



KUNA PLANNING AND ZONING COMMISSION

Agenda for January 9, 2018

Kuna City Hall ■ Council Chambers ■ 751 W. 4th St. ■ Kuna, Idaho

1. CALL TO ORDER AND ROLL CALL

Chairman Lee Young

Vice Chairman Dana Hennis

Commissioner Cathy Gealy

Commissioner Stephen Damron

Commissioner John Laraway

2. CONSENT AGENDA

a. Meeting Minutes for December 12, 2017.

b. ***Findings of Fact and Conclusions of Law*** for 17-10-S (Pre-Plat) and 17-23-DR (Design Review); Gran Prado Subdivision.

3. PUBLIC HEARING

a. **17-06-SUP (Special Use Permit) & 17-19-DR (Design Review)**; On behalf of Victor Clark, Troy Lachcik with ALC Architecture requests Special Use Permit (SUP) and Design Review (DR) approval to construct one triplex of townhouses on the north end of an approximately 0.51-acre lot. The site is located at 1394 W Park Avenue, Kuna, ID 83634.

b. **17-09-AN (Annexation)**; A request from Kirsti Grabo with KM Engineering (on behalf of N Star Farm, LLC), seeking annexation of approximately 39.48 acres into Kuna City with an R-8 zone (Med. Den. Res.). The site is formerly known as the Urza property and is addressed as 2030 W. Kuna Road, located near the northwest corner of Ten Mile and Kuna Roads, Kuna, Idaho, within Section 22, T2N, R1W, (A.P.N. # S1322438400).

4. COMMISSION REPORTS

5. ADJOURNMENT

**CITY OF KUNA
PLANNING & ZONING COMMISSION**

**MEETING MINUTES
Tuesday, December 12, 2017**

PZ COMMISSION MEMBER	PRESENT	CITY STAFF PRESENT:	PRESENT
Chairman Lee Young	X	Wendy Howell, Planning Director	X
Commissioner Dana Hennis	Absent	Troy Behunin, Senior Planner	Absent
Commissioner Cathy Gealy	X	Trevor Kesner, Planner II	X
Commissioner Stephen Damron	X	Jace Hellman, Planner I	X
Commissioner John Laraway	X		

6:00 pm – COMMISSION MEETING & PUBLIC HEARING

Chairman Young called the meeting to order at **6:00 pm**.

Call to Order and Roll Call

1. CONSENT AGENDA

C/Laraway: If possible I would like to table the minutes on the discussion we had until we can get them corrected. **Jace Hellman:** Okay, if you guys want to pick a date, whatever work you, we just need three of you to have a special meeting to approve meeting minutes. **C/Young:** Any date that works for any of you guys? You just need one day, two days? **Jace Hellman:** One day, with some time to make changes. **C/Young:** Any time this week? **C/Gealy:** Is this something that we could correct right now? Could we correct it after our meeting tonight, after the public hearing? **Trevor Kesner:** You could. **C/Young:** Just after the items on the agenda, come back and correct them? **Trevor Kesner:** If that is what you would like to do. **C/Gealy:** Would that be alright if we just took care of it tonight?

Commissioner Gealy motions to move the meeting minutes for November 28, 2017 on the agenda to follow the public hearing for further discussion; Commissioner Damron Seconds, all aye and motion carried 4-0.

- a) **Findings of Fact and Conclusions of Law** for 17-08-AN (Annexation); Danskin Ridge No.'s 2, 3 & 5.
- b) **Findings of Fact and Conclusions of Law** for 17-11-S (Subdivision) and 17-25-DR (Design Review); Merino Cove Subdivision

Commissioner Gealy motions to approve the consent agenda; Commissioner Damron Seconds, all aye and motion carried 4-0.

2. NEW BUSINESS

- a) **17-08-DR (Design Review Modification);** Applicant Amanda Ryan with BRS Architects requests Design Review Modification approval from the Planning and Zoning Commission (acting as Design Review Committee) for a previously approved 4,064-square foot commercial building to house a new Smoky Mountain Pizzeria Grill restaurant, and accompanying landscaping and parking lot to be situated on Lot 2, Block 1 within the Ensign Commercial subdivision.

Julie Benintendi: Hi, I am Julie Benintendi. Our change to the plan is to move the building to center of the site as apposed to the corner. It allowed for a little better of a flow around the building. It allows for a little bit

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better parking situation as well. We are not changing the look of the building at all it is just going to be moving that and separating the trash enclosure off to the side. **C/Young:** Any questions for the applicant? Okay Thank you. **Julie Benintendi:** Thank you. **C/Young:** Okay, we will have staff come forward please. **Trevor Kesner:** Thank you Chairman Lee Young and Commissioners, for the record Trevor Kesner, Planner for the City of Kuna, 751 W 4th Street. This is a modification for the original application that the applicant submitted. As you can see the original site plan is up on the screen, and what was resubmitted is move the building central to the site. They have taken down the parking space to 79 from the original 88 or 89, so we are down ten parking spaces, but we are still well within the required parking. The originally proposed landscape area covered 34% of the site. The new proposed landscaping covers about 23.6% of the site, and parking covers 23.5%. The square footage of the building and the internal design of the building remains exactly the same. Landscaping density fits within code, parking spots fits within code, and staff would forward a recommendation of approval for this site plan. **C/Young:** Okay, are there any questions for staff at this time? **C/Gealy:** Trash enclosure is concrete block with the metal gates as approved? **Trevor Kesner:** That is correct. In fact, they added an additional trash enclosure stall here and moved it away from building to the corner of the parking lot. **C/Young:** Okay, thank you. That brings up our discussion and the building doesn't change, it just modifies how the site flows. I personally don't have any issues with the modifications. **C/Damron:** I don't either.

Commissioner Gealy motions to approve Case No. 17-08-DR (Design Review Modification) with the conditions of approval as presented in the staff report; Commissioner Damron Seconds, all aye and motion carried 4-0.

- b) **17-28-DR (Design Review) and 17-23-SN (Sign);** On behalf of Stan Nicolaysen, Julie Benintendi with BRS Architects seeks Design Review approval from the Planning and Zoning Commission (acting as Design Review Committee) for a new 2065 square foot commercial building to house a new Taco Bell Restaurant, accompanying landscaping, lighting, parking lot and signage within the Ensign Commercial Subdivision. The site is located at 985 N Meridian Road, Kuna, Idaho 83634.

Julie Benintendi: We have a drive thru Taco Bell coming in. It is pretty similar to the standard prototype they have. The colors and everything fit into your standards for the city. Do you have questions about it? **C/Gealy:** I have no questions at this time. **C/Young:** Okay, Jace? **Jace Hellman:** Chairman, commissioners for the record my name is Jace Hellman, Planner I for the City of Kuna 751 W 4th ST. The application before you tonight is seeking Design Review approval for a new 2,065 square foot commercial building which will house a new Taco Bell restaurant, accompanying landscape, lighting, parking lot and signage. The site is located within the Ensign Commercial Subdivision and is addressed 985 N Meridian Road. The site is primarily accessed via the ingress/egress driveway provided internally to the Ensign Subdivision; which takes access directly from the Highway 69 approach. There is an additional access to the site via East profile lane, just south of McDonalds. Currently, dimensions of proposed signage are not in compliance with Kuna City Code, they just need a little tweaking. Staff would just recommend that the applicant work with staff to ensure all signage is in compliance with City Code prior to receiving a sign permit. Staff would also recommend that the applicant work with existing shopping center with regard to using the already existing sign instead of constructing their own individual pole sign. Staff would be in favor of the construction of a free-standing monument sign in place of the proposed pole sign. Lastly, I would just like to note that staff finds the proposed building, landscaping, parking, signage, if minor tweaks to dimensions are made, and lighting to be generally consistent with the goals and vision of the overlay district and in compliance with Kuna City Code. Staff would forward a recommendation of approval for case numbers 17-28-DR and 17-23-SN I will now stand for any questions. **C/Young:** Okay, are there any questions for staff at this time? **C/Gealy:** I have one questions for staff. The way I see it, it looks like the driveway will enter at the south end of the property and go north, so the traffic will be flowing in the opposite direction of the traffic that is one Meridian Road that is coming south, and I just want to confirm that there is sufficient landscaping and berms to avoid any confusion with south bound traffic on Meridian

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Road seeing north bound traffic in a drive thru late at night when headlights might be a problem. **Jace Hellman:** So, the landscape buffer that is in place is within code, but I would have to defer to the applicant as far as whether or not that have taken into account the traffic confusion when it was designed. But, as far as the amount of landscaping there, they are in compliance with code. **C/Gealy:** Thank you. **C/Young:** Any other questions for staff? **C/Gealy:** I have no further questions. **C/Young:** Thank you. **C/Gealy:** Could the applicant step forward? **C/Young:** Is there a berm associated with the landscaping on the east side? **Julie Benintendi:** There is not, at the site out there is Meridian Road, and then it kind of dips down and there is a swell for drainage and then it comes back and it is about the same level, maybe a bit lower. We are at least similar to what is down there by the McDonalds and there is quite a bit of separation between Meridian and the drive thru. **C/Gealy:** and I know McDonalds did make sure that there weren't any safety hazards for southbound traffic. **Julie Benintendi:** Right, we will be very similar to their location, where our drive thru is, and part of that is just ACHD requires that space and I think that is to avoid any kind of confusion that you were talking about. **C/Gealy:** Okay, thank you. **C/Young:** okay, that brings up our discussion, and as far as the elevations of the building go, I think there is plenty of relief on all the elevations between the pilasters and all of the other elements. I think there is plenty of variation on the building itself and the colors of the elements as they change out are pretty consistent with other elements in that area. **C/Damron:** It will somewhat match the Smoky Mountain Pizza that is nearby. So, they are fairly close together. **C/Young:** So, any other thoughts or concerns? **C/Damron:**

No, it appears with that exit lane coming off of North Bound Meridian and the landscape structure we have plenty of distant there to mitigate any night vision problems. It looks to be about 60 or 80 feet off of there so it looks good. **C/Young:** Okay, if there are no other comments I guess I could stand for a motion.

Commissioner Gealy motions to approve 17-28-DR and 17-23-SN with the conditions of approval as outlined in the staff report and with the additional conditions that the applicant would work with staff with regard to bringing the signage into compliance and working with the neighbors in combining signs at that location; Commissioner Laraway Seconds, all aye and motion carried 4-0.

3. PUBLIC HEARING

- a) **17-05-SUP (Special Use Permit) & 17-22-DR (Design Review);** A request from Inaki Lete to construct an additional storage facility on approximately 3.70 acres. The site is located at 1795 West Deer Flat Road, Kuna, Idaho. – **Tabled from November 14, 2017.**
- **Staff requests this item be removed from the agenda.**

Jace Hellman: The applicant has decided to come back with a design that would essentially create more of an impact, and it is more of an impact than what we had originally noticed for. So, the applicant will be submitting a new application here sometime in the near future. So, we are looking to pull it off of the agenda and start over.

Commissioner Gealy Motions to remove 17-05-SUP and 17-22-DR from the agenda; Commissioner Damron Seconds, all aye and motion carried 4-0.

4. OLD BUSINESS

- a) Meeting Minutes for November 28, 2017.

C/Young: The items that were noticed, I believe start on page three of fourteen on the meeting minutes. I guess we can make a motion to pass the meeting minutes as marked up. **C/Gealy:** So, there was some confusion about which comments were made by which Commissioner? **C/Young:** So, basically there was a few of the comments in the dialogue that Commissioner Damron and Commissioner Hennis were having and it just got

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mixed and John got credit. **Trevor Kesner:** Do you mind if we mention specifically what case you guys were discussing at that time? **C/Damron:** It was the Danskin Subdivision, specifically the septic. **C/Gealy:** 17-08-AN, annexation of Danskin Ridge. **Trevor Kesner:** And to clarify, things that Commissioner Laraway said were attributed to Commissioner Damron? **C/Young:** No, things that Commissioner Damron said were attributed to Commissioner Laraway. **Trevor Kesner:** Were there any other discrepancies noticed? **C/Gealy:** I didn't notice any. **C/Young:** okay, I guess I could stand for a motion for the modified minutes.

Commissioner Gealy motions to approve the modified Meeting Minutes for November 28, 2017; Commissioner Laraway Seconds, all aye and motion carried 4-0.

5. COMMISSION DISCUSSION AND REPORTS

6. ADJOURNMENT

Commissioner Gealy motions to adjourn; Commissioner Damron Seconds, all aye and motion carried 4-0.

Lee Young, Chairman
Kuna Planning and Zoning Commission

ATTEST:

Wendy I. Howell, Planning and Zoning Director
Kuna Planning and Zoning Department



City of Kuna

P & Z Findings of Fact & Conclusions of Law

P.O. Box 13
Phone: (208) 922-5274
Fax: (208) 922-5989
www.Kunacity.id.gov

To: Planning and Zoning Commission (P & Z)

Case Numbers: 17-10-S (Subdivision) & 17-23-DR (Design Review)
Gran Prado Sub

Site Location: Near the northwest corner (NWC) of Ten Mile and Lake Hazel Roads, Meridian, Idaho 83642

Planner: Troy Behunin,
Planner III

Hearing Date: November 28, 2017
Findings of Fact: January 9, 2018

Engineer: **KM Engineering**
Kirsti Grabo
9233 W. State St,
Boise, ID 83714
208.639.6930
KGrabo@kmengllp.com

Owners (2): *Renascence Farm, LLC*
& Waters Edge Farm, LLC,
6152 W. Half Moon Ln.
Eagle, ID, 83616

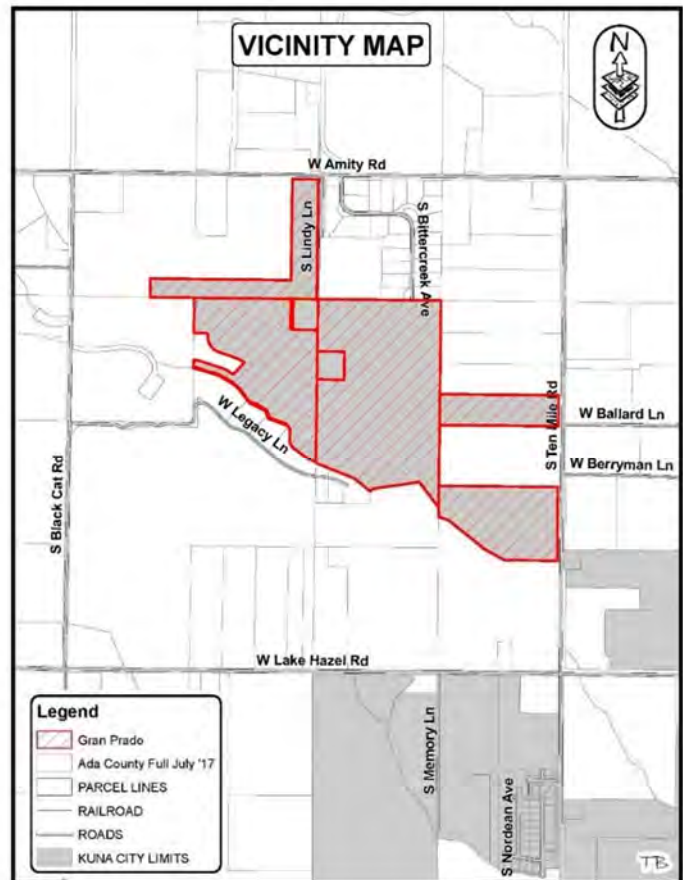


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A. Process and Noticing:

1. Kuna City Code (KCC), Title 1, Chapter 14, Section 3, states that design reviews are designated as *public meetings*, with the Planning and Zoning Commission (acting as the Design Review Board) as the decision-making body; and that preliminary plats are designated as public hearings, with the P & Z Commission as a recommending body and City Council as the decision making body. These land use applications were given proper public notice and followed the requirements set forth in Idaho Code, Chapter 65, Local Planning Act.

a. Notifications

- | | |
|----------------------------------|------------------------------------|
| i. Neighborhood Meeting | June 7, 2017 (12 persons attended) |
| ii. Agency Comment Request | September 20, 2017 |
| iii. 350' Property Owners Notice | November 3 and 6, 2017 |
| iv. Kuna, Melba Newspaper | October 25, 2017 |
| v. Site Posted | November 2, 2017 |

B. Applicant's Request:

On behalf of Renaissance Farm, LLC and Waters Edge Farm, LLC, the applicant Kirsti Grabo with KM Engineering, requests approval to subdivide approximately 132.80 acres, (previously zoned R-4), into 530 single family residential lots and 67 common lots, with one shared driveway and have reserved the name Gran Prado Subdivision. A Design Review application for the 67 common areas and buffer landscaping accompanies this application. The site is located at the northwest corner of Ten Mile and Lake Hazel Roads, and is located Between Amity and Lake Hazel, west of Ten Mile Road, Kuna, Idaho, In Section 34, T 23N, R 1W, APN #'s: (See the submitted application).

C. Aerial Map:



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D. Site History:

These parcels were recently annexed into Kuna city limits, with historical uses, ranging from residential to farming.

E. General Projects Facts:

1. **Comprehensive Plan Map:** The Future Land Use Map (Comp Plan Map) is intended to serve as a *guide* for the decision making body for the City. The Comp Plan map indicates land use designations generally speaking, it is not the actual zone. Kuna's Council recently granted these lands the R-4 zone, which is the border between Low and Medium Density Residential.

2. **Recreation and Pathways Map:** The Recreation and Pathways Master Plan Map indicates a future trail through the northeast corner (NEC) of the site, situated along the Mason Creek feeder on the south side of the site. Accordingly, it is the City's goal and desire to increase the number of trails and pathways in Kuna. Staff highly recommends that developers design and construct trails and pathways along frontages of their canals and ditches to comply with the Master Plan's goals by either starting a pathway, or extending current ones at time of development.



3. **Surrounding Land Uses:**

North	RUT	Rural Urban Transition – Ada County
South	RUT	Rural Urban Transition – Ada County
East	RUT / R-2	Rural Urban Transition – Ada County & Kuna City
West	RUT	Rural Urban Transition – Ada County

4. **Parcel Sizes, Current Zoning, Parcel Numbers:**

Property Owner	Parcel Size (Approximately)	Current Zone: (RUT) Rural Urban Transition	Parcel Number
Renascence Farms, LLC	57.12 acres	R-4, Kuna City	R0967660156
Renascence Farms, LLC	30.38 acres	R-4, Kuna City	R0967660155
Renascence Farms, LLC	9.64 acres	R-4, Kuna City	S1234142351
Renascence Farms, LLC	0.20 acres	R-4, Kuna City	R0967660151
Renascence Farms, LLC	14.96 acres	R-4, Kuna City	S1234212935
Renascence Farms, LLC	0.42 acres	R-4, Kuna City	S1234244310
Renascence Farms, LLC	0.44 acres	R-4, Kuna City	S1234121105
Renascence Farms, LLC	0.44 acres	R-4, Kuna City	S1234212405
Waters' Edge Farm, LLC	19.2 acres	R-4, Kuna City	S1234417520
Total Acres 132.81			

5. **Services:**

Sanitary Sewer– City of Kuna
 Potable Water – City of Kuna
 Pressurized Irrigation – City of Kuna (KMID)

Fire Protection – Meridian Rural Fire District
Police Protection – Kuna Police (Ada County Sheriff's office)
Sanitation Services – J & M Sanitation

6. **Existing Structures, Vegetation and Natural Features:**

Approximate 131 acres of these lands are being used for agricultural purposes while the remainder is being used as residential. Applicant anticipates that the land will continue the historic agricultural uses on the lands until future phases begin development. The current residences will remain as residential uses until development occurs. The site is relatively flat with an estimated average slope of 0% to 2% towards the Mason Creek Feeder. Bedrock depth is estimated to be between twenty and forty inches according to the USDA Soil Survey for Ada County

7. **Transportation / Connectivity:**

The applicant has proposed connections to public streets in three places for the project as a whole, in different phases and locations. All proposed access points will need to follow design standards according to City and ACHD (Ada County Highway Dist.) codes. Current legal points of access being used at this time may remain until development requires a change.

8. **Environmental Issues:**

Staff is not aware of any environmental issues, health or safety conflicts beyond the designation of being in the nitrate priority area. Idaho Department of Environmental Quality (DEQ) has provided recommendations for surface and groundwater protection practices and requirements for development of the site.

9. **Agency Responses:** The following responding agency comments are included as exhibits with this case file:

- Kuna City Public Works – Exhibit B-1
- Ada County Highway District (ACHD) – Exhibit B-2
- Boise Project Board of Control – Exhibit B-3
- Central District Health Department (CDHD) – Exhibit B-4
- Community Planning Association of Southwest Idaho (COMPASS) – Exhibit B-5
- Department of Environmental Quality – Exhibit B-6
- Idaho Transportation Department (ITD) – Exhibit B-7
- Meridian Fire Department – Exhibit B-8

F. **Staff Analysis:**

The applicant previously annexed the land as part of the Renaissance Farms and Mason Creek Farms application and now submits an application for subdivision, design review approvals and entitlements.

These properties were annexed into Kuna City limits with an approved for R-4 zoning (Low/Med. Density). During the public hearings for said annexation, certain development conditions were applied and approved by the Commission and City Council. Staff finds that this proposal conforms to each condition as outlined in the findings of fact and conclusions of law and concludes the developer has made every effort to be compliant with those conditions.

This project is adjacent to or near three principle arterials, Ten Mile, Amity and Lake Hazel Roads. All major public utilities are approximately 700 feet south of Lake Hazel Road. Applicant is aware that development of these parcels will require connection to all city services and associated connection fees at time of building permit submittal. It is anticipated that development will take a number of years for full build out, and may require up to ten (10) phases. It is also important to remember that the developer is connecting to City services in Ten Mile near Lake Hazel, and development will proceed west, as development typically follows sewer lines.

The applicant has met with Kuna and ACHD staffs on multiple occasions, in order to produce a development that fits the Kuna comp plan. In an effort to do so, those meetings have produced a pre plat that has been slightly altered to accommodate the changes required by ACHD. These changes have not affected the lot count, density, or the open spaces. Rather, these changes have improved traffic safety, enhanced walkability and reduced the impact to adjacent development. Two (2) significant changes are 1) the absence of an east west and a north south mid mile collector system, and replaced it with a modified east west residential collector. And 2) the applicant proposes no connection to South Bittercreek Avenue in the north east corner of this project. Normally, City code requires both of these design elements, however, due to site constraints, and concerns of neighboring residents, staff supports these changes and recommends acceptance of these deviations from City Code.

Kuna's Comprehensive Plan (Comp Plan), encourages a variety of housing types for all income levels numerous times throughout the document. Pertinent sections of the Comp Plan that address housing types are included below, in Section K (Comp Plan Analysis) of this report. The City attempts to balance all housing types within the City. Staff has reviewed the proposed preliminary plat for technical compliance with Kuna City Code (KCC), and finds the pre plat and landscape plan is in compliance with applicable codes. Staff would recommend that the applicant work with Kuna's staff, ACHD, and Kuna Rural Fire District (KRFD) to conform to each agency's requirements.

Applicant and City staff have discussed on several occasions the need for a lift station to serve the areas that will not be served by gravity sewer, and the pre plat has a location designed to fulfill that need in a later phase. Staff and applicant have also held discussions about the need for a domestic well site and pump/pond for pressure irrigation needs as well and the locations for those facilities within this subdivision.

A design review application was submitted for review prior to the required ACHD changes. Staff found that the landscape plan submitted followed the requirements in City code. It is for the Commission to decide if a new landscape plan reflecting the changes must be submitted for their review, or if the applicant should meet with staff to ensure conformance. All monument signage shall go to the Commission for review and approval. No application for signage was submitted with this application, and shall be submitted prior to installation.

Staff has determined this application complies with the goals and policies for Kuna City, Title 5 of the Kuna City Code; Idaho Statute § 67-6511; and the Kuna Comprehensive Plan document; and forwards a recommendation of approval for Case No's 17-10-S and 17-23-DR, subject to any conditions of approval outlined by Kuna's Commission and City Council.

G. Applicable Standards:

1. Kuna City Code Chapter 6 – Chapter 1-6; Subdivision Regulations,
2. City of Kuna Zoning Ordinance Title 5, Chapter 13.
3. City of Kuna Comprehensive Plan, adopted September 1, 2009.
4. City of Kuna Design Review Code Title 5, Chapter 4
5. City of Kuna Landscape Code Title 5, Chapter 17
6. Idaho Code, Title 67, Chapter 65- the Local Land Use Planning Act.

H. Procedural Background:

On November 28, 2017, the Planning and Zoning Commission considered the case, including the application, agency comments, staff's memo, the application exhibits and public testimony presented or given.

I. Factual Summary:

These parcels are located near the northwest corner of Ten Mile and Lake Hazel Roads. The project consists of 132.80 (approx.) acres, within City limits and all parcels are zoned R-4 (Low Density Residential). Applicant requests

preliminary plat approval for 530 homes, 67 common lots and one shared driveway with access taken from Ten Mile in two places and Amity. All parcels in this application are near either Ten Mile Road, Lake Hazel Road or Amity Road; all roads are classified as principle arterials.

J. Findings of Fact:

Based upon the record contained in Case No's **17-10-S, and 17-23-DR** including the Comprehensive Plan, Kuna City Code, Staff's Memorandums, including the exhibits, and the testimony during the public hearing, the Kuna Commission hereby recommends *approves/denies* the Findings of Fact and Conclusions of Law, and conditions of approval for Case No's 17-10-S, and 17-23-DR, a request for preliminary plat and design review approval by the applicant follows:

The Commission concludes that the applications comply with the City of Kuna's Zoning regulations (Title 5) of KCC and/or the Subdivision regulations outlined in title 6 of KCC.

1. The Kuna Commission accepts the facts as outlined in the staff memo, the public testimony and the supporting evidence list presented.

Comment: *The Kuna Commission held a public hearing on the subject applications on November 28, 2017, to hear from City staff, the applicant and to accept public testimony. The decision by the Commission is based on the application, staff report and public testimony, both oral and written.*

2. Based on the evidence contained in Case No's 17-10-S, and 17-23-DR, this proposal appears to *generally* comply with the Comprehensive Plan and City Code.

Comment: *The Comp Plan has listed numerous goals for providing commercial, single-family and multi-family housing in Kuna. The Comp Plan Map designates this property as Medium Density. As this project proposes to accommodate commercial and residential uses the project generally follows the goals of the Comp Plan and the Comp Plan Map.*

3. The Commission has the authority to recommend approval or denial of these applications.

Comment: *On November 28, 2017, the Commission voted to recommend approval for case No's 17-10-S, and has approved and 17-23-DR.*

4. The public notice requirements were met and the public hearing was conducted within the guidelines of applicable Idaho Code and City Ordinances.

Comment: *As noted in the process and noticing sections, notice requirements were met to hold a public hearing on November 28, 2017.*

K. Commissions Comprehensive Plan Analysis:

Commission determines the proposed annexation and zoning request for the *site* is consistent with the following Comp Plan components:

Housing:

Residents expressed interest in a mix of residential type dwellings applications; including a variety of housing. They were receptive to a greater mix of lot sizes and house price to appeal to a variety of people. A goal expressed by many was the preservation of large lots and rural cluster development in appropriate balance with a complement of other types of residential development (Page 21 Comprehensive Plan [CP]).

Comment: *The Comp Plan provides for a mix of residential uses. This project has proposed a zone that provides an opportunity for a variety of densities, therefore it generally conforms to the Comp Plan goals and policies.*

Private Property Rights Goals and Objectives - Section 2 - Summary:

Ensure the City land use policies, restrictions, conditions and fees do not violate private property rights and ensure that land use actions, decisions, and regulations do not effectively eliminate all economic value of the subject property. Ensure that City land use actions, decisions, and regulations do not prevent a private property owner from taking advantage of a fundamental property right and staff shall evaluate with guidance from the City's attorney; the Idaho Attorney General's six criterion established to determine the potential for property taking.

Comment: *Utilizing the Idaho Attorney General's criteria, and a review by the City Attorney, the proposed project does not constitute a "takings" and the Economic value is intact.*

Economic Development Goals and Objectives - Section 5 - Summary:

Promote and ensure an adequate supply of housing for all income levels and facilitate pedestrian connections, both visually and physically, to enhance pedestrian movement (Pg. 42 – 1.5 and Pg. 43 – 3.1 [CP]).

Comment: *The Comp Plan encourages an adequate mix of housing for all income levels and calls for increasing pedestrian connections. The requested zoning for this project provides an opportunity for a number of additional housing types to Kuna's inventory and quality housing. At time of development, this project should be conditioned to add to the City's pedestrian network for non-motorized transportation, by proposing pathway connections for development to connect to in the future.*

Land Use Goals and Objectives - Section 6 - Summary:

Adopt a future land use plan and map that includes natural and developed open spaces, while providing a variety of housing densities and types to accommodate various lifestyles, ages and economic groups. Protect existing neighborhoods and ensure new development is sustainable and keeps Kuna desirable. Develop cohesive neighborhoods with character and quality while incorporating a variety of densities and styles (Pg. 64 – 3.1 & Goal 3, and Pg. 65 – 4.3 [CP]).

Comment: *The requested zoning provides for quality housing opportunities and multiple housing varieties to the City's inventory for all types of lifestyles, ages and economic groups.*

Housing Goals and Objectives - Section 12 - Summary:

Encourage developers to provide high-quality development with a variety of lot sizes, dwelling types, densities and price points to meet the needs of current and future population while creating safe and aesthetically-pleasing neighborhoods. Ensure housing is available throughout the community for all income levels and those with special needs. Encourage logical and orderly development while discouraging development of land divisions greater than one half acre because large lot subdivisions increase municipal costs, require public subsidy and create sprawl (Pg. 155 – Obj. 1.1, Pg. 163 12.4 and Pg. 165 – 2.1 [CP]).

Comment: *With the requested preliminary plat, applicant proposes a future high quality development with a variety of dwelling types, densities, and price points for all income levels Kuna as encouraged by the Comp Plan. In the future, this project could significantly add to the City's overall network of, utilities, sidewalks and roadways, therefore it complies with logical, orderly development and discourages land divisions and development greater than one half acre, and could avoid increased municipal services costs and sprawl.*

Community Design Goals and Objectives - Section 13 - Summary:

Strengthen Kuna's Image through good community and urban design principles that create well planned neighborhoods. Foster good community design concepts that incorporate landscape features to serve as buffers

between incompatible uses while reducing scale and creates a sense of place (Pg.167 – Goal 1 and Pg. 168 – 1.2 and 2.1[CP]).

Comment: *Applicant should be conditioned to offer good community and urban design principles through creation of greenspaces, add to the pedestrian pathway network and add to the City's sidewalk network. At time of future development, applicant shall improve classified roadways, which add to the roadway system thereby complying with the adopted Master Street Plan of Kuna (Functional Classified Road Map). At time of development, the applicant should be conditioned to incorporate landscape buffers creating a sense of place for citizens. In the future, applicant should be conditioned to follow sound community design concepts and comply with the Comp Plan goals and help strengthen Kuna's image.*

L. City Council's Idaho State Code Analysis:

1. **IC §67-6511 (2) C** requires that the Commission analyze the proposed changes to zoning ordinances to ensure that they are not in conflict with the policies of the adopted comprehensive plan. If the request is found by the governing board to be in conflict with the adopted plan, **or** would result in demonstrable adverse impacts upon the delivery of services by any political subdivision providing public services, including school districts, within the planning jurisdiction.
2. **IC §67-6513** provides that the City provide for mitigation of the effects of subdivision development on the ability of political subdivisions of the state, including school districts, to deliver services without compromising quality of service delivery to current residents or imposing substantial additional costs upon current residents to accommodate the proposed subdivision.
3. Through discussions and comments submitted by public service providers, the project would not create demonstrable adverse impact to quality of emergency service and/or delivery of said services, or impose substantial additional costs to current residents.

M. Commission's Conclusions of Law:

The public notice requirements have been met and the neighborhood meeting was conducted within the guidelines of applicable Idaho Code and City Ordinances.

1. The Commission feels the site *is* physically suitable for development in the future.
Comment: *The 132.80 acre (approximate) proposal appears to be suitable for annexation, as proposed.*
2. The preliminary plat and subdivision landscaping requests are not likely to cause substantial environmental damage or avoidable injury to wildlife or their habitat.

Comment: *The land to be developed is not used as wildlife habitat. Roads, driveways, family units and open spaces are planned for construction according the City and ACHD requirements and best practices and will therefore not cause environmental damage or loss of habitat.*

3. These applications *are not* likely to cause adverse public health problems.

Comment: *The preliminary plat would generally comply with the Comp Plan. In the future, the project would connect to public sewer and potable water systems, therefore eliminating the occurrence of adverse public health problems.*

4. The application appears to avoid detriment to the present and potential surrounding uses; to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing adjacent uses.

Comment: *Through correspondence with public service providers and application evaluation, this annexation request appears to avoid detriment to surrounding uses. Commission did consider the annexation and the location of the property with adjacent uses.*

5. The existing and proposed street and utility services in proximity to the site are suitable or adequate for future residential purposes.

Comment: *Correspondence from ACHD and Kuna Public Works confirms that the streets and utility services are suitable and adequate for a future project.*

6. Based on the evidence contained in Case No's 17-10-S, and 17-23-DR, Commission finds Case No's 17-10-S, and 17-23-DR adequately comply with Kuna City Code.
7. Based on the evidence contained in Case No's 17-10-S, and 17-23-DR, Commission finds Case No's 17-10-S, and 17-23-DR generally comply with Kuna City Codes.

N. Recommended Conditions of Approval:

Based upon the Comp Plan, Kuna City Code, the record before the Commission, the applicant's presentation and testimony at the November 28, 2017, and discussion at the public hearing, the Kuna Commission votes to recommend approval for Case No's 17-10-S, and hereby approves 17-23-DR with the following conditions of approval:

- Applicant shall follow the conditions stated in the staff report and related agency reports.
 - Applicant shall work with the City on the requirements for curb, gutters for all streets and address storm water requirements.
1. The applicant and/or owner shall obtain written approval on letterhead or may be written/stamped on the approved plans of the construction plans from the agencies noted below. All submittals are required to include the lighting, landscaping, drainage, and development plans. All site improvements are prohibited prior to approval of the following agencies:
 - a. The City Engineer shall approve the sewer hook-ups.
 - b. The City Engineer shall approve the drainage and grading plans. No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of the drainage plan.
 - c. Central District Health Department recommends the plan be designed and constructed in conformance with standards contained in, "Catalog for Best Management Practices for Idaho Cities and Counties".
 - d. The Meridian Fire District shall approve fire flow requirements and/or building plans. Installation of fire protection facilities as required by Meridian Fire District is required.
 - e. The *Boise-Kuna and Nampa-Meridian* Irrigation Districts shall approval any modifications to the existing irrigation system.
 - f. Approval from Ada County Highway District (ACHD) shall be obtained and Impact Fees must be paid prior to *issuance* of any building permit(s).
 - g. All public rights-of-way shall be dedicated and constructed to standards of the City and Ada County Highway District. No public street construction may commence without the approval and permit from Ada County Highway District.
 2. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground, see **KCC 6-4-2-W**.
 3. Compliance with Idaho Code, Section §31-3805 pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site. Compliance with the requirements of the Boise Project Board of Control is required.

4. When required, submit a petition to the City (as necessary, confirmed with the City engineer) consenting to the pooling of irrigation surface water rights for delivery purposes and request to annex the irrigation surface water rights appurtenant to the property over to the Kuna Municipal Pressure Irrigation system of the City (KMID).
5. Street lights and parking lights for the site shall be LED lighting and must comply with Kuna City Code and established Dark Skies practices.
6. Parking within the site shall comply with Kuna City Code. (Unless specifically approved otherwise).
7. Fencing within and around the site shall comply with Kuna City Code (Unless specifically approved otherwise and permitted). Perimeter fencing (and permit) is required prior to requesting final plat signatures from Kuna City Clerk and Engineer.
8. All signage within/for the project shall comply with Kuna City Code and shall be approved in the design review process with all new commercial and multi-family.
9. All required landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace unhealthy or dead plant material within 3 days or as the planting season permits as required to meet the standards of these requirements. Maintenance and planting within public rights-of-way shall be with approval from the public entities owning the property.
10. The land owner/applicant/developer, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the City Council, or seek amending them through public hearing processes.
11. Applicant shall follow staff, City engineers and other agency recommended requirements as applicable.
12. Developer/owner/applicant shall comply with all local, state and federal laws.

DATED: This 9th day of January, 2018.

