



PLANNING & ZONING COMMISSION AGENDA

**Tuesday, June 23, 2020
6:00 PM**

*Under authority of the Governor's partial Open Meeting Law Suspension Proclamation dated March 13, 2020, and due to social distancing protocol, the **Council Chambers Audience Occupancy Capacity is 15.***

Social Distancing will be required.

***The first 15 persons** who appear, in addition to Mayor, City Council, and staff, will be allowed in Council Chambers. All other persons may access the meeting via Live Streaming*

Live Streaming Instructions:

Members of the public may watch the June 23, 2020 Planning & Zoning Commission meeting via Facebook Live. The live feed will start at 6:00 PM on the City of Kuna Idaho Facebook page linked below:

<https://www.facebook.com/CityofKunaIdaho/>

Public testimony will be received on the cases listed under Public Hearings within this Agenda. The instructions and options available for public testimony are listed below.

APPLICANT/PUBLIC ORAL PUBLIC HEARING TESTIMONY PROCESS:

Written - In Advance to be included in the Agenda Packet that is distributed to the Decision-Making body.

1. Submit any below stated option prior to 5:00 pm the Thursday before Public Hearing meeting. *Late submissions will not be included in the packet but will be provided at the meeting.*
2. Submit testimony via our website on the [Public Testimony Form](#). This form will email directly to the City for inclusion in the Agenda Packet.
3. Submit testimony via email to PublicHearingTestimony@KunaID.gov
4. Submit via mail to:
City of Kuna
Attention: Planning and Zoning Department
PO Box 13
Kuna ID 83634

Written – Up to noon the day of the Public Hearing

1. Submit any below stated option prior to noon the day of the Public Hearing meeting. *Late submissions will not be included.*
2. Submit testimony via our website on the [Public Testimony Form](#)
Kunacity.id.gov > Doing Business > Forms and Applications > Frequently Requested Applications and Forms > ONLINE Public Testimony Form
3. Submit testimony via email to PublicHearingTestimony@KunaID.gov
4. Submit via mail to:
City of Kuna

Attention: Planning and Zoning Department
PO Box 13
Kuna ID 83634

Oral – Via electronic call is allowed based on Governor Little’s Open Meeting Law suspension proclamation of March 13, 2020 until testimony in person is allowed.

1. Submit request no later than noon the day of the Public Hearing meeting.
2. Email PublicHearingTestimony@KunaID.gov
 ✓ Your name *Instructions continued on Page 2*
 ✓ Address
 ✓ Phone Number you will be calling from to give testimony
 ✓ Email Address
 ✓ Date of Public Hearing
 ✓ Case number or Identification of Public Hearing
3. Watch your email for a reply email with the information to join the meeting electronically.
(Check your spam/junk folder as a precaution)
4. Follow the dial in information.
5. Call into the virtual lobby a minimum of 5 minutes prior to the meeting.

1. CALL TO ORDER AND ROLL CALL

COMMISSIONERS:

Chairman Lee Young

Commissioner Stephen Damron

Vice Chairman Dana Hennis

Commissioner John Laraway

Commissioner Cathy Gealy

2. CONSENT AGENDA: *All Listed Consent Agenda Items are Action Items*

A. Planning and Zoning Commission Meeting Minutes

1. June 9, 2020

B. Findings of Fact and Conclusions of Law

1. Case No 19-09-S (Preliminary Plat) & 19-33-DR (Design Review) Corbin’s Cove Subdivision
2. Case No. 20-02-SUP (Special Use Permit) Brauneisen In Home Daycare
3. Case No. 20-06-DR (Design Review) & 20-04-SN (Sign) Malaspina Ranch Monument Sign
4. Case No. 20-01-OA (Ordinance Amendment) Sign Ordinance

3. BUSINESS ITEMS:

A. Case No. 20-09-DR (Design Review) Francis Dental Office – **ACTION ITEM**

Jessica Petty requests design review approval for an approximately 2,940 square foot dental office located on N. School Avenue, future Lot 2 Block 1 of Redhawk Square, Kuna, Idaho 83634.

4. PUBLIC HEARING:

A. Case No. 19-13-AN (Annexation) Black Rock Marketplace – ACTION ITEM

Thomas J. Angstman, the applicant, requests annexation into the City of Kuna for approximately 40.80 acres, in order to develop the same lands utilizing 2 separate zones; the R-20 (High Density Residential) & C-2 (Area Commercial) zones. The R-20 (HDR) is proposed to be approx. 13.22 acres in size, and the C-2 (Commercial) is proposed to be approx. 27.45 acres. The applicant will propose multi-family housing units within the R-20 zone in the future, and Commercial uses will be proposed within the C-2 zone, in the future. The site is located at the hard NWC of Meridian and Deer Flat Roads in Kuna, ID 83634, Section 13, Township 2 North, Range 1 West; (APN: S1313449900).

Staff requests that this item be tabled to a date certain due to a posting error by the applicant.

B. Case No. 19-08-ZC (Rezone), 19-10-S (Preliminary Plat), 19-06-SUP (Special Use Permit) & 20-03-DR (Design Review) – Monarch Landing Sub - ACTION ITEM

Mason & Associates, Inc. (applicant) requests Rezone, Preliminary Plat, Special Use Permit (SUP) and Design Review approvals for the Monarch Landing Subdivision. Applicant requests a rezone for approx. 17.34 total acres from Agriculture (AG) to a C-3 Commercial (Service Commercial) zone. Applicant also requests preliminary plat approval in order to re-subdivide Lot 1, Block 1 of Tukila Meadow Sub into 15 total lots, and requests a SUP to place an approx. five (5) acre self-storage facility on the same site. The subject site is at SWC Linder and Hubbard Roads, Kuna, ID 83634, within Section 14, Township 2 North, Range 1 West (APN R8555340170).

C. Case No. 20-01-SUP (Special Use Permit) 3040 W. Pear Apple In Home Daycare – ACTION ITEM

Aimerine Uwineza, seeks Special Use Permit approval in order to operate an In-Home Childcare Facility in an existing residence. The site is located at 3040 W. Pear Apple Street, Kuna, ID 83634.

D. Northern Boundary Area of City Impact Expansion – ACTION ITEM

The City of Kuna requests consideration from the Planning and Zoning Commission for the expansion of Kuna's most northern boundary of its Area of City Impact (ACI) Boundary and to forward a recommendation to City Council. This expansion, if approved, will align Kuna's ACI with the City of Meridian's ACI by extending the boundary from its current location at West Lake Hazel road to encompass previous annexed parcels south of Amity Road and West of Meridian Road.

5. ADJOURNMENT:



**PLANNING & ZONING COMMISSION
AGENDA**

**Tuesday, June 9, 2020
6:00 PM**

*Under authority of the Governor's partial Open Meeting Law Suspension Proclamation dated March 13, 2020, and due to social distancing protocol, the **Council Chambers Audience Occupancy Capacity is 15.** Social Distancing was required.*

Public testimony was received on the cases listed under Public Hearings within this Agenda via email, letter or virtual attendance

1. CALL TO ORDER AND ROLL CALL 6:03 PM

COMMISSIONERS:

Chairman Lee Young
Vice Chairman Dana Hennis
Commissioner Cathy Gealy
Commissioner Stephen Damron – Absent
Commissioner John Laraway

CITY STAFF PRESENT:

Wendy Howell, Planning and Zoning Director
Troy Behunin, Senior Planner
Doug Hanson, Planner I
Jessica Reid, Customer Service Representative III

2. CONSENT AGENDA: All Listed Consent Agenda Items are Action Items

A. Planning and Zoning Commission Meeting Minutes

I. May 26, 2020

Commissioner Cathy Gealy moved to approve the Consent Agenda. Seconded by Commissioner Dana Hennis. Approved by the following roll call vote:

Voting Aye: Chairman Lee Young, Commissioner Dana Hennis, Commissioner Cathy Gealy and Commissioner John Laraway.

Voting No: None

Absent: 1

Motion carried: 4-0-1

3. PUBLIC HEARING:

A. Case No. 20-01-CPF (Combined Preliminary & Final Plat) – Ensign No. 1 Combo Replat - **ACTION ITEM**

Troy Behunin: Good evening Commissioners. For the record, Troy Behunin, 751 W. 4th Street here in Kuna, Planner III of the Planning and Zoning Department. The application we have for you is a re-plat of Block 1 of the Ensign Subdivision. Staff recommends that this be tabled to the next available Planning and Zoning Commission meeting due to a noticing infraction (*no Neighborhood Meeting held*); that is why it is not in your packets for you to review. We are asking that you table this to a date certain. **C/Young:** Will the 23rd work? **Unintelligible.** **C/Gealy:** I think the question is, does that give sufficient noticing time? **TB:** Yes.

Commissioner Cathy Gealy moved to table 20-01-CPF to July 14, 2020. Seconded by Commissioner Dana Hennis. Motion carried 4-0-1.

B. Case No. 19-09-S (Preliminary Plat) & 19-33-DR (Design Review) Corbin's Cove Subdivision – ACTION ITEM

Troy Behunin: Hello, once again for the record, Troy Behunin, Planner III...

Technical difficulties with recording beginning at Timestamp 00:04:23. Troy Behunin presented the project as stated on meeting agenda, Commission asked questions, and Applicant Gary McAllister spoke on project. Sound recovers at Timestamp 00:12:50.

Gary McAllister: ...but it doesn't come to issue with ACHD...*unintelligible*...I think it will

be a real nice subdivision because it has a number of different sized lots and different priced homes. There will be an HOA with CCR's about storing stuff and bad cars that don't run and weed control and stuff like that around the area. I think Troy told you as well that it will

be real diverse area. *Unintelligible*. Any questions? **C/Young:** Looking at your landscape plan, is there fencing that is proposed for along the canal that we know? **GM:** Well we have people to work with what they want. Sometimes they ask for certain things and sometimes they don't; if they ask for certain fencing. *Unintelligible*. We're working to see if that is what they want. **C/Young:** If they want wrought fencing or something along the canal bank?

GM: Right. **C/Young:** This question is probably for staff, the easements that I read in the

Board of Control's letter, there's 30-foot easements from the center line, are they on the canal? **GM:** They are on the Plat. I don't think that...*unintelligible*. **C/Young:** Are there any

other questions? **C/Gealy:** I have one question. Can you tell me if you have any plans for

amenities in your designated open space? **GM:** I know we talked about a little gazebo and a barbeque and stuff like that. We're probably going to do a little more research on that to see what people are interested in but something like that for the time being. Something where

people can come hang out and get out of the sun. **C/Young:** Are there any other questions?

