,295	\$403,241	45%	33.33%	\$0	\$0	\$0	\$122,070	\$180,295		
RESERVES FORWARD	\$477,961	\$448,045	107%		\$0	\$0	\$0	\$20,658	\$477,961		
TOTAL REVENUE	\$658,256	\$851,286	77%		\$0	\$0	\$0	\$142,728	\$658,256		
EXPENDITURES											
PROJECT EXPENDITURES	\$0	\$851,286	-		\$0	\$0	\$0	\$0	\$0		
TOTAL EXPENDITURES	\$0	\$851,286	0%		\$0	\$0	\$0	\$0	\$0		
TOTAL REVENUE NET OF EXPENDITURES	\$658,256	\$0			\$0	\$0	\$0	\$142,728	\$658,256		
OUTSTANDING DEBT	\$0										

CASH & NET INVESTMENT POSITION										
TOTAL	\$658,256				\$0	\$0	\$0	\$138,972	\$658,256	
AVAILABLE	\$0				-	-	-	-	-	
NOT AVAILABLE (ENCUMBERED)	\$0				-	-	-	-	-	

RESTRICTED	\$658,256	-	-	-	-	-
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AGENCY FUND

YTD AS OF MONTH ENDING JANUARY 31, 2018					FIVE-YEAR YTD COMPARISON					
FINANCIAL ACTIVITY	YTD ACTUAL	ANNUAL BUDGET	% OF ANNUAL BUDGET REALIZED	% OF FISCAL YEAR ELAPSED	FY 2014	FY 2015	FY 2016	FY 2017	FY 2018	TREND
OWNER ACTIVITY										
OWNER RECEIPTS	\$120,293	NA	-		\$0	\$150	\$150	\$201,930	\$120,293	
OWNER BALANCES FORWARD	\$384,170	\$384,170	-	33.33%	\$8,000	\$72,400	\$64,550	\$64,700	\$384,170	
OWNER RETURNS	\$319,770	\$384,170	83%		\$0	\$0	\$0	\$0	\$319,770	
NET OWNER BALANCE	\$184,693	\$0	-		\$8,000	\$72,550	\$64,700	\$266,630	\$184,693	

CASH & NET INVESTMENT POSITION										
TOTAL	\$184,693				\$8,000	\$72,550	\$64,700	\$266,630	\$184,693	
AVAILABLE	\$0				-	-	-	-	-	
NOT AVAILABLE (ENCUMBERED)	\$0				-	-	-	-	-	
RESTRICTED	\$184,693				-	-	-	-	-	

GOVERNMENT-WIDE

YTD AS OF MONTH ENDING JANUARY 31, 2018					FIVE-YEAR YTD COMPARISON					
FINANCIAL ACTIVITY	YTD ACTUAL	ANNUAL BUDGET	% OF ANNUAL BUDGET REALIZED	% OF FISCAL YEAR ELAPSED	FY 2014	FY 2015	FY 2016	FY 2017	FY 2018	TREND
TOTAL REVENUE	\$17,735,800	\$26,723,317	66%		\$7,748,786	\$8,691,295	\$9,988,520	\$12,715,901	\$17,735,800	
TOTAL EXPENDITURES	\$3,945,427	\$26,723,317	15%	33.33%	\$2,140,635	\$2,208,158	\$2,302,585	\$3,394,786	\$3,945,427	
TOTAL REVENUE NET OF TOTAL EXPENDITURES	\$13,790,373	\$0	-		\$5,608,151	\$6,483,137	\$7,685,935	\$9,321,115	\$13,790,373	
OPERATING REVENUE NET OF OPERATING EXPENDITURES	\$1,624,469	(\$3,288,029)	-		-	-	-	-	-	
OUTSTANDING DEBT	\$0									

CASH & NET INVESTMENT POSITION										
TOTAL	\$14,336,403				\$0	\$0	\$0	\$138,972	\$14,336,403	
AVAILABLE	\$10,714,940				-	-	-	-	-	
NOT AVAILABLE (ENCUMBERED)	\$235,158				-	-	-	-	-	
RESTRICTED	\$3,386,305				-	-	-	-	-	