Lee Young, Chairman
Kuna Planning and Zoning Commission

ATTEST: _____
Troy Behunin, Planner III,
Kuna Planning and Zoning Department



City of Kuna

Staff Report

P.O. Box 13
Phone: (208) 922-5274
Fax: (208) 922-5989
www.Kunacity.id.gov

To: Kuna Planning and Zoning Commission (acting as the Design Review Committee)

File Numbers: 17-06-SUP (Special Use Permit) & 17-19-DR (Design Review); Kuna Townhomes

Location: 1394 West Park Ave
Kuna, Idaho 83634

Planner: Jace Hellman, Planner II

Hearing date: January 9, 2018

Applicant: Troy Lachcik
ALC Architecture
1119 E State St, Suite 120
Eagle, ID 83616
208.514.2713
troyl@alcarchitecture.com

Owner: Victor Clark
214 S Cole Road
Boise, ID 83709
208.870.4596
victorc@brightstarps.com

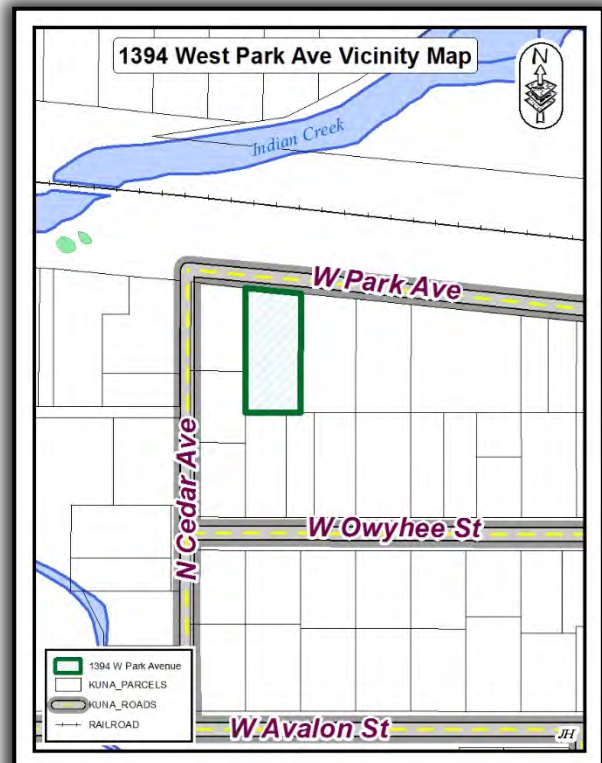


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A. Course of Proceedings:

1. Applicant is proposing one triplex consisting of three townhomes as described in 5-3-2 and 5-1-6-2 (Dwelling, multifamily, apartments (3 or more units under one roof); Definitions). Kuna City Code (KCC) requires obtaining a Special Use Permit (SUP) & Design Review (DR) approval for the construction of townhomes in an R-6 (Medium Density Residential) zone.
2. In accordance with KCC Title 5, Chapters 1 and 3, this application seeks SUP and Design Review approval for the construction of townhomes within an R-6 Zone.

a. Notifications

- | | |
|-------------------------------------|------------------------------------|
| i. Neighborhood Meeting | September 5, 2017 (Nine Attendees) |
| ii. Agencies | November 16, 2017 |
| iii. 300' Notice to Property Owners | December 20, 2017 |
| iv. Kuna, Melba Newspaper | December 20, 2017 |
| v. Site Posted | December 20, 2017 |

B. Applicants Request:

On behalf of Victor Clark, Troy Lachcik with ALC Architecture requests Special Use Permit (SUP) and Design Review (DR) approval to construct one triplex of townhouses on the north end of an approximately 0.51-acre lot. The site is located at 1394 W Park Avenue, Kuna, ID 83634.

C. Aerial Map:



D. History:

This site has been historically zoned Medium Density Residential (R-6).

E. General Projects Facts:

1. Surrounding Land Uses:

North	P	Union Pacific Railroad/Public District – Kuna City
South	R-6	Medium Density Residential – Kuna City
East	R-6	Medium Density Residential – Kuna City
West	R-6	Medium Density Residential – Kuna City

2. Parcel Sizes, Current Zoning, Parcel Numbers:

- Parcel Size: Approximately 0.51 acres
- Zoning: Medium Density Residential (R-6)
- Parcel #: R5070002532

3. **Services:**

Sanitary Sewer— City of Kuna
Potable Water – City of Kuna
Irrigation District – Kuna Municipal District
Gravity Irrigation – City of Kuna (KMID)
Fire Protection – Kuna Rural Fire District
Police Protection – Kuna Police (Ada County Sheriff)
Sanitation Services – J&M Sanitation

4. **Existing Structures, Vegetation and Natural Features:**

The current site consists of a bare dirt lot.

5. **Transportation / Connectivity:**

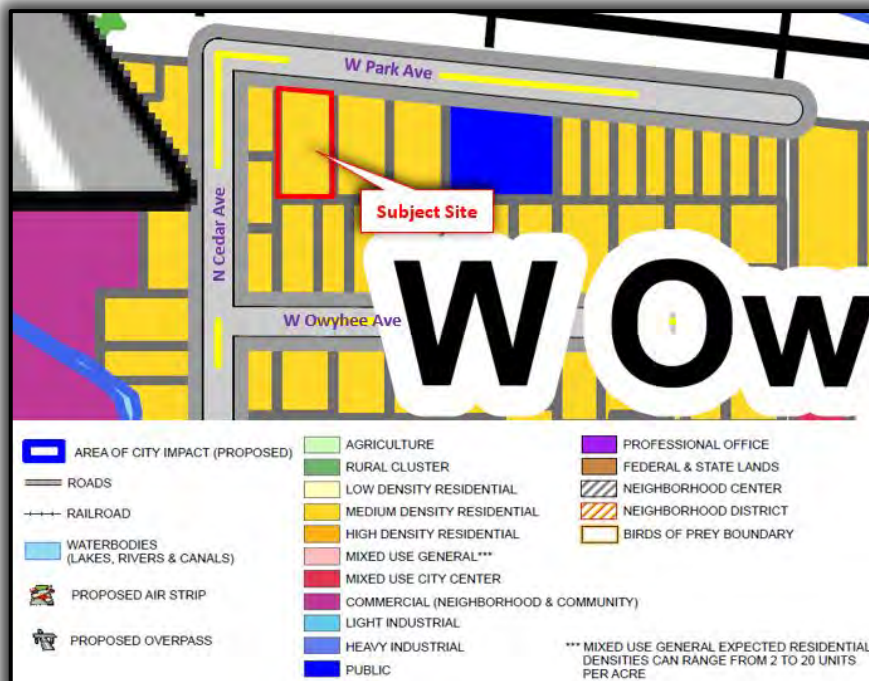
Current access to site exists via an approximately 14-foot wide unimproved driveway onto Park Avenue from the site. The applicant has proposed a 24-foot wide shared driveway onto Park Avenue from the site, located approximately 114-feet east of Cedar Avenue. The proposed shared driveway will accommodate all three residential units. The project fronts Park Avenue, which is improved with 2-travel lanes, 23-feet of pavement, and currently has no curb, gutter and sidewalk abutting the site. The only access to Park Avenue is available via Cedar Avenue which exists as an improved 17-foot wide street section within 20-feet of right-of-way.

6. **Environmental Issues:**

Apart from being in the nitrate priority area, staff is not aware of any environmental issues, health or safety conflicts at this time. This site's topography is generally flat.

7. **Comprehensive Future Land Use Map:**

The Future Land Use Map (FLU) identifies this site as Medium Density Residential. Staff views this proposed Special Use and Design Review request to be consistent with the surrounding zoning designations as designated in the Comprehensive Plan Future Land Use Map.



8. Agency Responses:

The following agencies returned comments which are included as exhibits with this case file:

- Public Works Department (November 22, 2017)Exhibit B4
- Department of Environmental Quality (November 24, 2017)Exhibit B5
- Idaho Transportation Department (December 5, 2017)Exhibit B6
- Central District Health Department (December 5, 2017)Exhibit B7
- Kuna Rural Fire District (December 11, 2017)Exhibit B8
- Ada County Fire District (December 22, 2017)Exhibit B9

F. Staff Analysis:

Under an R-6 zoning designation, a special use permit and design review approvals are required in order to construct three or more units under one roof. The applicant is proposing to construct three townhouses (approximately 1,800 square feet each) which would be built as one structure with fire wall separation between each unit. Staff finds that the proposed townhomes to be in general conformance with the Design Review Ordinance (Kuna City Code [KCC] Title 5, Chapter 4).

Staff finds the proposed Landscaping to be in conformance with the KCC Title 5 Chapter 17, the Landscaping Ordinance. The applicant has proposed to use potable City water for irrigation. Staff would not be in favor of the applicant using potable water for irrigation needs when the applicant has a water right, and access to gravity irrigation water is available.

City services and facilities are within 300-feet of the subject site. the applicant will be required to make an ultimate connection to all city utilities. There is a gravity irrigation main that crosses the parcel from the southeast corner to the northwest corner. This irrigation main will need to be rerouted to accommodate the design of the applicant's project.

Park Avenue is a dead-end street, and Cedar Avenue provides the only access to the site. Due to the narrow pavement situated on Cedar Avenue Staff would recommend that the applicant provide written approval from the Kuna Rural Fire District for the reduced access to the site. The applicant's proposed 24-foot wide shared driveway is in conformance with ACHD's Driveway policy; and Staff feels the proposed driveway should be approved and constructed as proposed. Staff would also note that per Kuna City Code and ACHD's Local Roadway Policy, the applicant will be required to construct Park Avenue as half of a 36-foot street section including pavement widening, curb, gutter and a minimum 5-foot wide sidewalk along the site's frontage.

The applicant is hereby notified that this project is subject to design review inspections and fees. Required inspections (post construction), are to verify building and landscaping compliance, prior to issuance of the certificate of occupancy.

Staff has determined that this application complies with Title 5 of Kuna City Code; Idaho Statute §67-6512; and the Kuna Comprehensive Plan; and forwards Case No.'s 17-06-SUP and 17-19-DR to the Planning and Zoning Commission, subject to the recommended conditions of approval.

G. Applicable Standards:

1. Kuna City Code, Title 5, Zoning Regulations
2. City of Kuna Comprehensive Plan
3. Idaho Code, Title 67, Chapter 65, Local Land Use Planning Act

H. Comprehensive Plan Analysis:

The Kuna Planning and Zoning Commission may accept or reject the Comprehensive Plan components as described below:

1. The proposed Special Use Permit and Design Review applications for the site are consistent with the following comprehensive plan components:

2.0 – Property Rights

Goal 1: *Ensure that the City of Kuna land use policies, restrictions, conditions and fees do not violate private property rights. Establish an orderly, consistent review process for the City of Kuna to evaluate whether proposed actions may result in private property “takings”.*

Policy: As part of a land use action review, the staff shall evaluate with guidance from the City’s attorney; The Idaho Attorney General’s six criteria established to determine the potential for property taking.

6.0 – Land Use

Goal 1: **Preserve Kuna’s high quality of life and strengthen the character and image of the community as a family-oriented place with small town character.**

Policy: Provide a variety of housing densities and types to accommodate various lifestyles, ages and economic groups.

12.0 – Housing

Goal 1: **Provide a wide-range of housing to meet the needs of the current and future population. Ensure that housing is available throughout the community for people of all income levels and for those with special needs.**

Objective 1.1:

Encourage the construction of housing that is safe, affordable and designed to accommodate a range of income levels

Policy: Encourage the development community to provide a variety of lot sizes, dwelling types, densities and price points.

Policy: Encourage mixed-use development that includes town centers, single-family, multi-family, accessory units, and other types of residential development.

I. Proposed Findings of Fact:

1. Based on the record contained in Case No.’s 17-06-SUP and 17-19-DR, including the exhibits, staff’s report and any public testimony at the public hearing, the Planning and Zoning Commission of Kuna, Idaho, hereby *approves/conditionally approves/denies* the Findings of Fact and Conclusions of Law, and the conditions of approval for Case No.’s 17-06-SUP and 17-19-DR.
2. The Kuna Planning and Zoning Commission approves/conditionally approves/denies the facts as outlined in the staff report, the public testimony and the supporting evidence list presented.

Comment: *The Kuna Commission held a public hearing on the subject applications on January 9, 2018 to hear from the City staff, the applicant, and to accept public testimony. The decision by the Commission is based on the application, staff report and public testimony, both oral and written*

3. Based on the evidence contained in Case No.’s 17-06-SUP and 17-19-DR, this proposal appears to generally comply with the Comprehensive Plan and Future Land Use Map.

Comment: *The Comp Plan Future Land Use Map designates the approximately 0.51 acres (subject property) as medium-density residential. The proposed townhouses are permitted in this zone with a special use permit.*

4. The Kuna Planning and Zoning Commission has the authority to approve or deny this application.

Comment: *On January 9, 2018, Kuna's Planning and Zoning Commission will vote to approve/conditionally approve/deny application 17-06-SUP and 17-19-DR.*

5. The public notice requirements were met and the public hearing was conducted within the guidelines of applicable Idaho Code and City Ordinances

Comment: *As noted in the process and noticing section, notice requirements were met to hold a public hearing on January 9, 2018.*

J. Kuna City Code Analysis:

1. This request appears to be consistent and in compliance with all Kuna City Code (KCC).

Comment: *The proposed application adheres to the applicable requirements of Title 5 of the KCC.*

2. The site is physically suitable for the proposed project.

Comment: *The 0.51-acre parcel is suitable to accommodate townhomes.*

3. The special use permit is not likely to cause substantial environmental damage or avoidable injury to wildlife or their habitat

Comment: *The land to be built on is not used as wildlife habitat. Roads, structures and open space already exist and will therefore not cause environmental damage or loss of habitat.*

4. The special use permit application is not likely to cause adverse public health problems.

Comment: *The proposed townhomes will be required to connect to Kuna public sewer and water eliminating the occurrence of adverse public health problems.*

5. The application appears to avoid detriment to the present and potential surrounding uses; to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing adjacent uses.

Comment: *The special use permit request considers the location of the property and adjacent uses. The adjacent uses are residential – as referenced in the Kuna Comprehensive Plan Future Land Use Map.*

6. The existing and proposed utility services in proximity to the site are suitable and adequate for commercial use.

Comment: *Correspondence from Kuna Public Works confirms that the utility services are suitable and adequate for townhomes if the project is completed in a timely manner.*

K. Proposed Conclusions of Law:

1. Based on the evidence contained in Case No.'s 17-06-SUP and 17-19-DR, Commission finds Case No.'s 17-06-SUP and 17-19-DR generally complies with Kuna City Code.
2. Based on the evidence contained in Case No.'s 17-06-SUP and 17-19-DR, Commission finds Case No.'s 17-06-SUP and 17-19-DR are generally consistent with Kuna's Comprehensive Plan.

3. The public notice requirements have been met and the neighborhood meeting was conducted within the guidelines of applicable Idaho Code and City Ordinances.

L. Proposed Decision by the Commission:

Note: This motion is for approval, conditional approval or denial of these requests. However, if the Planning and Zoning Commission wishes to approve or deny specific parts of these requests as detailed in the report, those changes must be specified.

Based on the facts outlined in staff's report and public testimony as presented, the Planning and Zoning Commission of Kuna, Idaho, hereby (approves, conditionally approves or denies) Case No. 17-06-SUP, a Special Use Permit and 17-19-DR, a Design Review request by Troy Lachcik with ALC Architecture (on behalf of Victor Clark), (with or without) the following conditions of approval:

1. The applicant shall obtain a building permit for required building modifications, remodeling, or additions to the existing structure, prior to construction.
2. In the event the uses or the building on this parcel are enlarged, expanded upon or altered in anyway (even for temporary purposes), the landowner/applicant/developer, and any future assigns having interest in the subject property, shall seek an amendment to the approvals of this Special Use Permit through the public hearing process.
3. The applicant shall obtain written approval of the construction plans from the agencies noted below. The approval may be either on agency letterhead referring to the approved special use or may be written or stamped upon a copy of the approved plans. All site improvements are prohibited prior to approval of these agencies and the issuance of a building permit:
 - a.) The City Engineer shall approve the sewer hook-ups.
 - b.) The City Engineer shall approve the drainage and grading plans. Central District Health Department recommends the plan be designed and constructed in conformance with standards contained in, "Catalog for Best Management Practices for Idaho Cities and Counties". No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of the drainage plan.
 - c.) The Kuna Fire District shall approve fire flow requirements and/or building plans. Installation of fire protection facilities as required by Kuna Fire District is required.
 - d.) The KMID Irrigation District shall approve any modifications to the existing irrigation system.
 - e.) Approval from Ada County Highway District (ACHD) shall be obtained and Impact Fees must be paid prior to *issuance* of any building permit(s).
4. All easements and public right-of-way shall be dedicated and constructed to standards of the City and Ada County Highway District. No public street construction may be commenced without the approval of the Ada County Highway District. Any work within the Ada County Highway District right-of-way requires a permit. For information regarding the requirements to obtain a permit, contact Ada County Highway District Development Services at (208) 387-6100.
5. The applicant shall provide written fire departmental approval for reduced access to the site via Cedar Avenue prior to issuance of any building permits.
6. Applicant shall construct a 24-foot wide driveway approach on Park Avenue leading to the site and pave the driveway its entire width beyond the edge of pavement of Park Avenue.
7. The applicant shall construct Park Avenue as ½ of a 36-foot street section including pavement widening, curb, gutter and a minimum 5-foot wide sidewalk along the site's frontage.
8. Applicant shall pay all ACHD impact fees prior to issuance of a building permit from the City of Kuna.
9. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground.
10. Compliance with Idaho Code, Section §31-3805, pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site.
11. Landscaping on site shall comply with KCC Title 5 Chapter 17.
12. All required landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace any unhealthy or dead plant material immediately (within 3 days as weather

permits) or as the planting season permits, as required to meet the standards of these requirements. Maintenance and planting within public rights-of-way shall be permitted with approval from the public and/or private entities owning the property.

13. The use of potable water is not a preferred method of irrigation. The applicant shall install a private pressurized irrigation system, unless an alternative method of compliance is approved by the planning director.
14. This special use permit is valid if the conditions of approval are adhered to continuously. In the event the conditions are not continuously followed; the special use permit approval may be revoked by the Planning and Zoning Commission.
15. This development is subject to building and landscaping design review inspections. Inspection fees shall be paid prior to staff inspection.
16. The special use permit is not transferable from one parcel of land to another.
17. The applicant shall follow all staff and agency recommendations.
18. The applicant shall comply with all local, state and federal laws.

DATED this 9th day of January, 2018

Lee Young, Chairman
Kuna Planning and Zoning Commission

ATTEST:

Jace Hellman, Planner II
Kuna Planning and Zoning Department



City of Kuna
Planning & Zoning
Department
P.O. Box 13
Kuna, Idaho 83634
208.922.5274
Fax: 208.922.5989
Website: www.kunacity.id.gov

Special Use Checklist

Special Use requires a public hearing with the Planning & Zoning Commission. A public hearing sign will be required to be posted by the applicant for the meeting. Sign posting regulations are available online.

Project name: <i>Kuna Townhomes</i>	Applicant: <i>ALL Architecture</i>
---	--

All applications are required to contain one copy of the following:

Applicant (✓)	Description	Staff (✓)
✓	Completed and signed Commission & Council Review Application.	✓
✓	Detailed submittal letter explaining how the project enhances and beautifies the community and types of services the project will provide.	✓
✓	Legal description of the property: Include a metes & bounds description to the section line of all adjacent roadways stamped & signed by a registered professional land surveyor with a calculated closure sheet & a map showing the boundaries of the legal description.	✓
✓	Proof of ownership—A copy of your deed and Affidavit of Legal Interest (for all interested parties).	✓
✓	8 1/2 x 11 vicinity map showing streets, driveways, property lines, etc.	✓
✓	Landscape plan drawn to scale as the same size as the site development plan with the following details: ◇ Type, size and location of all existing & proposed plant materials and other ground covers. The size of plants at planting and maturity should be included. ◇ Existing vegetation labeled to remain or to be removed with landscaping on adjacent properties by area (s) to be considered. ◇ Method of irrigation. ◇ Cross-sections through areas of special features, berms, retaining walls, etc. ◇ Footprints of all structures to be constructed.	✓
✓	Site development plan on 24x36 to scale (not smaller than 1=30 unless otherwise approved) with the following information: ◇ Building locations—existing and proposed with spare-footages. ◇ Fences—existing, surrounding and proposed. ◇ Off-street parking, circulation and driveway locations and types. ◇ Location and size of adjacent streets and driveways. ◇ North arrow and property lines. ◇ Drawings of major exterior elevations. ◇ Building materials and color scheme. ◇ Existing grades and proposed new grades. ◇ Existing lighting and proposed lighting.	✓
✓	Commitment of Property Posting form signed by the applicant/agent.	✓
✓	Neighborhood meeting certification (certification & neighborhood meeting list forms shall accompany this application).	✓

Note: Only one copy of the above items need to be submitted when applying for multiple applications.

This application shall not be considered complete (nor will a Public Hearing be set) until staff has received all required information. Once the application is deemed complete, staff will notify the applicant of the scheduled hearing date, fees due, additional copies needed, etc.



City of Kuna
Planning & Zoning
Department
P.O. Box 13
Kuna, Idaho 83634
208.922.5274
Fax: 208.922.5989
Website: www.kunacity.id.gov

RECEIVED
8.21.17

Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

*Please submit the appropriate checklist (s) with application

Type of Review (check all that apply):

- ☐ Annexation
- ☐ Appeal
- ☐ Comprehensive Plan Amendment
- ☒ Design Review
- ☐ Development Agreement
- ☐ Final Planned Unit Development
- ☐ Final Plat
- ☐ Lot Line Adjustment
- ☐ Lot Split
- ☐ Planned Unit Development
- ☐ Preliminary Plat
- ☐ Rezone
- ☒ Special Use
- ☐ Temporary Business
- ☐ Vacation
- ☐ Variance

For Office Use Only	
File Number (s)	17-06-SUP 17-1A-DR Design Review
Project name	Kuna Townhomes
Date Received	8.21.17
Date Accepted/ Complete	11/16/17
Cross Reference Files	17-06-SUP or 17-1A-DR
Commission Hearing Date	
City Council Hearing Date	

Contact/Applicant Information

Owners of Record: Victor Clark	Phone Number: 208-870-4596
Address: 214 S. Cole Road	E-Mail: victorclark@brightstarp.com
City, State, Zip: Boise, ID, 83709	Fax #: -
Applicant (Developer):	Phone Number:
Address:	E-Mail:
City, State, Zip:	Fax #:
Engineer/Representative: ALC Architecture	Phone Number: (208) 514-2713
Address: 119 East State Street, Suite 120	E-Mail: troy@alcarchitecture.com
City, State, Zip: Eagle, ID 83616	Fax #: -

Subject Property Information

Site Address: 1394 West Park Avenue, Kuna, ID 83634	
Site Location (Cross Streets): West Park Avenue, Cedar Street	
Parcel Number (s): R5070002532	
Section, Township, Range: 2N1W23	
Property size: 22,219 square feet / .508 acres	
Current land use: Residential	Proposed land use: Residential
Current zoning district: R-6	Proposed zoning district: R-6

Project Description

Project / subdivision name: <u>Kuna Townsite AMD</u>
General description of proposed project / request: <u>Construction of townhouses on the Northern portion of the property</u>
Type of use proposed (check all that apply):
☒ Residential <u>townhouses, 3 attached units</u>
☐ Commercial _____
☐ Office _____
☐ Industrial _____
☐ Other _____
Amenities provided with this development (if applicable): _____

Residential Project Summary (if applicable)

Are there existing buildings? ☐ Yes ☒ No
Please describe the existing buildings: _____
Any existing buildings to remain? ☐ Yes ☒ No
Number of residential units: <u>3</u> Number of building lots: <u>1</u>
Number of common and/or other lots: <u>0</u>
Type of dwellings proposed:
☐ Single-Family _____
☒ Townhouses <u>3 connected townhouses</u>
☐ Duplexes _____
☐ Multi-Family _____
☐ Other _____
Minimum Square footage of structure (s): <u>4,243 square feet</u>
Gross density (DU/acre-total property): <u>3/508 = 5.9</u> Net density (DU/acre-excluding roads): <u>3/4 = 7.5</u>
Percentage of open space provided: <u>81%</u> Acreage of open space: <u>.41 acres</u>
Type of open space provided (i.e. landscaping, public, common, etc.): <u>landscaping, road</u>

Non-Residential Project Summary (if applicable)

Number of building lots: _____	Other lots: _____
Gross floor area square footage: _____	Existing (if applicable): _____
Hours of operation (days & hours): _____	Building height: _____
Total number of employees: _____	Max. number of employees at one time: _____
Number and ages of students/children: _____	Seating capacity: _____
Fencing type, size & location (proposed or existing to remain): _____	
Proposed Parking:	a. Handicapped spaces: _____ Dimensions: _____
	b. Total Parking spaces: _____ Dimensions: _____
	c. Width of driveway aisle: _____
Proposed Lighting: _____	
Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.): _____	

Applicant's Signature: [Signature] Date: 8/18/17



August 18, 2017

**City of Kuna
C/O: Design Review Staff**

**Re: Kuna Townhouses
Project Address: 1394 West Park Avenue, Kuna, ID 83634**

To Whom It May Concern:

Pursuant to our Design Review and Special Use Permit applications for the Kuna Townhouses located at 1394 West Park Avenue. We respectfully request approval to our applications to construct a triplex of townhouses on the North end of the Lot 9 Blk 27 Plot 187 Book 4 bordering West Park Avenue.

Currently empty, the .508 acre lot is zoned for residential and is allowed 3 units per city code. We are proposing 3 townhouses (approximately 1,800 square feet each) which would be built as one structure with fire wall separation between each unit. We would also be providing a 20' wide street to lead from West Park Avenue into the site where separate driveways will lead residents into their garages.

The building will be wood frame construction and clad with 6" Masonite horizontal boarding on the outside and architectural asphalt shingles for roofing. With emphasis on affordable housing, these compact two-story townhouses will be an excellent option for residents looking to move in to the area.

Photos, renderings, elevations, floorplans, site plans and material pallets are attached for your reference.

Should you have any questions or concerns regarding this response letter please contact me immediately. We thank you for your time and consideration for this project.

Thank you,

A handwritten signature in black ink, appearing to read 'Doug Newell'.

Doug Newell
ALC Architecture
dougn@alcarchitecture.com
208.514.2713

File Number: 17291817
Policy Number: 2470-O-17291817

ALTA Owner's Policy (6/17/06)

SCHEDULE C
Legal Description

Lot 9 in Block 27 of The Amended Plat of the Townsite of Kuna, according to the official plat thereof, filed in Book 4 of Plats at Page 187, records of Ada County, Idaho.

AND half of the alley lying South and adjacent to said premises, as vacated by instrument recorded March 10, 1986 as Instrument No. 8611725, records of Ada County, Idaho.





City of Kuna AFFIDAVIT OF LEGAL INTEREST

City of Kuna
P.O. Box 13
Kuna, Idaho 83634
Phone: (208) 922-5274
Fax: (208) 922-5989
Kunacity.id.gov

State of Idaho) Project ADDRESS: LOT 9 BLK 27 PAT 187 Book 4
County of Ada) ss KUNA, ID 83634

I, Victor Clark mailing, 214 S. COLE RD
Name Address
BOISE ID 83709
City State Zip Code

being first duly sworn upon oath, depose and say:

(If Applicant is also Owner of Record, skip to B)

A. That I am the record owner of the property described on the attached, and I grant my

Permission to Troy Lachcik ALC Architecture 1119 E. State St. #120 Eagle, ID 83616
Name Address

to submit the accompanying application pertaining to that property.

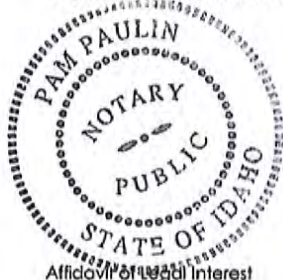
B. I agree to indemnify, defend and hold City of Kuna and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.

C. I hereby grant permission to the City of Kuna staff to enter the subject property for the purpose of site inspections related to processing said application(s).

Dated this 18 day of JULY, 2017

[Signature]
Signature

Subscribed and sworn to before me the day and year first above written.



Pam Paulin
Notary Public for Idaho

Residing at: Bonnie Idaho

My commission expires: 02/20/2021

1394 West Park Ave Aerial Map



Indian Creek

W Park Ave

N Cedar Ave

W Owyhee St

W Avalon St

-  1394 W Park Avenue
-  KUNA_PARCELS
-  KUNA_ROADS
-  RAILROAD

Exhibit
A2e

JH

1394 West Park Ave Vicinity Map



Indian Creek

W Park Ave

N Cedar Ave

W Owyhee St

W Avalon St

-  1394 W Park Avenue
-  KUNA_PARCELS
-  KUNA_ROADS
-  RAILROAD

JH

1394 West Park Ave Zoning Map



Indian Creek

W Park Ave

N Cedar Ave

W Owyhee St

n St

JH

	1394 W Park Avenue		A		M-1		R-4
	KUNA_PARCELS		C-1		M-2		R-5
KUNA PARCEL ZONING			C-2		P		R-6
ZONING			C-3		R-1		R-8
	FUD		CBD		R-2		R-12
			L-O		R-3		R-16
							R-20
							RAILROAD
							KUNA_ROADS

W Hayfield Ct

Local Property Sizes



W 4th St

W Park Ave

W Owyhee St

N Cedar Ave

W Avalon St

S Ash Ave

S Titan Pl

1394 West Park Ave

KUNA_ROADS

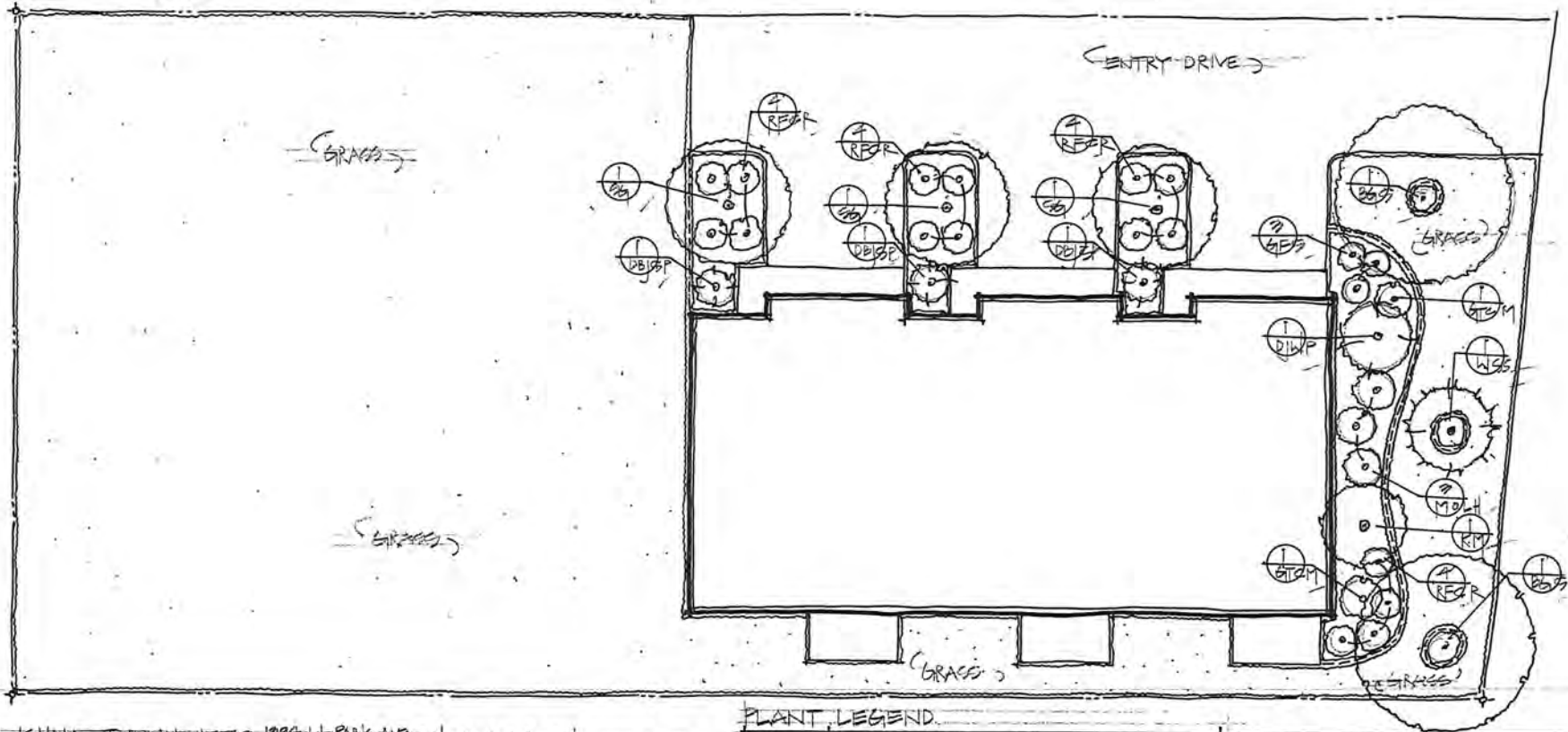
Local Property Sizes ACRES

1.04 - 6.13
0.54 - 1.03
0.28 - 0.53
0.12 - 0.27
0.02 - 0.11

JH



1. TOPSOIL = 6" THROUGHOUT TO CREATE FINAL GRADE
2. LAWN = BLUE GRASS BLEND (SEED OR HYDROSEED - PER OWNER)
3. PARK MILL CHS (2") TOP DRESS AT ALL PLANTER BEDS
4. PLANT MATERIAL :: MEET ASTM 2-60.1 AMERICAN STANDARD FOR NURSERY STOCK
' MEET IDAHO NURSERY STANDARDS FOR PLANTING ALL TREES AND SHRUBS.
5. SPRINKLER IRRIGATION: PER OWNER-CITY AGREEMENT.
6. WARRANTIES: PER OWNER- CONTRACTOR AGREEMENT



PREPARED BY: HARVEST DESIGN
4 AUG. 2017



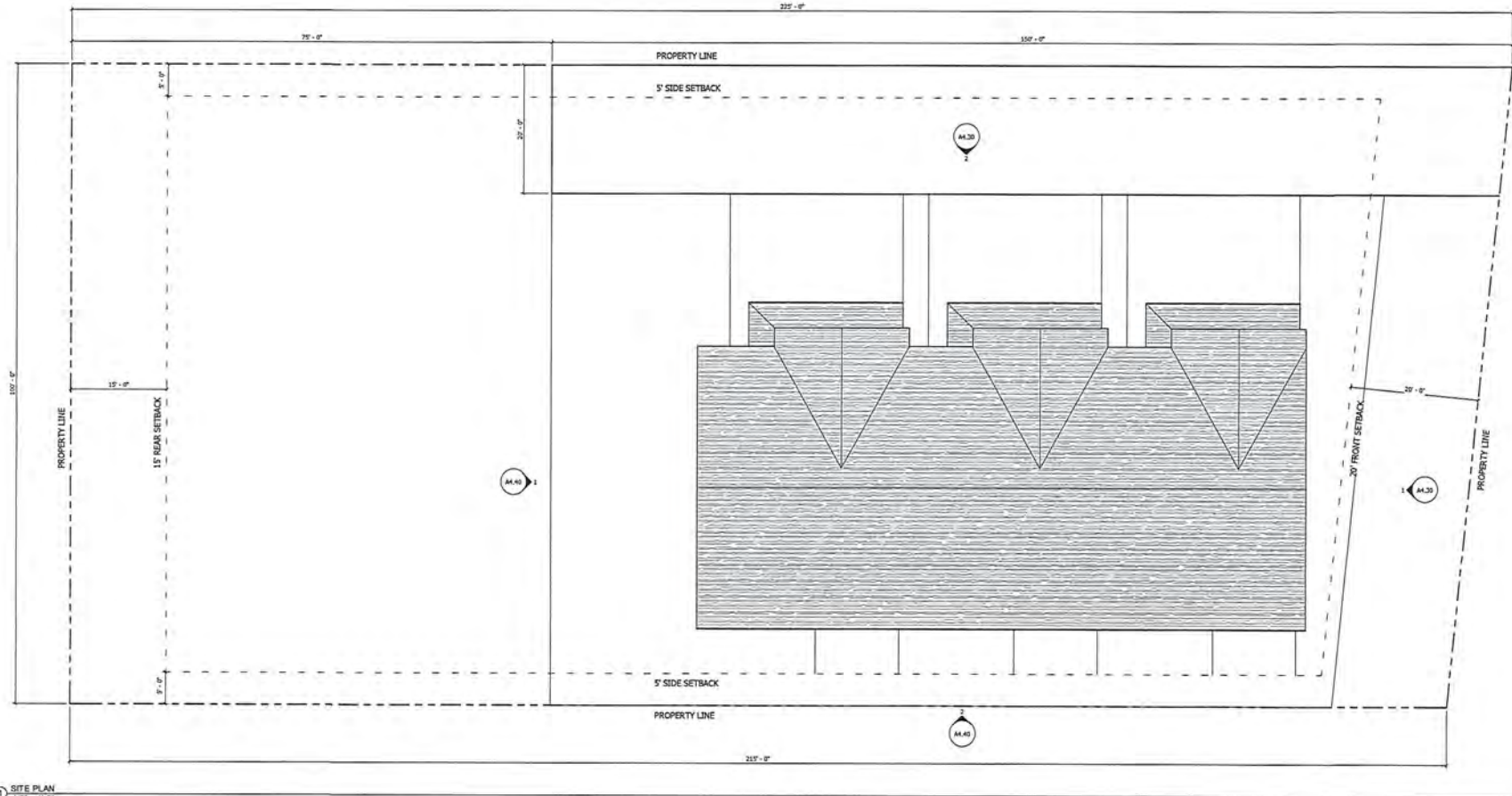
14. Aug. '17

[illegible]

Exhibit —

A2f

THIS DRAWING CONTAINS INFORMATION WHICH IS PROPRIETARY PROPERTY OF ALC ARCHITECTURE.
NO UNAUTHORIZED REUSE OR DUPLICATION OF THESE PLANS OR ANY INFORMATION CONTAINED HEREIN,
WITHOUT THE EXPRESS WRITTEN CONSENT OF ALC ARCHITECTURE.
THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL IT IS SIGNED BY THE ARCHITECT.
COPYRIGHT © ALC ARCHITECTURE



1 SITE PLAN
1/8" = 1'-0"





City of Kuna
**COMMITMENT TO
PROPERTY POSTING**

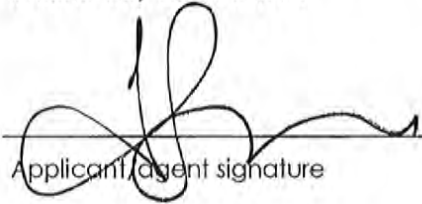
P.O. Box 13
Kuna, Idaho 83634
208.922.5274
Fax: 208.922.5989
Website:
www.cityofkuna.com

Per City Code 5-1A-8, the applicant for all applications requiring a public hearing shall post the subject property not less than ten (10) days prior to the hearing. The applicant shall post a copy of the public hearing notice or the application (s) on the property under consideration.