C/Gealy: I have no other questions. **C/Young:** Ok, then we'll go ahead and open up the testimony at this time, 6:20 PM. Each person has three minutes to let us know your thoughts

and at that time please let the next person comment. When everyone is done, then we have a

chance to respond and ask questions. With that, the first person on the sign-up sheet is Dave;

please come up. **Dave Szplett:** My name is Dave Szplett and I live at 970 Ashwood Court

and I have 45 years' experience on these properties, I probably can't get this done in three minutes. I sent you guys a four-page comment about the problems existing with the

application and that it's not following your own code. There is one big issue that I didn't put

in the letter because it would take hours to explain; back in '95 I bought one of the two lots at the end of Ashwood Court and they were not part of the Ashwood Manor Subdivision as

per the records of survey. I bought the two lots, bought one and auctioned the other to build

a small PUD (Planned Unit Development). The City rejected my PUD and the comments

were, the adjacent property may be R-6 but that is a maximum and not a guaranteed

minimum. They said I would have to repeat the existing lot lines and lot sizes before the

City would look at my application. The annexation for this project actually occurred many

years ago and there was an agreement with conditions for their annexation which I don't

think anyone around here knows about; which limited both the number of lots and the lot

sizes. They told me, the letter says, my PUD should match those densities in that agreement.

I am asking you tonight to read my long letter then to talk about it at your convenience and

to consider lot sizes and capabilities and to comply with the City's previous agreement. See,

I made it in under two minutes. I've got 50 years but it's up to you if you want to ask me or

not. **C/Young:** Are there any questions for Mr. Szplett? **C/Hennis:** No, not at this time; I

have read his letter so I'm considering that. **DS:** I don't think Troy brought up the part of the

annexation, I don't know if you want some history on Sharp Lane. There's an agreement, I

know it's there. **C/Hennis:** That predates all of this so it is kind of.... **C/Young:** Moot?

C/Hennis: Yes, I guess that's the best word for it as I understand it. **DS:** Except that on the

lots which was part of that agreement. *Unintelligible*.... I understand the Commissioners point of view. **C/Young:** Any questions at this time? Thank you. **C/Gealy:** Thank you. **C/Young:** That is all that I have seen here, is there anybody that has signed up online or anything I'm missing? Is there anybody present that has not signed up to testify on this application that would like to do so? Ok. Is there anything else that the applicant would like to add? Are there any questions? *Unintelligible*. With that I will close the testimony at 6:25 PM and that brings us up to our discussion. Question for you Troy, is the City aware of any agreements that mandated parcels for a future subdivision? Anything that mandated future lot sizes? **TB:** At this point in time staff is unaware of any formalized agreement that there was a condition of approval on an application outside of the scope on these properties or something general that says this area should be reserved for lots of this size or of that size. Unless there is a formal agreement in the catacomb's downstairs, I am not aware of that. I have been through the Development Agreement Booklet that the City has formalized agreements with developers that stretches back to the late ninety's and I cannot recall coming across anything on Sharp Lane. If there is something, it is likely not a formal agreement where it was voted on by the city council and was something that was recorded by the county recorders office; this is the first I'm hearing about it. **C/Laraway:** If Mr. Szpletts brings in some paperwork? **TB:** Again, staff would have to verify that it was recorded with the county or that there was something for these particular parcels, something that took place; a past letter of application cannot hold this application hostage. **C/Gealy:** Mr. Behunin, I heard Mr. Szpletts say that it was part of the annexation I think, that limited the lot size. Would that be something different that an application or a development agreement? An annexation agreement? **TB:** If that annexation had a preliminary plat tied to it or there was something else, we would have to take a look at that. I am unaware of any kind of lot size requirements on this property from another action. **C/Gealy:** Thank you. **TB:** Staff is willing to look it up and invest the time. **J/Laraway:** I think we need to look it up. **C/Young:** Are there any other questions? **C/Hennis:** I did have a couple of questions based on the letter as well. There was an indication, and I did not have a chance to actually look at the code on this myself but, do we know if the road length can be done on this public road? I know in Mr. Szpletts letter here it indicated that there was a certain length we exceeded in our code. Is that correct? **TB:** We do have that roadways are less than 500 feet however with that, there is something that if they are over a certain length that there is a terminus of sufficient radius so that emergency vehicles can get in there and do what they need to do. **C/Hennis:** And that's the 45 feet? I know that I saw that somewhere else; ok. And what about the code that specifies a minimum frontage? **TB:** I went back to look at the plat just to make sure that I didn't miss anything or on intake on the project; staff was unable to find any lots that were less than three to four feet above the minimum requirement. There were only two that were close, everything else was fine. **C/Young:** What I got out of Mr. Szpletts letter was that the minimum lot frontage for R-6 is 45 feet, and looking at the preliminary plat I think it falls within 48 feet or.... **TB:** It's over 48 feet. **C/Hennis:** Ya, I saw 47 or something like that. **TB:** And I believe there was only two lots that were under 50. And all of the lot sizes conform to the R-6 standard lot sizes, or R-3. **C/Hennis:** Now you also indicated that staff recommended possibly expanding the open space? **TB:** Correct, it's small for 21 lots. This is Winfield subdivision, by all definitions, this is Winfield 100%; it is bound by development on every side. Chances are there are going to be small children and they should have an area that's sufficient size where they can do what children do; run, play, throw a ball. **C/Hennis:** I've got a landscape plan but it cuts off half way through the cul-de-sac. **C/Young:** I think it is because of those areas and the narrow entry; there is landscaping at the entry and there is landscaping for the open space. **C/Hennis:** So, it just wasn't all included because of that. **TB:** They did not have sufficient room at the inlet from School

Avenue for anything. **C/Hennis:** I understand that but it's cut off so I wasn't sure. *Unintelligible.* Ok. **C/Gealy:** I just had a clarification; because you said it is not more than 30 homes, it's doesn't meet the threshold requiring second access given the length of the cul-de-sac. **TB:** Correct. **C/Gealy:** Regardless of the length of the cul-de-sac. **TB:** Yes, if the cul-de-sac was 200 feet long and there were 30 homes, not that that would be possible but just for ease of discussion; regardless of how long the cul-de-sac is, if there are 30 homes, they have to have permanent secondary access. **C/Gealy:** But it could be permanent but perhaps with the ballasts to... **TB:** Actually, that is not considered full time permanent. **C/Gealy:** Ok, thank you. **C/Young:** Any other questions? **C/Gealy:** I have no other questions. **C/Hennis:** None right now. **C/Young:** *Unintelligible*.... the size of the open space and also the location I think could be a little more centralized, perhaps lots 5, 6 or 7; somewhere in there and if it was just a little bit larger and moved closer to the center. It would be more easily accessible than lot 2 and 3. **C/Gealy:** Mr. Chairman, I am concerned about the length of the cul-de-sac but it sounds like the Kuna Rural Fire District is satisfied and that's the main concern. And again, the two things that I look for in new development is transitions between existing development and amenities for the people that will be living there. Where this is one street, it makes transitions difficult but I am concerned that there are large lots to the north of Sharp Lane and large lots in the adjoining subdivision and it looks like most of the density for R-6 is being made up, at least in this application, along the south side of Sharp Lane. This one lot here has 5 neighbors adjoining it and that's really not a reasonable transition I don't think. As you suggest, the open space might be moved to the south side of Sharp Lane, that might relieve that congestion and relieve some of that pressure to the south. I would also be interested in seeing and adding amenities to that open space and I would like that to be included. **C/Hennis:** I tend to think she's right. If you just look at this by the numbers you gain an R-6 designation within the R-6's around it but only have it with another 3.4 *unintelligible*. It's kind of a little misleading on that south side of Sharp Lane, it's not even 5 neighbors, it's 6 on the one. When you start looking at how it compares to the neighborhood around it, it's very congested compared to the neighborhood on Ashwood Court. **C/Young:** You look at minimum lot sizes for R-6 versus R-4, to me the minimum lot size in R-4 is 6,600; a majority of these lots will exceed the size for R-4. I agree with the area of smaller lots, which would be another reason to move that open space to kind of break up some of the smaller lots. It would be a better transition. **C/Hennis:** I think those two larger lots really skew it; one lot is 32,000 square feet; it really skews the whole numbers. **C/Young:** I think there are two lots near the minimum but the rest are all well over and in the R-4 range. **C/Hennis:** There are nine. **C/Young:** That meet the requirements for R-6? **C/Hennis:** Yes, that meet the R-6. **C/Young:** Would the applicant like to provide comment? **DS:** Does that mean we get to comment too? **C/Young:** We closed the public hearing; we would have to reopen the public hearing to do that. **Wendy Howell:** If he doesn't speak (referring to Gary McAllister) then you haven't reopened the public hearing. **C/Young:** Then if there is nothing new from the applicant then we will continue our discussion. Another question I had to help narrow it down a bit, if there was motion to approve having that indicated on the landscape plan, I would like to have.... **C/Hennis:** Well, I know the board (Boise Project Board of Control) usually has their own requirement what they want to see on that canal. **C/Young:** I didn't see any fencing along the north where the other boundaries of the subdivision indicated. **C/Hennis:** Yes. **C/Young:** I have a question for the applicant. Was it the intention of the HOA that the HOA will be responsible for maintaining the ditch outside the scope of the easement and not each individual parcel? **GM:** Yes. **C/Hennis:** I think one of the things that it's kind of goes back to is, like we discussed tonight, possible past annexation agreement that I think needs to be researched by the city and possibly Mr. Szplett. If there is indication of a prior agreement

then they need to speak in order to see if it's legitimate. It's not necessarily something that we can entertain here tonight, we don't have the verification of that which the city will need to have. We are not downplaying what was discussed earlier we just don't have a way to verify that tonight; that there was not a previous annexation agreement. This would be a recommendation to city council. **C/Young:** Yup. **C/Hennis:** And we're ok with that lane? **TB:** Staff did have a verbal conversation with the Fire Chief about the length of the cul-de-sac, he focused on if there was a proper turnaround. He asked if there was a proper turnaround and I said there will be if they don't; he said that's all I'm asking. **C/Hennis:** So that is something that needs to be proper too because that's the only way they are going to get around. **C/Gealy:** That is included in the conditions of approval, it's number fourteen. **C/Hennis:** The other thing I want to make a point is the public versus private roads; we have determined that will be a public road correct? **TB:** Staff has recommended that be a public road. **C/Gealy:** The public roads are under condition thirteen. I might suggest we strike the beginning that says staff recommends and just make it a condition that all roads are improved and dedicated as public roads. **C/Hennis:** Another point brought up in the letter is one we've always had, is there availability of services on the south side? It's a priority of the city to figure something out with fire and ACHD. **C/Gealy:** If we do want to condition an increase in the size and location of the open space, how much open space would we like to see? I believe what is there now is 2.5% open space. Mr. Behunin, could you remind me what our standard is on the last Comp Plan for open space please. **TB:** The answer is that a project of this size should have 7% open space which this is a challenging parcel; I don't know how they will make it work. I'm not advocating either way for it, the Commission will have to decide what they would like to see. **C/Young:** We need to try to find that balance because it is such an odd shape and it is under the threshold. I think a larger area is in order. **C/Hennis:** How bound are we by that number. **TB:** Is 7% the target? If this project had been submitted 30 days later it would not meet the current requirement but it was in prior to that. **C/Young:** If this was in before the new requirement adopted by the city, do we try to find the middle? Something near 5% maybe? **C/Dennis:** Ideally, I would like to see something more but it doesn't have to conform to the present standard; I think a happy medium would be good. **C/Gealy:** I would like to see 7%. I have a question that is procedural, could we include as a condition that staff and applicant discuss the limit on lot sizes that could have part of a previous agreement then continue with are other conditions and make a decision whether we can make approval or not? **C/Young:** I think we can make our recommendations and have that as a condition that prior to our recommendation of approval, the city verify the conditions of lot size. **TB:** Yes, the Commission can make that a condition of approval that staff verify prior to it going to city council. If it is part of your recommendation then it will make it into their packets along with the minutes. It is the choice of the Commission. **C/Hennis:** Again, in regards to procedural here, since the open space is more occurring in the Design Review which is out decision scope, we are the governing body there. **C/Young:** *Unintelligible...* work with the irrigation district around the canal bank/**Hennis:** I agree. What do you want to do with open space, we need to set a guideline? I respect Commissioner Gealy's opinion on that but we can meet a happy medium. We can't necessarily hit them with an ordinance that wasn't in effect at the time but we need to realistically request an increase in open space. **C/Gealy:** With those kinds of questions can we realistically make a decision on the Design Review? **C/Young:** I think we would have to come up with a number on the open space. **C/Gealy:** And the location. **C/Hennis:** I agree. If we can set some guidelines on how much open space and where we want it, we could make a decision. I think we could comfortably give guidelines in the conditions if we set some guidelines. **C/Young:** A better location would be south where the current parcel 5, 6, 7; somewhere in that area, it centralizes that open space. **C/Hennis:** I was looking at 6 and 7