CITY OF YONK
FINANCIAL RESULTS YTD MONTH ENDING 01.31.2018
 COMBINED CASH INVESTMENT
 JANUARY 31, 2018

COMBINED CASH ACCOUNTS

99-1002	CASH IN BANK /BOT CASCADES	398,471.66
99-1004	CASH-US BANK	.00
99-1010	CASH CLEARING	.00
99-1020	CASH-BOTC-STATE POOL MMKT 2021	.00
99-1021	CASH-BOTC-LID MMKT 2048	.00
99-1030	CASH-LGIP ACCOUNT	2,538,807.69
99-1040	CASH - US BANK GENERAL CKNG	10,065,693.77
99-1041	CASH - US BANK PAYROLL CKNG	61,750.76
99-1042	CASH - US BANK IMPACT FEES	541,817.66
99-1043	CASH - XPRESS DEPOSIT ACCOUNT	731,697.48
99-1070	RETURNED CHECK CLEARING	.00
99-1075	UTILITY CASH CLEARING	1,326.34
		<hr/>
	TOTAL COMBINED CASH	14,339,565.36
99-2000	ACCOUNTS PAYABLE	(3,167.28)
99-1000	CASH ALLOCATED TO OTHER FUNDS	(14,336,398.08)
		<hr/>
	TOTAL UNALLOCATED CASH	<u>.00</u>

CASH ALLOCATION RECONCILIATION

1	ALLOCATION TO GENERAL FUND	996,782.80
3	ALLOCATION TO GRANT FUND	146,018.50
5	ALLOCATION TO LATE COMERS FEE FUND	1,694,774.65
6	ALLOCATION TO JUVENILE JUSTICE FUND	.00
19	ALLOCATION TO WELL MITIGATION FUND	.00
20	ALLOCATION TO WATER FUND	4,644,369.10
21	ALLOCATION TO SEWER FUND	4,094,237.62
22	ALLOCATION TO LID #2006-1 WWTP FUND	.00
25	ALLOCATION TO PRESSURE IRRIGATION FUND	1,514,117.51
26	ALLOCATION TO SOLID WASTE FUND	98,149.77
30	ALLOCATION TO AGENCY FUND	184,693.03
40	ALLOCATION TO GOVERNMENTAL CAP. PROJ. FUND	305,001.92
50	ALLOCATION TO PARK IMPACT FEE/CAP PROJ FUND	658,255.98
		<hr/>
	TOTAL ALLOCATIONS TO OTHER FUNDS	14,336,400.88
	ALLOCATION FROM COMBINED CASH FUND - 99-1000	(14,336,398.08)
		<hr/>
	ZERO PROOF IF ALLOCATIONS BALANCE	<u>2.80</u>

ORDINANCE NO. 2018-05

AN ORDINANCE OF THE CITY COUNCIL FOR KUNA, IDAHO AMENDING TITLE 7, CHAPTER 3, SECTION 17; AND PROVIDING AN EFFECTIVE DATE.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF KUNA, ADA COUNTY, IDAHO, as follows:

Section 1: That Title 7, Chapter 3, Section 17 of the Kuna City Code, be and the same is hereby amended as follows:

7-3-17: - DOGS:

A. Except as provided herein, in all Kuna city parks, all dogs shall be on a leash not greater than eight (8) feet in length.

B. Dogs shall be prohibited within twenty-five (25) feet of any type playground equipment, which shall be considered a "Dog-Free" area, as provided in KCC 10-3-6.

C. In the following areas, dogs shall be permitted to be off-leash as long as the dog(s) are: 1) under control of their owner as defined in KCC 10-3-2; 2) not harassing or chasing any person or wildlife; and 3) the area is not closed, as provided for in paragraph KCC 7-3-17D:

1. ___ The south side of the Green Belt walking path to the high-water mark of Indian Creek in the Greenbelt Park.

2. ___ Sadie Creek Park.

3. City Hall Park.

D. The City reserves the right to close any dog off-leash area by posting said area as closed for any special event or to protect wildlife including the nesting of birds.

E. The dog owner shall immediately clean up their dog's waste and properly dispose of it, as provided for in KCC 10-3-18.

Section 2:

EFFECTIVE DATE:

This ordinance shall become effective upon passage and publication.

ADOPTED this 20th day of February 2018.