The applicant shall submit proof of property posting in the form of a notarized statement and a photograph of the posting to the City no later than seven (7) days prior to the public hearing attesting to where and when the sign (s) were posted. Unless such Certificate is received by the required date, the hearing will be continued.

The sign (s) shall be removed no later than three (3) days after the end of the public hearing for which the sign (s) had been posted.

I am aware of the above requirements and will comply with the posting requirements as stated in Kuna City Code 5-1A-8


Applicant/agent signature

11.16.17
Date



City of Kuna PROOF OF PROPERTY POSTING

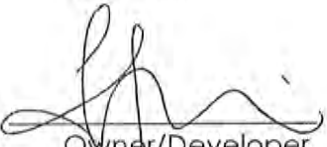
City of Kuna
P.O. Box 13
Kuna, Idaho 83634

Phone: (208) 922-5274
Fax: (208) 922-5989
Web: www.kunacity.id.gov

This notice shall confirm that the Public Hearing Notice for 1394 W. PARK AVE, KUNA
(NAME OF SUBDIVISION OR ADDRESS) was posted as required per Kuna City Ordinance
5-1-5B. Sign posted WED, DEC 20 2017 (DAY OF THE WEEK, MONTH,
DATE AND YEAR). This form is required to be returned three (3) calendar days
subsequent to posting and signs are to be removed from the site three (3) calendar
days after the hearing.

DATED this 3RD day of JANUARY, 2018.

Signature,


Owner/Developer

STATE OF IDAHO)
County of Ada) ss

On this 3 day of January, 2018, before me the
undersigned, a Notary Public in and for said State, personally appeared before me
(Owner, Developer).

Troy L Lachcik

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal
the day and year in this certificate first above written.

Josh Powell
Notary Public
Residing at Edgemoor, ID 83616
Commission Expires 29 Dec. 2022



**CITY OF KUNA
PUBLIC HEARING
NOTICE**
Kuna Planning and
Zoning Commission
THE CITY OF KUNA
will hold a public hearing
on January 9, 2018 at
Kuna City Hall, 751 W. 4th
Street at 6:00 pm
PURPOSE: Design Review and Special
Use Permit to construct a new triplex
of 2 story townhouses
LOCATION: 1194 West Park Ave., Kuna, ID 83644
APPLICATION BY: ALC Architecture





August 23, 2017

Dear Resident,

Kuna requires an opportunity for a meeting between the applicant of a development proposal and the residents of the neighborhood in which the development site is located. The meeting shall occur prior to formal submittal of the development application to the City. This letter is such notice of an opportunity to review and discuss a triplex townhouse development on the property located at 1394 W. Park Avenue Kuna, Idaho 83634. This is not a public hearing; public officials will not be present. If you have any questions regarding this Kuna Code neighborhood meeting requirement, please contact the Planning & Zoning Services Department at 208-922-5274. If you have questions about the development project, please contact the representative listed below.

Purpose:

To review and provide comments regarding a new triplex townhouse located at 1394 W. Park Avenue Kuna, Idaho 83634.

When:

Tuesday September 5, 2017 at 6:00 PM

Where:

Location: 1394 W. Park Avenue Kuna, Idaho 83634

Project Description:

We are proposing a new triplex townhouse on the property above. We have included a copy of the vicinity plan for your review.

If you have questions about the meeting or proposed development project, please contact Troy Lachcik at ALC Architecture, 1119 E. State St. Suite 120 Eagle, Idaho 83616; 208.514.2713

Thank you,

A handwritten signature in black ink, appearing to read 'Troy Lachcik'.

Troy Lachcik

ALCollaborative Architecture

troyl@alcarchitecture.com





Neighborhood Meeting Certification

CITY OF KUNA PLANNING & ZONING • 763 W. Avalon, Kuna, Idaho, 83634 • www.kunacity.id.gov • (208) 922-5274 • Fax: (208) 922-5989

GENERAL INFORMATION:

You must conduct a neighborhood meeting prior to application for variance, conditional use, zoning ordinance map amendment, expansion or extension of a nonconforming use, and/or a subdivision. Please see Section 5-1A-2 of the Kuna City Code or ask one of our planners for more information on neighborhood meetings.

The meeting must be held either on a weekend between 10 a.m. and 7 p.m., or a weekday between 6 p.m. and 8 p.m. Meetings cannot be conducted on holidays, holiday weekends, or the day before or after a holiday or holiday weekend. The meeting must be held at one of the following locations:

- The Subject Property;
- The nearest available public meeting place (Examples include fire stations, libraries and community centers);
- An office space within a 1-mile radius of the subject property.

The meeting cannot take place more than 2 months prior to acceptance of the application and the application will not be accepted before the neighborhood meeting is conducted. You are required to send written notification of your meeting, allowing a reasonable amount of time before your meeting for property owners to plan to attend. Contacting and/or meeting individually with residents will not fulfill Neighborhood Meeting requirements.

You may request a list of the people you need to invite to the neighborhood meeting from our department. This list includes property owners within 300 feet of the subject property. Once you have held your neighborhood meeting, please complete this certification form and include it with your application.

Please Note: The neighborhood meeting must be conducted in one location for attendance by all neighboring residents. Contacting and/or meeting individually with residents does not comply with the neighborhood meeting requirements.

Please include a copy of the sign-in sheet for your neighborhood meeting, so we have written record of who attended your meeting and the letter of intent sent to each recipient. In addition, provide any concerns that may have been addressed by individuals that attended the meeting.

Description of proposed project: Three attached townhouses with fire wall separation.

Date and time of neighborhood meeting: Tuesday, September 5th 2017 at 6:00 PM

Location of neighborhood meeting: 1394 W. Park Avenue, Kuna, ID 83634

SITE INFORMATION:

Location: Quarter: _____ Section: 2N Township: 1W Range: 23 Total Acres: .508

Subdivision Name: Kuna Townsite AMD Lot: 09 Block: 27

Site Address: 1394 W Park Avenue, Tax Parcel Number(s): R 5070002532
Kuna, ID 83634

Please make sure to include all parcels & addresses included in your proposed use.

CURRENT PROPERTY OWNER:

Name: Victor Clark
Address: 214 S. Cole Road City: Boise State: ID Zip: 83709

CONTACT PERSON (Mail recipient and person to call with questions):

Name: _____ Business (if applicable): ALC Architecture
Address: 1119 E. State St., Suite 200 City: Engle State: ID Zip: 83616

PROPOSED USE:

I request a neighborhood meeting list for the following proposed use of my property (check all that apply):

Application Type

Annexation
Re-zone
Subdivision (Sketch Plat and/or Prelim. Plat)
Special Use
Variance
Expansion of Extension of a Nonconforming Use
Zoning Ordinance Map Amendment

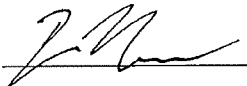
Brief Description

3 townhouses on an R-6 lot.

APPLICANT:

Name: Doug Newell (ALC Architecture)
Address: 1119 E. State St., Suite 120
City: Eagle State: ID Zip: 83616
Telephone: 208.514.2713 Fax: -

I certify that a neighborhood meeting was conducted at the time and location noted on this form and in accord with Section 5-1A-2 of the Kuna City Code

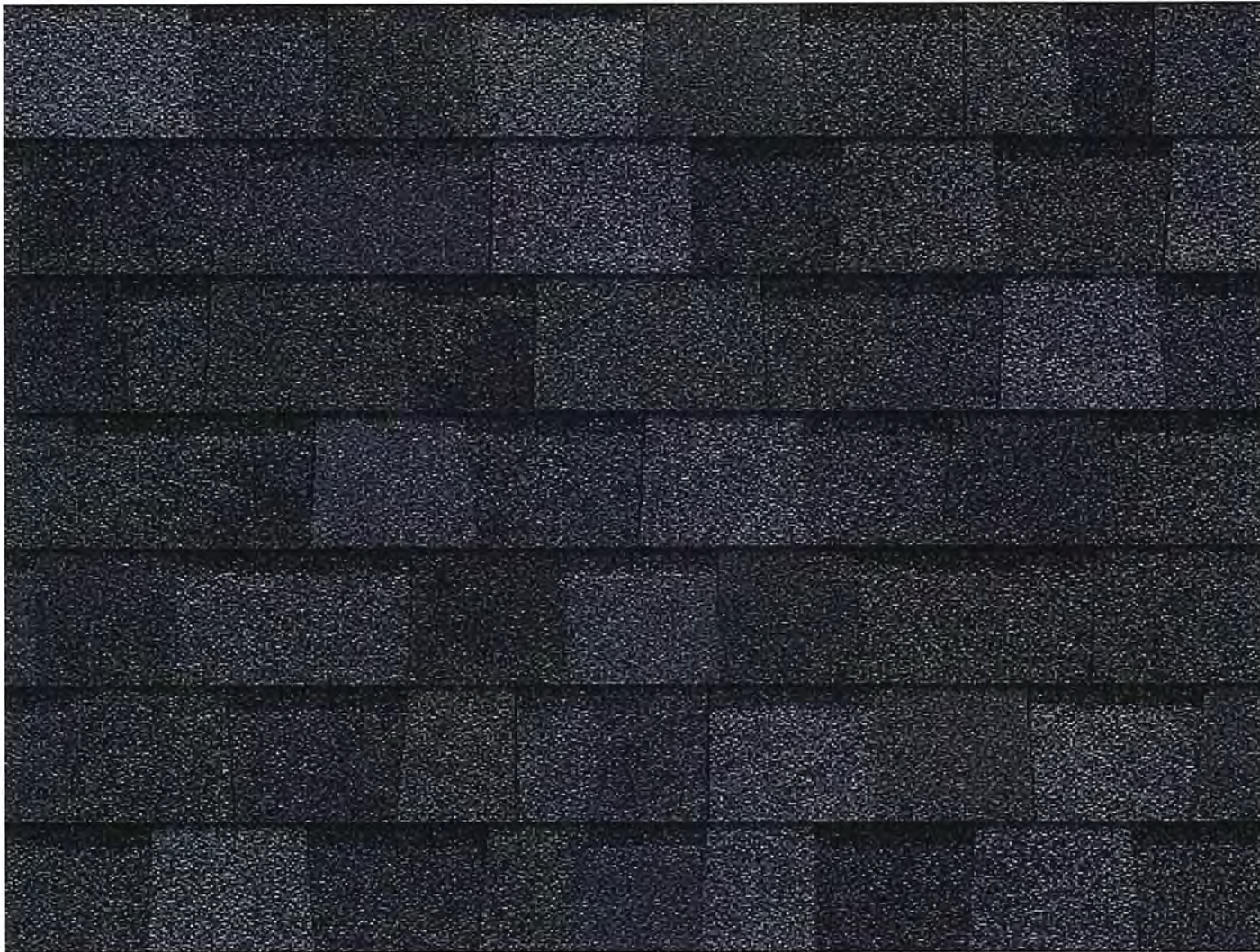
Signature: (Applicant)  Date 9/5/17

SIGN IN SHEET

PROJECT NAME: Kuna Townhouses - 17083

Date: 9/5/17

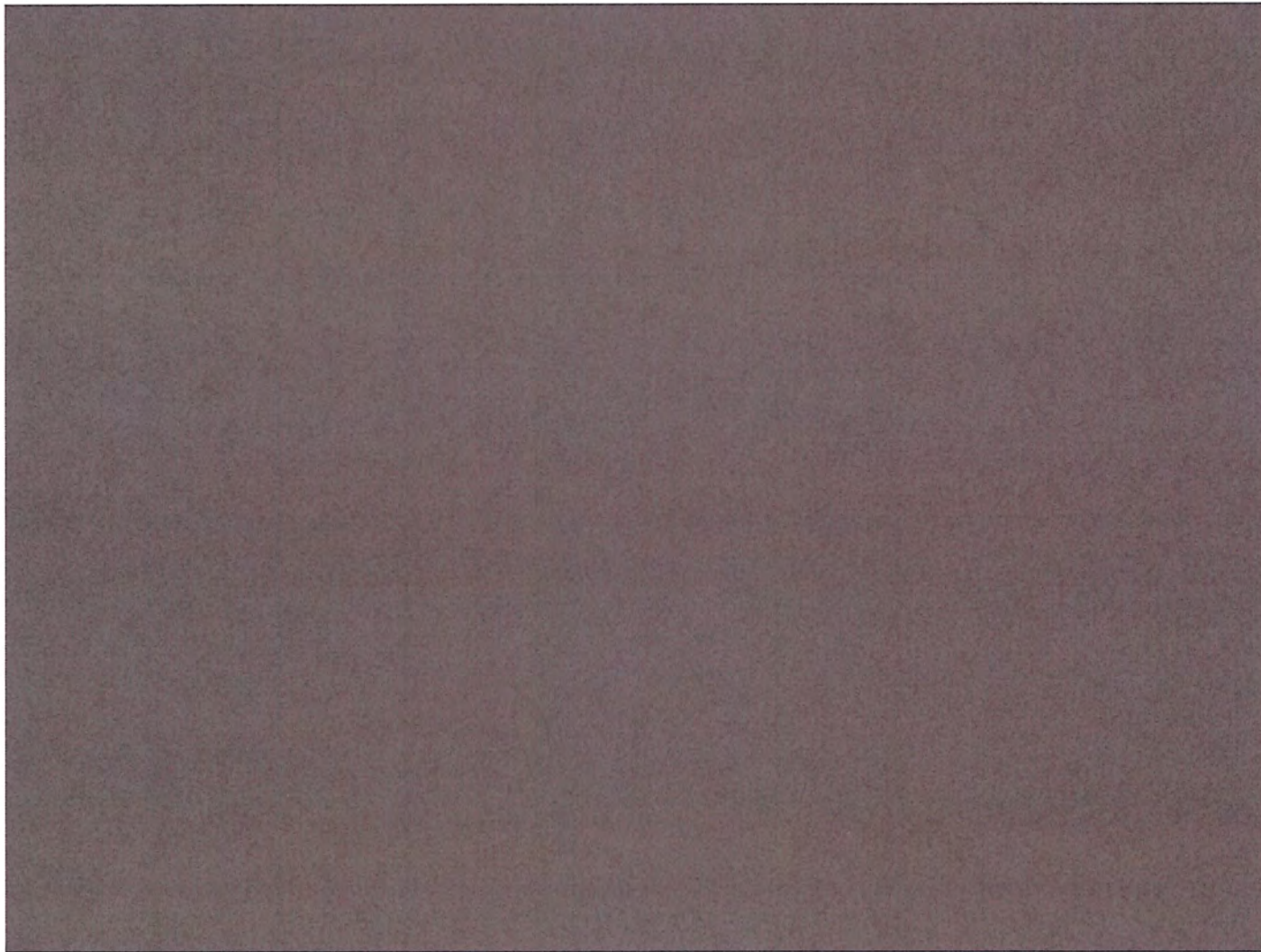
	<u>Name</u>	<u>Address</u>	<u>Zip</u>	<u>Phone</u>
1	Doug Newell	1119 E State Street	83616	208.514.2713
2	Aly Clark	7203 E Columbia	83716	891.4699
3	Jeff Marler	260 Cedar Ave	83634	2087312730
4	Glenda Sanders	260 Cedar Ave	83634	" "
5	Spencer Bingham	2630 W Divide Creek	83646	208 283 2792
6	Rod Cottrell	215 Cedar Ave	83634	208 573-1590
7	Katrina Cottrell	215 Cedar Ave	83634	208 573-5516
8	Joseph L. Newsum	259 Cedar Ave	83634	208-629-7619
9	Katherine F. Newsum	259 Cedar Ave	83634	208-629-7619
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30				



M1 BLACK - ARCHITECTURAL ASPHALT SHINGLES



M2 TAUPE - 6" REVEAL HORIZONTAL MASONITE SIDING



M3 URBAN BRONZE - MASONITE TRIM



City of Kuna Design Review Application

P.O. Box 13
Kuna, Idaho 83634
(208) 922.5274
Fax: (208) 922.5989
Website: www.kunacity.id.gov

FILE NO.: 17-19-DR (Design Review)

CROSS REF.: 17-06-SUP (special use permit)

FILES: 17-06-SUP & 17-19-DR

The City of Kuna has adopted a Design Review process whose purpose is to make Kuna a pleasant and comfortable place to live and work. This Design Review process is based on standards and guidelines found in the Design Review Ordinance No. 2007-02 and the Architecture and Site Design Booklet. Both documents can be found online (www.cityofkuna.com) or are picked up in the City's Planning and zoning department is located at 751 W 4th Street, Kuna ID.

The Design Review application applies to the following land use actions:

- ▶ Multi-family dwellings (3 or more)
- ▶ Commercial
- ▶ Industrial
- ▶ Institutional
- ▶ Office
- ▶ Common Area
- ▶ Subdivision Signage
- ▶ Proposed Conversions
- ▶ Proposed changes in land use and/or building use or exterior remodeling
- ▶ Exterior restoration, and enlargement or expansion of existing buildings, signs or sites.

Application Submittal Requirements

Applicant Use		Staff Use
☒	Date of pre-application meeting: <u>6-20-17</u> Note: Pre-Applications are valid for a period of three (3) months.	☒
☒	A complete Design Review Application form Note: It is the applicant's responsibility to use a current application.	☒
☒	Detailed letter of explanation or justification for the application, describing the project and design elements, and how the project complies with Design Review standards.	☒
☒	One (1) Vicinity Map (8 1/2" x 11") at 1" = 300' scale (or similar), label the location of the property and adjacent streets.	☒
☒	One 8 1/2" x 11" colored aerial photo depicting proposed site, street names, and surrounding area within five-hundred feet (500').	☒
☒	Copy of Deed; and, if the applicant is not the owner, an original notarized statement (affidavit of legal interest) from the owner (and all interested parties) stating the applicant is authorized to submit this application.	☒





Detailed site, landscape, drainage plan, elevation and to scale. (No smaller than 1"=30', unless otherwise approved.)



One of each plan (site, landscape, drainage plan and elevations) is required to be submitted in the following plan sizes:

(2) 24" x 36" LARGE FORMAT PLANS

(1) 11" x 17" PLAN REDUCTIONS

(1) 8 1/2" x 11" PLAN REDUCTIONS



Provide a color rendering and material sample board specifically noting where each color and material is to be located on the structure.



Note: Provide photo of the colored rendering and material samples board to City Staff electronically in a JPG or PDF format.

The Applicant is obligated to provide a site plan that graphically portrays the site and includes the following features:

Site Plan

Applicant
Use



North Arrow



To scale drawings



Property lines



Name of "Plan Preparer" with contact information



Name of project and date



Existing structures, identify those which are to be relocated or removed



On-site and adjoining streets, alleys, private drives and rights-of-way



Drainage location and method of on-site retention / detention



Location of public restrooms



Existing / proposed utility service and any above-ground utility structures and their location



Location and width of easements, canals and drainage ditches



Location and dimension of off-street parking



Locations and sizes of any loading area, docks, ramps and vehicle storage or service areas



Trash storage areas and exterior mechanical equipment, with proposed method of screening



Sign locations (a separate sign application must be submitted with this application)



On-site transportation circulation plan for motor vehicles, pedestrians and bicycles



Locations and uses of ALL open spaces



Locations, types and sizes of sound and visual buffers (Note: all buffers must be located outside the public right-of-way)



Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle



Locations of subdivision lines (if applicable)



Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles



Location of walls and fences and indication of their height and material of construction



Roofline and foundation plan of building, location on the site



Location and designations of all sidewalks



Location and designation of all rights-of-way and property lines



Staff
Use



Landscape and Streetscape Plan

The landscape and streetscape plans need to be drawn by the project architect, professional landscape architect, landscape designer, or qualified nurseryman for development's possessing more than twelve thousand (12,000) square feet of private land. The landscaped and streetscape plans must be colored. The Planning Director or City Forester may require the preparation of a landscape plan for smaller developments by one of the noted individuals if the lot(s) have unique attributes.

Applicant Use		Staff Use
☒	North Arrow	☒
☒	To scale drawings	☒
☒	Boundaries, property lines and dimensions	☒
☒	Name of "Plan Preparer" with contact information	☒
☒	Name of project and date	☒
☒	Type and location of all plant materials and other ground covers. <i>Please review the City's plant list and rely upon it to identify the site's planting strategy. Include botanical and common name, quantity, spacing and sizes of all proposed landscape materials at the time of planting, and at maturity. A list of acceptable trees is available upon request from City Planning Staff. If there are any questions, please contact the City Forester, Natalie Reeder, at 208.880.0953</i>	☒
☐	Existing vegetation identified by specific size. Identify those which are proposed to be relocated or removed.	☐
☐	Method of irrigation. <i>Note: All plant materials, except existing native plants not damaged during construction or xeriscape species shown not to require regular watering, shall be irrigated by underground sprinkler systems set on a timer in order to obtain proper watering duration and ease of maintenance.</i>	☒
☐	Location, description, materials, and cross-sections of special features, including berming, retaining walls, hedges, fences, fountains street/pathway furniture (benches, etc.), etc.	☐
☐	Sign locations <i>Note: A separate sign application must be submitted with this application</i>	☐
☒	Locations and uses for open spaces	☒
☒	Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle	☒
☐	Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles	☐
☒	Location and designations of all sidewalks	☒
☒	Engineered grading and drainage plans: A generalized drainage plan showing direction drainage with proposed on-site retention. Upon submission of building/construction plans for an approved design review application, a detailed site grading and drainage plan, prepared by a registered professional engineer (PE) shall be submitted to the City for review and approval by the City Engineer.	☒

Building Elevations

Applicant Use		Staff Use
☒	Detailed elevation plans of each side of any proposed building(s) or additions(s) <i>Note: Four (4) elevations to include all sides of development and must be in color</i>	☒
☒	Identify the elevations as to north, south, east, and west orientation	☒

- | | | |
|-------------------------------------|--|-------------------------------------|
| ☒ | Colored copies of all proposed building materials and indication where each material and color application is to be located
<i>Note: Submit as 11"x17" reductions</i> | ☒ |
| ☐ | Screening/treatment of mechanical equipment | ☐ |
| ☐ | Provide a cross-section of the building showing any roof top mechanical units and their roof placement | ☐ |
| ☐ | Detailed elevation plans showing the materials to be used in construction of trash enclosures | ☐ |

Lighting Plan

- | | | |
|--------------------------|--|--------------------------|
| Applicant
Use | | Staff
Use |
| ☐ | Exterior lighting including detailed cut sheets and photometric plan (pedestrian, vehicle, security, decoration) | ☐ |
| ☐ | Types and wattage of all light fixtures
<i>Note: The City encourages use of "dark sky" lighting fixtures</i> | ☐ |
| ☐ | Placement of all light fixtures shown on elevations and landscaping plans | ☐ |

N/A

Roof Plans

- | | | |
|--------------------------|--|--------------------------|
| Applicant
Use | | Staff
Use |
| ☐ | Size and location of all roof top mechanical units | ☐ |

N/A

Design Review Application

Applicant: ALC Architecture Phone: (208) 514-2713
☐ Owner ☒ Representative Fax/Email: Troy1@alcarchitecture.com
Applicant's Address: 1119 East State Street, Suite 120
Eagle, ID 83616 Zip: 83616
Owner: Victor Clark Phone: (208) 870-4596
Owner's Address: 214 S. Cole Road, Boise, ID Email: victorc@brightstars.com
Zip: 83709
Represented By: (if different from above) Same as above (applicant) Phone: _____
Address: _____ Email: _____
Zip: _____
Address of Property: 1394 West Park Avenue, Kuna, Idaho
Zip: 83634
Distance from Major Cross Street: 100 feet from N Cedar Street Street Name(s): on West Park Avenue

Please check the box that reflects the intent of the application

☒ BUILDING DESIGN REVIEW
☐ SUBDIVISION / COMMON AREA LANDSCAPE

☐ DESIGN REVIEW MODIFICATION
☐ STAFF LEVEL APPLICATION

This Design Review application is a request to construct, add or change the following: (Briefly explain the nature of the request.)

Request to construct townhouses on the Northern portion of the lot bordering West Park Avenue

1. Dimension of Property: 100' wide and 215'-227' Long
2. Current Land Use(s): Residential
3. What are the land uses of the adjoining properties?
North: Residential
South: Residential
East: Residential
West: Residential

4. Is the project intended to be phased, if so what is the phasing time period? No

Please explain: N/A

5. The number and use(s) of all structures: 1 residential structure with 3 units
seperated by fire wall.

6. Building heights: 28'-2" Number of stories: 2

The height and width relationship of new structures shall be compatible and consistent with the architectural character of the area and proposed use.

Note: The maximum building height for each zoning district is as follows:

L-O: 35'	C-2: 60'	CBD: 80'	M-2: 60'	P: 60'
C-1: 35'	C-3: 60'	M-1: 60'	M-3: 60'	

7. What is the percentage of building space on the lot when compared to the total lot area? 19%

8. Exterior building materials & colors: (Note: This section must be completed in compliance with the City of Kuna Ordinance No. 2007-21A (as amended); found online at (www.cityofkuna.com) under the City Code.

MATERIAL

COLOR

Roof: Asphalt Shingles / Black

Walls: (State percentage of wall coverage for each type of building material below for each frontage wall) If there is not adequate space to identify the various building materials and applications, please list them on the attached sheet of this application. Please attach photos to support application types.

100% of walls are to be masonite siding, horizontal 6" boards

% of Wood application: _____ / _____

% EIFS: _____ / _____
(Exterior Insulation Finish System)

% Masonry: _____ / _____

% Face Block: _____ / _____

% Stucco: _____ / _____

& other material(s): Masonite siding (79%) / tanpe

List all other materials: _____

Windows/Doors: Vinyl/Glass (21%) / White
(Type of window frames & styles / doors & styles, material)

Soffits and fascia material: Masonite / urban bronze

Trim, etc.: Masonite / urban bronze

Other: _____ / _____

9. Please identify Mechanical Units: Air Conditioner, Furnace, water heater
Type/Height: -

Proposed Screening Method: -

10. Please identify trash enclosure: (size, location, screening & construction materials) -

11. Are there any irrigation ditches/canals on or adjacent to the property? No

If yes, what is the name of the irrigation or drainage provider? -

12. Fencing: (Please provide information about new fencing material as well as any exiting fencing material)

6' tall wood fencing on East side of property

Type: wood fencing
Size: 6' tall
Location: along East property line

(Please note that the City has height limitations of fencing material and requires a fence permit to be obtained prior to installation)

13. Proposed method of On-site Drainage Retention/Detention:

14. Percentage of Site Devoted to Building Coverage: 19%, 4,243 sf
% of Site Devoted to Landscaping: 60% Square Footage: 13,296 sf
(Including landscaped rights-of-way)
% of Site that is Hard Surface: 21% Square Footage: 4,680 sf
(Paving, driveways, walkways, etc.)
% of Site Devoted to other uses: —
Describe: —
% of landscaping within the parking lot (landscaped islands, etc.): ~ 1%

15. For details, please provide dimensions of landscaped areas within public rights-of-way:

(3) 24' x 6' islands

16. Are there any existing trees of 4" or greater in caliper on the property? (Please provide the information on the site plans.)

If yes, what type, size and the general location? (The City's goal is to preserve existing trees with a four inch (4") or greater caliper whenever possible):

No

17. Dock Loading Facilities:

Number of docking facilities and their location: N/A

Method of screening: N/A

18. Pedestrian Amenities: (bike racks, receptacles, drinking fountains, benches, etc.)

N/A

19. Setbacks of the proposed building from property lines:

Front 20 -feet Rear 15 -feet Side 5 -feet Side 5 -feet

20. Parking requirements:

N/A

Total Number of Parking Spaces: —

Width and Length of Spaces: —

Total Number of Compact Spaces 8'x17': —

21. Is any portion of the property subject to flooding conditions?

Yes — No ✓

IF THE PLANNING DIRECTOR OR DESIGNEE, THE DESIGN REVIEW BOARD AND/OR THE CITY COUNCIL DETERMINE THAT ADDITIONAL AND/OR REVISED INFORMATION IS NEEDED, AND/OR IF OTHER UNFORESEEN CIRCUMSTANCES ARISE, ANY DATES OUTLINED FOR PROCESSING MAY BE RE-SCHEDULED BY THE CITY. APPLICANT/REPRESENTATIVE MUST ATTEND THE DESIGN REVIEW BOARD MEETING/PLANNING AND ZONING MEETINGS.

The Ada County Highway District may also conduct public meetings regarding this application. If you have questions about the meeting date or the traffic that this development may generate or the impact of that traffic on streets in the area, please contact the Ada County Highway District at 208.387.6170. In order to expedite your request, please have ready the file number indicated in this notice.

Signature of Applicant  Date 8/18/17

City staff comments:

Signature of receipt by City Staff _____ Date _____

FOR ADDITIONAL INFORMATION:

(Please list page number and item in reference)

[illegible][illegible][illegible]

7. LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL, APPROXIMATE TO DO SO HAS BEEN RECEIVED BY THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EROSION CONTROL PLAN DURING CONSTRUCTION.
8. LAND CLEARING OR CHAINING SHALL BEGIN UNTIL THE EROSION CONTROL MEASURES HAVE BEEN INSTALLED AND ARE EFFECTIVE.
9. SHOULD CONSTRUCTION STOP FOR LONGER THAN 14 DAYS, THE SITE SHALL BE TEMPORARILY STABILIZED BY SEEDING WITH GRASS.
10. NECESSARY EROSION CONTROLS MEASURES AFTER EACH RAIN AND AT LEAST ONCE A WEEK.
11. EROSION CONTROL MEASURES SHALL BE COMPLETED PRIOR TO ANY FILLING OF EXCAVATIONS, TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEGREGATION FROM LOOSENING THE SITE.
12. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE PROJECT, TAKE APPROPRIATE ACTION, EROSION AND SEDIMENT CONTROLS, MEASURES WILL BE INSTALLED IF DEEMED NECESSARY ON THE PROPOSED SITES.
13. OPERATOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL PROTECTION.
14. SEDIMENT SHALL BE REMOVED FROM EROSION CONTROL DEVICES BEFORE THEY ARE 2/3 FULL.
15. THE EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE PROJECT FACILITY AND IT IS WORTH TO CAN CONTROL POSSIBLE POLLUTION.
16. THE EROSION CONTROL MEASURES SHALL BE PROPERTY BOUNDARY AS SHOWN.

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST SPECIFICATIONS AND STANDARD DRAWINGS OF THE GRAND STAIRCASE FOR PUBLIC MOVIES CONSTRUCTION, DEPARTMENT OF HIGHWAYS, GOVERNMENT OF KENYA.
2. THE CONTRACTOR SHALL CONSTRUCT THE SANITARY SEWER IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARD DRAWINGS OF THE GRAND STAIRCASE FOR PUBLIC MOVIES CONSTRUCTION, DEPARTMENT OF HIGHWAYS, GOVERNMENT OF KENYA. THE CONTRACTOR SHALL BE PROVIDED TO THE CONTRACTOR BY THE PROJECT SUPERVISOR PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES PRIOR TO CONSTRUCTION.
4. FINAL APPROVAL AND ACCEPTANCE OF ALL SEWER CONSTRUCTION SHALL BE BY THE KENYA PUBLIC WORKS DEPARTMENT.
5. SEWER INSPECTIONS WILL BE BY THE KENYA PUBLIC WORKS DEPARTMENT AND THEIR OFFICIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ACCESS TO THE KENYA PUBLIC WORKS DEPARTMENT 48 HOURS PRIOR TO CONSTRUCTION. KENYA CITY WILL PROVIDE THE NECESSARY ACCESS TO THE SEWER INSPECTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ACCESS TO THE SEWER INSPECTIONS 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ACCESS TO THE SEWER INSPECTIONS 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ACCESS TO THE SEWER INSPECTIONS 48 HOURS PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES PRIOR TO CONSTRUCTION.
7. SOWER CONSTRUCTION WILL MEET SPECIFIC DETAILS AND REQUIREMENTS OF THE GRAND STAIRCASE FOR PUBLIC MOVIES CONSTRUCTION, DEPARTMENT OF HIGHWAYS, GOVERNMENT OF KENYA.
8. DISINTEGRATION LEVELS SHALL BE MAINTAINED BELOW THE BOTTOM OF THE TRENCH DURING THE PIPE LAYING AND PIPE JOINING OPERATIONS. ALL MANHOLES LOCATED WITHIN LIMITS OF THE TRENCH SHALL BE PROTECTED BY THE PROVISION OF ALL PAVED SURFACE COVERS WITH TWO THICK COATS OF COAL TAR EMULSION.
9. SEWERAGE LINES SHALL BE MAINTAINED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARD DRAWINGS OF THE GRAND STAIRCASE FOR PUBLIC MOVIES CONSTRUCTION, DEPARTMENT OF HIGHWAYS, GOVERNMENT OF KENYA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ACCESS TO THE SEWER INSPECTIONS 48 HOURS PRIOR TO CONSTRUCTION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES PRIOR TO CONSTRUCTION.
11. THE TRENCHES SHALL BE MAINTAINED BY THE PIPE LINE WILL BE SUPPORTED BY AVOID IN THE DEVELOPMENT OF TRENCH IN ACCORDANCE WITH THE LATEST DESIGN OF THE SPECIFIC.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES PRIOR TO CONSTRUCTION.
13. PRIOR TO FINAL ACCEPTANCE, AFTER ALL UTILITIES ARE IN AND PRIOR TO FINISH, AN AIR TEST SHALL BE CONDUCTED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ACCESS TO THE SEWER INSPECTIONS 48 HOURS PRIOR TO CONSTRUCTION.

100

The map shows a street grid with W 4th St at the top, W Avalon St at the bottom, N Cedar Ave running vertically, and W Oxyhee Ave running horizontally. A creek flows from the top right towards the center. A building is located at the intersection of N Cedar Ave and W Oxyhee Ave, with a pin and label '1394 West Park Avenue' pointing to it. A line labeled 'SITE LOCATION' points to this building. To the left of the building, a line labeled 'PROJECT BENCHMARKS' points to a point on N Cedar Ave. Another line points from this benchmark to a point labeled 'A Plus Door Doctor'. A third line points from 'A Plus Door Doctor' to a point on the creek labeled 'Creek'.