myself; I think they are the harder lots to do something with because they are smaller and have the little jig in it. It would be more advantageous in making that open space. **C/Young:** If there are no other questions can we have a motion. **C/Gealy:** I would like to review the conditions we will be setting. **C/Hennis:** We can start with that one. **C/Gealy:** We could include a condition regarding the limited lot sizes; that the HOA manage the landscape and maintenance of the common spaces and the ditch; that they would work with staff and the irrigation district for fencing along the canal; that they would work with staff to increase the amount of open space and its location. Again, I would like to see some amenities in the open space; the applicant indicated that they would like to do some research. **C/Young:** I think a small barbeque area and playground equipment can sometimes be harder to maintain. **C/Gealy:** So, applicant would work with staff on the types of amenities based on their research. I think with all those conditions we can approve the Design Review.

Commissioner Dana Hennis moved to recommend approval for Case No. 19-09-S (Preliminary Plat) to city council with the conditions as outlined in the staff report as well as the following conditions: applicant to work with staff to provide amenities in the open space areas such as barbeque areas and gazebo as discussed; to increase open space to near 5% and to move it preferably near the center of the project, such as lots 5, 6 and 7; to form an HOA that governs the land and maintenance of the area as well as open space and the canal bank; to revise condition 13 of the staff report to read “specify the streets be designed and dedicated as public roads”; for staff to verify if there is a previous agreement that governs the lot size for this project prior to moving toward city council; and applicant to work with staff to comply code for fencing around the project and with the Board of Control for fencing along the canal. Seconded by Commissioner John Laraway. Motion carried 4-0-1.

Commissioner Dana Hennis moved to approve 19-33- DR (Design Review) with the conditions as outlined in the staff report well as the following conditions: applicant to work with staff to provide amenities in the open space areas such as barbeque areas and gazebo as discussed; to increase open space to near 5% and to move it preferably near the center of the project, such as lots 5, 6 and 7; to form an HOA that governs the land and maintenance of the area as well as open space and the canal bank; to revise condition 13 of the staff report to read “specify the streets be designed and dedicated as public roads”; for staff to verify if there is a previous agreement that governs the lot size for this project prior to moving toward city council; and applicant to work with staff to comply code for fencing around the project and with the Board of Control for fencing along the canal. Seconded by Commissioner John Laraway. Motion carried 4-0-1.

C. Case No. 20-02-SUP (Special Use Permit) Brauneisen In Home Daycare – ACTION ITEM

C/Young: Next up we have a Special Use Permit. **Jace Hellman:** Could you please verify that we can hear the applicant. **Jessica Reid:** Karla, can you hear us? **Karla Brauneisen:** Yes. **JR:** We have sound. **Doug Hanson:** Good evening Mr. Chairman and members of the Commission; for the record, Doug Hanson, Kuna Planning and Zoning staff, 751 W. 4th Street, Kuna, Id, 83634. Applicant Karla Brauneisen seeks Special Use Permit approval in

order to operate an In-Home Childcare Facility in an existing residence located at 727 North Katie Way, Kuna, ID 83634. Staff has determined that application complies with Title 5 of Kuna City Code and Idaho Code. There was a late submittal which is not in your packet so I will read it into the record:

Planning and Zoning Committee, I have enclosed 8 copies of Spicewood Subdivision CC and R's showing that article V. Section 5.01 states that "Lots shall be used only for residential purposes." Therefore, the request for an in-home day care at 727 N. Katie Way needs to be denied. Thank You, Spicewood Home Owner.

With that I shall stand for any questions. **C/Hennis:** There was no name on that? **DH:** No name accompanied the letter. **C/Young:** As the city goes, we cannot enforce an HOA matter? **DH:** That is correct. **C/Young:** Are there any questions for staff at this time? **C/Gealy:** I have two questions and one is in regards to the parking; is there sufficient parking for up to six infants to be dropped off. **DH:** They will be dropped off using the driveway and the frontage of the house. Mrs. Brauniesen will be the only employee so she will park in the driveway. There isn't anything in code regarding in-home daycare for a drop-off. **C/Gealy:** My second question, I attempted to find out for myself, there is something that I seem to recall that there be a limit on the number of infants allowed in a care facility based on the number of staff? **DH:** There is a point system based on Idaho Code 39.11, I believe is the exact number, and children three years are counted as 1.5 points per child and infants up to three years are counted as 2.5 points per child; each staff member is allowed a total of 12 points. **C/Gealy:** Thank you, I have no other questions. **C/Hennis:** One quick question, this is one of the things where the SUP must be in place in order for the state to do the required inspections but we want the inspection to happen before the SUP; all that must work in concert though. **DH:** Yes, in the conditions we will not award the Special Use Permit until the state signs off. The city clerk will not sign the business license until the state has granted the license. **C/Young:** The applicant may speak now. **JR:** Karla, you may speak now; please state your name and address for the record. **KB:** Karla Braunisen, 727 N Katie Way in Kuna, Idaho. **C/Young:** Is there anything that you would like to add? **JR:** Karla, do you have anything to add to what staff presented? **KB:** No. **JR:** She does not. **C/Young:** I will open up the public hearing at 7:20 PM. I do not see anybody listed on the sign-up sheet, is there anybody signed up online? **JR:** No, there are no persons. **C/Young:** With that I will close the public hearing at 7:21 PM. **C/Hennis:** Do we need to make her aware of the late comment? **C/Young:** No, it was read into record and she was listening, correct? **JR:** Karla, did you hear the letter that was read into the record? **KB:** Yes. **JR:** Yes, she has. **C/Hennis:** Does she have any comments? **JR:** Karla, do you have any comments on the letter? **KB:** I operated a daycare 22 years ago in this same house and there were no issues at that time. **C/Young:** Has the applicant seen and read the staffs conditions of approval? **JR:** Karla, have you seen and read the staffs conditions of approval? **KB:** Yes. **JR:** She has. **C/Hennis:** And she doesn't have any issues with them? **JR:** Do you have any issues with those? **KB:** No. **JR:** No, she does not. **C/Young:** As far as out discussion goes, I agree with the conditions set by staff and I have no issues with this. **C/Hennis:** As long as she complies with the Fire Marshalls inspections and the state inspections then I see no issue.

Commissioner Dana Hennis moved to approve 20-02-SUP (Special Use Permit) for in-home daycare at 727 N. Katie Way with conditions as outlined in the staff report. Seconded by Commissioner Cathy Gealy. Motion carried 4-0-1.

D. Case No. 20-01-OA (Ordinance Amendment) – ACTION ITEM

Jace Hellman: Good evening Chairman, Commissioners. For the record, Jace Hellman, Planning and Zoning staff, 751 W. 4th Street, Kuna, Idaho, 83634. The application before you this evening is for the amendment of the sign ordinance in Kuna City Code. Staff is proposing to repeal the existing chapter 10 of title 5 and provide a new an entirely new chapter 10. With this proposal, staff has removed definitions from chapter 10 and added them to Kuna City Code 5-1-6 which is home to definitions for all of title 5. Staff proposes to expand the height and area maximum to allow for more creativity in sign development as well as reduce brightness of signs with digital electronic message centers between sunset and sunrise. Additionally, throughout the proposed chapter, staff has modified the existing materials allowed and removed all contradictory sections within the code; one of the biggest issues was how signs were measured on the outside and that contradiction has been removed. The last item staff is proposing is a new process for the approval of signs. Previously, wall signs, monument signs, pole signs, and shopping center signs were subject to Design Review approval by the Planning and Zoning Commission. Under the new proposal, signs will no longer be subject to approval by the Planning and Zoning Commission but rather approval by the Planning and Zoning Director; this was staffs attempt to streamline sign approval as most signs are not included in the original Design Review application for the structure. As a reminder, this body is making a recommendation that will be taken to city council for final determination. With that I will stand for any questions you may have. **C/Young:** Is there anything pertaining to temporary signs? Do we specify how long a sign is considered a temporary sign? **C/Gealy:** I thought it was 30 days? **JH:** I believe you are correct; it is located in the definition of the temporary sign. After that 30 days they would have to return to Planning and Zoning Director for an extension. **C/Gealy:** In my packet on page 205, there's permitted temporary signs and under banners signs it says shall not be displayed for more than 30 calendar days; then there's other signs and constructions signs. **JH:** That is a condition that the Commission can add that we add a specific number of days or a more generalized timeframe. **C/Young:** I just know that sometimes temporary signs are not always temporary and have stayed up for a year and a half. **C/Gealy:** I think it's appropriate that a time frame is associated with the type of the sign; there are eleven different types of signs and they each have a timeframe. **C/Hennis:** Not all of them, like subdivision temporary signs, construction signs; some do but we might want to add some. **C/Young:** But some subdivisions have a twenty year build out so how do you justify making them come back every thirty days? I understand signs on a building about a Grand Opening but stay up for a year. What about public notice signs? **Wendy Howell:** Subdivision code states three days after the public hearing the sign must be removed; we are aware there is a current issue with that. **C/Gealy:** I think it is appropriate for the sign to be approved by the Director and not as part of the Design Review. **C/Young:** Ok, we'll open up the public testimony at 7:32 PM. Nobody has signed up on the sheet, is there anybody signed up online? **Jessica Reid:** There isn't anybody signed up online. **C/Young:** Ok, we will close testimony at 7:33 PM.