CITY COUNCIL OF THE CITY OF KUNA
Ada County, Idaho

Joe L. Stear, Mayor

ATTEST:

Chris Engels, City Clerk

ORDINANCE NO. 2018-05

AN ORDINANCE OF THE CITY COUNCIL FOR KUNA, IDAHO AMENDING TITLE 7, CHAPTER 3, SECTION 17; AND PROVIDING AN EFFECTIVE DATE.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF KUNA, ADA COUNTY, IDAHO, as follows:

Section 1: That Title 7, Chapter 3, Section 17 of the Kuna City Code, be and the same is hereby amended as follows:

7-3-17: - DOGS:

A. Except as provided herein, in all Kuna city parks, all dogs shall be on a leash not greater than eight (8) feet in length.

B. Dogs shall be prohibited within twenty-five (25) feet of any type playground equipment, which shall be considered a "Dog-Free" area, as provided in KCC 10-3-6.

C. In the following areas, dogs shall be permitted to be off-leash as long as the dog(s) are: 1) under control of their owner as defined in KCC 10-3-2; 2) not harassing or chasing any person or wildlife; and 3) the area is not closed, as provided for in paragraph KCC 7-3-17D:

1. The south side of the Green Belt walking path to the high-water mark of Indian Creek in the Greenbelt Park.
2. Sadie Creek Park.
3. City Hall Park.

D. The City reserves the right to close any dog off-leash area by posting said area as closed for any special event or to protect wildlife including the nesting of birds.

E. The dog owner shall immediately clean up their dog's waste and properly dispose of it, as provided for in KCC 10-3-18.

Section 2:

EFFECTIVE DATE:

This ordinance shall become effective upon passage and publication.

ADOPTED this 20th day of February 2018.

CITY COUNCIL OF THE CITY OF KUNA
Ada County, Idaho

Joe L. Stear, Mayor

ATTEST:

Chris Engels, City Clerk

(Space above reserved for recording)

**KUNA CITY ORDINANCE NO. 2017-29A
SDN, LLC**

AN ORDINANCE, AMENDING ORDINANCE 2017-29, ANNEXING CERTAIN REAL PROPERTY INTO THE CITY OF KUNA, IDAHO, TO WIT: PARCEL NO. S1419223151, CURRENT OWNER IS SDN, LLC; THIS PROPERTY SITUATED IN THE UNINCORPORATED AREA OF ADA COUNTY, IDAHO AND CONTIGUOUS TO THE CORPORATE LIMITS OF THE CITY OF KUNA, IDAHO; ESTABLISHING THE ZONING CLASSIFICATION OF SAID REAL PROPERTIES; DIRECTING THAT COPIES OF THIS ORDINANCE BE FILED AS PROVIDED BY LAW; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Kuna, Idaho is a municipal corporation organized and operating under the laws of the State of Idaho and is authorized to annex into and incorporate within the boundaries of the City contiguous Real Property in the manner provided by Section 50-222, Idaho Code; and

WHEREAS, the owner(s) of the parcel of Real Property situated in the unincorporated area of Ada County, and as more particularly described in Section 2 of this ordinance (the Real Property), have consented, in writing to annexation of said Real Property into the City of Kuna; and

WHEREAS, the Planning and Zoning Commission of the City, pursuant to public notice as required by law, held a public hearing for the annexation of the Real Property, on January 10, 2017, as required by Section 67-6525, Idaho Code, made findings (approved by the Commission on February 14, 2017); and

WHEREAS, the Planning and Zoning Commission of the City, pursuant to public notice as required by law, held a public hearing for the rezoning of these lands on July 3, 2017, as required by Section 67-6525, Idaho Code, made findings (approved by the Commission on July 25, 2017); where it was recommended to the Mayor and Council that the property be zoned with the following zoning classifications:

R-6 for the portions of the property known as Parcel No. S1419223151, and described in Exhibit A-2;

C-1 for the portions of property known as Parcels No. S1419223151, and described in Exhibit A-3; and

WHEREAS, the Kuna City Council, pursuant to public notice as required by law, held a public hearing on March 7, 2017, on the proposed annexation for the Real Property described in Section 2 below, as required by Section 67-6525, Idaho Code, made findings (approved on March 21, 2017) where it determined that the requested annexation should be granted; and