C1 COVER SHEET
C2 GRADING & UTILITY PLAN
C3 GRAVITY IRRIGATION RELOCATION
PLAN & PROFILE
C4 PRIVATE STORM DRAINAGE PLAN & DETAILS

CONSTRUCTION STAKING WILL BE PROVIDED BY COMPASS LAND SURVEYING -
RICHARD GREY, P.L.S. PHONE NO. (208) 688-2510
ELEVATIONS ARE BASED ON NAVD 88 DATUM.
BENCHMARK #1 - SET CONTROL POINT NORTH ACROSS THE ROAD FROM NW
PROPERTY CORNER EL. 2685.23
BENCHMARK #2 - 1/2 PIN SOUTH EAST PROPERTY CORNER. EL. 2683.82

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND EXCLUSIVE RESPONSIBILITY FOR THE PROTECTION OF ALL EXISTING UTILITIES LOCATED WITHIN THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY TO CONTRACTOR AND NOT BE LIMITED TO NORMAL WORKING HOURS, DAY OR NIGHT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY HIGHWAY DISTRICT AND THE DESIGN CONSULTANT PERMISSIONS FROM ALL AND ANY LIABILITY, REAL OR CONCEALED, ARISING FROM THE CONTRACTOR'S NEGLIGENCE IN THE PROTECTION OF EXISTING UTILITY ARISING FROM THE SOLE NEGLIGENCE OF THE ADA COUNTY HIGHWAY DISTRICT OR THE DESIGN CONSULTANT SHALL BE LIMITED TO THE CONTRACT AMOUNT.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROPRIATE MANNER ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE THAT MIGHT BE OCCURRED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

UNAUTHORIZED CHANGES & USES: THE DESIGN CONSULTANT PREPARING THESE PLANS WILL BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARED OF THESE PLANS.

PROPOSED PEDESTRIAN RAMP

REMOVE AND REPLACE EXISTING ASPHALT WITH 1 MINIMUM SERVICE

EXISTING IRRIGATION MANHOLE

EXISTING IRRIGATION MANHOLE

IRRIGATION VALVE

IRRIGATION VALVE

IRRIGATION DRAIN

IRRIGATION AIR VENT

IRRIGATION SERVICE

SEWER MANHOLE

SEWER SERVICE

SEWER & GAS FORCE MAIN

DATCH BASIN

SLOPE ARROW

GRADE BREAK

EXISTING WATER VALVE

PROPOSED WATER VALVE

FIRE HYDRANT

EXISTING FIRE HYDRANT

WATER SERVICE 1.5" TYP.

SECTION CUT

SEE DETAIL 1

DETAIL NUMBER SHEET NUMBER

TEST PIT

STREET LIGHT

NO PARKING SIGN

STREET SIGN

TYPE II ROADWAY TERMINUS BARRICADE PER SPEC. SD-1132

ELEVATION AT SECTION POINT (TOP BACK OF CURB UNLESS OTHERWISE NOTED)

TOP OF 2" VERTICAL CURB

TOP OF 3" ASPHALT CURB

TOP OF ASPHALT/TOP OF CONCRETE

POINT OF CURVE

POINT OF TANGENT

MARKET

GRADE BREAK

GRADE CHANGE

FLOW LINE

POINT OF VERTICAL INTERSECTION

CONTROL LINE

STATION

ELEVATION

TYPE

TOA/TOC

PC

PT

BM

OB

FL

PI

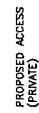
IC

	STATION ELEVATION
	STREET NUMBER
	TEST PIT
	STREET LIGHT
	NO PARKING SIGN
	STREET SIGN
	TYPE B ROADWAY TERMINUS BARRICADE REF. SPEC. 10-1132
	ELEVATION AT STATION POINT (TOP BACK OF CURB UNLESS OTHERWISE NOTED)
	TOP OF 5' VERTICAL CURVE
	TOP OF 3% ROLLED CURB
	TOP OF ASPHALT/TOP OF CONCRETE
	POINT OF BEGINNING
	POINT OF TANGENT
	INVERT
	GRADE BREAK
	GRADE CHANGE
	FLOW LINE
	POINT OF VERTICAL INTERSECTION

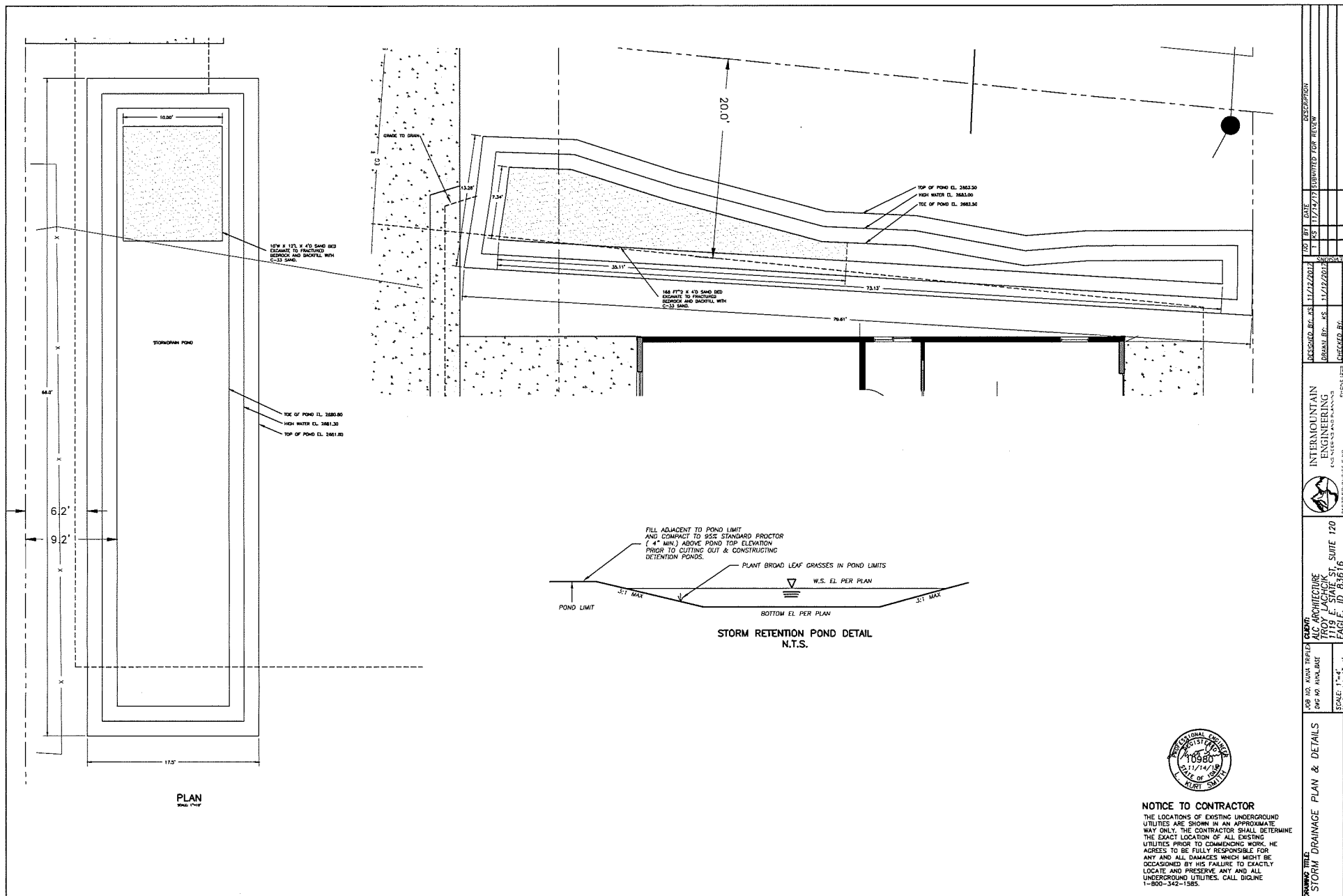
THE ENGINEER OF RECORD CERTIFIES THAT THE PLANS ARE PREPARED IN SUBSTANTIAL CONFORMANCE WITH THE ACHD POLICY AND STANDARDS IN EFFECT AT THE TIME OF PREPARATION. THE ENGINEER ACKNOWLEDGES THAT ACHD ASSUMES NO LIABILITY FOR ERRORS OR DEFICIENCIES IN THE DESIGN. ALL VARIANCES FROM ACHD POLICY SHALL BE APPROVED IN WRITING. THE FOLLOWING VARIANCES, LISTED BY DATE AND SHORT DESCRIPTION, WERE APPROVED FOR THE PROJECT. NONE.

[illegible]

AY



DRAWING TITLE	GRAVITY IRRIGATION RELOCATION		JOB NO. K014 TRF16	CADD	ALC ARCHITECTURE 1707 JACKSON ST. SUITE 120 DOWD, ILL 63616 TEL (708) 714-4141 FAX (708) 714-4142 WWW.ALCARCHITECT.COM	INTEPMOUNTAIN ENGINEERING		SHEET NO. C3 OF C4		REV	FIELD BOOK NO.	208-514-2713						
	PLAN & PROFILE																	
	SCALE: 1"=30'					SWM. NO. FINAL BASE		PROJ. CHECKED BY: LKS					DESIGNED BY: LKS		DATE		DESCRIPTION	
	V. SCALE: 1"=1'					SWM. NO. FINAL BASE		CHECKED BY: LKS					DESIGNED BY: LKS		11/12/2012		11/12/2012	
						APPROVED BY: LKS		APPROVED BY: LKS		11/21/2012		11/21/2012						

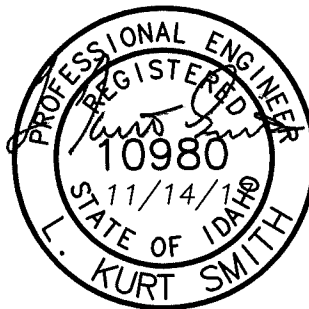
[illegible]

STORM DRAINAGE CALCULATIONS FOR:

Kuna Triplex
Kuna, Idaho

November 13, 2017

AS PREPARED BY:
Intermountain Engineering
2587 SouthSide Blvd..
Melba, Idaho 83641
(208) 941-1245



CALCULATIONS

FLOW CALCULATIONS

Flow and volume for the basin areas were calculated using the Rational Method. The "C" coefficient used in the calculations is based on weighted values as shown.

GENERAL NOTES

Runoff water will enter the shallow pond and percolate into the ground. All water will be retained on site. There will be no discharge off site.

EQUATIONS USED IN CALCULATIONS

RATIONAL METHOD

$$Q=CiA$$

where: Q = Runoff Rate, cfs
C = Runoff Coefficient
i = Storm Intensity, in./hr.
A = Basin Area(s), acres

MANNING EQUATION

$$V=1.49R^{2/3}S^{1/2}/n$$

where: V = Velocity, fps
R = Hydraulic Radius, ft.
S = Channel Slope, ft./ft.
n = Manning Roughness Coefficient

PERCOLATION VOLUME (SCS TRIANGULAR UNIT HYDROGRAPH METHOD)

$$V=(\text{Area})(\text{Perc. rate})(t)/(12)(60)$$

where: V = Volume, cu. ft.
Area = Infiltration bed area, sf
Perc. rate = percolation rate, in/hr
t = worst-case duration, min.

ORIFICE EQUATION

$$Q=(\text{Coefficient})(3.1416 \times \text{Radius}^2)(64.4 \times \text{Head})^{1/2}$$

where: Head=W.S.E. - Center of Orifice
=81.50-78.14
=3.4'

OTHER EQUATIONS USED

$$Q=VA$$

where: Q = Flow, cfs
V = Velocity, fps
A = Cross Sectional Area, sq. ft.

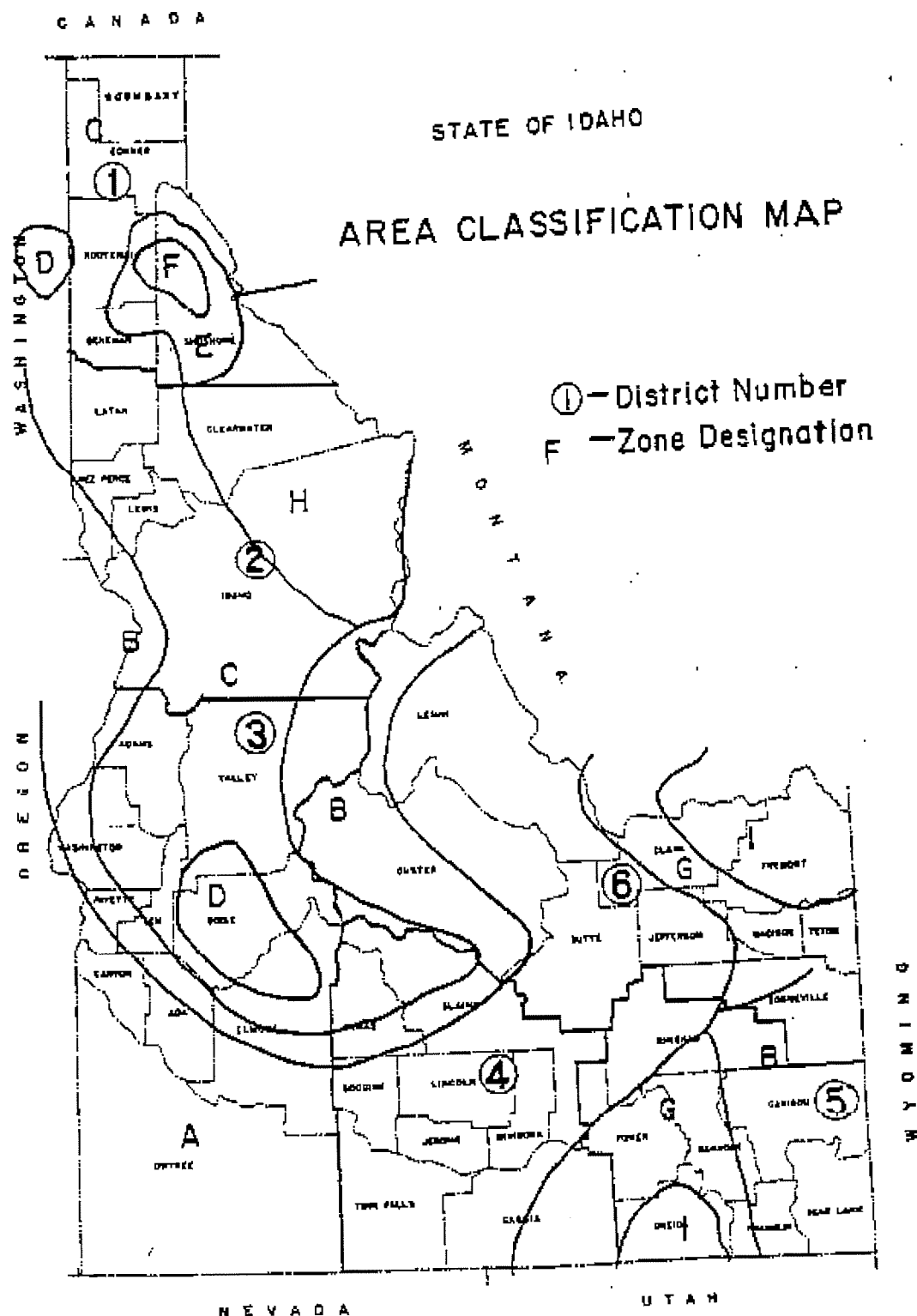
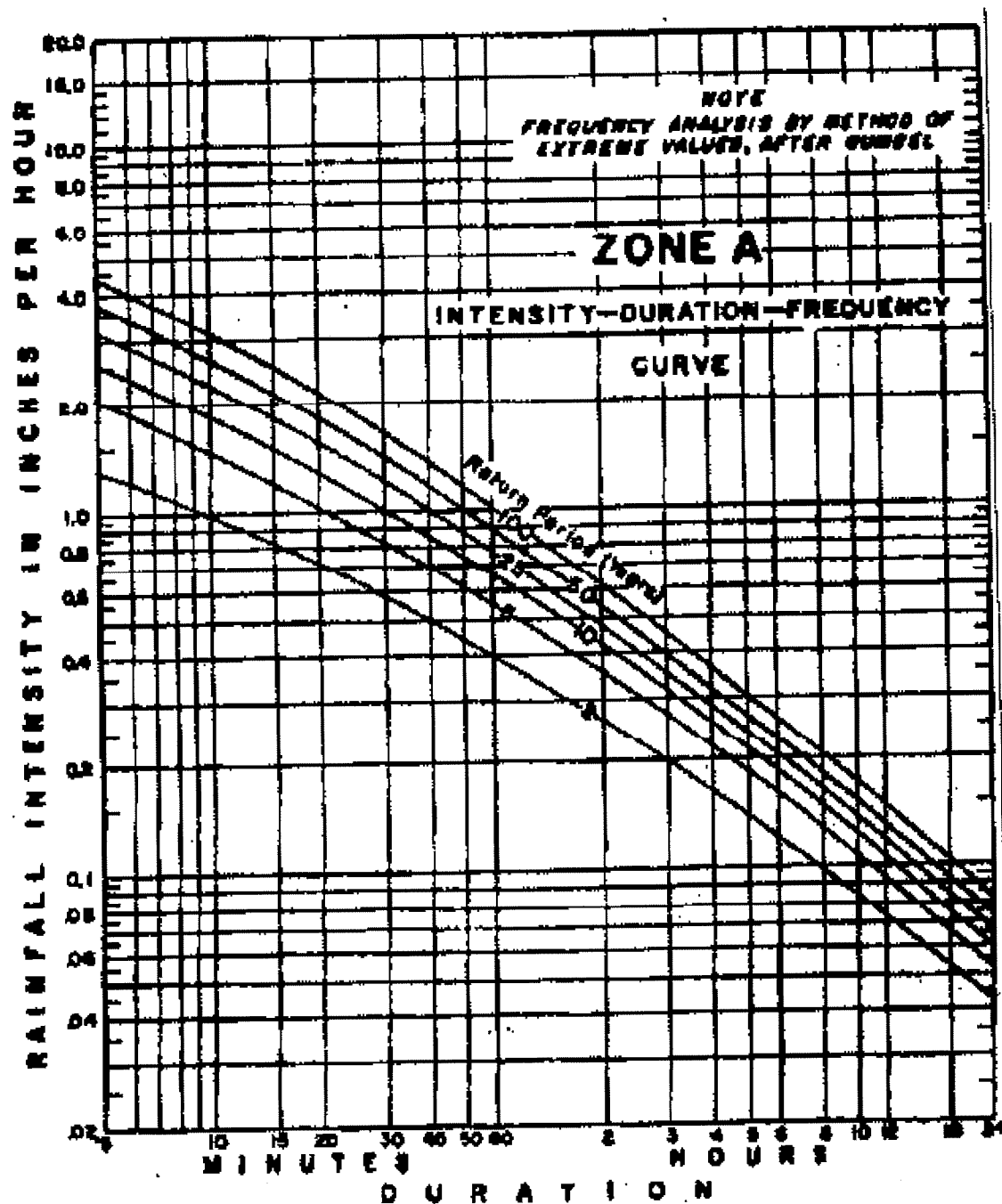


Figure D-1. State of Idaho Area Classification Map



12"W

12"W

12"W

12"W

12"Gl

12"Gl

AREA 1
7587 SF
0.174 AC

I

2681.77

I

I

INV. OUT 2682.19

I

I

AREA 2
13568 SF
0.311 AC

The weighted runoff Coefficient for the developed site is calculated.

C = RUNOFF COEFFICIENT (EXHIBIT "B" Recommended "C" Coefficients for "Rational Method Equation" - Peak Rate of Discharge)

Cu = UNIMPROVED AREA RUNOFF COEFFICIENT
= 0.10

Cd = DEVELOPED SINGLE FAMILY RESIDENTIAL RUNOFF COEFFICIENT
= 0.50 (or use calculated (weighted) value if higher)

$$= \frac{\text{BLDG \& PAVED ACRES (0.95) + LANDSCAPED ACRES (0.10)}}{\text{TOTAL ACRES}}$$

$$= \frac{0.132 * (0.95) + 0.042 * (0.10)}{0.174} = 0.74$$

PRE-DEVELOPED FLOW AND VOLUME CALCULATIONS

The pre-developed flow for the project site and the upstream area from the site are calculated using the Rational Method. The time of concentration is based on overland flow to a point of channelization and then the travel time in the existing channel to the downstream end of the concerned area.

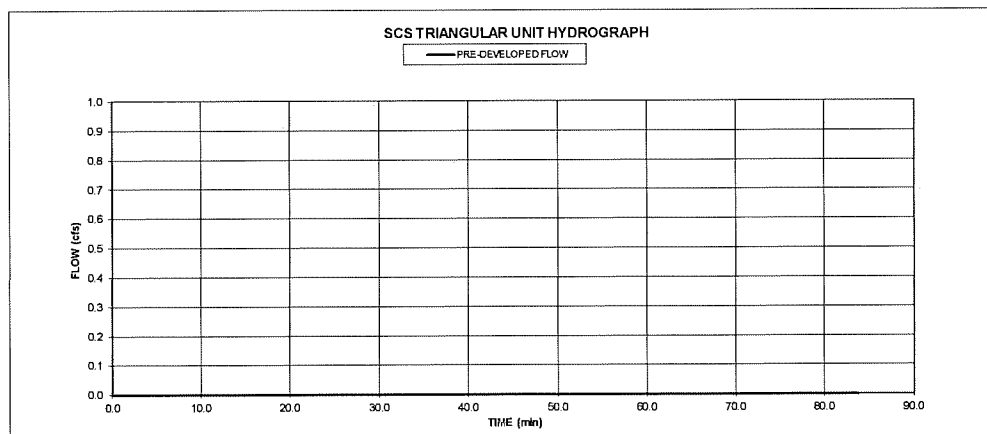
The pre-developed volume is calculated using the SCS Triangular Unit Hydrograph. Pre-developed volume and flow are based on the 100-year storm event and site characteristics.
Note the basin area is only accounting for the area of the basin that we will be able to discharge from.

BASIN CHARACTERISTICS

BASIN AREA=	0.00 acres
OVERLAND FLOW LENGTH=	345.00 feet
OVERLAND SLOPE=	1.21%
RUNOFF COEFFICIENT (C)=	0.10

FLOW AND VOLUME CALCULATION RESULTS

OVERLAND TIME OF CONCENTRATION	31.4 min	
100 YEAR STORM INTENSITY (i)=	1.57 in/hr	
100 YEAR PEAK FLOW (Q)=	0.00 cfs	NO DISCHARGE
100 YEAR VOLUME (from SCS triangular unit hydrograph)=	-	cf



Post-developed flow for the basin areas are also calculated using the Rational Method. The time of concentration is based on a combination of lot to street time, gutter time and applicable pipe time prior to reaching the detention pond area. The lot time is calculated using Manning's kinematic solution (Overton and Meadows 1976). This equation is also used for sheet flow of less than 300 feet. The gutter time is calculated using the travel length along the gutter and the gutter velocity at the design slope. Pipe time is calculated using the pipe travel length and an average pipe velocity calculated using manings formula.

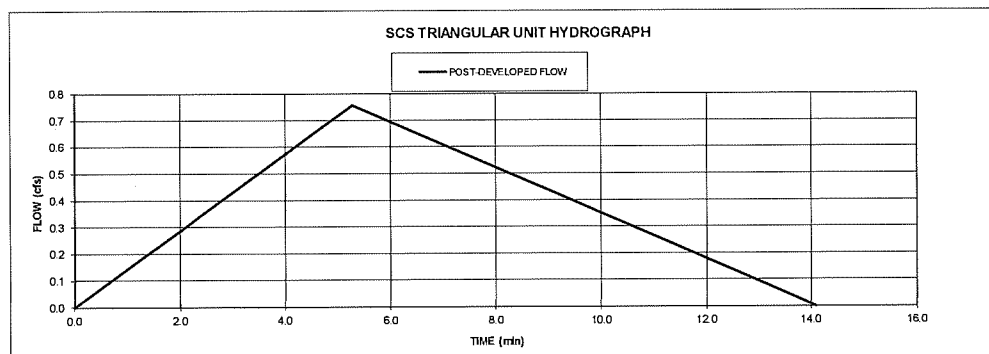
STORM RETURN PERIOD = 100 YEAR

BASIN CHARACTERISTICS

BASIN AREA=	0.174 acres
2 YEAR 24 HOUR RAINFALL (in)=	1.20 in
OVER GRASS FLOW =	8.00 feet
LOT SLOPE =	0.01 FT/FT
MANNING'S n FOR GRASS=	0.24
VALLEY GUTTER=	
GUTTER FLOW LENGTH=	63.00 feet
GUTTER SLOPE=	0.47%
MANNING'S n FOR CURB=	0.016
PIPE LENGTH=	- feet
PIPE DIAMETER=	12 IN
PIPE SLOPE	0.0022
MANNING'S n FOR PIPE=	0.013
AVERAGE PIPE VELOCITY=	1.94 ft/sec
RUNOFF COEFFICIENT (C)=	0.74 (weighted)

FLOW AND VOLUME CALCULATION RESULTS

LOT TRAVEL TIME=	4.1 min.		
GUTTER TRAVEL TIME=	1.2 min.		
PIPE TRAVEL TIME=	0.0 min.		
		Method 1 uses Tc	Method 2 1hr, 100 yr. Tc
TOTAL TIME OF CONCENTRATION		5.3 min	60.00 min
100 YEAR STORM INTENSITY (i)=		5.83 in/hr	1.00 in/hr
100 YEAR PEAK FLOW (Q)=		0.76 cfs	0.13 cfs
100 YEAR VOLUME (from SCS triangular unit hydrograph)=		319 cf	623 cf

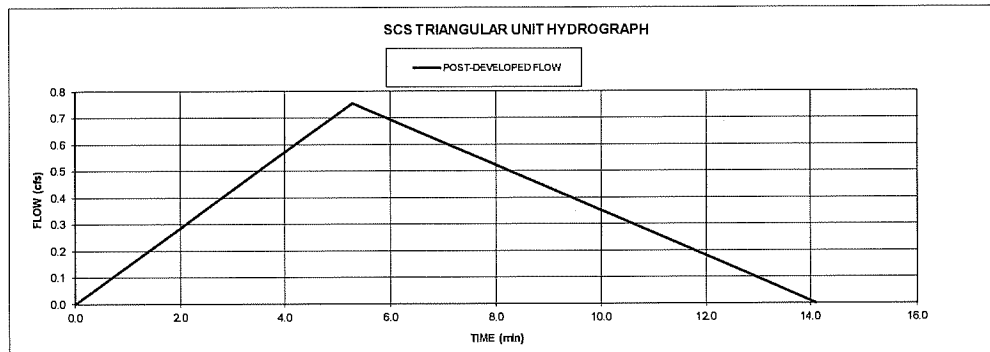


The method calculates the required detention volume by subtracting the calculated pre-developed volume from the post-developed SCS Triangular Unit Hydrograph. Then the volume is increased by 15 percent to compensate for detention volume losses due to sediment between maintenance periods.

STORM RETURN PERIOD = 100 YEAR

UNIT HYDROGRAPH METHOD

PRE-DEVELOPED SITE DISCHARGE = 0.00 cfs (worst case design)
POST-DEVELOPED VOLUME = 623 cf (worst case design)



DETENTION VOLUME REQUIRED = 623 cf
15% VOLUME FOR SEDIMENT = 93 cf
TOTAL VOLUME REQUIRED = 716 cf

POND VOLUME CALCULATIONS

The pond volume calculations are based on the equasior. Also included in this section are infiltration bed calculations. Infiltration bed volume calculations are based on void space in the drain rock and percolation volume which occurs over the time base for the post-developed SCS Triangular Unit Hydrograph. If infiltration beds are not used, then only the pond bottom percolation is considered.

REQUIRED DETENTION = 716 cf

POND VOLUME CALCULATION

POND BOTTOM AREA =
POND WATER SURFACE AREA =
POND TOP BANK ELEV =
POND WATER SURFACE ELEV =
POND INVERT ELEV =
SEASONAL GROUND WATER =

228.00 sf
471.39 sf
2683.50 ft
2683.00 ft
2682.50 ft
2668.50

WELL LOGS SHOWED WATER GREATER THAN 15' BELOWGROUND

POND FREEBOARD = 0.50 ft
INVERT TO GROUND H2O = 14.00 ft
POND DEPTH = 0.50 ft
POND STORAGE = 174.85 cf

INFILTRATION BED CALCULATION

INFILTRATION BED AREA
INFILTRATION BED BOTTOM AREA =
INFILTRATION BED DEPTH =
VOID SPACE IN SAND =
PERCOLATION RATE =

168.00 sf
471.39 sf
4.00 ft
25%
2.00 in/hr

(entire bottom)

VOLUME IN VOIDS = 168.00 cf
PERCOLATION VOLUME = 210 cf
INFILTRATION STORAGE = 553 cf

TOTAL DETAINED VOLUME = 727 cf

> 716 cf (required)
THEREFORE STORAGE IS ADEQUATE

INTERMOUNTAIN ENGINEERING
2587C Southside Blvd.
Melba, Idaho 83641
(208) 941-1245 (FAX) 495-2469

KUNA TRIPLEX
KUNA, IDAHO

DATE 11/13/2017

PRE- DEVELOPED FLOW AND VOLUME CALCULATIC Area 2

FILE: KUNA STORM

PAGE

The weighted runoff Coefficient for the developed site is calculated.

C = RUNOFF COEFFICIENT (EXHIBIT "B" Recommended "C" Coefficients for "Rational Method Equation" - Peak Rate of Discharge)

Cu = UNIMPROVED AREA RUNOFF COEFFICIENT
= 0.10

Cd = DEVELOPED SINGLE FAMILY RESIDENTIAL RUNOFF COEFFICIENT
= 0.50 (or use calculated (weighted) value if higher)

$$\begin{aligned} & \text{BLDG \& PAVED ACRES (0.95) + LANDSCAPED ACRES (0.20)} \\ & = \frac{\text{TOTAL ACRES}}{0.082 * (0.95) + 0.229 * (0.10)} = 0.32 \\ & \text{0.311} \end{aligned}$$

PRE-DEVELOPED FLOW AND VOLUME CALCULATIONS

The pre-developed flow for the project site and the upstream area from the site are calculated using the Rational Method. The time of concentration is based on overland flow to a point of channelization and then the travel time in the existing channel to the downstream end of the concerned area.

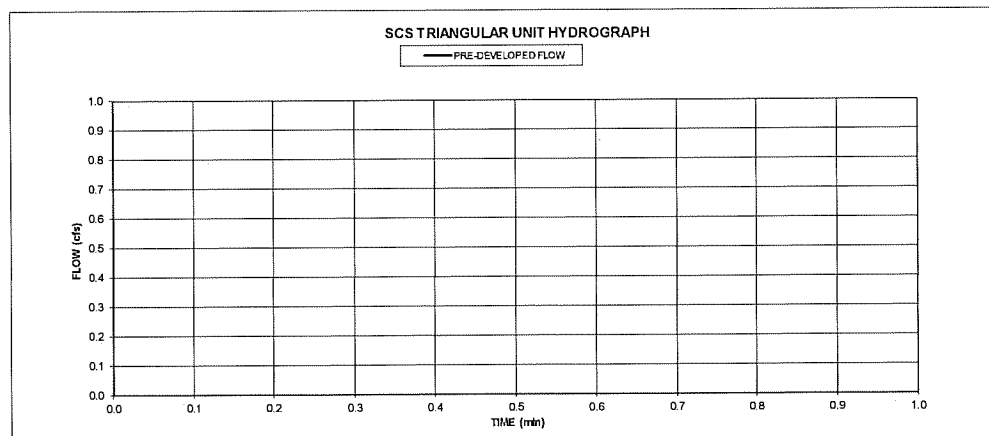
The pre-developed volume is calculated using the SCS Triangular Unit Hydrograph. Pre-developed volume and flow are based on the 100-year storm event and site characteristics.
Note the basin area is only accounting for the area of the basin that we will be able to discharge from.

BASIN CHARACTERISTICS

BASIN AREA=	0.311 acres
OVERLAND FLOW LENGTH=	1.00 feet
OVERLAND SLOPE=	4.00%
RUNOFF COEFFICIENT (C)=	0.10

FLOW AND VOLUME CALCULATION RESULTS

OVERLAND TIME OF CONCENTRATION	1.1 min	
100 YEAR STORM INTENSITY (i)=	18.09 in/hr	
100 YEAR PEAK FLOW (Q)=	0.00 cfs	No discharge
100 YEAR VOLUME (from SCS triangular unit hydrograph)=	- cf	



Post-developed flow for the basin areas are also calculated using the Rational Method. The time of concentration is based on a combination of lot to street time, gutter time and applicable pipe time prior to reaching the detention pond area. The lot time is calculated using Manning's kinematic solution (Overton and Meadows 1976). This equation is also used for sheet flow of less than 300 feet. The gutter time is calculated using the travel length along the gutter and the gutter velocity at the design slope. Pipe time is calculated using the pipe travel length and an average pipe velocity calculated using manings formula.

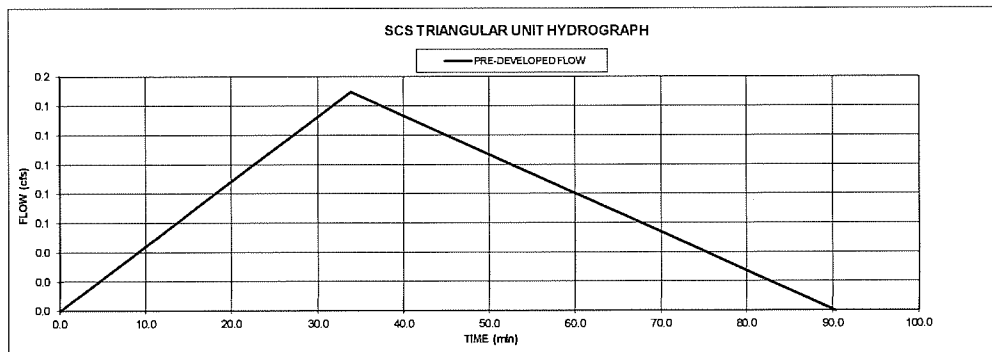
STORM RETURN PERIOD = 100 YEAR

BASIN CHARACTERISTICS

BASIN AREA=	0.311 acres
2 YEAR 24 HOUR RAINFALL (in)=	1.20 in
OVER GRASS FLOW TO SAND TRENCH=	76.00 feet
LOT SLOPE=	0.01 FT/FT
MANNING'S n FOR LOT=	0.24
ASPHALT	roll
FLOW LENGTH=	66.00 feet
SLOPE=	0.47%
MANNING'S n =	0.016
PIPE LENGTH=	- feet
PIPE DIAMETER=	12 IN
PIPE SLOPE	0.0022
MANNING'S n FOR PIPE=	0.013
AVERAGE PIPE VELOCITY=	1.65 ft/sec
RUNOFF COEFFICIENT (C)=	0.32 (weighted)

FLOW AND VOLUME CALCULATION RESULTS

LOT TRAVEL TIME=	32.6 min.		
ASPHALT TRAVEL TIME=	1.3 min.		
PIPE TRAVEL TIME=	0.0 min.		
		Method 1 uses Tc	Method 2 1hr, 100 yr. Tc
TOTAL TIME OF CONCENTRATION		33.8 min	60.00 min
100 YEAR STORM INTENSITY (i)=		1.48 in/hr	1.00 in/hr
100 YEAR PEAK FLOW (Q)=		0.15 cfs	0.10 cfs
100 YEAR VOLUME (from SCS triangular unit hydrograph)=		405 cf	484 cf

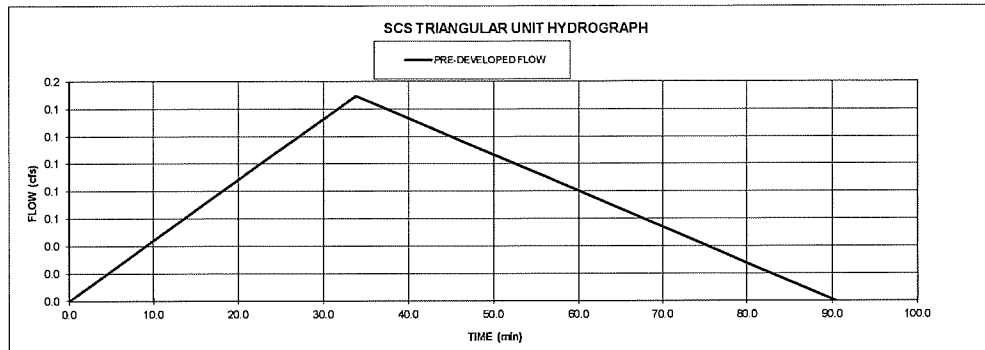


The method calculates the required detention volume by subtracting the calculated pre-developed volume from the post-developed SCS Triangular Unit Hydrograph. Then the volume is increased by 15 percent to compensate for detention volume losses due to sediment between maintenance periods.