Commissioner Dana Hennis moved to recommend approval for Case No. 20-01-OA (Ordinance Amendment). Seconded by Commissioner Cathy Gealy. Motion carried 4-0-1.

E. Northern Boundary Area of City Impact Expansion – ACTION ITEM

Wendy Howell: Staff is requesting that this be tabled until June 23rd.

Commissioner Cathy Gealy moved to table the Northern Area of City Impact Expansion until June 23, 2020. Seconded by Commissioner Dana Hennis. Motion carried 4-0-1.

4. BUSINESS ITEMS:

A. Case No. 20-06-DR (Design Review) & 20-04-SN (Sign) Malaspina Ranch Monument Sign – ACTION ITEM

Doug Hanson: Good evening Mr. Chairman and members of the Commission. For the record, Doug Hanson, Planning and Zoning Staff, 751 W. 4th Street, Kuna, Idaho, 83634. The applicant request sign and design review approval for an approximately 32 square foot monument sign. The subject site is located at W. Walker Lane, Kuna, ID 83634 (APN# R3785270042). The sign complies with Title 5 of Kuna City Code and Idaho State Code; with that I will stand for any questions you may have. **C/Hennis:** Is the applicant present? **DH:** The applicant did not respond to the request to testify. **C/Young:** *Unintelligible....* the materials. **C/Hennis:** The materials are written out in the letter of intent. **C/Young:** I have no issues. **C/Hennis:** I assume the HOA is required to take care of this? It's wood so it needs upkeep; staff do you have any input on that? **JH:** Mr. Chairman, members of the Commission, for the record, Jace Hellman, Kuna Planning and Zoning Staff, 751 W. 4th Street, Kuna, Idaho, 83634. Currently in the sign ordinance and the new sign ordinance you heard tonight, there is a clause for maintenance of the sign. The owner of the sign is responsible for the maintenance, additionally, it is in their CC&R's, we have not received a final plat for this project yet. Basically, it is covered on both sides.

Commissioner Dana Hennis moved to approve Case No. 20-06-DR (Design Review) and 20-04-SN (Sign) as outlined with the conditions of approval. Seconded by Commissioner Dana Hennis. Motion carried 4-0-1.

5. ADJOURNMENT: 7:34 PM

Commissioner Dana Hennis moved to adjourn. Seconded by Commissioner John Laraway. Motion carried 4-0-1.



City of Kuna

P.O. Box 13
Phone: (208) 922-5274
Fax: (208) 922-5989
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P & Z Comm. Findings of Fact & Conclusions of Law

To: Planning and Zoning Commission

Case Numbers: 19-09-S (*Subdivision*) & 19-33-DR
(Design Review),
Corbin's Cove Subdivision

Location: Near the Southwest Corner (SWC)
of Avalon St. & School Ave.,
Kuna, Idaho 83634

Planner: Troy Behunin, Planner III

Hearing Date: June 9, 2020
Findings of Fact: **June 23, 2020**

Representative: Gary McAllister
2115 E. Bowstring St.
Meridian, Idaho 83642
208.283.4830
Mcallgary@gmail.com

Owner: Paul Winward
8291 S. Locust Grove. Rd.
Meridian, ID 83642

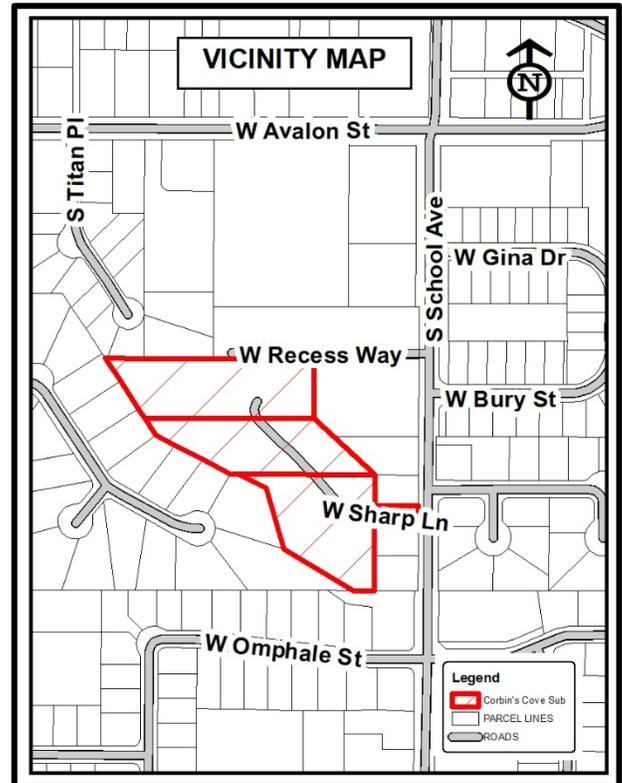


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A. Process and Noticing:

1. Kuna City Code (KCC), Title 1, Chapter 14, Section 3, states that design reviews are designated as *public meetings*, with the Planning and Zoning Commission (acting as the Design Review Board) as the decision-making body; and that subdivision pre plat applications are designated as *public hearings*, with the Planning and Zoning Commission as the recommending body, and the City Council as the decision-making body. These land use applications were given proper public notice and have followed the requirements set forth in Idaho Code, Chapter 65, Local Land Use Planning Act (LLUPA).

a. Notifications

- | | |
|---------------------------|--|
| i. Neighborhood Meeting | Nov. 14, 2019 (three persons attended) |
| ii. Agencies | Jan. 22, 2020 |
| iii. 350' Property Owners | May 8, 2020 |
| iv. Kuna, Melba Newspaper | May 6, 2020 |
| v. Site Re-Posted | May 29, 2020 |

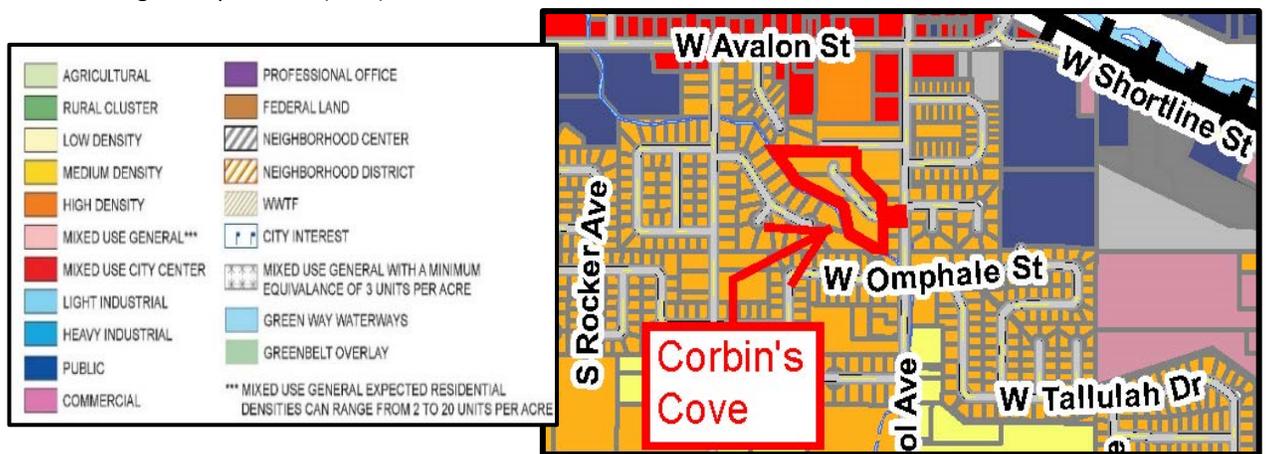
B. Applicant Request:

1. The applicant, Gary McAllister requests to subdivide approximately 6.00 acres in Kuna City with the Medium Density Residential (**MDR**) into 22 total lots (21 home lots and one common lot) and has reserved the name *Corbin's Cove Subdivision*. A Design Review application for the common area landscaping is included this application. The site is near the Southwest Corner of Avalon St. and School Ave., Kuna, Idaho; In Section 26, T 2N, R 1W, APN #'s: R5080251061, R5070251161 and R5070251166.

C. Site History: The subject site is approximately 6.00 acres in size and is currently zoned R-6 (MDR) and in Kuna City limits. The subject site has historically been used for a single-family residences and open fields.

D. General Projects Facts:

1. **Comprehensive Plan Designation:** The Future Land Use Map (FLUM) is intended to serve as a *guide* for the decision-making body for the City. The Comp Plan map indicates land use designations generally speaking, it is not the actual zone. The FLUM identifies the approximately 6.00-acre site as Medium Density Residential, or 4-8 Dwelling Units per Acre, (DUA).



2. **Kuna Recreation and Pathways Master Plan Map:** The Recreation and Pathways Master Plan Map does not indicate a future pathway / trail through the subject site. it does indicate a bike route on School Avenue.

3. Surrounding Existing Land Uses and Zoning Designations:

North	R-6	Medium Density Residential in KUNA CITY
South	R-4 & R-6	Medium Density Residential in KUNA CITY
East	R-6	Medium Density Residential in KUNA CITY
West	R-6	Medium Density Residential in KUNA CITY

4. Parcel Sizes, Current Zoning, Parcel Numbers:

Property Owner	Parcel Size	Current Zone	Parcel Number
Donald & Tracy Boyd	Approx. 2.10 ac.	R-6 Med Den Res.	R5070251166
William & Sandra Doughty	Approx. 1.74 ac.	R-6 Med Den Res.	R5070251161
Paul Winward	Approx. 2.05 ac.	R-6 Med Den Res.	R5070251061

5. **Services:**

Sanitary Sewer– COK	Fire Protection – Kuna Rural Fire District (KRFD)
Potable Water – COK	Police Protection – Kuna City Police (ACSO)
Irrigation District – Boise-Kuna Irrigation District	Sanitation Services – J & M Sanitation
Pressure Irrigation–COK Municipal Irr. System (KMIS)	

6. **Existing Structures, Vegetation and Natural Features:** Currently there is a residence on each parcel listed above. Additionally, each lot has an out-building and large sections of land that are raw land. These parcels are generally flat and on-site vegetation is consistent with typical residence and large open fields.

Transportation / Connectivity: The site has limited frontage along School Avenue (Approx. 50'). Applicant shall satisfy Kuna City and ACHD's requirements for roadway improvements for all on-site public roads and the intersection with School Avenue, including road widening and vertical/ rolled curb, gutter and sidewalks appropriately. The Applicant shall work with the Emergency Medical Services (EMS) to provide emergency access for the site at proper widths approved by the City of Kuna, ACHD the KRFD.

7. **Environmental Issues:** Staff is not aware of any environmental issues, health or safety conflicts. Idaho Department of Environmental Quality (DEQ) has provided recommendations for surface and groundwater protection practices and requirements for development of the site.