WHEREAS, the Kuna City Council, pursuant to public notice as required by law, held a public hearing on September 5, 2017, on the proposed rezoning for the Real Property, as required by Section 67-6525, Idaho Code, made findings (approved on September 19, 2017) where it determined that the requested rezoning should be granted with the following zoning classifications of R-6 and C-1 as described above; and

WHEREAS, the zoning classifications of R-6 and C-1 are appropriate to meet the requirements of the Kuna City Code and should be granted.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF KUNA, IDAHO, as follows:

Section 1: The Kuna City Council hereby finds and declares that the Real Property described below is contiguous to the City, that said property can be reasonably assumed to be used for the orderly development of the City, and that the owner of said property has requested, in writing, annexation thereof to the City.

Section 2: The Real Property, is situated in Ada County, Idaho, adjacent and contiguous to the City, commonly known as: Parcel No. S1419223151 and more particularly described in “Exhibit A-1, A-2 and A-3” – Legal Description and “Exhibit B” – Location Map.

The Real Property is depicted on the map in Exhibit B, Location Map, attached hereto and incorporated herein by reference, and is hereby annexed to and incorporated in the incorporated territorial limits of the City of Kuna, Idaho.

Section 3: From and after the effective date of this Ordinance, all Real Property and persons within the boundaries and territory described above shall be subject to all ordinances, resolutions, police regulations, taxation and other powers of the City of Kuna.

Section 4: The zoning land use classifications of the Real Property described in Section 2 above are hereby established as R-6 and C-1 as described above, as provided by the Zoning Ordinance of the City. The Zoning Map of the City is hereby amended to include the Real Property in the R-6 and C-1 zoning land use classifications.

Section 5: The City Clerk is hereby directed to file, within ten (10) days of passage and approval of this Ordinance, a certified copy of this Ordinance with the offices of the Auditor, Treasurer, and Assessor of Ada County, Idaho, and with the Idaho State Tax Commission, Boise, Idaho, as required by Section 50-223, Idaho Code, and to comply with the provisions of Section 63-215, Idaho Code, with regard to the preparation and filing of a map and legal description of the Real Property annexed by this Ordinance.

Section 6: This Ordinance shall take effect and be in force from and after its passage, approval, and publication as required by law. In lieu of publication of the entire ordinance, a summary thereof in compliance with Section 50-901A, Idaho Code, may be published.

CITY COUNCIL OF THE CITY OF KUNA
Ada County, Idaho

Joe L. Stear, Mayor

ATTEST:

Chris Engels, City Clerk

EXHIBIT A-1
LEGAL DESCRIPTION - ANNEXATION

A parcel of land situated in a portion of Government Lots 1 and 2, Section 19, Township 2 North, Range 1 East, Boise Meridian, Ada County, Idaho and being more particularly described as follows:

BEGINNING at a found aluminum cap monument marking the Northwest corner of said Section 19, which bears N00°46'08"E a distance of 2,649.32 feet from a found aluminum cap monument marking the West 1/4 corner of said Section 19;

Thence following the northerly line of said Government Lot 1, S89°35'35"E a distance of 912.43 feet;

Thence leaving said northerly line, S00°24'25"W a distance of 48.00 feet to the intersection of the southerly right-of-way line of East Deer Flat Road and the East Bank of the Kuna Canal;

Thence leaving said southerly right-of-way line and following the East bank of said Kuna Canal the following two (2) courses:

1. S31°15'35"E a distance of 497.97 feet;
2. S45°04'05"E a distance of 82.21 feet to the easterly line of said Government Lot 1;

Thence leaving said East Bank of the Kuna Canal and following said easterly line of Government Lot 1, S00°45'15"W a distance of 795.44 feet to a found 1/2" rebar marking the Southeast corner of said Government Lot 1;

Thence leaving said easterly line of Government Lot 1 and following the easterly line of said Government Lot 2, S00°45'15"W a distance of 675.51 feet;

Thence leaving said easterly line of Government Lot 2, N89°58'53"W a distance of 1,236.27 feet to the westerly line of said Government Lot 2;

Thence following said westerly line of Government Lot 2, N00°46'08"E a distance of 684.16 feet to the Southwest corner of said Government Lot 1;

Thence leaving said westerly line of Government Lot 2 and following said westerly line of Government Lot 1, N00°46'08"E a distance of 1,324.66 feet to the **POINT OF BEGINNING**.