STORM RETURN PERIOD = 100 YEAR

UNIT HYDROGRAPH METHOD

PRE-DEVELOPED SITE DISCHARGE = 0.00 cfs (worst case design)
POST-DEVELOPED VOLUME = 484 cf (worst case design)



DETENTION VOLUME REQUIRED = 484 cf
15% VOLUME FOR SEDIMENT = 73 cf
TOTAL VOLUME REQUIRED = 557 cf

POND VOLUME CALCULATIONS

The pond volume calculations are based on the equasior Also included in this section are infiltration bed calculations. Infiltration bed volume calculations are based on void space in the drain rock and percolation volume which occurs over the time base for the post-developed SCS Triangular Unit Hydrograph. If infiltration beds are not used, then only the pond bottom percolation is considered.

REQUIRED DETENTION = 557 cf

POND VOLUME CALCULATION

POND BOTTOM AREA =	682.00 sf	
POND WATER SURFACE AREA =	905.00 sf	
POND TOP BANK ELEV =	2682.80 ft	
POND WATER SURFACE ELEV =	2682.30 ft	
POND INVERT ELEV =	2681.80 ft	
SEASONAL GROUND WATER =	2667.30	

WELL LOGS SHOWED WATER GREATER THAN 15' BELOW GROUND

POND FREEBOARD =	0.50 ft	
INVERT TO GROUND H2O =	14.50 ft	
POND DEPTH =	0.50 ft	
POND STORAGE = Vol = $h/3 \cdot (a + A + \sqrt{a \cdot A})$	395.44 cf	

INFILTRATION BED CALCULATION

INFILTRATION BED BOTTOM AREA =	115.00 sf	(entire bottom)
INFILTRATION BED DEPTH =	4.00 ft	
VOID SPACE IN DRAIN ROCK =	25%	
PERCOLATION RATE =	2.00 in/hr	Table 3

VOLUME IN VOIDS =	115.00 cf
PERCOLATION VOLUME =	51 cf
INFILTRATION STORAGE =	166 cf

TOTAL DETAINED VOLUME = 562 cf

> 557 cf (required)
THEREFORE STORAGE IS ADEQUATE

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1 LEVEL 1
1/4" = 1'-0"

0 2' - 0" 4' - 0" 8' - 0" 16' - 0"



KUNA TOWNHOUSES

1394 WEST PARK AVENUE, KUNA, ID 83634
LEVEL 1 FLOOR PLAN
08.18.17
ALC - 17083

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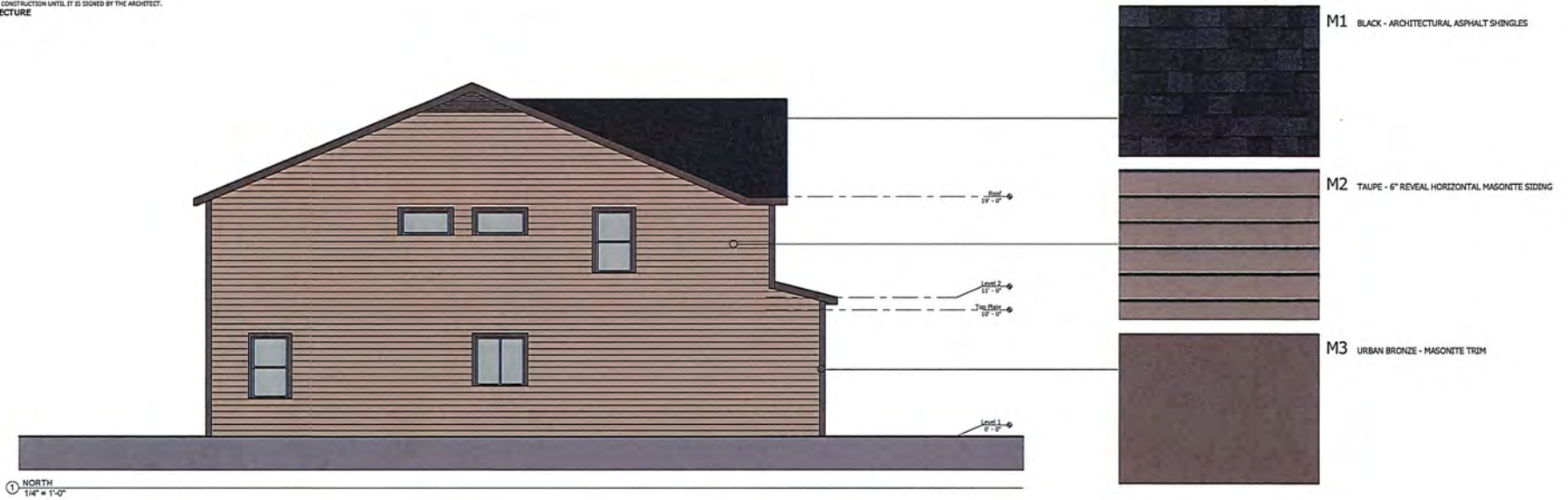


① LEVEL 2
1/4" = 1'-0"

0' 0" 2' 0" 4' 0" 6' 0"



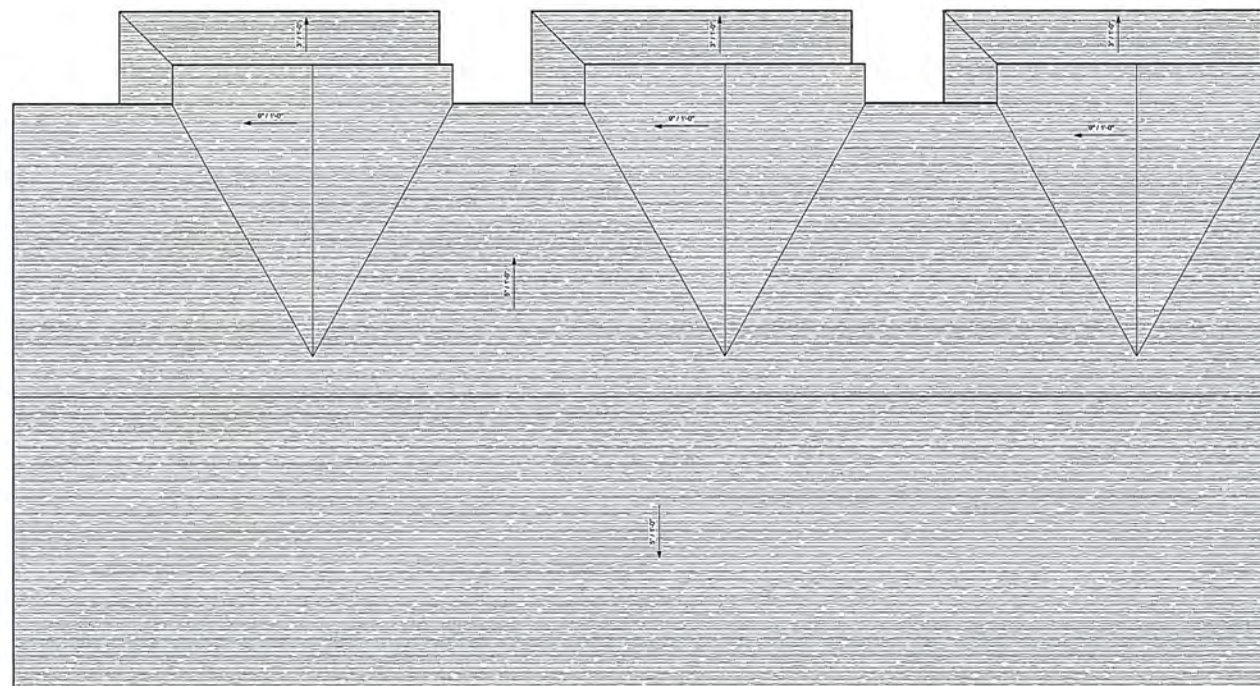
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① ROOF
1/4" = 1'-0"

0 4'-0" 8'-0" 12'-0" 16'-0"





Exhibit

A7







LEGAL NOTICE

**File #'s 17-06-SUP
(Special Use Permit) and
17-19-DR (Design Review);
ALC Architecture-Kuna
Townhomes**

NOTICE IS HEREBY GIVEN, that the Kuna Planning & Zoning Commission will hold a public hearing, **Tuesday, January 9, 2018 at 6:00 pm**, or as soon as can be heard at Kuna City Hall, 751 W. 4th St, Kuna, ID; in connection with a Special Use Permit and Design Review request from ALC architecture to construct one triplex of townhouses on the north end of an approximately 0.51-acre lot. The site is located at 1394 West Park Ave, Kuna, ID 83634. (APN: R5070002532).

The public is invited to present written and/or oral comments. Any written testimony must be received by close of business on January 4, 2018, or it may not be considered. Please mail to PO Box 13 Kuna, ID 83634, or drop off at City Hall: 751 West 4th Street, Kuna, ID.

Please do not contact anyone who would be involved in this decision making process, which would include the Planning & Zoning Commissioners, City Council Members, or the Mayor; as such private conversations would be considered ex parte (one sided) and could jeopardize the public hearing process.

If you have any questions or require special accommodations, please contact the Kuna Planning & Zoning Department prior to the meeting at (208)922-5274.

Kuna Planning & Zoning
Department

December 20, 2017

1707666

Exhibit

B1

CITY OF KUNA
PO Box 13 - Kuna, ID 83634
Phone: 922-5274 - Fax: 922-5989

File #'s 17-06-SUP (Special Use Permit) and 17-19-DR (Design Review); ALC Architecture-Kuna Townhomes

NOTICE IS HEREBY GIVEN, that the Kuna Planning & Zoning Commission will hold a public hearing, **Tuesday, January 9, 2018 at 6:00 pm**, or as soon as can be heard at Kuna City Hall, 751 W. 4th St, Kuna, ID; in connection with a **Special Use Permit** and **Design Review** request from ALC architecture to construct one triplex of townhouses on the north end of an approximately 0.51-acre lot. The site is located at 1394 West Park Ave, Kuna, ID 83634. (APN: R5070002532).

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Kuna Planning & Zoning Department

(No need to print this portion) Please publish one time on December 20, 2017.

(Sent 12/14/17)

Kuna P.O. # 6425

Jace Hellman

From: Jace Hellman
Sent: Thursday, December 14, 2017 11:26 AM
To: 'IDAHO PRESS TRIBUNE'
Subject: RE: Confirmation: Ad 1707666 for 1 KUNA, CITY OF
Attachments: KMN Confirmation Signed 17-06-SUP & 17-19-DR.PDF

Everything Looks Great! Here is the signed Order Confirmation!

Thank you!

Jace Hellman
Planner I
City of Kuna
751 W 4th Street
Kuna, ID 83634
Jhellman@kunaID.gov

-----Original Message-----

From: IDAHO PRESS TRIBUNE [mailto:legals@idahopress.com]
Sent: Thursday, December 14, 2017 11:13 AM
To: Jace Hellman <jhellman@kunaID.gov>
Cc: legals@idahopress.com
Subject: Confirmation: Ad 1707666 for 1 KUNA, CITY OF

Legals Email Approval Request

Good Day,

Attached is an invoice which shows proof, price and publication dates. Please check spelling and run dates for accuracy.
PLEASE RESPOND by 10:00AM to confirm or make changes in order to meet deadline. You can simply reply to this email.

Idaho Press-Tribune, Emmett Messenger-Index, Kuna-Melba News and Meridian Press-Tribune Sharon Legal Clerk
legals@idahopress.com
208-465-8129
Monday through Friday 8:00am – 12:00pm

IDAHO PRESS TRIBUNE
MERIDIAN PRESS, KUNA MELBA NEWS
C/O ISJ PAYMENT PROCESSING CENTER
PO BOX 1570
POCATELLO ID 83204
(208)467-9251

ORDER CONFIRMATION

Salesperson: LEGALS

Printed at 12/14/17 10:12 by sje14

Acct #: 345222

Ad #: 1707666

Status: N

1 KUNA, CITY OF
P.O. BOX 13
KUNA ID 83634

Start: 12/20/2017 Stop: 12/20/2017
Times Ord: 1 Times Run: ***
LEG 1.00 X 58.00 Words: 227
Total LEG 58.00
Class: 0006 GOVERNMENT NOTICES
Rate: LG Cost: 47.92
Affidavits: 1

Contact: CHRIS ENGLES
Phone: (208)387-7727
Fax#:
Email: awelker@kunaaid.gov; gsmith@k
Agency:

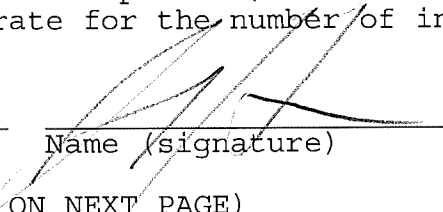
Ad Descrpt: 17-06-SUP, 17-19-DR
Given by: JACE HELLMAN
Created: sje14 12/14/17 10:03
Last Changed: sje14 12/14/17 10:12

PUB ZONE EDT TP START INS STOP SMTWTFS
KMN A 96 S 12/20

AUTHORIZATION

Under this agreement rates are subject to change with 30 days notice. In the event of a cancellation before schedule completion, I understand that the rate charged will be based upon the rate for the number of insertions used.

Jace Hellman
Name (print or type)


Name (signature)

(CONTINUED ON NEXT PAGE)

IDAHO PRESS TRIBUNE
MERIDIAN PRESS, KUNA MELBA NEWS
C/O ISJ PAYMENT PROCESSING CENTER
PO BOX 1570
POCATELLO ID 83204
(208) 467-9251

ORDER CONFIRMATION (CONTINUED)

Salesperson: LEGALS

Printed at 12/14/17 10:12 by sje14

Acct #: 345222

Ad #: 1707666

Status: N

LEGAL NOTICE

File #'s 17-06-SUP
(Special Use Permit) and
17-19-DR (Design Review);
ALC Architecture-Kuna
Townhomes

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The public is invited to present written and/or oral comments. Any written testimony must be received by close of business on January 4, 2018, or it may not be considered. Please mail to PO Box 13 Kuna, ID 83634, or drop off at City Hall: 751 West 4th Street, Kuna, ID.

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If you have any questions or require special accommodations, please contact the Kuna Planning & Zoning Department prior to the meeting at (208)922-5274.

Kuna Planning & Zoning
Department

December 20, 2017
1707666

Looks Great

Jace Hellman

From: Sharon Jessen <sjessen@idahopress.com>
Sent: Thursday, December 14, 2017 10:11 AM
To: Jace Hellman
Subject: Re: City of Kuna Request for Legal Publication

Legals Email First Response

Thank you for your request. You will receive an email confirmation with proof, price and publication dates shortly.

Idaho Press-Tribune, Emmett Messenger-Index, Kuna-Melba News, and Meridian Press-Tribune
Sharon
Legal Clerk
208-465-8129
legals@idahopress.com
8:00am – 12:00pm Monday – Friday

From: Jace Hellman <jhellman@kunaID.gov>
Sent: Thursday, December 14, 2017 9:22 AM
To: IPT Legals
Subject: City of Kuna Request for Legal Publication

Greetings:

We would like to request that you publish the attached legal notification in the **December 20th, 2017** cycle of Kuna Melba News on behalf of the City of Kuna, Planning & Zoning Department.
This notification needs to only be published for one (1) cycle.

The Kuna P.O. for this request is #6425 (if you need it).
Thank you.

Jace Hellman

Planner I
City of Kuna
751 W 4th Street
Kuna, ID 83634
Jhellman@kunaID.gov



CITY OF KUNA
PLANNING & ZONING DEPARTMENT

751 West 4th Street
P.O. Box 13
Kuna, ID 83634
Phone: 208-922-5274
Fax: 208-922-5989
www.kunacity.id.gov

CERTIFICATE OF MAILING

Date: 12/20/17

To: ☒ 300' Property Owners ☐ Other _____

Planner: Jace Hellman

Case Name: 17-06-Sub + 17-19-DR - Kuna townhomes

I HEREBY CERTIFY that on this 20th day of 2017, I caused a true and correct copy of the foregoing instrument to be deposited in the United States mail, with prepaid postage.

Signature

Dawn Stephens
Attest

Exhibit

B2



CITY OF KUNA
PLANNING & ZONING DEPARTMENT
PO Box 13 • 751 W. 4th St • Kuna, Idaho • 83634
Phone (208) 922-5274 • Fax: (208) 922-5989
www.kunacity.id.gov

Dear Property Owner:

NOTICE IS HEREBY GIVEN that the City of Kuna **Planning and Zoning Commission** is scheduled to hold a public hearing on **January 9, 2018** beginning at **6:00 pm** on the following case:

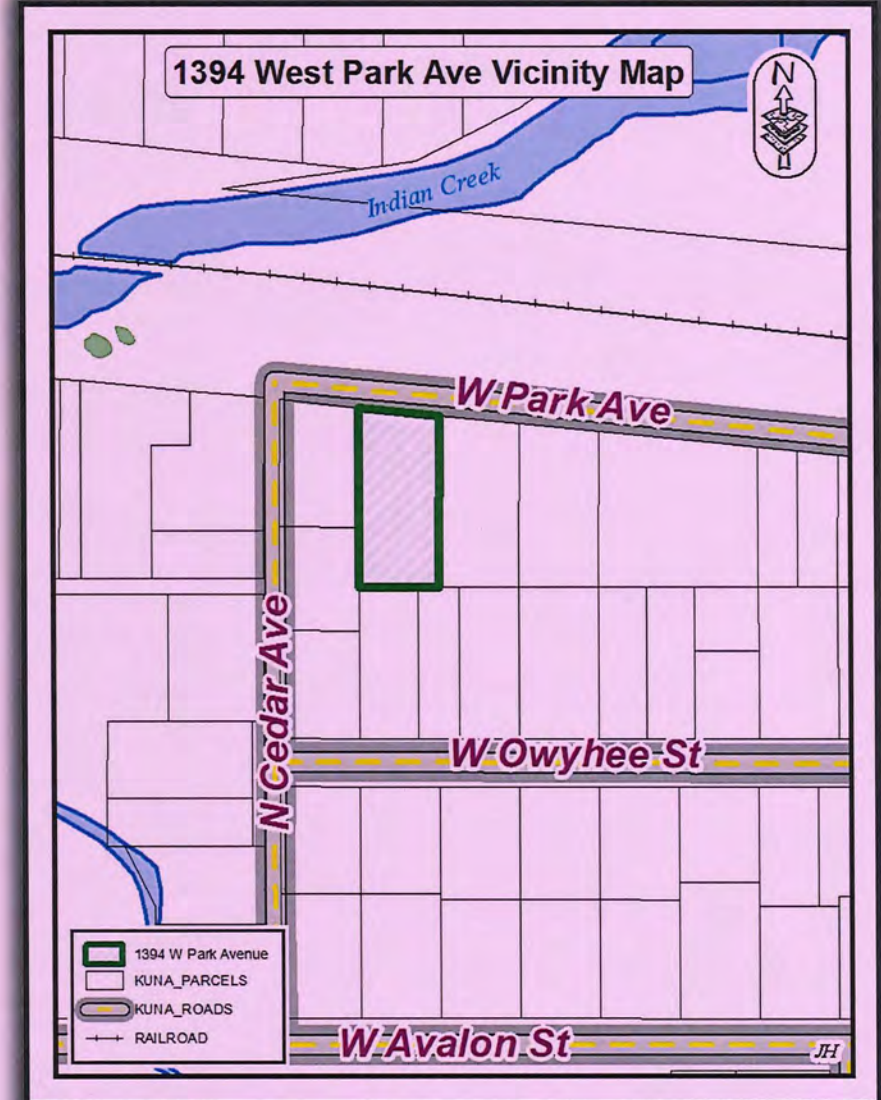
A Special Use Permit (SUP) and Design Review (DR) request by ALC architecture to construct one triplex of townhouses on the north end of an approximately 0.51-acre lot. The site is located at 1394 West Park Ave, Kuna, ID 83634. (APN: R5070002532).

The hearing will be held at **6:00 PM in the Council Chambers at the City Hall located at 751 W. 4th Street, Kuna, Idaho.**

All documents concerning public hearing items may be reviewed at Kuna City Hall, 751 W. 4th Street, Kuna, Idaho, 83634. Office hours are 8:00 am to 5:00 pm, Monday through Friday, except holidays. If you have questions or would like additional information, please contact the Planning and Zoning Division at (208) 922-5274.

You are invited to provide oral or written comments to the Commission at the hearing. Please note that all comments made to the Commission during the public hearing will be restricted to three (3) minutes per person. Prior to the hearing, written comments may be submitted to the appropriate governing body at least seven (7) days prior to the hearing. These comments will be forwarded to the Planning and Zoning Commission.

In all correspondence concerning this case, please refer to the case name: **17-06-SUP (Special Use Permit) & 17-19-DR (Design Review); Kuna Townhomes**



MAILED 12/20/2017



Suggestions For Testifying at the Public Hearing:

Be informed . . .

Review the proposal, the staff report, applicable provisions of the ordinance and comprehensive plan.

Be on time . . .

Although the item you are interested in may not be first on the agenda, you never know when it will be heard. The governing body has authority to adjust the schedule according to its discretion. Thus, anticipate attending from the beginning.

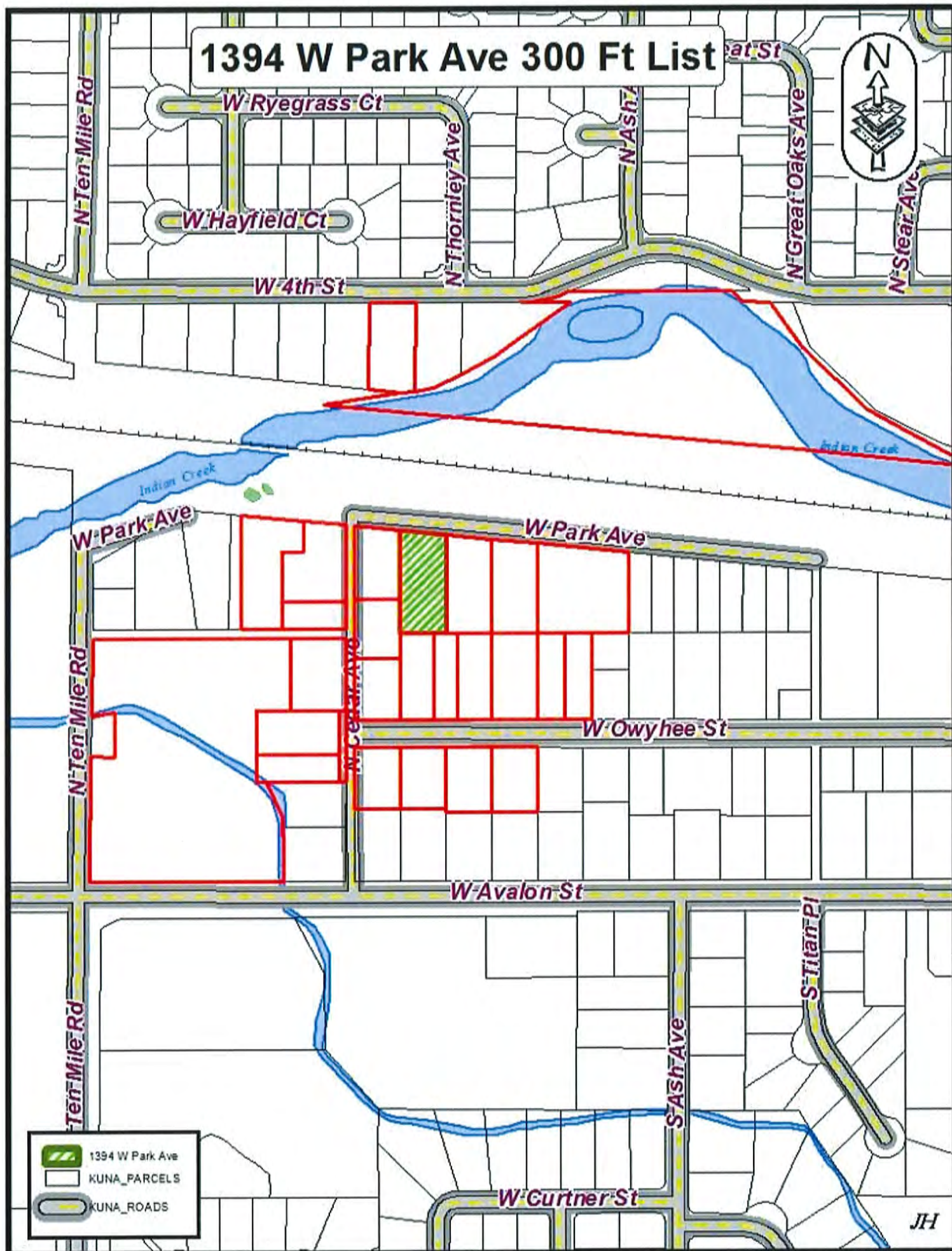
Speak to the point . . .

The governing body appreciates pertinent, well organized, and concise comments. Redundant testimony is prohibited and **each individual is given three (3) minutes to comment.** Long stories, abstract complaints, or generalities may not be the best use of time. Neighborhood groups are encouraged to organize testimony and have one (1) person speak on behalf of the group -- "opposition representative," like the applicant's representative, receives 10 minutes to make comments. Applicant has five (5) minutes to rebut or discuss issues raised by any opposition.

If you don't wish to speak, write . . .

At most hearings, previously submitted written testimony may be reviewed by the governing body before the meeting. It is unreasonable to submit extensive written comments or information at the hearing and expect them to be reviewed prior to a decision. All documents or written comments should be submitted to the City of Kuna at least one (1) week **prior** to the hearing.

1394 W Park Ave 300 Ft List



Ada County – Tax Deed
200 W Front St
Boise ID, 83702

Jozanne Brady
235 N Cedar Ave
Kuna, ID 83634

Melvin Carr & Jeanette Griggs
104 E Fairview Ave #335
Meridian, ID 83642

Robert & Katrina Cottrell
215 N Cedar Ave
Kuna, ID 83634

Leo Faddis
1431 W 4th St
Kuna, ID 83634

Alice Good
190 N Ten Mile Rd
Kuna, ID 83634

Jack Graham
167 N Cedar Ave
Kuna, ID 83634

Kathy Hanau
Chris Hanau Living Trust
60 Moreland Rd Unit A
Simi Valley, CA 93065

Jack & Margaret Kesgard
263 N Cedar Ave
Kuna, ID 83634

Debbie Kirton-Fuqua
240 N Cedar Ave
Kuna, ID 83634

Kuna Joint School District #3
711 E Porter Rd
Kuna, ID 83634

Contreras & Carmen Ledesma
1318 W Owyhee Ave
Kuna, ID 83634

James Longest
1290 W Owyhee Ave
Kuna, ID 83634

Charles & Maltha McMenomey
10334 Vista Drive B
Cupertino, CA 95014

Katherine Newsome
259 N Cedar Ave
Kuna, ID 83634

Andrew Otto
171 N Cedar Ave
Kuna, ID 83634

Fred & Dorothy Proctor
158 N Cedar Ave
Kuna, ID 83634

Patrick & Jennifer Ross
12013 W Dallan Dr
Boise, ID 83713

Joshua Sanders
1169 N Black Cat Rd
Kuna, ID 83634

Glenda Sanders
Jeff Marler
260 N Cedar Ave
Kuna, ID 83634

Judy Schepis
1336 W Owyhee St
Kuna, ID 83634

Amelia Shaw
1396 W Owyhee St
Kuna, ID 83634

John & Kelly Stapleton
1385 W Owyhee Ave
Kuna, ID 83634

John Stear
PO Box 155
Kuna, ID 83634

PRIMOWNER

ADA COUNTY - TAX DEED

BRADY JOZANNE

CARR MELVIN L II

COTTRELL ROBERT B

FADDIS LEO E

GOOD ALICE M

GRAHAM JACK

HANAU KATHY S

KESGARD JACK H &

KIRTON-FUQUA DEBBIE

KUNA JOINT SCHOOL DIST #3

LEDESMA CONTRERAS FANI T

LONGEST JAMES B JR

MCMENOMEY CHARLES ROBERT III

NEWSOME KATHERINE

OTTO ANDREW

PROCTOR FRED H &

ROSS PATRICK F

SANDERS GLENDA L

SANDERS JOSHUA GLADE

SCHEPIS JUDY L

SHAW AMELIA L

STAPLETON JOHN B &

STEAR JOHN R

SECOWNER

GRIGGS JEANETTE M

COTTRELL KATRINA E

HANAU CHRIS LIVING TRUST

KESGARD MARGARET E

LEDESMA CARMEN

MCMENOMEY MALTHA Z

PROCTOR DOROTHY F

ROSS JENNIFER

MARLER JEFF C

STAPLETON KELLY A

ADDCONCAT

200 W FRONT ST

235 N CEDAR AVE

104 E FAIRVIEW AVE # 335

215 N CEDAR AVE

1431 W 4TH ST

190 N TEN MILE RD

167 N CEDAR AVE

60 MORELAND RD UNIT A

263 N CEDAR AVE

240 N CEDAR AVE

711 E PORTER RD

1318 W OWYHEE ST

1290 W OWYHEE AVE

10334 VISTA DRIVE B

259 N CEDAR AVE

171 N CEDAR AVE

158 N CEDAR AVE

12013 W DALLAN DR

260 N CEDAR AVE

1169 N BLACK CAT RD

1336 W OWYHEE ST

1396 W OWYHEE ST

1385 W OWYHEE AVE

P O BOX 155

STATCONCAT

BOISE, ID 83702-0000

KUNA, ID 83634-0000

MERIDIAN, ID 83642-0000

KUNA, ID 83634-0000

KUNA, ID 83634-0000

KUNA, ID 83634-1202

KUNA, ID 83634-0000

SIMI VALLEY, CA 93065-0000

KUNA, ID 83634-0000

KUNA, ID 83634-0000

KUNA, ID 83634-0000

KUNA, ID 83634-0000

KUNA, ID 83634-2210

CUPERTINO, CA 95014-0000

KUNA, ID 83634-0000

KUNA, ID 83634-0000

KUNA, ID 83634-2258

BOISE, ID 83713-1058

KUNA, ID 83634-0000

KUNA, ID 83634-1109

KUNA, ID 83634-0000

KUNA, ID 83634-0000

KUNA, ID 83634-2213

KUNA, ID 83634-0000

Jace Hellman

From: Jace Hellman
Sent: Thursday, November 16, 2017 4:56 PM
To: ACHD; Ada County Engineer; Adam Ingram; Antonio Conti; Attorney Icloud; Becky Rone - Kuna USPS Addressing; Bob Bachman; Boise Project Board of Control; Boise Project Board of Control; Boise-Kuna Irrigation Distr.; Cable One t.v.; Central District Health Dept. CDHD; COMPASS; DEQ (Alicia.martin@deq.idaho.gov); Eric Adolfson; Idaho Power; Idaho Power; Idaho Power Easements; Intermountain Gas; Intermountain Gas; J&M Sanitation - Chad Gordon; Jaime Golliher; Julie Stanely - Regional Address Mgmt.; Ken Couch; Idaho Transportation Department; Kuna Police; Kuna Postmaster - Marc C. Boyer; Kuna School District; Kuna School District; Kuna School District; Nampa Meridian Irrigation District; Natalie Purkey (npurkey@kunaaid.gov); New York Irrigation; Planning Mgr: Ada County Development Services; Terry Gammel
Subject: Request for Comment - Case No. 17-06-SUP (Special Use Permit) & 17-19-DR (Design Review) - Kuna Townhomes
Attachments: Agency Packet 11.16.17 (1).pdf

November 16, 2017

Notice is hereby given that the following action is under consideration by the City of Kuna:

FILE NUMBER	17-06-SUP (Special Use Permit) & 17-19-DR (Design Review) – ALC Architecture – <i>Kuna Townhomes</i>
PROJECT DESCRIPTION	Applicant is requesting approval for a Special Use Permit (SUP) and a Design Review (DR) to construct one triplex of townhouses on the north end of an approximately 0.5-acre lot. The site is located at 1394 West Park Ave, Kuna, ID 83634. (APN: R5070002532)
SITE LOCATION	1394 West Park Ave, Kuna, Idaho 83634
APPLICANT/ REPRESENTATIVE	ALC Architecture – Troy Lachcik 1119 East State Street, Suite 120 Eagle, ID 83616 208.514.2713 troyl@alcarchitecture.com
SCHEDULED HEARING DATE	Tuesday, January 9, 2018 6:00 p.m.
KUNA STAFF CONTACT	Jace Hellman, Planner I jhellman@kunaaid.gov Phone: 922-5274 Fax: 922-5989
We have enclosed information to assist you with your consideration and responses. No response within 15 business days will indicate you have no objection or concerns with this proposed project. We would appreciate any information you can supply us as to how this action	

would affect the services you provide. The public hearing is at 6:00 p.m. or as soon thereafter as it may be heard located at Kuna City Hall 751 W. 4th Street, Kuna, ID 83634.

Jace Hellman

Planner I

City of Kuna

751 W 4th Street

Kuna, ID 83634

Jhellman@kunaID.gov





CITY OF KUNA
P.O. BOX 13
KUNA, ID 83634
www.KunaID.gov

MICHAEL L. BORZICK
GIS MAPPING

Telephone (208) 287-1726; Fax (208) 287-1731
Email: mborzick@kunaID.gov

MEMORANDUM

TO: Director of Kuna Planning and Zoning

FROM: Michael L. Borzick ~ GIS Manager
In place of Bob Bachman ~ Public Works Director

RE: Park Ave Townhomes
17-10-DR, 17-06-SUP

DATE: November 17, 2017

The GIS Manager has reviewed the request of the above applicant dated August 18, 2017. It is noted that specific development plans are not provided except those implied as allowed or permitted in a "R-6" zone. The recommendation of the GIS Manager is to proceed with this Project and address any issues and conditions raised below in connection with this application during plan review. Accordingly, the GIS Manager provides the following comments:

1. Sanitary Sewer Needs

- a) The City recommends ultimate connection to all city utilities.
- b) Wastewater from the applicant's property will be treated at the South Treatment Plant, which has sufficient capacity to serve this site at this time. The nearest point of connection for the Park Ave Townhomes property is located along the north side of said property within an 8" sewer main that discharges into the Ten Mile Lift Station. When connecting to the sewer system, the applicant shall abide by all relevant inspection, sewer reimbursement policies and agreements and all relevant connection fees. One (1) unit is responsible for one (1) sewer connection fee. 3 units – 3 connection fees.
- c) The Ten Mile Lift Station is "over-committed" for future sewer connections. At this time, the City opines that this project will not over-burden the Lift Station **if the project is completed in a timely manner**. However, if this project is delayed for an unknown period of time, there may be a delay in the connections to the City sewer while we are working on a solution.
- d) Applicant must conform to City of Kuna Sewer Master Plan.

- e) For assistance in locating existing facilities and understanding issues associated with connection, please contact the GIS Manager at 287-1726.

2. Potable Water Needs

- a) The applicant's property is currently vacant and it is recommended that the applicant connect to City facilities at the commencement of development because facilities are now within 300' of the property.
- b) The nearest point of connection for this property is in an 12-inch water main along the north side of the property. When connecting to the water system, the applicant will need to abide by any relevant water reimbursement policies and agreements and any relevant connection fees.
- c) Improvements necessary to provide adequate fire protection as required by Kuna Fire District will be required of the development.
- d) Applicant must conform to City of Kuna Water Master Plan.
- e) For assistance in locating existing facilities, please contact the GIS Manager at 287-1726.

3. Pressure and Gravity Irrigation

- a) There is no pressurized irrigation available to this property. There is a gravity irrigation main that crosses from the SE to the NW and will need to be re-routed to accommodate the design of your project. Additionally, gravity irrigation will not properly or adequately serve your projects landscaping needs so a private pressurized irrigation system would be required on your project. The City would be strongly against the applicant using Potable water for irrigation needs when the applicant has a water right and access to gravity irrigation water.
- b) For assistance in locating existing facilities, please contact the GIS Manager at 287-1726.

4. Grading and Storm Drainage

The following is not required for an SUP or Design Review but will be required when alteration of surface features is proposed (such as grading or paving) in connection with future land use applications:

- a) Please provide a grading and drainage plan which supports and maintains all upstream drainage rights **and all downstream irrigation delivery rights as they presently exist for this property.**
- b) If impervious area is increased, please provide a storm water disposal plan acceptable to the City Engineer which accounts for the increased storm water drainage. Please provide detail drawings of drainage facilities for review. The city relies on the ACHD Storm water policy as guidance for design.
- c) Any increase in quantity or rate of runoff or decrease in quality of runoff from the site compared to historical conditions must be detained, treated and released at rates no greater than historical amounts.
- d) If offsite disposal of storm water in excess of historical rates or conditions is proposed, or disposed at locations different than provided historically, the approval of the affected entities is required.