8. **Agency Responses:** The following responding agency comments are included as exhibits with this case file:

- | | |
|---|-------------|
| • City Engineer (Paul Stevens) | Exhibit B-1 |
| • Ada County Highway District (ACHD) | Exhibit B-2 |
| • Boise Project Board of Control | Exhibit B-3 |
| • Central District Health Department (CDHD) | Exhibit B-4 |
| • Department of Environmental Quality (DEQ) | Exhibit B-5 |
| • Idaho Transportation Department (ITD) | Exhibit B-6 |
| • Kuna School District No. 3 (KSD 3) | Exhibit B-7 |

E. **Staff Analysis:**

Applicant proposes to subdivide the approximately 6.00 acres in order to create a subdivision known as *Corbin's Cove* Subdivision. The site is in Kuna City limits and is currently zoned R-6, a Medium Density Residential [MDR]) zone. The applicant does not wish to change the zone.

The City of Kuna FLUM and the Comprehensive Plan for Kuna identifies this parcel as Medium Density Residential uses, which equals four (4) to eight (8) dwelling units per acre (DUA). This application requests 4.2 Net DUA. Staff views this proposal to be in concert with the FLUM and Comprehensive Plan.

Applicant proposes 21 home lots and 1 common lot (22 total) with the Corbin's Cove preliminary plat with a gross density (total property) of 3.56 DUA and net density (land that can be developed) of 4.4 DUA including 7,695 square feet of open space (or 2.5% of the overall project). The applicant should be conditioned to work with the Public Works department in order to bring utilities to the site in conformance with Kuna's regulations. Public utilities shall be provided at the developers cost, by extending existing utilities/facilities with sufficient sizes. Staff recommends the applicant be conditioned to provide street lights throughout the Sub that comply with KCC for distance, style and wattage, including street lights at all intersections and hydrants. The applicant's proposal is for a new single-family community. This development does not reach the 30 home threshold however, staff recommends the applicant work with the City engineer and the KRFD to address possible concerns about a long cul-de-sac and to work with KRFD on proper EMS access. Staff recommends that all streets be improved and dedicated as public roads.

A Design Review application accompanies this project and seeks approval for the open space included with this subdivision (19-33-DR). An HOA must be established for the care and maintenance for the common lot. Applicant is hereby notified that this project is subject to design review inspection fees. Required inspections (post construction), are to verify landscaping and street lights compliance prior to signature on the final plat or receiving Certificates of Occupancy. It is also noted that any changes to the landscape or street light plans must receive staff approval *prior* to changes being made. At the time of inspections, if field conditions are different than the approved plans, changes will be required until field conditions are compliant, and will be made at developers' expense.

Staff has determined these applications comply with Title 5 of the Kuna City Code; Idaho Statute §50-222; and the Kuna Comprehensive Plan and FLUM; and forwards Case No's 19-09-S and 19-33-DR, to the Commission with recommended conditions of approval listed in section 'M' of this report.

F. Applicable Standards:

1. City of Kuna Zoning Ordinance Title 5.
2. City of Kuna Subdivision Ordinance Title 6.
3. City of Kuna Comprehensive Plan.
4. Idaho Code, Title 67, Chapter 65- the Local Land Use Planning Act.
5. Future Land Use Map.

G. Procedural Background:

On Tuesday June 9, 2020, the Commission considered the Corbin's Cove subdivision project, Case No's 19-09-S & 19-33-DR, including the applications, agency comments, staff's report and public testimony presented or given.

H. Comprehensive Plan Analysis:

The Commission may accept or reject the Comprehensive Plan components, and have determined the proposed preliminary plat request for the *site is consistent* with the following Comprehensive Plan components as described below:

The comprehensive plan is a living document, intended for use as a guide to governmental bodies. The plan is not law that must be strictly adhered to in the most stringent sense; it is to be used by public officials to assist their decision making for the City.

2.0 – Property Rights and Summary

Goal 1: Ensure the City land use policies, restrictions, conditions and fees do not violate private property rights and ensure that land use actions, decisions, and regulations do not effectively eliminate all economic value of the subject property. Ensure that City land use actions, decisions, and regulations do not prevent a private property owner from taking advantage of a fundamental property right and evaluate with guidance from the City attorney and the Idaho Attorney General's six criterion established to determine the potential for property "takings".

Comment: Utilizing the Idaho Attorney Generals criteria, and a review by the City Attorney, the proposed project does not constitute a "takings" and the economic value is intact.

5.0 Economic Development Goals and Objectives - Summary:

Ensure an adequate supply of housing for all income levels and facilitate pedestrian connections, both visually and physically, to enhance pedestrian movement.

Comment: The proposed application complies with the comprehensive plan by providing a unique set and arrangement of lot sizes, sidewalks and open space throughout to meet this goal.

6.0 Land Use Goals and Objectives - Summary:

Adopt a future land use plan and map that includes natural and developed open spaces, while providing a variety of housing densities and types to accommodate various lifestyles, ages and economic groups. Protect existing neighborhoods and ensure new development is sustainable and keeps Kuna desirable. Develop cohesive neighborhoods with character and quality while incorporating a variety of densities and styles.

Comment: The project complies with the land use plan as adopted by the City by incorporating the following; landscaped open space, sidewalks, unique/varied housing densities and types and promotes desirable, cohesive community character and a possibility for a quality neighborhood in an in-fill development.

8.0 - Public Services, Facilities and Utilities Goals and Objectives - Summary:

Provide adequate services, facilities, and utilities for all City residents and annex contiguous properties who request City services. Ensure that development within Kuna connects into the City's sanitary sewer and potable water systems and continue expansion of the City's sewer systems as resources allow.

Comment: Kuna has adequate services for this development and the authority to approve the request. This application will expand the City's sanitary sewer system, potable water and adds to the pressure irrigation mainline in an orderly fashion and adds amenities and some open space for its residents.

9.0 - Transportation Goals and Objectives - Summary:

Work with Kuna City, ACHD and COMPASS to promote and encourage bicycling and walking as transportation modes. Develop a transportation strategy and identify future transit corridors while requiring developers to preserve rights-of-way, to improve mobility on major routes while balancing land use planning with transportation needs.

Comment: The project meets the transportation goals of the City by improving Sharp Lane (Private dirt road) with expanded rights-of-way along its frontage, adding sidewalks for public use and internal roads for transportation connections.

12.0 - Housing Goals and Objectives - Summary:

Encourage developers to provide high-quality development with a variety of lot sizes, dwelling types, densities and price points to meet the needs of current and future population while creating safe and aesthetically-pleasing neighborhoods. Ensure housing is available throughout the community for all income levels and those with special needs. Encourage logical and orderly residential development while discouraging developers from developing land divisions greater than one half acre because large lot subdivisions increase municipal costs, require public subsidy and create sprawl.

Comment: Applicant has proposed 21 total lots which will possibly contribute to high-quality lots of varied sizes to be developed in a logical and orderly manner. The development proposes varied and unique housing types, a common lot, and possibly amenities, therefore creating a pleasant neighborhood environment.

13.0 - Community Design Goals and Objectives - Summary:

Strengthen Kuna's Image through good community and urban design principles that create self-sufficient neighborhoods. Foster good community design concepts that incorporate landscape features to serve as buffers between incompatible uses while reducing scale and create a sense of place.

Comment: The application incorporates sound community design and landscape features to integrate with surrounding uses to create a sense of place for the community and will foster neighborhood interactions and activities within its boundary.

I. Proposed Kuna City Code Analysis:

1. This request appears to be consistent and in compliance with Kuna City Code (KCC).

Comment: *The proposed project meets the land use and area standards in Chapter 3, Title 5 of KCC. Staff also finds that the proposed project meets all applicable requirements of Title 6 of KCC.*

2. The site is physically suitable for a subdivision.

Comment: *The approx. 6.00 acre subdivision has sufficient size to include a mix of lot sizes, neighborhood landscaped common lot.*

3. The subdivision uses *are not* likely to cause substantial environmental damage or avoidable injury to wildlife or their habitat.

Comment: *The land to be subdivided is not used as wildlife habitat. Roads, homes and open space are planned for construction according the City requirements and best practices. Staff is not aware of any environmental damage or loss of habitat associated with the proposed development.*

4. The subdivision application is *not* likely to cause adverse public health problems.

Comment: *The subdivision of the property follows the zoning designation per Kuna Code 5-13-9. The Medium Density zone requires connection to public sewer and water, therefore eliminating the occurrence of adverse public health problems. Through correspondence with public service providers and application evaluation, this project appears to avoid detriment to surrounding uses.*

5. The application appears to avoid detriment to the present and potential surrounding uses; to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing adjacent uses.

Comment: *The subdivision design did consider the location of the property, classified roadway (School Ave.) and the system. The subject property can be connected to the City's public sewer, water and pressure irrigation facilities. The adjacent uses are complimentary uses as proposed in the Kuna Comprehensive Plan Future Land Use Map.*

6. The existing and proposed street and utility services in proximity to the site are suitable and adequate for residential purposes.

J. Recommendation of the Commission:

Based on the facts outlined in staff's memo, the Comp Plan, City Code, the record before the Commission, the applicant's presentation, public testimony and discussion during the public hearing by the Planning and Zoning Commission of Kuna, Idaho, the Commission hereby recommends approval to City Council for Case No's 19-09-S, a Preliminary Plat request, and votes to *approve Case No. 19-33-DR, a Design Review request* by Gary McAllister with the following conditions of approval *at time of development*:

19-09-S (Preliminary Plat) During the public hearing by the Planning and Zoning Commission of Kuna, Idaho, the Commission hereby recommended approval to City Council for Case No's 19-09-S, a Preliminary Plat request by Gary McAllister, with the following conditions of approval:

- *Applicant shall follow the conditions outlined in the staff report,*
- *Staff to research if lot sizes were limited in a former development or annexation agreement,*
- *Applicant shall form an HOA to care for the perpetual care and maintenance for the ditch back and all other open spaces,*
- *Applicant shall work with Boise Project Board of Control on fence and maintenance strategies.*
- *Work with staff to increase the open space closer to 5%, and to move the common lot to the south side of the street and more centralized,*
- *Work with staff on amenities for the common lot (Gazebo & BBQ pit),*
- *The road will be a public road.*

19-33-DR (Design Review) During the public hearing by the Planning and Zoning Commission of Kuna, Idaho, voted to *approve Case No. 19-33-DR, a Design Review request* by Gary McAllister with the following conditions of approval at time of development:

- Applicant shall follow the conditions outlined in the staff report,
- Work with staff for compliant fencing along the ditch and perimeter,
- Staff to research if lot sizes were limited in a former development or annexation agreement,
- Work with staff to increase the open space closer to 5%, and to move the common lot to the south side of the street and more centralized,
- Work with staff on amenities for the common lot (Gazebo & BBQ pit).