Said parcel contains 54.623 acres more or less, and is subject to all existing easement and/or rights-of-way of record or implied.

EXHIBIT A-2
LEGAL DESCRIPTION: R-6 ZONE

A parcel of land situated in a portion of Government Lots 1 and 2 of Section 19, Township 2 North, Range 1 East, Boise Meridian, City of Kuna, Ada County, Idaho and being more particularly described as follows:

Commencing at a found aluminum cap monument marking the Northwest corner of said Section 19, which bears N00°46'08"E a distance of 2,649.32 feet from a found aluminum cap monument marking the West 1/4 corner of said Section 19; Thence following the northerly line of said Government Lot 1, S89°35'35"E a distance of 712.59 feet to the **POINT OF BEGINNING**.

Thence following the northerly line of said Section 19, S89°35'35"E a distance of 199.84 feet; Thence leaving said northerly line, S00°24'25"W a distance of 48.00 feet to the intersection of the southerly right-of-way line of East Deer Flat Road and the East Bank of the Kuna Canal; Thence leaving said southerly right-of-way line and following the East bank of said Kuna Canal the following two (2) courses:

1. S31°15'35"E a distance of 497.97 feet;
2. S45°04'05"E a distance of 82.21 feet to the easterly line of said Government Lot 1;

Thence leaving said East Bank of the Kuna Canal and following the easterly line of said Government Lot 1, S00°45'15"W a distance of 795.44 feet to a found 1/2-inch rebar marking the Southeast corner of said Government Lot 1;

Thence leaving said easterly line of Government Lot 1 and following the easterly line of said Government Lot 2, S00°45'15"W a distance of 675.51 feet;

Thence leaving said easterly line of Government Lot 2, N89°58'53"W a distance of 912.46 feet;

Thence N00°46'08"E a distance of 681.89 feet to the northerly line of said Government Lot 2;

Thence leaving said northerly line, N00°46'08"E a distance of 636.51 feet;

Thence 233.61 feet along the arc of a circular curve to the right, said curve having a radius of 150.00 feet, a delta angle of 89°13'52", a chord bearing of N45°23'04"E and a chord distance of 210.70 feet;

Thence N90°00'00"E a distance of 244.41 feet;

Thence N00°23'15"E a distance of 537.42 feet to the **POINT OF BEGINNING**.

Said parcel contains 34.761 acres more or less, and is subject to all existing easement and/or rights-of-way of record or implied.

EXHIBIT A-3
LEGAL DESCRIPTION: C-1 ZONE

A parcel of land situated in a portion of Government Lots 1 and 2, Section 19, Township 2 North, Range 1 East, Boise Meridian, City of Kuna, Ada County, Idaho and being more particularly described as follows:

BEGINNING at a found aluminum cap monument marking the Northwest corner of said Section 19, which bears N00°46'08"E a distance of 2,649.32 feet from a found aluminum cap monument marking the West 1/4 corner of said Section 19;

Thence following the northerly line of said Government Lot 1, S89°35'35"E a distance of 712.59 feet;

Thence leaving said northerly line, S00°23'15"W a distance of 537.42 feet;

Thence N90°00'00"W a distance of 244.41 feet;

Thence 233.61 feet along the arc of a circular curve to the left, said curve having a radius of 150.00 feet, a delta angle of 89°13'52", a chord bearing of S45°23'04"W and a chord distance of 210.70 feet;

Thence S00°46'08"W a distance of 636.51 feet to the southerly line of said Government Lot 1;

Thence leaving said southerly line, S00°46'08"W a distance of 681.89 feet;

Thence N89°58'53"W a distance of 323.81 feet to the westerly line of said Government Lot 2;

Thence following said westerly line of Government Lot 2, N00°46'08"E a distance of 684.16 feet to the Northwest corner of said Government Lot 2;

Thence leaving said westerly line of Government Lot 2 and following the westerly line of said Government Lot 1, N00°46'08"E a distance of 1,324.66 feet to the **POINT OF BEGINNING**.

Said parcel contains 19.862 acres more or less, and is subject to all existing easement and/or rights-of-way of record or implied.