5. General

- a) Verify that existing and proposed elevations match at property boundaries such that a slope burden is not imposed on adjacent properties.
- b) State the vertical datum used for elevations on all drawings.
- c) Provide a viable solution for the accessing the property across HOA area that don't contain ingress/egress easements per the site plan. Any lot line adjustments or splits may constitute a replat

for this one lot. A conversation on how this will be coordinated and access obtained should be had by both parties.

- d) Provide engineering certification on all final engineering drawings.

6. Inspection Fees

An inspection fee will be required for City inspection of the construction of any **public** water, sewer and irrigation facility associated with this development. The developer will still require a qualified responsible engineer to do sufficient inspection to justly certify to DEQ the project was completed in accordance with approved plans and specifications and to provide accurate as-built drawings to the City. The developer's engineer and the City's inspector are permitted to coordinate inspections as much as possible. The current inspection fee is \$1.00 per lineal foot of sewer, water and pressure irrigation pipe and payment is due and payable prior to City's approval of final construction plans.

7. Right-of-Way

The following conditions are related to these classified streets and future quarter line classified streets and apply at the time of additional development:

- a) It is recommended new and existing approaches onto the classified streets comply with ACHD approach policies.
- b) It is recommended sidewalk, curb and gutter, street widening and any related storm drainage facilities, consistent with city code and policies, are provided at the time of land-use change or re-development.
- c) It is recommended that ACHD comment on the existing building's encroachment into the Public right-of-way.

8. As-Built Drawings

As-built drawings are required at the conclusion of any public facility construction project and are the responsibility of the developer's engineer. The city may help track changes, but will not be responsible for the finished product. As-built drawings will be required before occupancy or final plat approval is granted.

9. Property Description

- a) The applicant provided a metes and bounds property description of the subject parcel.

We look forward to working with you on this project. If we may be of further assistance, feel free to contact me at 287-1726.

Sincerely,

Michael L Borzick

Michael L Borzick
GIS Manager



STATE OF IDAHO
DEPARTMENT OF ENVIRONMENTAL QUALITY
BOISE REGIONAL OFFICE
1445 North Orchard Street • Boise, ID 83706-2239 • (208) 373-0550

DEQ Response to Request for Environmental Comment

Date: November 24, 2017
Agency Requesting Comments: City of Kuna
Date Request Received: November 16, 2017
Applicant/Description: ALC Architecture/17-06-SUP (Special Use Permit) & 17-19-DR (Design Review) Kuna Townhomes

Thank you for the opportunity to respond to your request for comment. While DEQ does not review projects on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at <http://www.deq.idaho.gov/ieg/>.

The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:

1. Air Quality

- *Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), trade waste burning (58.01.01.600-617), and odor control plans (58.01.01.776).*

For questions, contact David Luft, Air Quality Manager, at 373-0550.

- *IDAPA 58.01.01.201 requires an owner or operator of a facility to obtain an air quality permit to construct prior to the commencement of construction or modification of any facility that will be a source of air pollution in quantities above established levels. DEQ asks that cities and counties require a proposed facility to contact DEQ for an applicability determination on their proposal to ensure they remain in compliance with the rules.*

For questions, contact the DEQ Air Quality Permitting Hotline at 1-877-573-7648.

2. Wastewater and Recycled Water

- *DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.*
- *IDAPA 58.01.16 and IDAPA 58.01.17 are the sections of Idaho rules regarding wastewater and recycled water. Please review these rules to determine whether this or future projects will require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the district health department.*

All projects for construction or modification of wastewater systems require preconstruction approval. Recycled water projects and subsurface disposal projects require separate permits as well.

- *DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss potential for development of a community treatment system along with best management practices for communities to protect ground water.*
- *DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.*

For questions, contact Todd Crutcher, Engineering Manager, at 373-0550.

3. Drinking Water

- *DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.*
- *IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.*

All projects for construction or modification of public drinking water systems require preconstruction approval.

- *DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system (refer to the DEQ website at <http://www.deq.idaho.gov/water-quality/drinking-water.aspx>). For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.*
- *If any private wells will be included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.*
- *DEQ recommends using an existing drinking water system whenever possible or construction of a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for protection of ground water resources.*
- *DEQ recommends cities and counties develop and use a comprehensive land use management plan which addresses the present and future needs of this area for adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.*

For questions, contact Todd Crutcher, Engineering Manager at 373-0550.

4. Surface Water

- A DEQ short-term activity exemption (STAE) from this office is required if the project will involve de-watering of ground water during excavation and discharge back into surface water, including a description of the water treatment from this process to prevent excessive sediment and turbidity from entering surface water.
- Please contact DEQ to determine whether this project will require a National Pollution Discharge Elimination System (NPDES) Permit. If this project disturbs more than one acre, a stormwater permit from EPA may be required.
- If this project is near a source of surface water, DEQ requests that projects incorporate construction best management practices (BMPs) to assist in the protection of Idaho's water resources. Additionally, please contact DEQ to identify BMP alternatives and to determine whether this project is in an area with Total Maximum Daily Load stormwater permit conditions.
- The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call 208-334-2190 for more information. Information is also available on the IDWR website at:
<http://www.idwr.idaho.gov/WaterManagement/StreamsDams/Streams/AlterationPermit/AlterationPermit.htm>
- The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.

For questions, contact Lance Holloway, Surface Water Manager, at 373-0550.

5. Hazardous Waste And Ground Water Contamination

- **Hazardous Waste.** The types and number of requirements that must be complied with under the federal Resource Conservation and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.
- No trash or other solid waste shall be buried, burned, or otherwise disposed of at the project site. These disposal methods are regulated by various state regulations including Idaho's Solid Waste Management Regulations and Standards, Rules and Regulations for Hazardous Waste, and Rules and Regulations for the Prevention of Air Pollution.
- **Water Quality Standards.** Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA 58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.02.851 and 852).

Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.02.851.01 and 04. Hazardous material releases to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.

- **Ground Water Contamination.** DEQ requests that this project comply with Idaho's Ground Water Quality Rules (IDAPA 58.01.11), which states that "No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water quality standard to be exceeded, injures a beneficial use of ground water, or is not in accordance with a permit, consent order or applicable best management practice, best available method or best practical method."

For questions, contact Albert Crawshaw, Waste & Remediation Manager, at 373-0550.

6. Additional Notes

- *If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, the site should be evaluated to determine whether the UST is regulated by DEQ. EPA regulates ASTs. UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at 373-0550, or visit the DEQ website (<http://www.deq.idaho.gov/waste-mgmt-remediation/storage-tanks.aspx>) for assistance.*
- *If applicable to this project, DEQ recommends that BMPs be implemented for any of the following conditions: wash water from cleaning vehicles, fertilizers and pesticides, animal facilities, composted waste, and ponds. Please contact DEQ for more information on any of these conditions.*

We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any of our technical staff at 208-373-0550.

Sincerely,



Aaron Scheff
aaron.scheff@deq.idaho.gov
Regional Administrator
Boise Regional Office
Idaho Department of Environmental Quality

ec: TRIM 2017AEK154



IDAHO TRANSPORTATION DEPARTMENT
P.O. Box 8028
Boise, ID 83707-2028

(208) 334-8300
itd.idaho.gov

December 4, 2017

Jace Hellman
City of Kuna, Planning and Zoning Department
P.O. Box 13
Kuna, ID 83634

VIA EMAIL

RE: 17-06-SUP, 17-19-DR - KUNA TOWNHOMES

The Idaho Transportation Department has reviewed the referenced special use permit and design review applications by ALC Architecture for one triplex townhome (3 attached units) located at 1394 West Park Ave., Kuna, Idaho 83634, west of SH-69 milepost 2.36. ITD has the following comments:

1. This parcel does not abut the State Highway system.
2. Idaho Code 40-1910 does not allow advertising within the right-of-way of any State highway system.
3. IDAPA 39.03.60 rules govern advertising along the State highway system. The applicant may contact Justin Pond, Program Manager for ITD's Headquarters Right-of-Way Section at (208)-334-8832 for more information.
4. ITD does not object to the construction of one triplex townhome unit on this parcel.

If you have any questions, you may contact Shona Tonkin at (208)-334-8341 or me at (208)-332-7190.

Sincerely,

Ken Couch
Development Services Coordinator
Ken.Couch@itd.idaho.gov

Exhibit

B-6



CENTRAL DISTRICT HEALTH DEPARTMENT
Environmental Health Division

Return to:

- ☐ ACZ
☐ Boise
☐ Eagle
☐ Garden City
☒ Kuna
☐ Meridian
☐ Star

Rezone # 17-06-SUP & 17-19-DP

Conditional Use # _____

Preliminary / Final / Short Plat _____

Kuna Townhomes

- ☐ 1. We have No Objections to this Proposal.
- ☐ 2. We recommend Denial of this Proposal.
- ☐ 3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
- ☐ 4. We will require more data concerning soil conditions on this Proposal before we can comment.
- ☐ 5. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
☐ high seasonal ground water ☐ waste flow characteristics
☐ bedrock from original grade ☐ other _____
- ☐ 6. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
- ☐ 7. This project shall be reviewed by the Idaho Department of Water Resources concerning well construction and water availability.
- ☒ 8. After written approval from appropriate entities are submitted, we can approve this proposal for:
☒ central sewage ☐ community sewage system ☐ community water well
☐ interim sewage ☒ central water
☐ individual sewage ☐ individual water
- ☒ 9. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
☒ central sewage ☐ community sewage system ☐ community water
☒ sewage dry lines ☒ central water
- ☐ 10. This Department would recommend deferral until high seasonal ground water can be determined if other considerations indicate approval.
- ☐ 11. If restroom facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
- ☐ 12. We will require plans be submitted for a plan review for any:
☐ food establishment ☐ swimming pools or spas ☐ child care center
☐ beverage establishment ☐ grocery store
- ☒ 13. Infiltration beds for storm water disposal are considered shallow injection wells. An application and fee must be submitted to CDHD.

☐ 14. _____ Reviewed By: [Signature]

Date: 12/4/17

Exhibit

137

Jace Hellman

From: ppalmer@kunafire.com
Sent: Monday, December 11, 2017 5:05 PM
To: Jace Hellman
Subject: RE: 17-06-SUP & 17-19-DR Kuna Townhomes request for comment

Hi Jace,

You can forward this on to Stacy.

The Kuna Fire District is not going to require any improvements to Cedar Drive for the development proposed on Park Dr. unless there is a DA for said improvement to occur prior to permit for the Townhomes on Park.

Please feel free to contact me should you have any questions.

Thanks,
Perry Palmer, Fire Chief
Kuna Fire District
Email: ppalmer@kunafire.com
Ph.: 208-922-1144

From: Jace Hellman [mailto:jhellman@kunaID.gov]
Sent: Monday, December 11, 2017 1:38 PM
To: Perry Palmer <ppalmer@kunafire.com>; Terry Gammel <tgammel@kunafire.com>
Subject: 17-06-SUP & 17-19-DR Kuna Townhomes request for comment

Hello,

I just received another email from ACHD wondering what your thoughts are on this project (referenced in the subject line). I am just wondering if you have had the chance to review the packet that was sent out to you, and if you had any comments specifically regarding emergency access?

Thank you,

Jace Hellman

Planner I
City of Kuna
751 W 4th Street
Kuna, ID 83634
jhellman@kunaID.gov





Paul Woods, President
Rebecca W. Arnold, Vice President
Sara M. Baker, Commissioner
Kent Goldthorpe, Commissioner
Jim Hansen, Commissioner

Date: December 22, 2017

(Via email)

To: ALC Architecture
Troy Lachcik
1119 E State Street, Ste. 120
Eagle, ID 83616

Subject: Kuna Townhomes/ KUNA 17-0016/ 17-06-SUP/ 17-19-DR
1394 W Park Avenue

On December 21, 2017, the Ada County Highway District staff acted on your application for the above referenced project. The attached report lists site-specific requirements, conditions of approval and street improvements, which are required.

If you have any questions, please feel free to contact me at (208) 387-6171.

Sincerely,

Stacey Yarrington
Planner III
Development Services
Ada County Highway District

CC: Project File
City of Kuna (via email)
Victor Clark (via email)

Exhibit

B9



Project/File: Kuna Townhomes/ KUNA17-0016/ 17-06-SUP/ 17-19-DR
This is a special use permit and design review application to construct a triplex of townhomes, located on 0.5-acres.

Lead Agency: City of Kuna

Site address: 1394 W Park Avenue

Staff Approval: December 21, 2017

Applicant: Victor Clark
 214 S Cole Road
 Boise, ID 83709

Representative: ALC Architecture
 Troy Lachcik
 1119 E State Street, Ste. 120
 Eagle, ID 83616

Staff Contact: Stacey Yarrington, Planner III
 Phone: 387-6171
 E-mail: syarrington@achdidaho.org



A. Findings of Fact

- Description of Application:** The applicant is requesting approval of a special use permit and design review application to construct a triplex of townhomes. The site is currently zoned R-6 (Medium density Residential), and the applicant's proposal is consistent with the City of Kuna's comprehensive plan.
- Description of Adjacent Surrounding Area:**

Direction	Land Use	Zoning
North	Public (railroad tracks)	P
South	Medium density Residential	R-6
East	Medium density Residential	R-6
West	Medium density Residential	R-6
- Site History:** ACHD has not previously reviewed this site for a development application.
- Transit:** Transit services are not available to serve this site.
- New Center Lane Miles:** The proposed development includes 0.0 centerline miles of new public road.
- Impact Fees:** There will be an impact fee that is assessed and due prior to issuance of any building permits. The assessed impact fee will be based on the impact fee ordinance that is in effect at that time.

7. **Capital Improvements Plan (CIP)/ Integrated Five Year Work Plan (IFYWP):**

There are currently no roadways, bridges or intersections in the general vicinity of the project that are currently in the Integrated Five Year Work Plan (IFYWP) or the District's Capital Improvement Plan (CIP).

B. Traffic Findings for Consideration

1. **Trip Generation:** This development is estimated to generate 17 vehicle trips per day; 2 vehicle trips per hour in the PM peak hour, based on the Institute of Transportation Engineers Trip Generation Manual, 9th edition.

2. **Condition of Area Roadways**

Traffic Count is based on Vehicles per hour (VPH)

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service
Bridge Avenue	0-feet	Minor Arterial	445	Better than "E"
Avalon Street	0-feet	Minor Arterial	513	Better than "E"
Cedar Avenue	0-feet	Local	N/A	N/A
Park Avenue	100-feet	Local	N/A	N/A

* Acceptable level of service for a two-lane minor arterial is "E" (575 VPH).

3. **Average Daily Traffic Count (VDT)**

Average daily traffic counts are based on ACHD's most current traffic counts.

- The average daily traffic count for Bridge Avenue south of Main Street was 8,792 on 04/19/2017.
- The average daily traffic count for Avalon Street west of Shoreline Street was 9,685 on 04/19/2017.

C. Findings for Consideration

1. **Park Avenue**

- a. **Existing Conditions:** Park Avenue is improved with 2-travel lanes, 23-feet of pavement and no curb, gutter or sidewalk abutting the site. There is 50-feet of right-of-way for Park Avenue (25-feet from centerline). Park Avenue is a dead-end street east of the site, and the only access to Park Avenue is from Cedar Avenue.

b. **Policy:**

Local Roadway Policy: District Policy 7207.2.1 states that the developer is responsible for improving all local street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

Street Section and Right-of-Way Policy: District Policy 7207.5 states that right-of-way widths for all local streets shall generally not be less than 50-feet wide and that the standard street section shall be 36-feet (back-of-curb to back-of-curb). The District will consider the utilization of a street width less than 36-feet with written fire department approval.

Standard Urban Local Street—36-foot to 33-foot Street Section and Right-of-way Policy: District Policy 7207.5.2 states that the standard street section shall be 36-feet (back-of-curb to

back-of-curb) for developments with any buildable lot that is less than 1 acre in size. This street section shall include curb, gutter, and minimum 5-foot concrete sidewalks on both sides and shall typically be within 50-feet of right-of-way.

The District will also consider the utilization of a street width less than 36-feet with written fire department approval. Most often this width is a 33-foot street section (back-of-curb to back-of-curb) for developments with any buildable lot that is less than 1 acre in size.

Sidewalk Policy: District Policy 7207.5.7 states that five-foot wide concrete sidewalk is required on both sides of all local street, except those in rural developments with net densities of one dwelling unit per 1.0 acre or less, or in hillside conditions where there is no direct lot frontage, in which case a sidewalk shall be constructed along one side of the street. Some local jurisdictions may require wider sidewalks.

The sidewalk may be placed next to the back-of-curb. Where feasible, a parkway strip at least 8-feet wide between the back-of-curb and the street edge of the sidewalk is recommended to provide increased safety and protection of pedestrians and to allow for the planting of trees in accordance with the District's Tree Planting Policy. If no trees are to be planted in the parkway strip, the applicant may submit a request to the District, with justification, to reduce the width of the parkway strip.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

Half Street Policy: District Policy 7207.2.2 required improvements shall consist of pavement widening to one-half the required width, including curb, gutter and concrete sidewalk (minimum 5-feet), plus 12-feet of additional pavement widening beyond the centerline established for the street to provide an adequate roadway surface, with the pavement crowned at the ultimate centerline. A 3-foot wide gravel shoulder and a borrow ditch sized to accommodate the roadway storm runoff shall be constructed on the unimproved side.

- c. **Applicant's Proposal:** The applicant is proposing to improve Park Avenue with curb, gutter, and sidewalk abutting the site.
- d. **Staff Comments/Recommendations:** The applicant should be required to construct Park Avenue as ½ of a 36-foot street section including pavement widening, curb, gutter, and minimum 5-foot wide sidewalk abutting the site.

The applicant should provide a permanent right-of-way easement to 2-feet behind back of curb for any sidewalk placed outside of the dedicated right-of-way. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

2. Cedar Avenue

Cedar Avenue is currently improved with 17-feet of pavement within 20-feet of right-of-way; and is functioning as an alley from Park Avenue south to Avalon Street. However, as future development occurs, right-of-way should be acquired and Cedar Avenue should be improved to a complete street with curb, gutter, and sidewalk.

Cedar Avenue provides the only access to Park Avenue. Therefore, the applicant should be required to provide written fire departmental approval for the reduced access to the site.

3. Driveways

Park Avenue

- a. **Existing Conditions:** There is an approximately 14-foot wide unimproved driveway onto Park Avenue from the site, located approximately 114-feet east of Cedar Avenue.
- b. **Policy:**
 - Driveway Location Policy:** District policy 7207.4.1 requires driveways located near intersections to be located a minimum of 75-feet (measured centerline-to-centerline) from the nearest street intersection.
 - Successive Driveways:** District Policy 7207.4.1 states that successive driveways away from an intersection shall have no minimum spacing requirements for access points along a local street, but the District does encourage shared access points where appropriate.
 - Driveway Width Policy:** District policy 7207.4.3 states that where vertical curbs are required, residential driveways shall be restricted to a maximum width of 20-feet and may be constructed as curb-cut type driveways.
 - Driveway Paving Policy:** Graveled driveways abutting public streets create maintenance problems due to gravel being tracked onto the roadway. In accordance with District policy, 7207.4.3, the applicant should be required to pave the driveway its full width and at least 30-feet into the site beyond the edge of pavement of the roadway.
- c. **Applicant's Proposal:** The applicant is proposing to construct a 24-foot wide driveway onto Park Avenue from the site, located approximately 114-feet east of Cedar Avenue.
- d. **Staff Comments/Recommendations:** The applicant's proposal meets District policy and should be approved, as proposed.

The applicant should be required to pave the driveway its entire width and at least 30-feet into the site beyond the edge of pavement of the roadway.

4. Tree Planters

Tree Planter Policy: Tree Planter Policy: The District's Tree Planter Policy prohibits all trees in planters less than 8-feet in width without the installation of root barriers. Class II trees may be allowed in planters with a minimum width of 8-feet, and Class I and Class III trees may be allowed in planters with a minimum width of 10-feet.

5. Landscaping

Landscaping Policy: A license agreement is required for all landscaping proposed within ACHD right-of-way or easement areas. Trees shall be located no closer than 10-feet from all public storm drain facilities. Landscaping should be designed to eliminate site obstructions in the vision triangle at intersections. District Policy 5104.3.1 requires a 40-foot vision triangle and a 3-foot height restriction on all landscaping located at an uncontrolled intersection and a 50-foot offset from stop signs. Landscape plans are required with the submittal of civil plans and must meet all District requirements prior to signature of the final plat and/or approval of the civil plans.

D. Site Specific Conditions of Approval

1. Construct Park Avenue as ½ of a 36-foot street section including pavement widening, curb, gutter, and minimum 5-foot wide sidewalk abutting the site.
2. Provide a permanent right-of-way easement to 2-feet behind back of curb for any public sidewalk placed outside of the dedicated right-of-way. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.
3. Provide written fire departmental approval for reduced access to the site via Cedar Avenue.

4. Construct a 24-foot wide driveway onto Park Avenue from the site, located 114-feet east of Cedar Avenue. Pave the driveway its entire width and at least 30-feet into the site beyond the edge of pavement of the roadway.
5. Payment of impacts fees are due prior to issuance of a building permit.
6. Comply with all Standard Conditions of Approval.

E. Standard Conditions of Approval

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).
2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
3. In accordance with District policy, 7203.3, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA) requirements. The applicant's engineer should provide documentation of ADA compliance to District Development Review staff for review.
4. Replace any existing damaged curb, gutter and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.
5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.
9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.
10. Construction, use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.
11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.
12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.

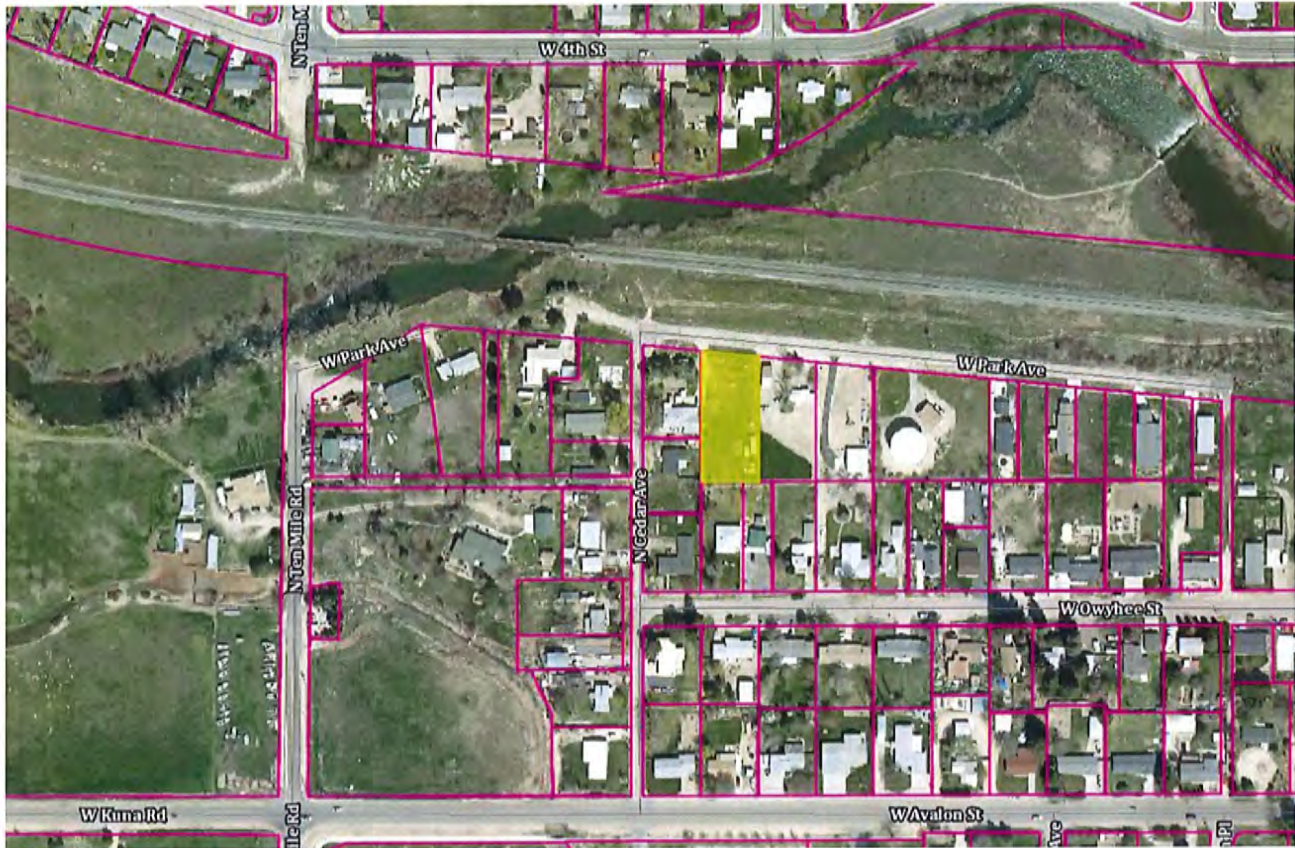
F. Conclusions of Law

1. The proposed site plan is approved, if all of the Site Specific and Standard Conditions of Approval are satisfied.
2. ACHD requirements are intended to assure that the proposed use/development will not place an undue burden on the existing vehicular transportation system within the vicinity impacted by the proposed development.

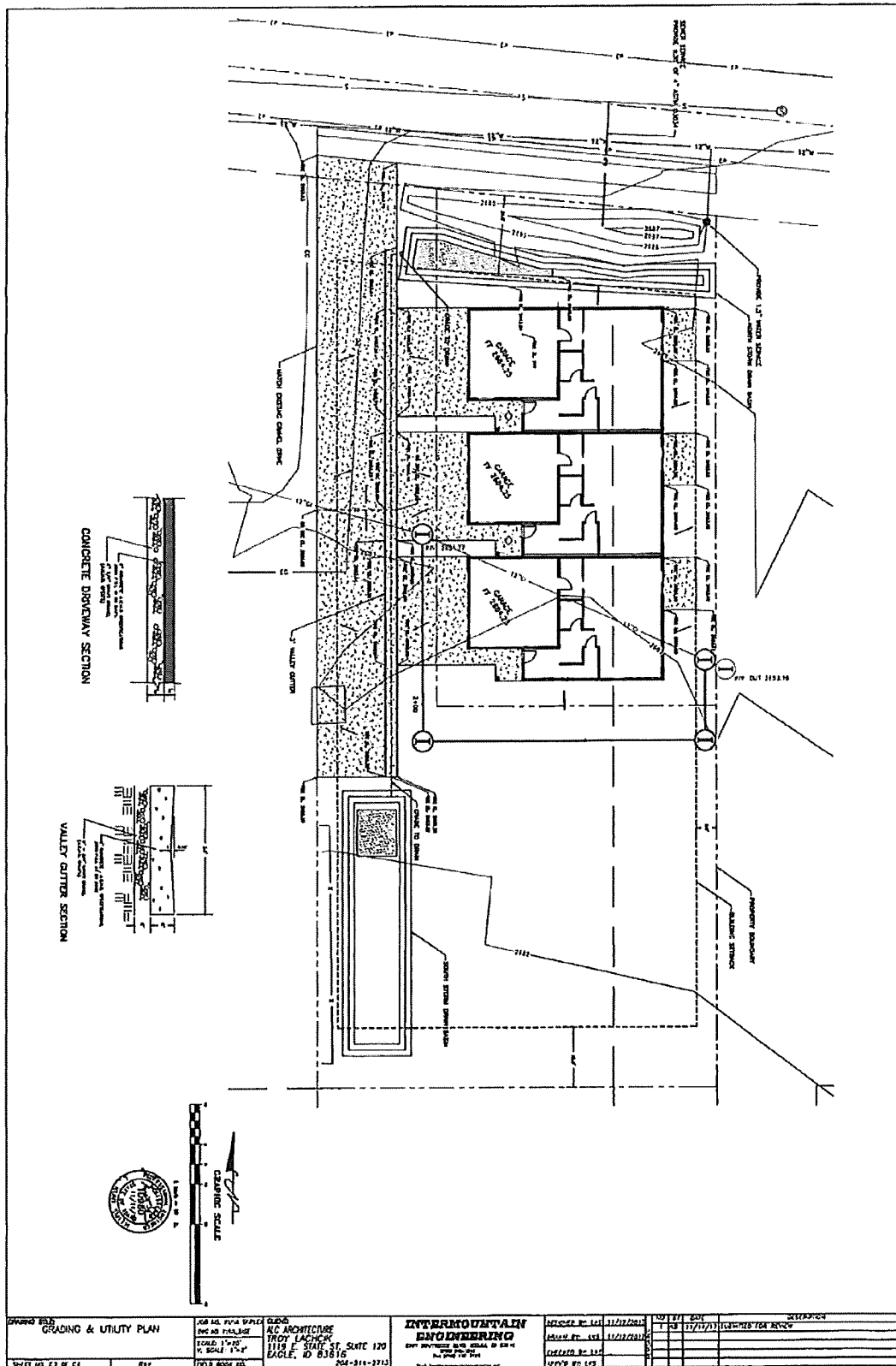
G. Attachments

1. Vicinity Map
2. Site Plan
3. Utility Coordinating Council
4. Development Process Checklist
5. Appeal Guidelines

VICINITY MAP



SITE PLAN



Ada County Utility Coordinating Council

Developer/Local Improvement District Right of Way Improvements Guideline Request

Purpose: To develop the necessary avenue for proper notification to utilities of local highway and road improvements, to help the utilities in budgeting and to clarify the already existing process.

- 1) **Notification:** Within five (5) working days upon notification of required right of way improvements by Highway entities, developers shall provide written notification to the affected utility owners and the Ada County Utility Coordinating Council (UCC). Notification shall include but not be limited to, project limits, scope of roadway improvements/project, anticipated construction dates, and any portions critical to the right of way improvements and coordination of utilities.
- 2) **Plan Review:** The developer shall provide the highway entities and all utility owners with preliminary project plans and schedule a plan review conference. Depending on the scale of utility improvements, a plan review conference may not be necessary, as determined by the utility owners. Conference notification shall also be sent to the UCC. During the review meeting the developer shall notify utilities of the status of right of way/easement acquisition necessary for their project. At the plan review conference each company shall have the right to appeal, adjust and/or negotiate with the developer on its own behalf. Each utility shall provide the developer with a letter of review indicating the costs and time required for relocation of its facilities. Said letter of review is to be provided within thirty calendar days after the date of the plan review conference.
- 3) **Revisions:** The developer is responsible to provide utilities with any revisions to preliminary plans. Utilities may request an updated plan review meeting if revisions are made in the preliminary plans which affect the utility relocation requirements. Utilities shall have thirty days after receiving the revisions to review and comment thereon.
- 4) **Final Notification:** The developer will provide highway entities, utility owners and the UCC with final notification of its intent to proceed with right of way improvements and include the anticipated date work will commence. This notification shall indicate that the work to be performed shall be pursuant to final approved plans by the highway entity. The developer shall schedule a preconstruction meeting prior to right of way improvements. Utility relocation activity shall be completed within the times established during the preconstruction meeting, unless otherwise agreed upon.

Notification to the Ada County UCC can be sent to: 50 S. Cole Rd. Boise 83707, or Visit iducc.com for e-mail notification information.

Development Process Checklist

Items Completed to Date:

- ☒ Submit a development application to a City or to Ada County
- ☒ The City or the County will transmit the development application to ACHD
- ☒ The ACHD **Planning Review Section** will receive the development application to review
- ☒ The **Planning Review Section** will do one of the following:
 - ☐ Send a "**No Review**" letter to the applicant stating that there are no site specific conditions of approval at this time.
 - ☒ Write a **Staff Level** report analyzing the impacts of the development on the transportation system and evaluating the proposal for its conformance to District Policy.
 - ☒ Write a **Commission Level** report analyzing the impacts of the development on the transportation system and evaluating the proposal for its conformance to District Policy.

Items to be completed by Applicant:

- ☐ For **ALL** development applications, including those receiving a "**No Review**" letter:
 - The applicant should submit one set of engineered plans directly to ACHD for review by the **Development Review Section** for plan review and assessment of impact fees. (Note: if there are no site improvements required by ACHD, then architectural plans may be submitted for purposes of impact fee assessment.)
 - The applicant is required to get a permit from Construction Services (ACHD) for ANY work in the right-of-way, including, but not limited to, driveway approaches, street improvements and utility cuts.
- ☐ Pay Impact Fees prior to issuance of building permit. Impact fees cannot be paid prior to plan review approval.

DID YOU REMEMBER:

Construction (Non-Subdivisions)

- ☐ **Driveway or Property Approach(s)**
 - Submit a "Driveway Approach Request" form to ACHD Construction (for approval by Development Services & Traffic Services). There is a one week turnaround for this approval.
- ☐ **Working in the ACHD Right-of-Way**
 - Four business days prior to starting work have a bonded contractor submit a "Temporary Highway Use Permit Application" to ACHD Construction – Permits along with:
 - a) Traffic Control Plan
 - b) An Erosion & Sediment Control Narrative & Plat, done by a Certified Plan Designer, if trench is >50' or you are placing >600 sf of concrete or asphalt.

Construction (Subdivisions)

- ☐ **Sediment & Erosion Submittal**
 - At least one week prior to setting up a Pre-Construction Meeting an Erosion & Sediment Control Narrative & Plan, done by a Certified Plan Designer, must be turned into ACHD Construction to be reviewed and approved by the ACHD Stormwater Section.
- ☐ **Idaho Power Company**
 - Vic Steelman at Idaho Power must have his IPCO approved set of subdivision utility plans prior to Pre-Con being scheduled.
- ☐ **Final Approval from Development Services is required** prior to scheduling a Pre-Con.

Request for Appeal of Staff Decision

1. **Appeal of Staff Decision:** The Commission shall hear and decide appeals by an applicant of the final decision made by the Development Services Manager when it is alleged that the Development Services Manager did not properly apply this section 7101.6, did not consider all of the relevant facts presented, made an error of fact or law, abused discretion or acted arbitrarily and capriciously in the interpretation or enforcement of the ACHD Policy Manual.
 - a. **Filing Fee:** The Commission may, from time to time, set reasonable fees to be charged the applicant for the processing of appeals, to cover administrative costs.
 - b. **Initiation:** An appeal is initiated by the filing of a written notice of appeal with the Secretary and Clerk of the District, which must be filed within ten (10) working days from the date of the decision that is the subject of the appeal. The notice of appeal shall refer to the decision being appealed, identify the appellant by name, address and telephone number and state the grounds for the appeal. The grounds shall include a written summary of the provisions of the policy relevant to the appeal and/or the facts and law relied upon and shall include a written argument in support of the appeal. The Commission shall not consider a notice of appeal that does not comply with the provisions of this subsection.
 - c. **Time to Reply:** The Development Services Manager shall have ten (10) working days from the date of the filing of the notice of appeal to reply to the notice of the appeal, and may during such time meet with the appellant to discuss the matter, and may also consider and/or modify the decision that is being appealed. A copy of the reply and any modifications to the decision being appealed will be provided to the appellant prior to the Commission hearing on the appeal.
 - d. **Notice of Hearing:** Unless otherwise agreed to by the appellant, the hearing of the appeal will be noticed and scheduled on the Commission agenda at a regular meeting to be held within thirty (30) days following the delivery to the appellant of the Development Services Manager's reply to the notice of appeal. A copy of the decision being appealed, the notice of appeal and the reply shall be delivered to the Commission at least one (1) week prior to the hearing.
 - e. **Action by Commission:** Following the hearing, the Commission shall either affirm or reverse, in whole or part, or otherwise modify, amend or supplement the decision being appealed, as such action is adequately supported by the law and evidence presented at the hearing.

27 Dec. 2017

City of Kuna
Planning + Zoning Department

received
12/27/17

In reference to the following case:
17-06-SUP (Special Use Permit) and
17-19-DR (Design and Review)
Kuna Townhomes

Site Location: 1394 W. Park Ave.

My husband and I live at 1343 W. Park Ave., immediately east of the proposed building site. We are both opposed to any two-story building being built next door at 1394 for the following reasons:

- ① There are no other two-story homes on West Park Avenue.
- ② We understand from Troy Lachcik at AL Collaborative Architecture that the three master bedroom windows of the proposed triplex would face our lot from the second story. We don't relish the prospect of having the residents of three separate master bedrooms looming above and looking down upon us.

We understand the need for building as our community grows and so my husband and I

Exhibit

D3

(cont.)

27 Dec. 2017

could accept a triplex, duplex or single family unit of one story only.

Thank you for your time and consideration in this matter.