And;

1. The applicant and/or owner shall obtain written approval on letterhead or may be written/stamped on the approved plans of the construction plans from the agencies noted below. All submittals are required to include the lighting, landscaping, drainage, and development plans. All site improvements are prohibited prior to approval of the following agencies:
 - a. The City Engineer shall approve the sewer hook-ups.
 - b. The City Engineer shall approve drainage and grading plans.
 - c. Central District Health Department recommends the plan be designed and constructed in conformance with standards contained in, "Catalog for Best Management Practices for Idaho Cities and Counties".
 - d. No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of the drainage plan.
 - e. The Kuna Fire District shall approve fire flow requirements and/or building plans. Installation of fire protection facilities as required by Kuna Fire District is required.
 - f. The *Boise Project and Board of Control* shall approval any modifications to the existing irrigation system.
 - g. Approval from Ada County Highway District shall be obtained and Impact Fees must be paid prior to issuance of any building permit.
 - h. Idaho Transportation Department. No public street construction may be commenced without the approval and permit from Ada County Highway District and Idaho Transportation Department.
 - i. All public rights-of-way shall be dedicated and constructed to standards of the City, Ada County Highway District,
2. Installation of utility service facilities shall comply with requirements of the public utility or irrigation district providing services. All utilities shall be installed underground, see KCC 6-4-2-W.
3. Compliance with Idaho Code, Section §31-3805 pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site.
4. Street lighting shall use LED lights, with spacing and wattages meeting KCC 5-4-6; applicant shall coordinate a street light plan for P & Z approval in concert with the prepared construction drawings for the project.
5. Parking within the site shall comply with KCC 5-9-3.
6. Fencing within and around the site shall comply with Kuna City standards – KCC 5-5-5- A-J and KCC 6-4-2-E.
7. A sign permit is required prior to subdivision entrance sign construction and shall comply with KCC 5-10-4. *Monument signs will require a separate design review.*
8. All required landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace unhealthy or dead plant material within three days or as the planting season permits as required to meet KCC 5-17-7 standards. Maintenance and planting within public rights-of-way shall be approved from the public entities owning the property.
9. Submit a petition to the City consenting to the pooling of irrigation surface water rights for delivery purposes and requesting to annex the irrigation surface water rights appurtenant to the property to the Kuna

Municipal Pressure Irrigation System of the City (KMIS) prior to requesting final plat signature from the City Engineer.

10. The land owner/applicant/developer and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the Commission and/or Council, or seek amending them through public hearing processes.
11. The applicant's proposed preliminary plat (dated 02/04/20) shall be considered a binding site plan, or as modified and approved through the public hearing process.
12. Applicant shall remedy any outstanding code enforcement issues prior to recordation of a final plat.
13. Staff recommends that all streets be improved and dedicated as public roads.
14. Applicant shall work with KRFD to accommodate EMS access and all other requirements of the KRFD.
15. Applicant shall follow staff, city engineer and other agency recommended requirements as applicable.
16. Compliance with all local, state and federal laws is required.



City of Kuna
Planning and Zoning Commission
Findings of Fact and Conclusions of Law

P.O. Box 13
Phone: (208) 922-5274
Fax: (208) 922-5989
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K. Based upon the record contained in Case No's 19-09-S and 19-33-DR, including the Comprehensive Plan, Kuna City Code, Staff's Memorandums, including the exhibits, and the testimony during the public hearing, the Kuna City Commission hereby approves the Findings of Fact and Conclusions of Law, and conditions of approval for Case No's 19-09-S and 19-33-DR a request for Preliminary Plat and Design Review approval by Gary McAllister:

1. *The Kuna Planning and Zoning Commission approves the facts as outlined in the staff report, the public testimony and the supporting evidence list presented.*

Comment: *The Commission held a public hearing on the subject applications on June 9, 2020, to hear from City staff, the applicant and to accept public testimony. The decision by the Council is based on the application, staff report and public testimony, both oral and written.*

2. *Based on the evidence contained in Case No's 19-09-S and 19-33-DR, this proposal generally complies with the Comprehensive Plan and City Code.*

Comment: *The Comp Plan has listed numerous goals for promoting and supporting a diverse and sustainable economy that will allow more Kuna residents to work in their community and encouraging a balance of land uses to ensure that Kuna remains desirable, stable and a self-sufficient community.*

3. *Based on the evidence contained in Case No's 19-09-S and 19-33-DR, this proposal generally complies with the Kuna City Code.*

Comment: *The applicant has submitted a complete application, and following staff review the application appears to be in general compliance with the design requirements, public improvement requirements, objectives and considerations listed in Kuna City Code Title 5 and Title 6.*

4. *The Kuna Planning and Zoning Commission has the authority to recommend approval to Council for Case No. 19-09-S, and to approve Case No. 19-33-DR.*

Comment: *On June 9, 2020, the Commission voted to recommend approval of Case No. 19-09-S and to approve Case No. 19-33-DR.*

5. *The public notice requirements have been met and the neighborhood meeting was conducted within the guidelines of applicable Idaho Code and City Ordinances.*

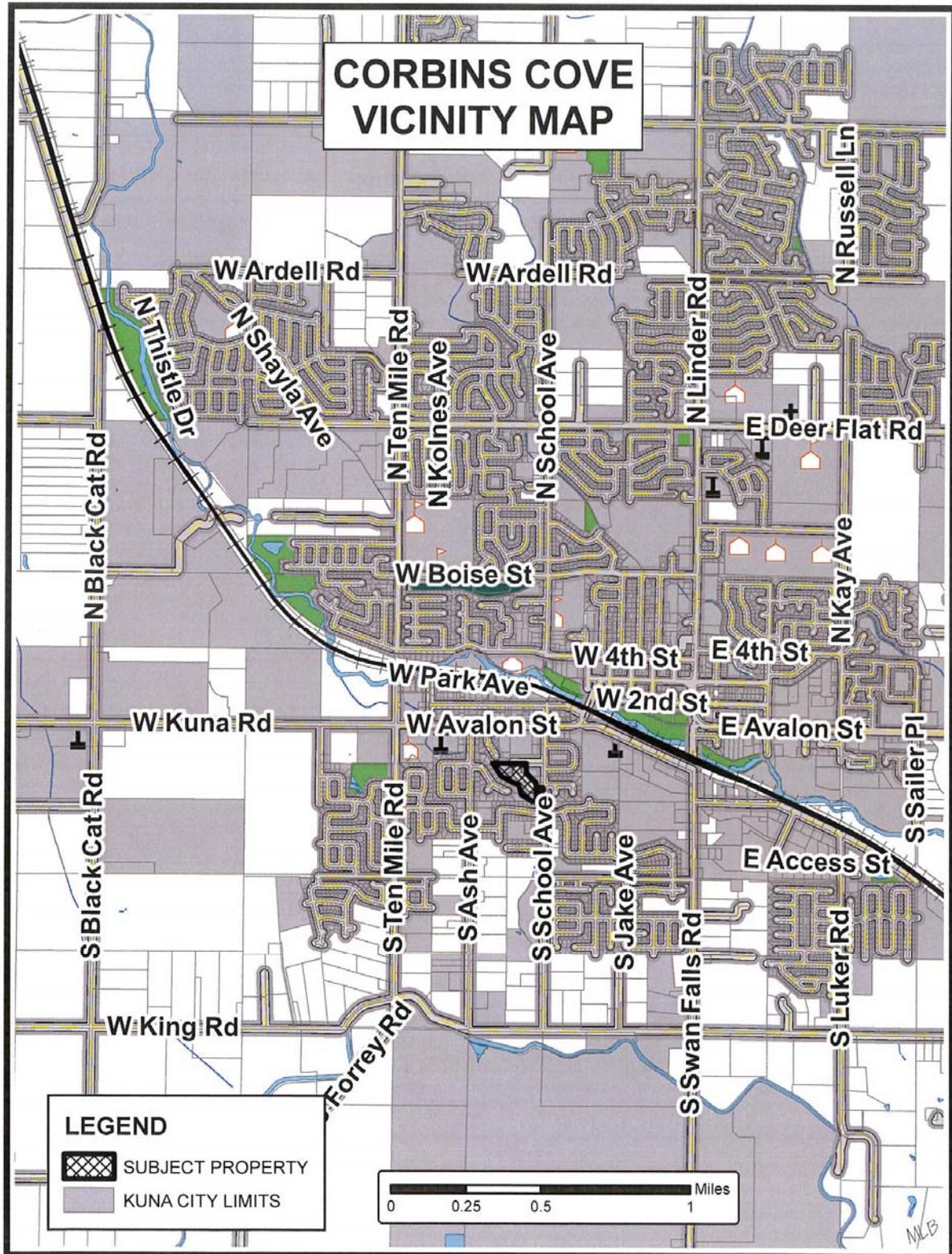
Comment: *Neighborhood Notices were mailed out to residents within 350-FT of the proposed project site on May 8, 2020, and a legal notice was published in the Kuna Melba Newspaper on May 6, 2020. The applicant placed a sign on the property on May 13, 2020.*

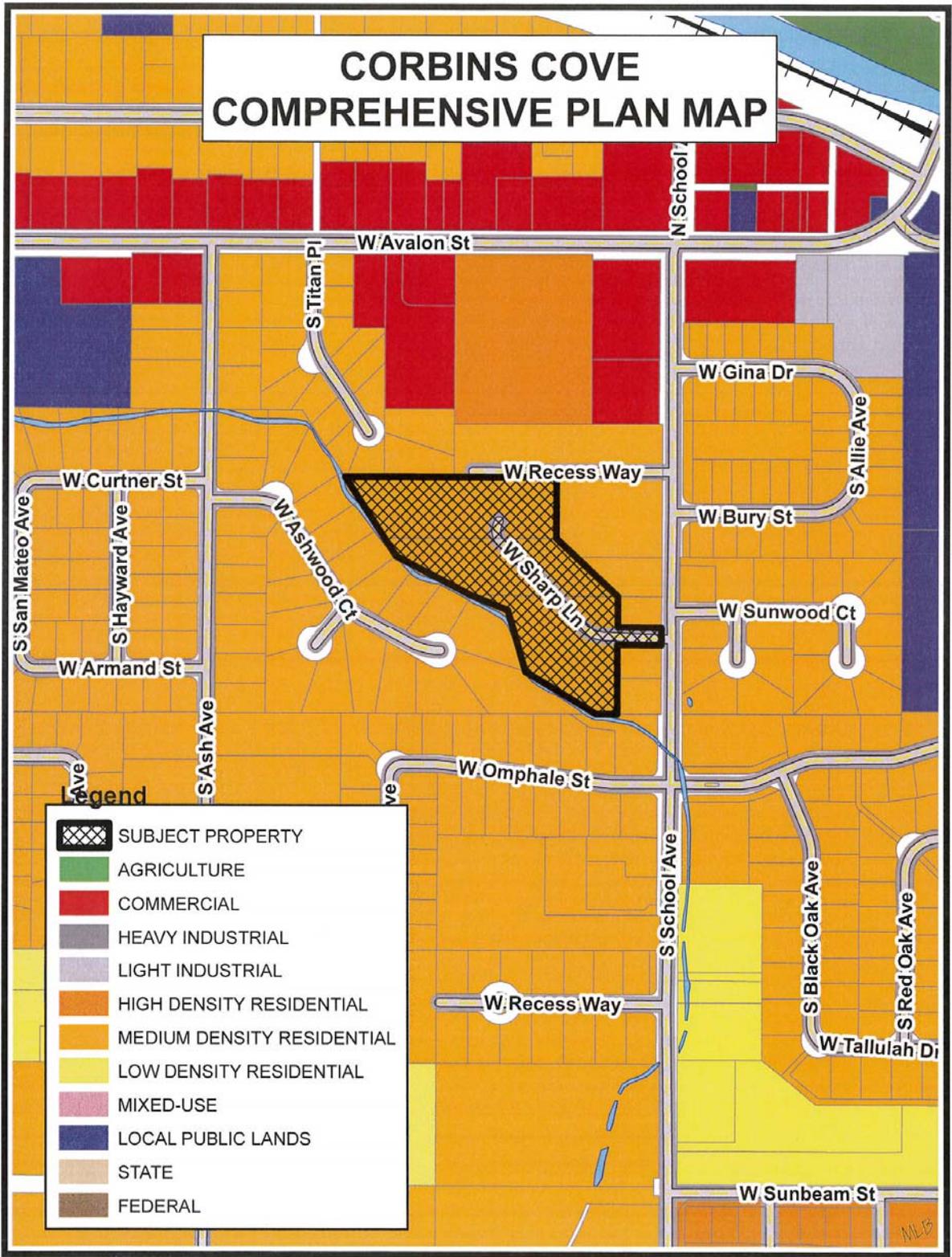
DATED: this 23rd day of June, 2020.