Jeanette M. Griggs
Jeanette M. Griggs
(208) 869-2482
jeanette.griggs@yahoo.com

Melvin L. Carr II
Melvin L. Carr II
(707) 499-1160
melvcrr@gmail.com



City of Kuna

P & Z Staff Report

P.O. Box 13
Phone: (208) 922-5274
Fax: (208) 922-5989
www.Kunacity.id.gov

To: Planning and Zoning Commission (P & Z)

Case Numbers: 17-09-AN (Annexation)
Former Urza Property

Location: Near the northwest corner of Ten Mile and Kuna Roads, Kuna, Idaho 83642

Planner: Troy Behunin, Planner III

Hearing Date: January 9, 2017

Engineer: **KM Engineering**
Kirsti Grabo
9233 W. State St,
Boise, ID 83714
208.639.6930
KGrabo@kmenllp.com

Owners (6): *N Star Farm, LLC,*
6152 W. Half Moon Ln.
Eagle, ID, 83616



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| D. Site History | L. Idaho Code Analysis |
| E. General Project Facts | M. Proposed Conclusions of Law |
| F. Staff Analysis | N. Proposed Recommended Conditions of Approval |
| G. Applicable Standards | |
| H. Proposed Procedural Background | |

A. Process and Noticing:

1. Kuna City Code (KCC), Title 1, Chapter 14, Section 3, states that annexations are designated as public hearings, with the P & Z Commission as a recommending body and City Council as the decision making body. These land use applications were given proper public notice and followed the requirements set forth in Idaho Code, Chapter 65, Local Planning Act.

a. Notifications

- | | |
|----------------------------------|--|
| i. Neighborhood Meeting | October 18, 2017 (five persons attended) |
| ii. Agency Comment Request | December 1, 2017 |
| iii. 315' Property Owners Notice | January 2, 2019 |
| iv. Kuna, Melba Newspaper | December 13, 2017 |
| v. Site Posted | December 20, 2017 |

B. Applicant's Request:

On behalf of N Star Farm, LLC (the applicant), Kirsti Grabo with KM Engineering, requests approval to annex approximately 39.48 acres into Kuna City with an R-8 (Medium Density Residential) zone. This site is located near the NWC of Ten Mile and Kuna Roads. *The owner/developer is not seeking development entitlements at this time, however, he will likely submit for preliminary plat approval later in 2018.*

C. Aerial Map:



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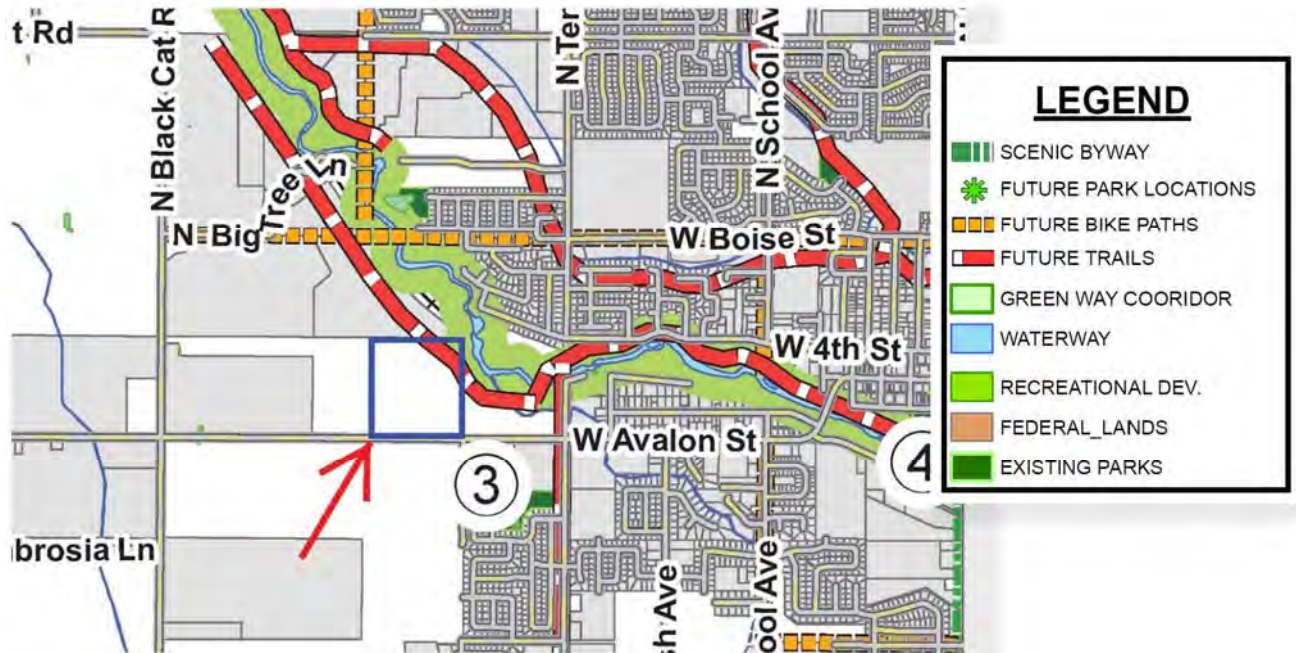
D. Site History:

This parcel is currently in the County, with varying historical uses, ranging from residential to farming and is adjacent to Kuna City limits in two places.

E. General Projects Facts:

1. **Comprehensive Plan Map:** The Future Land Use Map (Comp Plan Map) is intended to serve as a *guide* for the decision making body for the City. The Comp Plan map indicates land use designations generally speaking, it is not the actual zone. The Comp Plan Map calls for Medium Density Residential for this parcel.

2. **Recreation and Pathways Map:** The Recreation and Pathways Master Plan Map indicates a future trail through the NEC of the site, situated along Indian Creek. Accordingly, it is the City's goal and desire to increase the number of trails and pathways in Kuna. It is necessary for each parcel to develop trails and pathways along their frontages of creeks, canals and ditches to comply with the Master Plan's goals by either starting a pathway, or extending one in that area at time of development.



3. **Surrounding Land Uses:**

North	A	Agriculture – Kuna City
South	RUT	Rural Urban Transition – Ada County
East	RUT	Rural Urban Transition – Ada County
West	RR	Rural Residential – Ada County

4. **Parcel Sizes, Current Zoning, Parcel Numbers:**

Property Owner	Parcel Size (Approximately)	Current Zone: (RUT) Rural Urban Transition	Parcel Number
N Star Farm, LLC	39.48 acres	RUT – Ada County	S1322438400

5. **Services:**

Sanitary Sewer– City of Kuna (*at time of development*)
 Potable Water – City of Kuna (*at time of development*)
 Irrigation District – Boise-Kuna Irrigation District
 Pressurized Irrigation – City of Kuna (KMID) (*at time of development*)
 Fire Protection – Kuna Rural Fire District
 Police Protection – Kuna Police (Ada County Sheriff's office)
 Sanitation Services – J & M Sanitation

6. **Existing Structures, Vegetation and Natural Features:**

The majority of this land is being used for agricultural purposes, a small part of it was used for residential purposes (Approx. 1.5 ac.) Applicant anticipates that the land will continue the historic agricultural uses on

the lands until development occurs. The mobile home that was on site, has been removed. There are two outbuildings on site any ancillary sheds or other buildings remaining will be removed prior to development.

7. Transportation / Connectivity:

The applicant has not proposed connection to public streets at this time, as the application is solely for annexation into Kuna City limits. At the time of future development, access points will need to follow design standards according to City and ACHD (Ada County Highway Dist.) codes in place at that time. Current legal points of access being used at this time may remain until development requires a change.

8. Environmental Issues:

Staff is not aware of any environmental, health or safety conflicts.

9. Agency Responses: The following responding agency comments are included as exhibits with this case file:

- Kuna City Engineer (Paul Stevens) – Exhibit B-1 [*This report will be late, due to his recent hiring*].
- Ada County Highway District (ACHD – Austin Miller) – Exhibit B-2
- Boise-Kuna Irrigation District (Lauren Boehlke) – Exhibit B-3
- Cable One TV (Brett Pike) – Exhibit B-4
- Community Planning Association of Southwest Idaho (COMPASS – Carl Miller) – Exhibit B-5

F. Staff Analysis:

The applicant is only interested in annexation of the property at this time. However, in the future when development is desired, the project will be required to submit for subdivision and design review approvals (for landscaping and monument signage) and follow the public hearing process for those entitlements.

Among the Category 'A' annexation requirements for annexing lands into the city, a land owner must submit a written request for annexation. Furthermore, it requires that parcels must touch current city limits. The property touches Kuna City limits on its north property line and is adjacent to a principle arterial, Kuna Road. All major public utilities are approximately 1,325 feet east, at Ten Mile and Kuna Roads. Applicant has been made aware that development of this parcel will require extension of, and connection to all city services and require connection fees for that purpose. It is anticipated when these lands move forward with development in the future, it will likely require more than one phase for complete build-out.

Staff has reviewed Kuna's Comprehensive Plan (Comp Plan), and found the Comp Plan encourages a variety of housing types for all income levels numerous times throughout the document. Pertinent sections of the Comp Plan that address housing types are included below, in Section K (Comp Plan Analysis) of this report. The City attempts to balance all housing types within the City. Staff will work with the applicant in the future when an application comes forward for a preliminary plat to ensure technical compliance with Kuna City Code (KCC), as required. Staff would recommend that the applicant work with Kuna City, ACHD, and Kuna Rural Fire District (KRFD) to conform to each agency's requirements.

Staff has determined this application complies with Title 5 of the Kuna City Code; Idaho Statute § 67-6511; and the Kuna Comprehensive Plan document; and forwards a recommendation of approval for Case No's 17-09-AN, subject to any conditions of approval outlined by Kuna's Commission and City Council.

G. Applicable Standards:

1. City of Kuna Zoning Ordinance Title 5, Chapter 13.
2. City of Kuna Comprehensive Plan, adopted September 1, 2009.
3. Idaho Code, Title 67, Chapter 65- the Local Land Use Planning Act.

H. **Procedural Background:**

On January 9, 2018, the Planning and Zoning Commission considered the case, including the application, agency comments, staff's memo, the application exhibits and public testimony presented or given.

I. **Factual Summary:**

This parcel is located near the northwest corners of Ten Mile and Kuna Roads. The project consists of 39.48 (approx.) acres and is adjacent to City limits and is currently zoned RUT (Rural Urban Transition – County). Applicant requests to annex the parcel into Kuna City with the R-8 (Medium Density Residential) zone. This parcel is adjacent to Kuna Road; a principle arterial.

J. **Findings of Fact:**

Based upon the record contained in Case No. 17-09-AN, including the Comprehensive Plan, Kuna City Code, staff's memorandums, including the exhibits, and the testimony during the public hearing, the Kuna Commission hereby recommends **approval/conditional approval/denial** of the Findings of Fact and Conclusions of Law, and conditions of approval for Case No. 17-09-AN, a request for annexation into Kuna City limits by the applicant follows:

The Commission concludes that the applications comply with the City of Kuna's Zoning regulations (Title 5) of KCC and/or the Subdivision regulations outlined in title 6 of KCC.

1. The Kuna Commission accepts the facts as outlined in the staff memo, the public testimony and the supporting evidence list presented.

Comment: *The Kuna Commission held a public hearing on the subject applications on January 2, 2018, to hear from City staff, the applicant and to accept public testimony. The decision by the Commission is based on the application, staff report and public testimony, both oral and written.*

2. Based on the evidence contained in Case No. 17-09-AN, this proposal **does/does not** appear to *generally* comply with the Comprehensive Plan.

Comment: *The Comp Plan has listed numerous goals for providing single-family housing in Kuna. The Comp Plan describes this property as Medium Density. As this project proposes to accommodate single-family residential uses, the project follows the goals of the Comp Plan.*

3. The Kuna Commission has the authority to recommend **approval/conditional approval/denial** for this application.

Comment: *On January 2, 2018, the Commission voted to recommend **approval/conditional approval/denial** for case No. 17-09-AN.*

4. The public notice requirements were met and the public hearing was conducted within the guidelines of applicable Idaho Code and City Ordinances.

Comment: *As noted in the process and noticing sections, notice requirements were met to hold a public hearing on January 2, 2018.*

K. **City Commissions Comprehensive Plan Analysis:**

Commission determines the proposed annexation and zoning request for the *site is/is not* consistent with the following Comp Plan components:

Housing:

Residents expressed interest in a mix of residential type dwellings applications; including a variety of housing. They were receptive to a greater mix of lot sizes and house price to appeal to a variety of people. A goal expressed by

many was the preservation of large lots and rural cluster development in appropriate balance with a complement of other types of residential development (Page 21 Comprehensive Plan [CP]).

Comment: *The Comp Plan provides for a mix of residential uses. This project has proposed a zone that provides an opportunity for a variety of densities, therefore it generally conforms to the Comp Plan goals and policies.*

Private Property Rights Goals and Objectives - Section 2 - Summary:

Ensure the City land use policies, restrictions, conditions and fees do not violate private property rights and ensure that land use actions, decisions, and regulations do not effectively eliminate all economic value of the subject property. Ensure that City land use actions, decisions, and regulations do not prevent a private property owner from taking advantage of a fundamental property right and staff shall evaluate with guidance from the City's attorney; the Idaho Attorney General's six criterion established to determine the potential for property taking.

Comment: *Utilizing the Idaho Attorney General's criteria, and a review by the City Attorney, the proposed project does/does not constitute a "takings" and the Economic value is intact.*

Economic Development Goals and Objectives - Section 5 - Summary:

Promote and ensure an adequate supply of housing for all income levels and facilitate pedestrian connections, both visually and physically, to enhance pedestrian movement (Pg. 42 – 1.5 and Pg. 43 – 3.1 [CP]).

Comment: *The Comp Plan encourages an adequate mix of housing for all income levels and calls for increasing pedestrian connections. The requested zoning for this project provides an opportunity for a number of additional housing types to Kuna's inventory and quality housing. At time of development, this project should be conditioned to add to the City's pedestrian network for non-motorized transportation, by proposing pathway connections for future development to connect to in the future.*

Land Use Goals and Objectives - Section 6 - Summary:

Adopt a future land use plan and map that includes natural and developed open spaces, while providing a variety of housing densities and types to accommodate various lifestyles, ages and economic groups. Protect existing neighborhoods and ensure new development is sustainable and keeps Kuna desirable. Develop cohesive neighborhoods with character and quality while incorporating a variety of densities and styles (Pg. 64 – 3.1 & Goal 3, and Pg. 65 – 4.3 [CP]).

Comment: *The requested zoning provides an opportunity for quality housing opportunities and multiple housing varieties to the City's inventory for all types of lifestyles, ages and economic groups.*

Housing Goals and Objectives - Section 12 - Summary:

Encourage developers to provide high-quality development with a variety of lot sizes, dwelling types, densities and price points to meet the needs of current and future population while creating safe and aesthetically-pleasing neighborhoods. Ensure housing is available throughout the community for all income levels and those with special needs. Encourage logical and orderly development while discouraging development of land divisions greater than one half acre because large lot subdivisions increase municipal costs, require public subsidy and create sprawl (Pg. 155 – Obj. 1.1, Pg. 163 12.4 and Pg. 165 – 2.1 [CP]).

Comment: *With the requested zoning, applicant proposes a future high quality development with a variety of dwelling types, densities, and price points for all income levels Kuna as encouraged by the Comp Plan. In the future, this project could add to the City's overall network of, utilities, sidewalks and roadways, therefore it complies with logical, orderly development and discourages land divisions and development greater than one half acre, and could avoid increased municipal services costs and sprawl.*

Community Design Goals and Objectives - Section 13 - Summary:

Strengthen Kuna's Image through good community and urban design principles that create well planned neighborhoods. Foster good community design concepts that incorporate landscape features to serve as buffers between incompatible uses while reducing scale and creates a sense of place (Pg.167 – Goal 1 and Pg. 168 – 1.2 and 2.1[CP]).

Comment: Applicant should be conditioned to offer good community and urban design principles through creation of greenspaces, add to the pedestrian pathway network and add to the City's sidewalk network. At time of future development, applicant shall improve classified roadways, which add to the roadway system thereby complying with the adopted Master Street Plan of Kuna (Functional Classified Road Map). At time of development, the applicant should be conditioned to incorporate landscape buffers creating a sense of place for citizens. With future development, the applicant should be conditioned to follow sound community design concepts and comply with the Comp Plan goals and help strengthen Kuna's image.

L. City Council's Idaho State Code Analysis:

1. **IC §67-6511 (2) C** requires that the Commission analyze the proposed changes to zoning ordinances to ensure that they are not in conflict with the policies of the adopted comprehensive plan. If the request is found by the governing board to be in conflict with the adopted plan, **or** would result in demonstrable adverse impacts upon the delivery of services by any political subdivision providing public services, including school districts, within the planning jurisdiction.
2. **IC §67-6513** provides that the City provide for mitigation of the effects of subdivision development on the ability of political subdivisions of the state, including school districts, to deliver services without compromising quality of service delivery to current residents or imposing substantial additional costs upon current residents to accommodate the proposed subdivision.
3. Through discussions and comments submitted by public service providers, the project would not create demonstrable adverse impact to quality of emergency service and/or delivery of said services, or impose substantial additional costs to current residents.

M. P & Z Commission's Conclusions of Law:

The public notice requirements have been met and the neighborhood meeting was conducted within the guidelines of applicable Idaho Code and City Ordinances.

1. The Commission feels the site **is/is not** physically suitable for development in the future.

Comment: The 39.48 acre (approximate) proposal appears to be suitable for annexation, as proposed.

2. The zoning request **is/is not** likely to cause substantial environmental damage or avoidable injury to wildlife or their habitat.

Comment: The land to be annexed is not used as wildlife habitat. Roads, driveways, family units and open spaces are planned for construction according the City and ACHD requirements and best practices and will therefore not cause environmental damage or loss of habitat.

3. The annexation application **is/is not** likely to cause adverse public health problems.

Comment: The annexation of the property would generally comply with the Comp Plan. In the future, the project would connect to public sewer and potable water systems, therefore eliminating the occurrence of adverse public health problems.

4. The application appears to avoid detriment to the present and potential surrounding uses; to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing adjacent uses.

Comment: *Through correspondence with public service providers and application evaluation, this annexation request appears to avoid detriment to surrounding uses. Commission did consider the annexation and the location of the property with adjacent uses.*

5. The existing and proposed street and utility services in proximity to the site **are/are not** suitable or adequate for future residential purposes.

Comment: *Correspondence from ACHD and Kuna Public Works confirms that the streets and utility services are/are not suitable and adequate for a future project.*

6. Based on the evidence contained in Case No. 17-09-AN, Commission finds Case No. 17-09-AN **does/does not** adequately complies with Kuna City Code.
7. Based on the evidence contained in Case No. 17-09-AN, Commission finds Case No. 17-09-AN generally **does/does not** comply with Kuna's Zoning Code.

N. Recommended Conditions of Approval:

Note: 17-09-AN (Annexation): *The proposed motion is to recommend approval, conditional approval, or denial for these requests to City Council. If the Commission wishes to approve or deny specific parts of the requests as detailed in this report, those changes must be specified.*

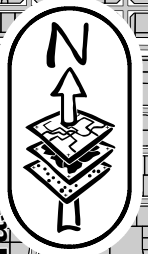
Based upon the facts outlined in staff's memo, the Comp Plan, City Code, the record before the Commission, the applicant's presentation, public testimony and discussion during the January 9, 2018, public hearing, the Kuna Commission votes to **recommend approval/conditional approval/denial** for Case No. 17-09-AN with the following conditions of approval at time of development in the future:

1. The applicant and/or owner shall obtain written approval on letterhead or may be written/stamped on the approved plans of the construction plans from the agencies noted below. All submittals are required to include the lighting, landscaping, drainage, and development plans. All site improvements are prohibited prior to approval of the following agencies:
 - a. The City Engineer shall approve the sewer hook-ups.
 - b. The City Engineer shall approve the drainage and grading plans. Central District Health Department recommends the plan be designed and constructed in conformance with standards contained in, "Catalog for Best Management Practices for Idaho Cities and Counties". No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of the drainage plan.
 - c. The Kuna Fire District shall approve fire flow requirements and/or building plans. Installation of fire protection facilities as required by Kuna Fire District is required.
 - d. The *Boise-Kuna* Irrigation District shall approval any modifications to the existing irrigation system.
 - e. Approval from Ada County Highway District (ACHD) shall be obtained and Impact Fees must be paid prior to *issuance* of any building permit(s).
2. All public rights-of-way shall be dedicated and constructed to standards of the City, Ada County Highway District and Idaho Transportation Department. No public street construction may commence without the approval and permit from Ada County Highway District and/or Idaho Transportation Department.
 - 2.1– With development and as necessary, dedicate right-of-way in sufficient amounts to follow City and ACHD standards and widths.

3. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground, see **KCC 6-4-2-W**.
4. Compliance with Idaho Code, Section §31-3805 pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site. Compliance with the requirements of the Boise Project Board of Control is required.
5. When required, submit a petition to the City (as necessary, confirmed with the City engineer) consenting to the pooling of irrigation surface water rights for delivery purposes and request to annex the irrigation surface water rights appurtenant to the property over to the Kuna Municipal Pressure Irrigation system of the City (KMID).
6. Street lights and parking lights for the site shall be LED lighting and must comply with Kuna City Code and established Dark Skies practices.
7. Parking within the site shall comply with Kuna City Code. (Unless specifically approved otherwise).
8. Fencing within and around the site shall comply with Kuna City Code (Unless specifically approved otherwise and permitted). Perimeter fencing (and permit) is required prior to requesting final plat signatures from Kuna City Clerk and Engineer.
9. All signage within/for the project shall comply with Kuna City Code and shall be approved in the design review process with all new commercial and multi-family.
10. All required landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace unhealthy or dead plant material within 3 days or as the planting season permits as required to meet the standards of these requirements. Maintenance and planting within public rights-of-way shall be with approval from the public entities owning the property.
11. The land owner/applicant/developer, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the City Council, or seek amending them through public hearing processes.
12. Applicant shall follow staff, City engineers and other agency recommended requirements as applicable.
13. Developer/owner/applicant shall comply with all local, state and federal laws.

DATED: This ____ day of _____, 2018.

VICINITY MAP



Legend

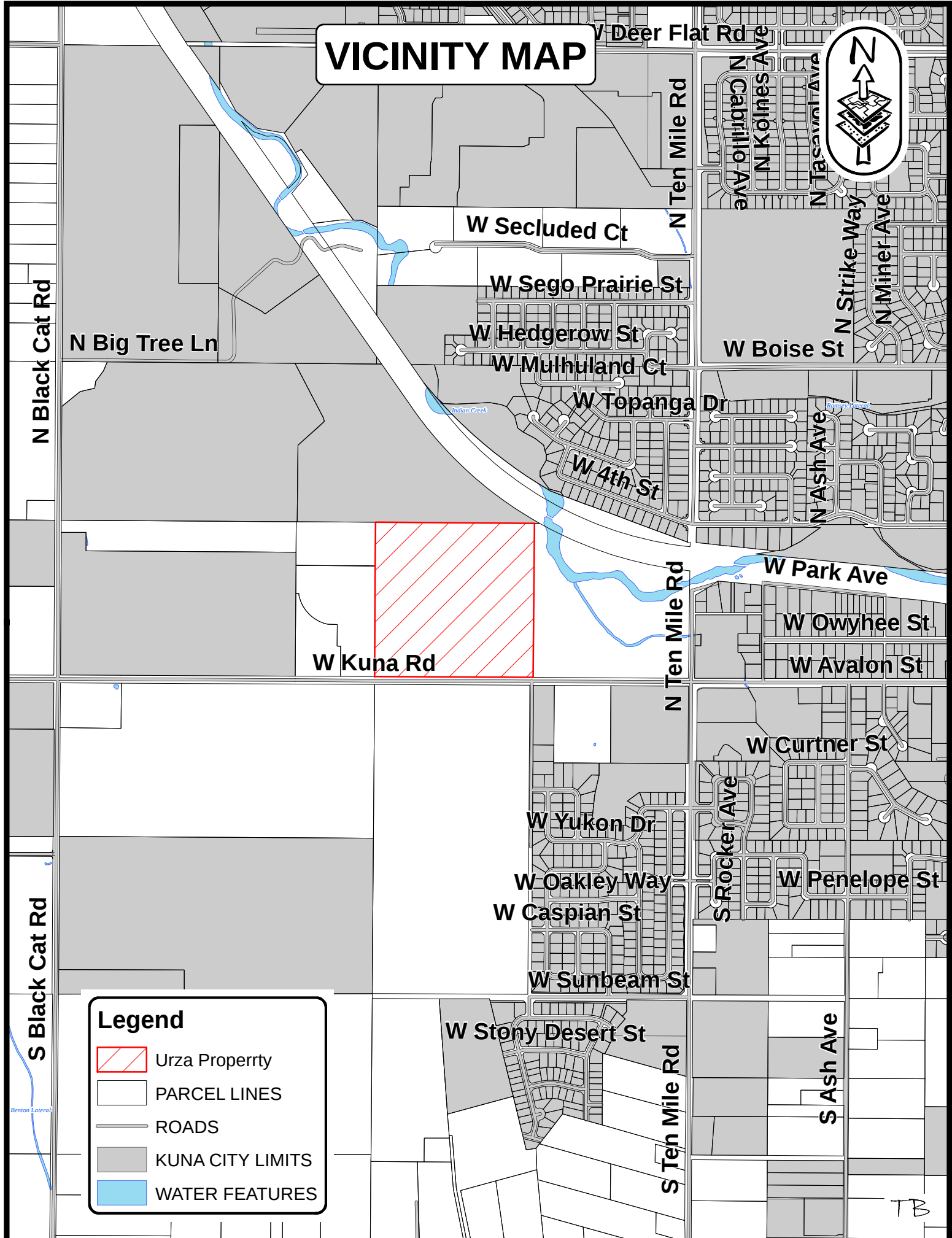
 Urza Property

 PARCEL LINES

 ROADS

 KUNA CITY LIMITS

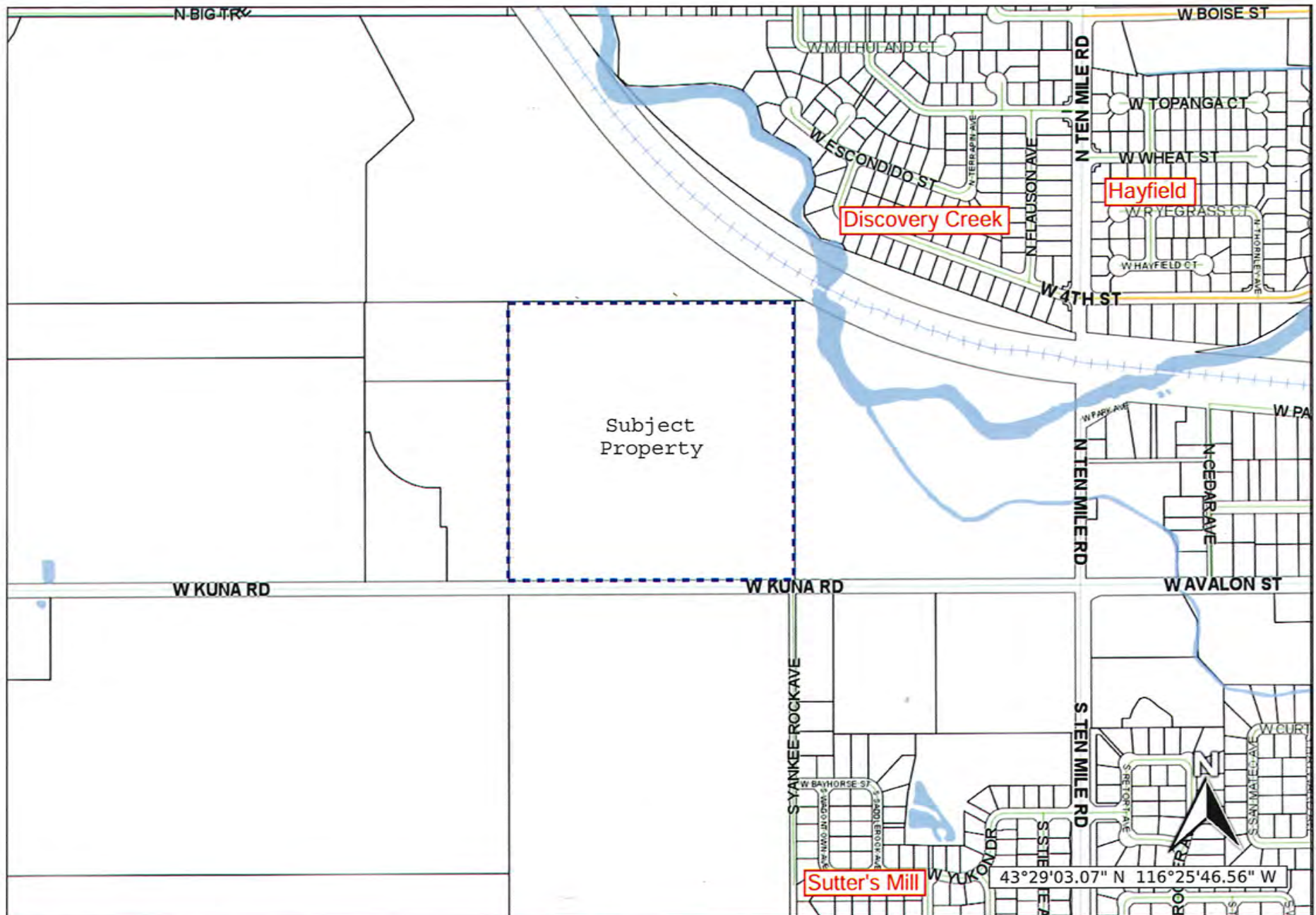
 WATER FEATURES



TB

Vicinity Map

2030 West Kuna Road





October 30, 2017
Project No.: 17-054

Mr. Troy Behunin
Planning & Zoning Department
City of Kuna
751 West 4th Street
Kuna, ID 83634

**RE: Property at 2030 West Kuna Road – Ada County, ID
 Annexation Application**

Dear Mr. Behunin:

On behalf of N Star Farm, LLC, and Waters Edge Farm, LLC, we are pleased to submit the attached application and required supplements for annexation and zoning of the property referenced above.

The subject property is approximately 39.5 acres of agricultural ground identified as parcel number S1322438400 and located approximately one quarter mile west of Ten Mile on the north side of Kuna Road. The site is currently zoned RUT in Ada County with a comprehensive plan designation of Medium Density Residential and is contiguous to City limits on the north and in the southeast corner across Kuna Road. As a part of this application, we are requesting to annex the property into the City of Kuna with a zoning designation of R-8 to accommodate future single-family residential development. The requested zoning is commensurate with the comprehensive plan designation of Medium Density Residential, and is compatible with other residential developments in the area.

The applicant has met with the City regarding water, sewer, and pressure irrigation facilities in the area and will continue to do so to ensure that adequate public facilities are available to accommodate future development of the property. It is our intention to follow this application package with a preliminary plat submittal in the coming months; however, before expending resources to prepare the drawings, we felt it prudent to obtain the City's feedback on the requested zoning designation.

With the proposals discussed herein, we feel that this project complements the City's vision for growth and will ultimately provide opportunities for additional housing in this growing area. Should you have questions or require further information in order to process this application, please feel free to contact me.

Sincerely,
KM Engineering, LLP


Kirsti Grabo
Development Coordinator

cc: N Star Farm, LLC
 Waters Edge Farm, LLC





City of Kuna
Planning & Zoning
Department
P.O. Box 13
Kuna, Idaho 83634
208.922.5274
Fax: 208.922.5989
Website: www.kunacity.id.gov

Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

*Please submit the appropriate checklist (s) with application

Type of Review (check all that apply):

- ☒ Annexation
☐ Appeal
☐ Comprehensive Plan Amendment
☐ Design Review
☐ Development Agreement
☐ Final Planned Unit Development
☐ Final Plat
☐ Lot Line Adjustment
☐ Lot Split
☐ Planned Unit Development
☐ Preliminary Plat
☐ Rezone
☐ Special Use
☐ Temporary Business
☐ Vacation
☐ Variance

For Office Use Only	
File Number (s)	17-09-AN
Project name	
Date Received	
Date Accepted/ Complete	
Cross Reference Files	
Commission Hearing Date	
City Council Hearing Date	

Contact/Applicant Information

Owners of Record: <u>N Star Farm, LLC and</u>	Phone Number: <u>Waters Edge Farm, LLC</u>
Address: <u>6152 West Half Moon Lane</u>	E-Mail: _____
City, State, Zip: <u>Eagle, Idaho 83616</u>	Fax #: _____
Applicant (Developer): <u>same</u>	Phone Number: _____
Address: _____	E-Mail: _____
City, State, Zip: _____	Fax #: _____
Engineer/Representative: <u>KM Engineering, LLP</u>	Phone Number: <u>208.639.6939</u>
Address: <u>9233 West State Street</u>	E-Mail: <u>kqrabo@kmenqllp.com</u>
City, State, Zip: <u>Boise, Idaho 83714</u>	Fax #: <u>208.639.6930</u>

Subject Property Information

Site Address: <u>2030 West Kuna Road</u>	
Site Location (Cross Streets): <u>N Ten Mile Road & W Kuna Road</u>	
Parcel Number (s): <u>S1322438400</u>	
Section, Township, Range: <u>Section 22, T2N, R1W</u>	
Property size: <u>39.48 acres</u>	
Current land use: <u>agriculture</u>	Proposed land use: <u>residential</u>
Current zoning district: <u>Ada County RUT</u>	Proposed zoning district: <u>R-8</u>

RECEIVED
10.31.17

Project Description

Project / subdivision name: <u>TBD</u>
General description of proposed project / request: <u>Annexation of +/-39.48 acres into the City of Kuna with the R8 zoning designation.</u>
Type of use proposed (check all that apply):
☒ Residential <u>single-family</u>
☐ Commercial _____
☐ Office _____
☐ Industrial _____
☐ Other _____
Amenities provided with this development (if applicable): _____

Residential Project Summary (if applicable)

Are there existing buildings? ☒ Yes ☐ No
Please describe the existing buildings: <u>existing residence with aq outbuildings</u>
Any existing buildings to remain? ☐ Yes ☒ No
Number of residential units: _____ Number of building lots: _____
Number of common and/or other lots: _____
Type of dwellings proposed:
☐ Single-Family _____
☐ Townhouses _____
☐ Duplexes _____
☐ Multi-Family _____
☐ Other _____
Minimum Square footage of structure (s): _____
Gross density (DU/acre-total property): _____ Net density (DU/acre-excluding roads): _____
Percentage of open space provided: _____ Acreage of open space: _____
Type of open space provided (i.e. landscaping, public, common, etc.): _____

~~Non-Residential Project Summary (if applicable)~~

Number of building lots: _____ Other lots: _____
Gross floor area square footage: _____ Existing (if applicable): _____
Hours of operation (days & hours): _____ Building height: _____
Total number of employees: _____ Max. number of employees at one time: _____
Number and ages of students/children: _____ Seating capacity: _____
Fencing type, size & location (proposed or existing to remain): _____
Proposed Parking: a. Handicapped spaces: _____ Dimensions: _____
b. Total Parking spaces: _____ Dimensions: _____
c. Width of driveway aisle: _____
Proposed Lighting: _____
Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.): _____

Applicant's Signature:  Date: 10-30-17



9233 WEST STATE STREET | BOISE, ID 83714 | 208.639.6939 | FAX 208.639.6930

October 30, 2017
Project No.: 17-054

**Exhibit A
Legal Description for
Annexation and Rezone**

A parcel of land being the Southwest 1/4 of the Southeast 1/4 of Section 22, Township 2 North, Range 1 West, Boise Meridian, Ada County, Idaho and being more particularly described as follows:

Beginning at a found brass cap monument marking the South 1/4 corner of said Section 22, which bears S00°21'13"W a distance of 5,298.67 feet from a found 5/8-inch rebar marking the North 1/4 corner of said Section 22, thence following the westerly line of the Southeast 1/4 of said Section 22, N00°21'13"E a distance of 1,324.70 feet to the Northwest corner of said Southwest 1/4 of the Southeast 1/4;

Thence leaving said westerly line and following the northerly line of said Southwest 1/4 of the Southeast 1/4, S89°37'26"E a distance of 1,330.95 feet to a found 5/8-inch rebar marking the Northeast corner of said Southwest 1/4 of the Southeast 1/4;

Thence leaving said northerly line and following the easterly line of said Southwest 1/4 of the Southeast 1/4, S00°31'02"W a distance of 1,323.16 feet to a found 5/8-inch rebar marking the Southeast corner of said Southwest 1/4 of the Southeast 1/4;

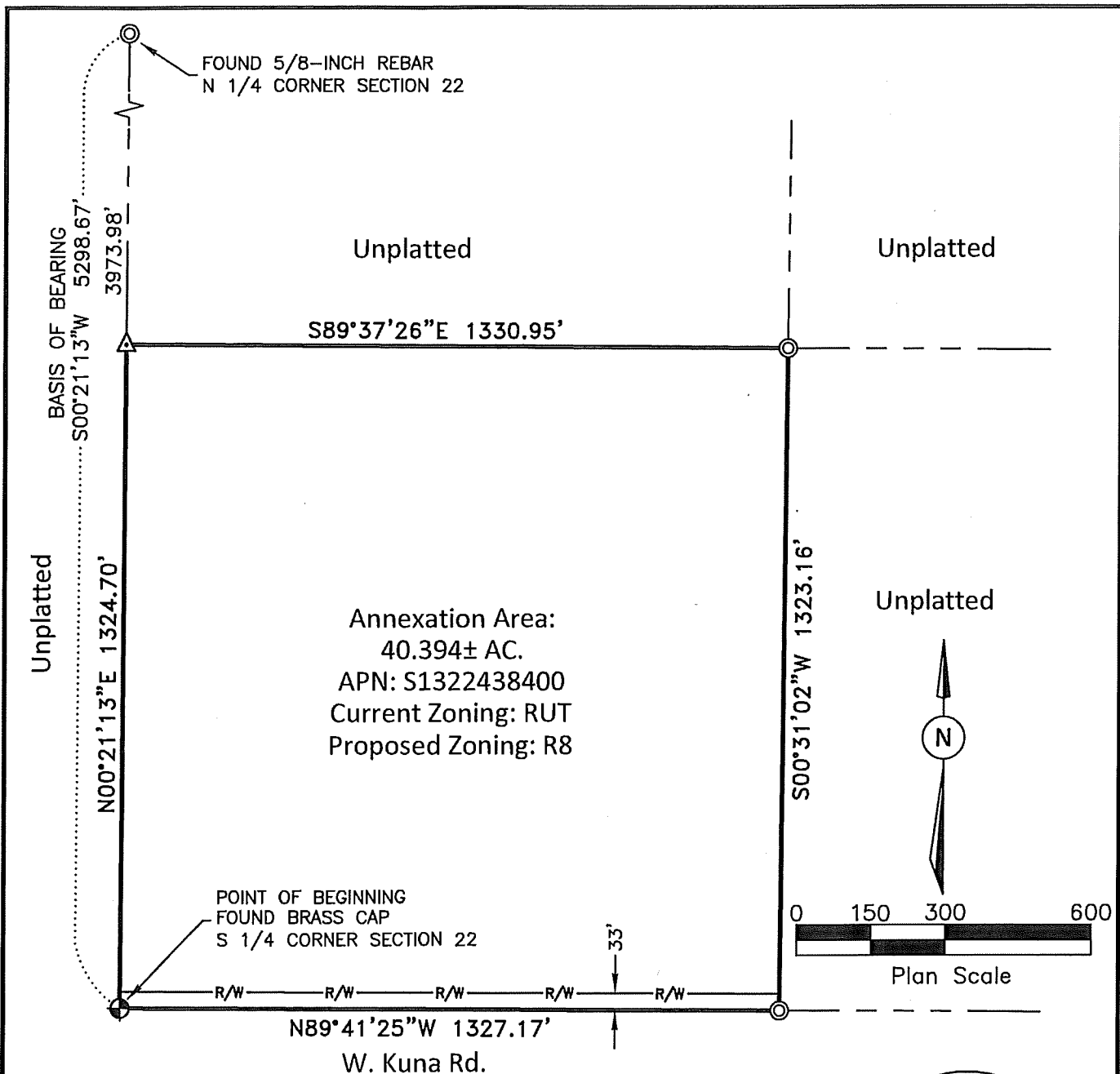
Thence leaving said easterly line and following the southerly line of said Southwest 1/4 of the Southeast 1/4, N89°41'25"W a distance of 1,327.17 feet to the **POINT OF BEGINNING**.

Said parcel contains a total of 40.394 acres, more or less, and is subject to all existing easements and/or rights-of-way of record or implied.

Attached hereto is Exhibit B and by this reference is made a part hereof.



P:\17-054\CAD\EXHIBITS\17-054 ANNEXATION.DWG, AARON BALLARD, 10/30/2017, KYOCERA TASKALFA 4550CI KX.PC3, ---



km
ENGINEERING
ENGINEERS . SURVEYORS . PLANNERS
9233 WEST STATE STREET
BOISE, IDAHO 83714
PHONE (208) 639-6939
FAX (208) 639-6930

LEGEND

-  FOUND BRASS CAP
-  FOUND 5/8-INCH REBAR
-  CALCULATED POINT
-  ANNEXATION AND ZONING BOUNDARY
-  SECTION LINE



Exhibit B Annexation and Rezone

DATE: 10/30/2017
PROJECT: 17-054
SHEET:
1 OF 1

N. Star Farm, LLC - 2030 W. Kuna Rd.
The SW 1/4 of the SE 1/4 of Section 22, T2N., R1W., B.M., Ada County, Idaho



Project/File: Annexation and Zoning / KUNA17-0017 / 17-07-5

The applicant is requesting annexation into the City of Kuna with an R-8 zoning designation.

Lead Agency: City of Kuna

Site address: 2030 W. Kuna Rd.

Staff Approval: December 21, 2017

Applicant: Kirsti Grabo
KM Engineering
9233 W. State St.
Boise, ID 83714

Staff Contact: Austin Miller
Phone: 387-6335
E-mail: amiller@achdidaho.org



A. Findings of Fact

- Description of Application:** The applicant is requesting annexation into the City of Kuna. The 39.5-acre site is currently zoned RUT. The proposed R-8 zoning is consistent with the City of Kuna's comprehensive plan.

- Description of Adjacent Surrounding Area:**

Direction	Land Use	Zoning
North	Agricultural District	A
South	Rural-Urban Transition Zone	RUT
East	Rural-Urban Transition Zone	RUT
West	Rural Residential Zone	RR

- Site History:** ACHD has not previously reviewed this site for a development application.
- Adjacent Development:** The following developments are pending or underway in the vicinity of the site:
 - Deserthawk Subdivision, a 115-lot residential subdivision located at the southwest corner of Ten Mile Road and Sunbeam Street, was approved by ACHD in November 2010 and is currently in various stages of construction.
- Transit:** Transit services are not available to serve this site.
- New Center Lane Miles:** The proposed development includes 0 centerline miles of new public road.
- Impact Fees:** There will be an impact fee that is assessed and due prior to issuance of any building permits. The assessed impact fee will be based on the impact fee ordinance that is in effect at that time.

8. Capital Improvements Plan (CIP) / Integrated Five Year Work Plan (IFYWP):

There are currently no roadways, bridges or intersections in the general vicinity of the project that are currently in the Integrated Five Year Work Plan (IFYWP) or the District's Capital Improvement Plan (CIP).

B. Traffic Findings for Consideration

1. **Trip Generation:** Single family dwelling units are estimated to generate 9.52 additional vehicle trips per day per dwelling unit; 1 additional vehicle trips per hour in the PM peak hour per dwelling unit, based on the Institute of Transportation Engineers Trip Generation Manual, 9th edition.
2. **Condition of Area Roadways**
Traffic Count is based on Vehicles per hour (VPH)

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service
Kuna Road	1,327-feet	Minor Arterial	232	Better than "E"

* Acceptable level of service for a two-lane minor arterial is "E" (575 VPH).

3. Average Daily Traffic Count (VDT)

Average daily traffic counts are based on ACHD's most current traffic counts.

- The average daily traffic count for Kuna Road east of Black Cat Road was 4,592 on July 27, 2016.

C. Findings for Consideration

This application is for annexation and rezone only. Listed below are some findings for consideration that the District may identify when it reviews a future development application. The District may add additional findings for consideration when it reviews a specific redevelopment application.

1. Kuna Road

- a. **Existing Conditions:** Kuna Road is improved with 2-travel lanes (27-feet of pavement) and no curb, gutter or sidewalk abutting the site. There is 66-feet of right-of-way for Kuna Road (33-feet from centerline).

- b. **Policy:**

Arterial Roadway Policy: District Policy 7205.2.1 states that the developer is responsible for improving all street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

Master Street Map and Typology Policy: District Policy 7205.5 states that the design of improvements for arterials shall be in accordance with District standards, including the Master Street Map and Livable Streets Design Guide. The developer or engineer should contact the District before starting any design.

Street Section and Right-of Way Width Policy: District Policy 7205.2.1 & 7205.5.2 states that the standard 3-lane street section shall be 46-feet (back-of-curb to back-of-curb) within 70 feet of right-of-way. This width typically accommodates a single travel lane in each direction, a continuous center left-turn lane, and bike lanes.

Right-of-Way Dedication: District Policy 7205.2 states that The District will provide compensation for additional right-of-way dedicated beyond the existing right-of-way along arterials listed as impact fee eligible in the adopted Capital Improvements Plan using available impact fee revenue in the Impact Fee Service Area.

No compensation will be provided for right-of-way on an arterial that is not listed as impact fee eligible in the Capital Improvements Plan.

Exhibit B 2

The District may acquire additional right-of-way beyond the site-related needs to preserve a corridor for future capacity improvements, as provided in Section 7300.

Sidewalk Policy: District Policy 7205.5.7 requires a concrete sidewalk at least 5-feet wide to be constructed on both sides of all arterial streets. A parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip. Sidewalks constructed next to the back-of-curb shall be a minimum of 7-feet wide.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

Frontage Improvements Policy: District Policy 7205.2.1 states that the developer shall widen the pavement to a minimum of 17-feet from centerline plus a 3-foot wide gravel shoulder adjacent to the entire site. Curb, gutter and additional pavement widening may be required (See Section 7205.5.5).

ACHD Master Street Map: ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, arterial street requirements, and specific roadway features required through development. This segment of Kuna Road is designated in the MSM as a Residential Arterial with 3-lanes and on-street bike lanes, a 50-foot street section within 74-feet of right-of-way.

- c. **Staff Comments/Recommendations:** The applicant should be required to dedicate the necessary right-of-way to total 37-feet from centerline on Kuna Road (approximately 4-feet). As Kuna Road is not listed in the Capital Improvements Plan, the applicant will not be compensated for the right-of-way dedication.

The applicant should be required to improve Kuna Road to provide a minimum of 17-feet of pavement from centerline and a 3-foot wide gravel shoulder abutting the site.

The applicant should be required to construct a minimum of 5-foot wide detached concrete sidewalk along Kuna Road abutting the site located a minimum of 30-feet from centerline. Provide a permanent sidewalk easement for all public sidewalks located outside the right-of-way.

2. Master Street Map Collector Roadway

- a. **Existing Conditions:** No collector roadways exist internal to the site.

A collector roadway is shown on the Master Street Map (MSM) at the ½-mile between Ten Mile Road and Black Cat Road abutting the site's western property line.

- b. **Policy:**

Collector Street Policy: District policy 7206.2.1 states that the developer is responsible for improving all collector frontages adjacent to the site or internal to the development as required below, regardless of whether access is taken to all of the adjacent streets.

Master Street Map and Typologies Policy: District policy 7206.5 states that if the collector street is designated with a typology on the Master Street Map, that typology shall be considered for the required street improvements. If there is no typology listed in the Master Street Map, then standard street sections shall serve as the default.

Street Section and Right-of-Way Policy: District policy 7206.5.2 states that the standard right-of-way width for collector streets shall typically be 50 to 70-feet, depending on the location and width of the sidewalk and the location and use of the roadway. The right-of-way width may be reduced, with District approval, if the sidewalk is located within an easement; in which case the District will require a minimum right-of-way width that extends 2-feet behind the back-of-curb on each side.

The standard street section shall be 46-feet (back-of-curb to back-of-curb). This width typically accommodates a single travel lane in each direction, a continuous center left-turn lane, and bike lanes.

Residential Collector Policy: District policy 7206.5.2 states that the standard street section for a collector in a residential area shall be 36-feet (back-of-curb to back-of-curb). The District will consider a 33-foot or 29-foot street section with written fire department approval and taking into consideration the needs of the adjacent land use, the projected volumes, the need for bicycle lanes, and on-street parking.

Half Street Policy: District Policy 7206.2.2 required improvements shall consist of pavement widening to one-half the required width, including curb, gutter and concrete sidewalk (minimum 5-feet), plus 12-feet of additional pavement widening beyond the centerline established for the street to provide an adequate roadway surface, with the pavement crowned at the ultimate centerline. A 3-foot wide gravel shoulder and a borrow ditch sized to accommodate the roadway storm runoff shall be constructed on the unimproved side.

Sidewalk Policy: District policy 7206.5.6 requires a concrete sidewalks at least 5-feet wide to be constructed on both sides of all collector streets. A parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip. Sidewalks constructed next to the back-of-curb shall be a minimum of 7-feet wide.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

ACHD Master Street Map: ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, collector street requirements, and specific roadway features required through development. A new collector roadway was identified on the MSM with the street typology of Residential Collector. The new collector roadway should continue through the property stubbing to the north. The Residential Collector typology as depicted in the Livable Street Design Guide recommends a 2-lane roadway with bike lanes, and on street parking, a 47-foot street section within 69-feet of right-of-way.

- c. **Staff Comments/Recommendations:** Consistent with the MSM, the applicant should be required to construct a collector roadway abutting the site's west property line as one half of a 36-foot street section with vertical curb, gutter and 5-foot wide detached concrete sidewalk (or 7-foot wide attached concrete sidewalk) abutting the site, plus 12 additional feet of pavement(to total 30-feet), a 3-foot wide gravel shoulder and a borrow ditch sized to accommodate the drainage on the west side of the roadway.

3. Local Internal Streets

- a. **Existing Conditions:** No local streets exist internal to the site.
- b. **Policy:**

Exhibit B 2

Local Roadway Policy: District Policy 7207.2.1 states that the developer is responsible for improving all local street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

Street Section and Right-of-Way Policy: District Policy 7207.5 states that right-of-way widths for all local streets shall generally not be less than 50-feet wide and that the standard street section shall be 36-feet (back-of-curb to back-of-curb). The District will consider the utilization of a street width less than 36-feet with written fire department approval.

Standard Urban Local Street—36-foot to 33-foot Street Section and Right-of-way Policy: District Policy 7207.5.2 states that the standard street section shall be 36-feet (back-of-curb to back-of-curb) for developments with any buildable lot that is less than 1 acre in size. This street section shall include curb, gutter, and minimum 5-foot concrete sidewalks on both sides and shall typically be within 50-feet of right-of-way.

The District will also consider the utilization of a street width less than 36-feet with written fire department approval. Most often this width is a 33-foot street section (back-of-curb to back-of-curb) for developments with any buildable lot that is less than 1 acre in size.

Sidewalk Policy: District Policy 7207.5.7 states that five-foot wide concrete sidewalk is required on both sides of all local street, except those in rural developments with net densities of one dwelling unit per 1.0 acre or less, or in hillside conditions where there is no direct lot frontage, in which case a sidewalk shall be constructed along one side of the street. Some local jurisdictions may require wider sidewalks.

The sidewalk may be placed next to the back-of-curb. Where feasible, a parkway strip at least 8-feet wide between the back-of-curb and the street edge of the sidewalk is recommended to provide increased safety and protection of pedestrians and to allow for the planting of trees in accordance with the District's Tree Planting Policy. If no trees are to be planted in the parkway strip, the applicant may submit a request to the District, with justification, to reduce the width of the parkway strip.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

Cul-de-sac Streets Policy: District policy 7207.5.8 requires cul-de-sacs to be constructed to provide a minimum turning radius of 45-feet; in rural areas or for temporary cul-de-sacs the emergency service providers may require a greater radius. Landscape and parking islands may be constructed in turnarounds if a minimum 29-foot street section is constructed around the island. The pavement width shall be sufficient to allow the turning around of a standard AASHTO SU design vehicle without backing. The developer shall provide written approval from the appropriate fire department for this design element.

The District will consider alternatives to the standard cul-de-sac turnaround on a case-by-case basis. This will be based on turning area, drainage, maintenance considerations and the written approval of the agency providing emergency fire service for the area where the development is located.

Landscape Medians Policy: District policy 7207.5.16 states that landscape medians are permissible where adequate pavement width is provided on each side of the median to accommodate the travel lanes and where the following is provided:

- The median is platted as right-of-way owned by ACHD.

- The width of an island near an intersection is 12-feet maximum for a minimum distance of 150-feet. Beyond the 150-feet, the island may increase to a maximum width of 30-feet.
 - At an intersection that is signalized or is to be signalized in the future, the median width shall be reduced to accommodate the necessary turn lane storage and tapers.
 - The Developer or Homeowners Association shall apply for a license agreement if landscaping is to be placed within these medians.
 - The license agreement shall contain the District's requirements of the developer including, but not limited to, a "hold harmless" clause; requirements for maintenance by the developer; liability insurance requirements; and restrictions.
 - Vertical curbs are required around the perimeter of any raised median. Gutters shall slope away from the curb to prevent ponding.
- c. **Staff Comments/Recommendations:** The applicant should be required to construct all public local internal streets as 36-foot street sections, complete with curb gutter and 5-foot wide concrete sidewalk.

4. Roadway Offsets

- a. **Existing Conditions:** No streets exist internal to the site.
- b. **Policy:**
Local Street Intersection Spacing on Minor Arterials: District policy 7205.4.3 states that new local streets should not typically intersect arterials. Local streets should typically intersect collectors. If it is necessary, as determined by ACHD, for a local street to intersect an arterial, the minimum allowable offset shall be 660-feet as measured from all other existing roadways as identified in Table 1a (7205.4.6).

Local Offset Policy: District policy 7206.4.5, requires local roadways to align or offset a minimum of 330-feet when intersecting a collector roadway (measured centerline to centerline).

District policy 7207.4.2, requires local roadways to align or provide a minimum offset of 125-feet from any other street (measured centerline to centerline).
- c. **Staff Comments/Recommendations:** All new public street intersections should be located a minimum of 660-feet from all other public streets and driveways intersecting Kuna Road.

Local streets intersecting the new collector should offset a minimum of 330-feet.

5. Stub Streets

- a. **Existing Conditions:** No streets exist internal to the site, and no stubs exist abutting this site.
- b. **Policy:**
Stub Street Policy: District policy 7206.2.4 and 7207.2.4 state that stub streets will be required to provide circulation or to provide access to adjoining properties. Stub streets will conform with the requirements described in Section 7206.2.5.4 and 7207.2.5.4, except a temporary cul-de-sac will not be required if the stub street has a length no greater than 150-feet. A sign shall be installed at the terminus of the collector stub street stating that, "THIS IS A DESIGNATED COLLECTOR ROADWAY. THIS STREET WILL BE EXTENDED AND WIDENED IN THE FUTURE." A sign shall be installed at the terminus of the local streets stating that, "THIS ROAD WILL BE EXTENDED IN THE FUTURE."
- In addition, stub streets must meet the following conditions:
- A stub street shall be designed to slope towards the nearest street intersection within the proposed development and drain surface water towards that intersection; unless an alternative storm drain system is approved by the District.

Exhibit B 2

- The District may require appropriate covenants guaranteeing that the stub street will remain free of obstructions.

Temporary Dead End Streets Policy: District policy 7206.2.4 and 7207.2.4 require that the design and construction for cul-de-sac streets shall apply to temporary dead end streets. The temporary cul-de-sac shall be paved and shall be the dimensional requirements of a standard cul-de-sac. The developer shall grant a temporary turnaround easement to the District for those portions of the cul-de-sac which extend beyond the dedicated street right-of-way. In the instance where a temporary easement extends onto a buildable lot, the entire lot shall be encumbered by the easement and identified on the plat as a non-buildable lot until the street is extended.

- c. **Staff Comments/Recommendations:** In addition to the collector street, the applicant should be required to provide stub streets to the east and north. Construct a paved temporary cul-de-sac for all stubs in excess of 150-feet.

6. Tree Planters

Tree Planter Policy: Tree Planter Policy: The District's Tree Planter Policy prohibits all trees in planters less than 8-feet in width without the installation of root barriers. Class II trees may be allowed in planters with a minimum width of 8-feet, and Class I and Class III trees may be allowed in planters with a minimum width of 10-feet.

7. Landscaping

Landscaping Policy: A license agreement is required for all landscaping proposed within ACHD right-of-way or easement areas. Trees shall be located no closer than 10-feet from all public storm drain facilities. Landscaping should be designed to eliminate site obstructions in the vision triangle at intersections. District Policy 5104.3.1 requires a 40-foot vision triangle and a 3-foot height restriction on all landscaping located at an uncontrolled intersection and a 50-foot offset from stop signs. Landscape plans are required with the submittal of civil plans and must meet all District requirements prior to signature of the final plat and/or approval of the civil plans.

8. Other Access

Other than the access specifically approved as part of a future development application, direct lot access is prohibited to Kuna Road and the collector roadway.

D. Site Specific Conditions of Approval

This application is for annexation and rezone only. Listed below are some of the site specific conditions of approval that the District may identify when it reviews a future development application. The District may add additional site specific conditions of approval when it reviews a specific redevelopment application.

1. Dedicate the necessary right-of-way to total 37-feet from centerline on Kuna Road (approximately 4-feet). The applicant will not be compensated for the right-of-way dedication.
2. Improve Kuna Road to provide a minimum of 17-feet of pavement from centerline and a 3-foot wide gravel shoulder abutting the site.
3. Construct a minimum of 5-foot wide detached concrete sidewalk located a minimum of 30-feet from centerline on Kuna Road abutting the site. Provide a permanent sidewalk easement for all public sidewalks located outside of the dedicated right-of-way.
4. Construct a collector roadway on the western property line as one half of a 36-foot street section complete with vertical curb, gutter and 5-foot wide detached concrete sidewalk (or 7-foot wide attached concrete sidewalk) for. Provide an additional 12-feet of pavement from centerline, a 3-

foot wide gravel shoulder and a borrow ditch sized to accommodate the drainage on the west side of the roadway.

5. Construct all public local internal streets as 36-foot street sections, complete with curb gutter and 5-foot wide concrete sidewalk.
6. Provide a minimum of 660-feet of spacing for all intersections on Kuna Road.
7. Local streets intersecting the collector road should offset a minimum of 330-feet.
8. Provide a stub street to the east and the north.
9. Direct lot access is prohibited to Kuna Road and the collector roadway and should be noted on the final plat.
10. Payment of impact fees is due prior to issuance of a building permit.
11. Comply with all Standard Conditions of Approval.

E. Standard Conditions of Approval

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).
2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
3. In accordance with District policy, 7203.3, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA) requirements. The applicant's engineer should provide documentation of ADA compliance to District Development Review staff for review.
4. Replace any existing damaged curb, gutter and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.
5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.
9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.
10. Construction, use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.

Exhibit B 2

11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.
12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.

F. Conclusions of Law

1. The proposed site plan is approved, if all of the Site Specific and Standard Conditions of Approval are satisfied.
2. ACHD requirements are intended to assure that the proposed use/development will not place an undue burden on the existing vehicular transportation system within the vicinity impacted by the proposed development.

G. Attachments

1. Vicinity Map
2. Site Plan
3. Utility Coordinating Council
4. Development Process Checklist
5. Request for Reconsideration Guidelines

Ada County Utility Coordinating Council

Developer/Local Improvement District Right of Way Improvements Guideline Request

Purpose: To develop the necessary avenue for proper notification to utilities of local highway and road improvements, to help the utilities in budgeting and to clarify the already existing process.

- 1) **Notification:** Within five (5) working days upon notification of required right of way improvements by Highway entities, developers shall provide written notification to the affected utility owners and the Ada County Utility Coordinating Council (UCC). Notification shall include but not be limited to, project limits, scope of roadway improvements/project, anticipated construction dates, and any portions critical to the right of way improvements and coordination of utilities.
- 2) **Plan Review:** The developer shall provide the highway entities and all utility owners with preliminary project plans and schedule a plan review conference. Depending on the scale of utility improvements, a plan review conference may not be necessary, as determined by the utility owners. Conference notification shall also be sent to the UCC. During the review meeting the developer shall notify utilities of the status of right of way/easement acquisition necessary for their project. At the plan review conference each company shall have the right to appeal, adjust and/or negotiate with the developer on its own behalf. Each utility shall provide the developer with a letter of review indicating the costs and time required for relocation of its facilities. Said letter of review is to be provided within thirty calendar days after the date of the plan review conference.
- 3) **Revisions:** The developer is responsible to provide utilities with any revisions to preliminary plans. Utilities may request an updated plan review meeting if revisions are made in the preliminary plans which affect the utility relocation requirements. Utilities shall have thirty days after receiving the revisions to review and comment thereon.
- 4) **Final Notification:** The developer will provide highway entities, utility owners and the UCC with final notification of its intent to proceed with right of way improvements and include the anticipated date work will commence. This notification shall indicate that the work to be performed shall be pursuant to final approved plans by the highway entity. The developer shall schedule a preconstruction meeting prior to right of way improvements. Utility relocation activity shall be completed within the times established during the preconstruction meeting, unless otherwise agreed upon.

Notification to the Ada County UCC can be sent to: 50 S. Cole Rd. Boise 83707, or Visit iducc.com for e-mail notification information.

Exhibit B 3

Troy Behunin

From: Lauren Boehlke <laurenboehlke@yahoo.com>
Sent: Monday, December 04, 2017 8:40 AM
To: Troy Behunin
Subject: Re: Former Urza Property Annexation

Categories: Agency Comments

Good Morning Troy,
Just to let you know that this property does have a valid water right of 39.24 acres through Boise-Kuna Irrigation District. Our 2017 Fall/2018 Spring assessments have been mailed out and the Fall assessment is due by 12/20/17, with Spring Toll due by 4/1/17. Boise Project Board of Control, our delivery entity, will need to be contacted as to where water delivery is on this property and making sure that no other water user is deterred from receiving water do to any development of this property.

Thank you,
Lauren

Lauren S Boehlke
Sec.-Treasurer
Boise-Kuna Irrigation District
Phone# 922-5608
Fax# 922-5659

On Friday, 1 December 2017, 16:24, Troy Behunin <tbehunin@kunaaid.gov> wrote:

Good afternoon everyone,
Please review the packet for a new request for annexation into Kuna City Limits. Please send relevant comments to our office within the 15 business days as requested. If your agency needs additional time, please let our office know as soon as possible.
If your agency needs hard copies, please let us know and we will be happy to send them.
Thanks and have a great weekend.
Troy

Troy Behunin
Planner III
City of Kuna
751 W. 4th Street
Kuna, ID 83634
TBehunin@Kunald.Gov

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Exhibit B 4

Troy Behunin

From: Pike, Brett <Brett.Pike@cableone.biz>
Sent: Thursday, December 14, 2017 3:08 PM
To: Troy Behunin
Subject: FW: Former Urza Property Annexation
Attachments: Agency Transmittal PACKET.pdf

We don't have cable plant there at this time.

Thanks

Brett

This transmittal is a confidential communication or may otherwise be privileged. If it is not clear that you are the intended recipient, you are hereby notified that you have received this transmittal in error; any review, dissemination, distribution or copying of this transmittal is strictly prohibited. If you suspect that you have received this communication in error, please notify the sender and immediately delete this message and all its attachments.

From: Ingram, Adam
Sent: Friday, December 1, 2017 4:53 PM
To: Weed, Dan <Daniel.Weed@cableone.biz>; Pike, Brett <Brett.Pike@cableone.biz>
Subject: FW: Former Urza Property Annexation

Adam Ingram
Field Technical Supervisor – Construction Department

West Valley
2101 East Karcher Road
Nampa, Idaho 83687
PH: 208.442.6601
FAX: 208.454.3065
adam.ingram@cableone.biz

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From: Troy Behunin [<mailto:tbehunin@kunaaid.gov>]
Sent: Friday, December 1, 2017 4:24 PM
To: ACHD <clittle@achdidaho.org>; Ada County Engineer <agilman@adaweb.net>; Attorney Icloud <kunaattorney@icloud.com>; Becky Rone - Kuna USPS Addressing <rebecca.i.rone@usps.gov>; Bob Bachman <bbachman@kunaaid.gov>; Boise Project Board of Control <tpage@boiseproject.org>; Boise Project Board of Control <bcarter@boiseproject.org>; Boise-Kuna Irrigation Distr. <laurenboehlke@yahoo.com>; Ingram, Adam <Adam.Ingram@cableone.biz>; Goettsche, Cheryl <Cheryl.Goettsche@cableone.biz>; Central District Health Dept. CDHD <lbadigia@cdhd.idaho.gov>; COMPASS <cmiller@compassidaho.org>; DEQ <Alicia.martin@deq.idaho.gov>; Eric Adolfson <eadolfson@compassidaho.org>; Idaho Power <ahawkins@idahopower.com>; Idaho Power Easements <MAlandt@idahopower.com>; Intermountain Gas <robert.miller@mdu.com>; Intermountain Gas <bryce.ostler@intgas.com>; J&M Sanitation - Chad Gordon <Chad.Gordon@jmsanitation.com>; Julie Stanley - Regional Address Mgmt. <Julie.R.Stanley@usps.gov>; Ken

Exhibit B 4

Couch: Idaho Transportation Department <ken.couch@itd.idaho.gov>; Kuna Police Chief <so4217@adaweb.net>; Kuna Postmaster - Marc C. Boyer <marc.c.boyer@usps.gov>; Kuna School District <kbekkedahl@kunaschools.org>; Kuna School District <bsaxton@kunaschools.org>; Kuna School District <wjohnson@kunaschools.org>; Mike Borzick <mborzick@kunaaid.gov>; New York Irrigation District <terri@nyid.org>; Planning Mgr: Ada County Development Services <jboal@adaweb.net>; Terry Gammel <tgammel@kunafire.com>; Vic Steelman <vsteelman@idpower.com>; ppalmer@kunafire.com

Subject: Former Urza Property Annexation

Good afternoon everyone,

Please review the packet for a new request for annexation into Kuna City Limits. Please send relevant comments to our office within the 15 business days as requested. If your agency needs additional time, please let our office know as soon as possible.

If your agency needs hard copies, please let us know and we will be happy to send them.

Thanks and have a great weekend.

Troy

Troy Behunin

Planner III

City of Kuna

751 W. 4th Street

Kuna, ID 83634

TBehunin@Kunald.Gov

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Exhibit B 5

Communities in Motion 2040 Development Review

The Community Planning Association of Southwest Idaho (COMPASS) is the metropolitan planning organization (MPO) for Ada and Canyon Counties. COMPASS has developed this review as a tool for local governments to evaluate whether land developments are consistent with the goals of *Communities in Motion 2040 (CIM 2040)*, the regional long-range transportation plan for Ada and Canyon Counties. This checklist is not intended to be prescriptive, but rather a guidance document based on *CIM 2040 goals*.

Development Name: Urza

Agency: Kuna

CIM Vision Category: Future Neighborhoods

New households: Up to 320

New jobs: 0

Exceeds CIM forecast: YES

	CIM Corridor: None Pedestrian level of stress: R—Kuna Road Bicycle level of stress: R—Kuna Road	Level of Stress considers facility type, number of vehicle lanes, and speed. Roads with G or PG ratings better support bicyclists and pedestrians of all ages and comfort levels.
	Housing within 1 mile: 1,507 Jobs within 1 mile: 307 Jobs/Housing Ratio: 0.2	A good jobs/housing balance – a ratio between 1 and 1.5 – reduces traffic congestion. Higher numbers indicate the need for more housing and lower numbers indicate an employment need.
	Nearest police station: 1.2 miles Nearest fire station: 1.6 miles	Developments within 1.5 miles of police and fire stations ensure that emergency services are more efficient and reduce the cost of these important public services.
	Farmland consumed: Yes Farmland within 1 mile: 1,008 acres Farmland Value: N/A	Farmland contributes to the local economy, creates additional jobs, and provides food security to the region. Development in farm areas decreases the productivity and sustainability of farmland.
	Nearest bus stop: >4 miles Nearest public school: 0.7 miles Nearest public park: 0.8 miles Nearest grocery store: 2.1 miles	Residents who live or work less than ½ mile from critical services have more transportation choices. Walking and biking reduces congestion by taking cars off the road, while supporting a healthy and active lifestyle.

Recommendations

The proposal is requesting a rezone which would allow up to 320 residential units. At this maximum amount, the proposal would exceed the *Communities in Motion 2040* forecast for this area. Transportation infrastructure may not be able to support the new transportation demands.

The proposal did not include a site plan. Encourage the developer to provide stub streets, internal bicycle and pedestrian circulation, and pathway connectivity to the northeast corner of the site for access to a future Indian Creek pathway. Consider improving the crossing at the South Ten Mile Road and West Kuna Road intersection or a mid-block signalized crossing near the subject property to provide safe crossing to Winchester Park, or provide sufficient internal open space.

More information about COMPASS and *Communities in Motion 2040*:

Web: www.compassidaho.org

Email info@compassidaho.org

More information about the development review process:

<http://www.compassidaho.org/dashboard/devreview.htm>





Neighborhood Meeting Certification

CITY OF KUNA PLANNING & ZONING * 763 W. Avalon, Kuna, Idaho, 83634 * www.kunacity.id.gov * (208) 922-5274 * Fax: (208) 922-5989

GENERAL INFORMATION:

You must conduct a neighborhood meeting prior to application for variance, conditional use, zoning ordinance map amendment, expansion or extension of a nonconforming use, and/or a subdivision. Please see Section 8-7A-3 of the Kuna City Code or ask one of our planners for more information on neighborhood meetings.

The meeting must be held either on a weekend between 10 a.m. and 7 p.m., or a weekday between 6 p.m. and 8 p.m. Meetings cannot be conducted on holidays, holiday weekends, or the day before or after a holiday or holiday weekend. The meeting must be held at one of the following locations:

- The Subject Property;
- The nearest available public meeting place (Examples include fire stations, libraries and community centers);
- An office space within a 1-mile radius of the subject property.

The meeting cannot take place more than 2 months prior to acceptance of the application and the application will not be accepted before the neighborhood meeting is conducted. You are required to send written notification of your meeting, allowing a reasonable amount of time before your meeting for property owners to plan to attend. Contacting and/or meeting individually with residents will not fulfill Neighborhood Meeting requirements.

You may request a list of the people you need to invite to the neighborhood meeting from our department. This list includes property owners within 300 feet of the subject property. Once you have held your neighborhood meeting, please complete this certification form and include it with your application.

Please Note: The neighborhood meeting must be conducted in one location for attendance by all neighboring residents. Contacting and/or meeting individually with residents does not comply with the neighborhood meeting requirements.

Please include a copy of the sign-in sheet for your neighborhood meeting, so we have written record of who attended your meeting and the letter of intent sent to each recipient. In addition, provide any concerns that may have been addressed by individuals that attended the meeting.

Description of proposed project: Annexation with Request for R8 Zoning

Date and time of neighborhood meeting: October 18, 2017 - 6:00 p.m.

Location of neighborhood meeting: Kuna Public Library

SITE INFORMATION:

Location: Quarter: SE Section: 22 Township: 2N Range: 1W Total Acres: 39.48

Subdivision Name: _____ Lot: _____ Block: _____

Site Address: 2030 W Kuna Road Tax Parcel Number(s): S1322438400

Please make sure to include all parcels & addresses included in your proposed use.

CURRENT PROPERTY OWNER:

Name: N Star Farm, LLC & Waters Edge Farm, LLC - Tim Eck

Address: 6152 West Half Moon Lane City: Eagle State: ID Zip: 83616

CONTACT PERSON (Mail recipient and person to call with questions):

Name: Kirsti Grabo Business (if applicable): KM Engineering, LLP

Address: 9233 W State Street City: Boise State: ID Zip: 83714



PROPOSED USE:

I request a neighborhood meeting list for the following proposed use of my property (check all that apply):

Application Type**Brief Description**

Annexation

x - annexation with zoning request for R8

Re-zone

Subdivision (Sketch Plat and/or Prelim. Plat)

Special Use

Variance

Expansion of Extension of a Nonconforming Use

Zoning Ordinance Map Amendment

APPLICANT:Name: N Star Farm, LLC & Waters Edge Farm, LLCAddress: 6152 West Half Moon LaneCity: Eagle State: ID Zip: 83616

Telephone: _____ Fax: _____

I certify that a neighborhood meeting was conducted at the time and location noted on this form and in accord with Section 5-1A-2 of the Kuna City Code

Signature: (Applicant)

Applicants Representative

Date 10.30.17

**Urza Property
Neighborhood Meeting Sign-in Sheet
October 18, 2017 - 6:00 p.m. - Kuna Public Library**

[illegible]

Neighborhood Meeting Notes
Urza Property Annexation & Zoning
10.18.2017 – 6:00 pm – Kuna Public Library

Discussion Topics

- How many lots are permitted in the R8 zone?
- Will the developer build houses or apartments?
- How many access roads will serve the site?
- Will storm water be retained onsite? Property to the east keeps getting washed out and there are concerns about future water runoff.
- When will construction begin?
- Will we mark crosswalks for kids to cross the street?