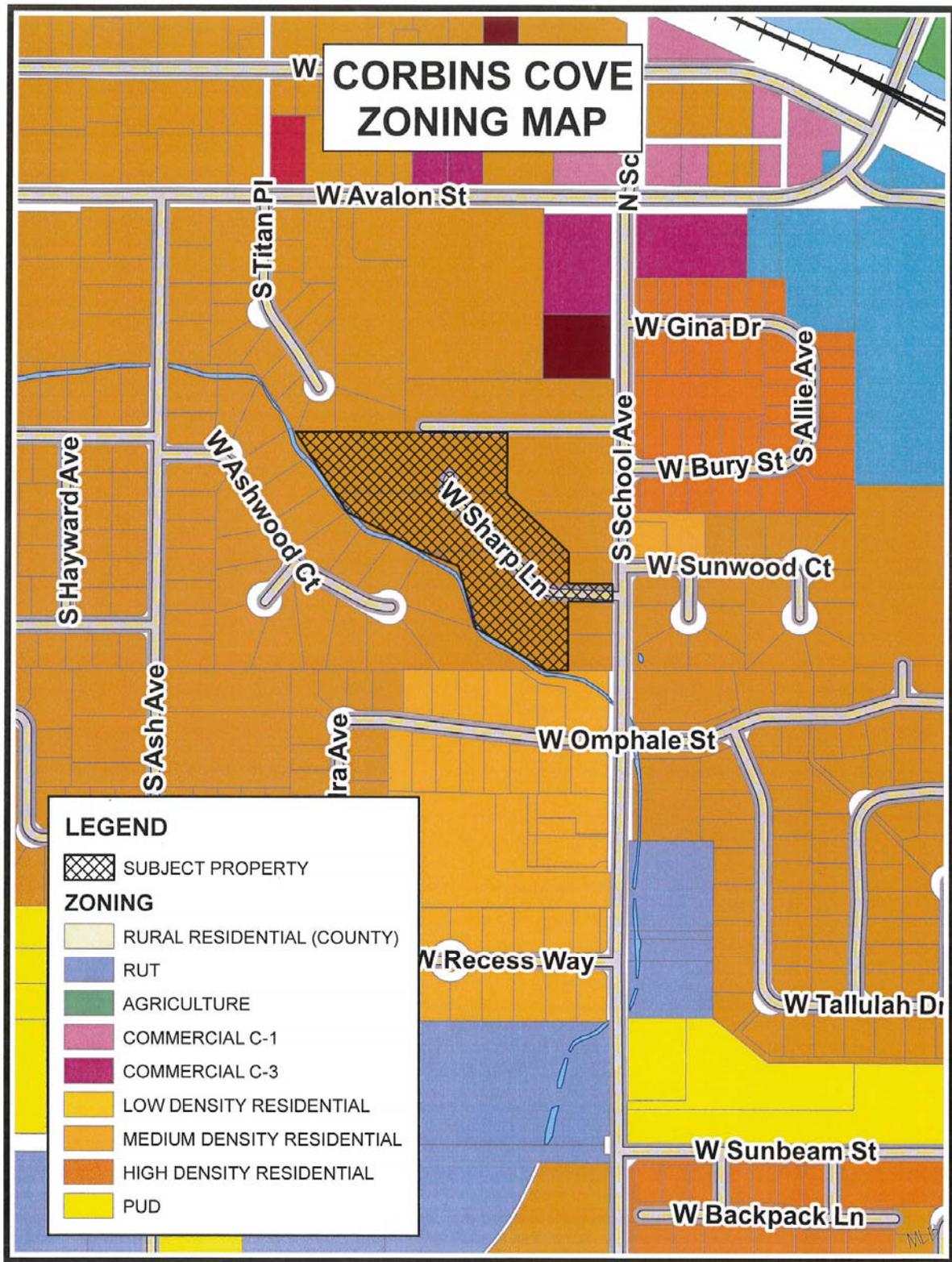
Lee Young, Chairman
Kuna Planning and Zoning Commission

ATTEST:

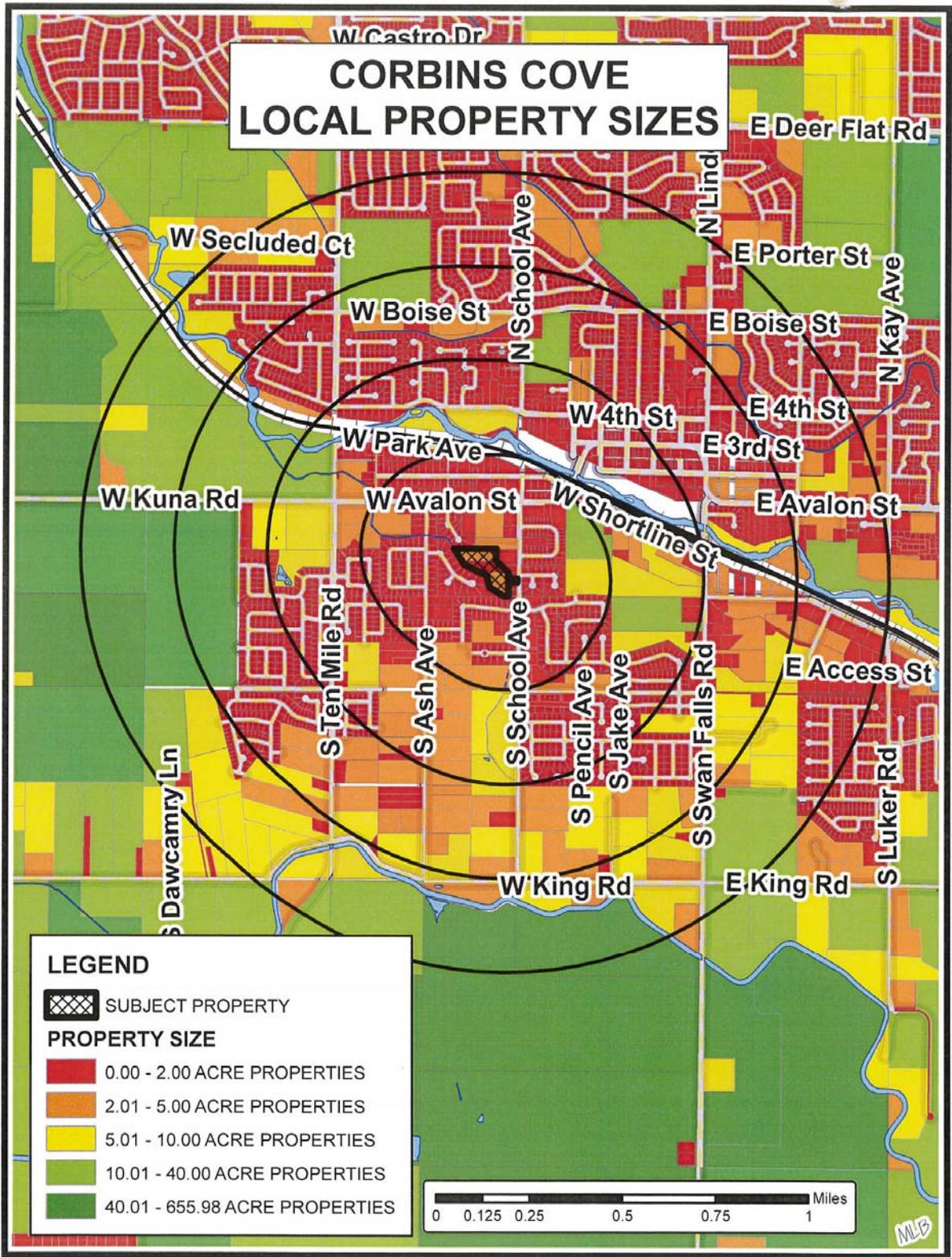
Troy Behunin, Planner III



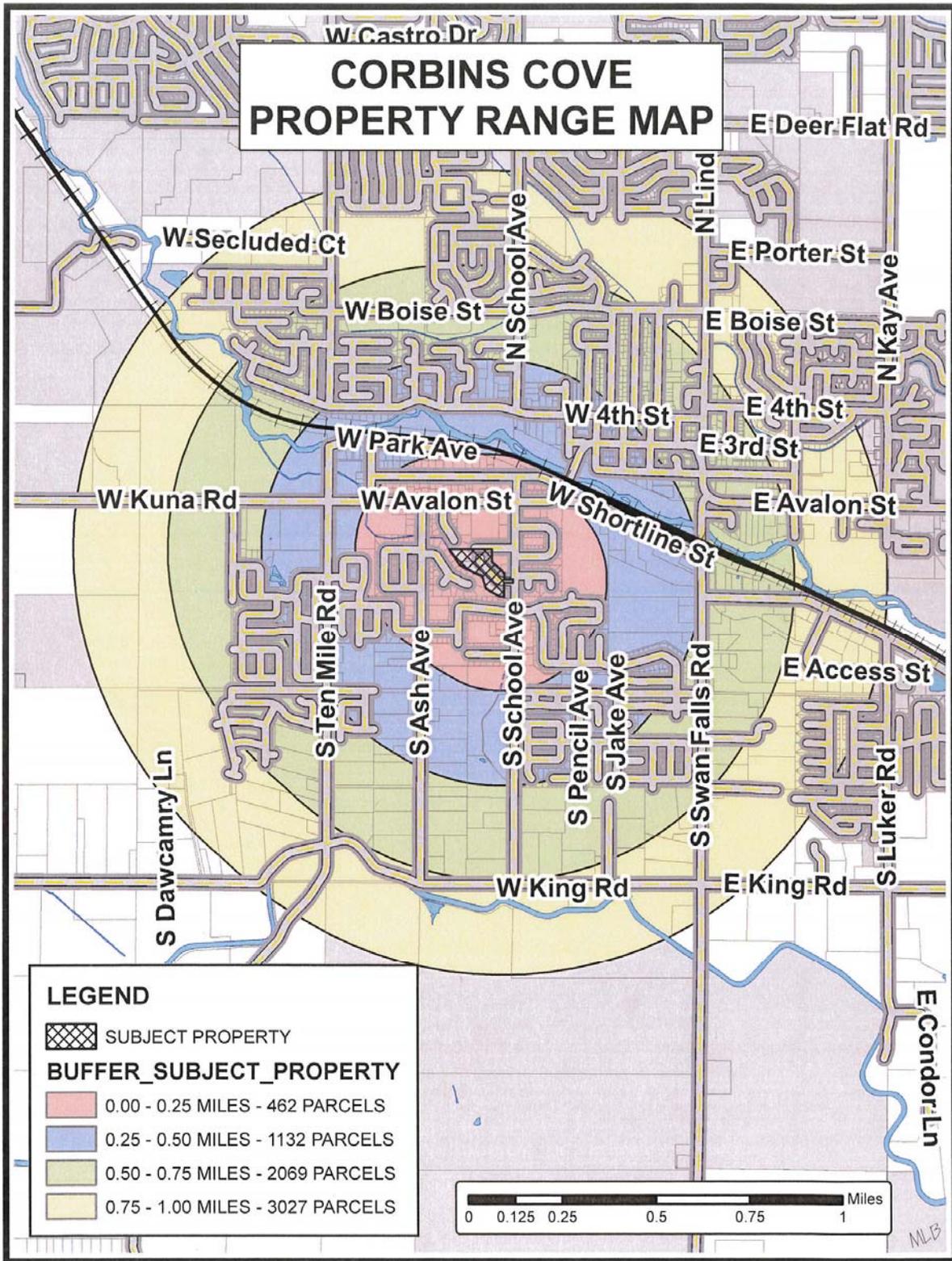


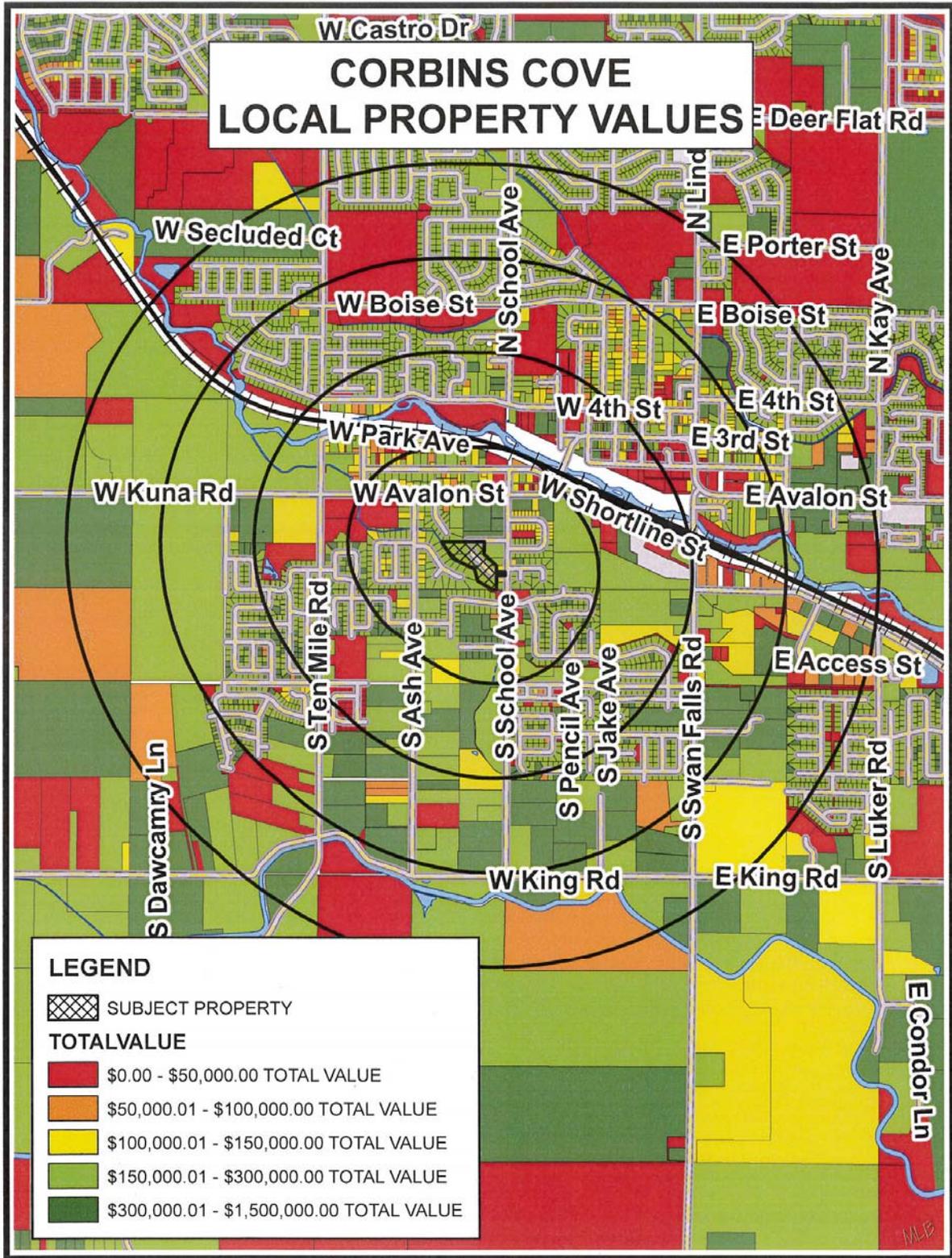














City of Kuna

Planning & Zoning Commission

Findings of Fact and Conclusions of Law

P.O. Box 13
Phone: (208) 922-5274
Fax: (208) 922-5989
www.Kunacity.id.gov

To: Kuna Planning and Zoning Commission.

File Numbers: 20-02-SUP (Special Use Permit);
Brauneisen In-Home Daycare

Location: 727 N. Katie Way.,
Kuna, Idaho 83634

Planner: Doug Hanson, Planner I

Hearing date: June 9, 2020

Findings: **June 23, 2020**

Owner/Applicant: Karla Brauneisen
727 N. Katie Way
Kuna, ID 83634
208.859.5771
brauneisenk@outlook.com

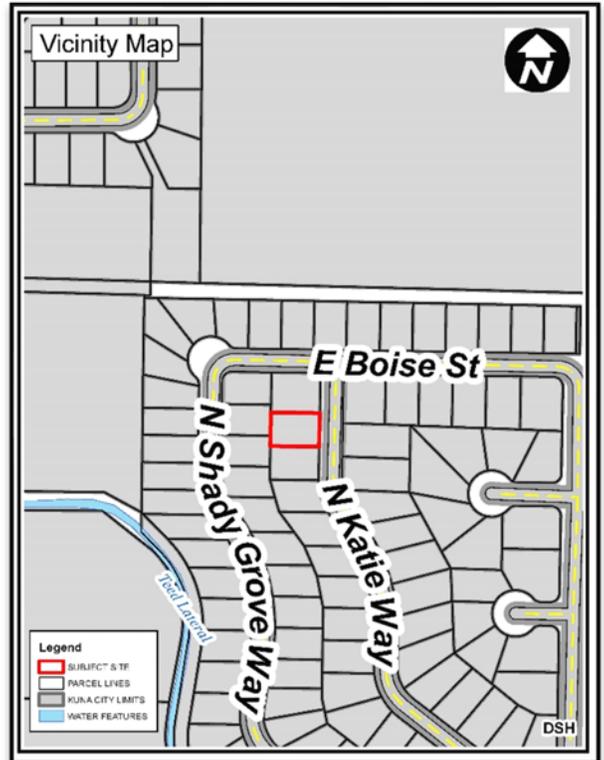


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- A. Course Proceedings
- B. Applicants Request
- C. History
- D. General Project Facts
- E. Staff Analysis
- F. Applicable Standards
- G. Comprehensive Plan Analysis
- H. Kuna City Code Analysis
- I. Decision by the Commission

A. Course of Proceedings:

1. The applicant is proposing to operate an In-Home Childcare Facility within an existing residence located at 727 N. Katie Way. In accordance with Titles 5-3 and 5-6 (Zoning Districts and Definitions) of Kuna City Code (KCC); this use requires approval of a Special Use Permit (SUP).
2. In accordance with KCC Title 5, Chapters 3 and 6, the applicant seeks approval of a Special Use Permit (SUP) for an In-Home Childcare Facility at the subject site which allows for no more than 6 children at any one time, on a regularly scheduled basis.

a. Notifications

- | | |
|-------------------------------------|---------------------------------|
| i. Neighborhood Meeting | January 14, 2020 (one attendee) |
| ii. Agency Notification | February 19, 2020 |
| iii. 300' Notice to Property Owners | May 14, 2020 |
| iv. Kuna Melba Newspaper | May 20, 2020 |
| v. Site Posted | May 26, 2020 |

B. Applicants Request:

Karla Brauneisen, seeks Special Use Permit approval in order to operate an In-Home Childcare Facility in an existing residence. The site is located at 727 North Katie Way, Kuna, ID 83634.

C. **History:** The property Lot 25, Block 2 of Spice Wood Subdivision No. 2 and is currently zoned R-6 (Medium Density Residential). The current home on the property is used as a residence.

D. **General Projects Facts:**

1. **Surrounding Land Uses:**

North	R-6	Medium-Low Density Residential – Kuna City
South	R-6	Medium-Low Density Residential – Kuna City
East	R-6	Medium-Low Density Residential – Kuna City
West	R-6	Medium-Low Density Residential – Kuna City

2. **Parcel Sizes, Current Zoning, Parcel Numbers:**

- Parcel Size: Approximately 0.173 acres
- Zoning: R-6 (Medium Density Residential)
- Parcel #: R8069130240

3. **Services:**

Sanitary Sewer– City of Kuna
 Potable Water – City of Kuna
 Irrigation District – Kuna Municipal District (KMID)
 Pressurized Irrigation – City of Kuna (KMID)
 Fire Protection – Kuna Rural Fire District
 Police Protection – Kuna Police (Ada County Sheriff)
 Sanitation Services – J&M Sanitation

4. **Existing Structures, Vegetation and Natural Features:**

There is currently a single-family residential home onsite, estimated to be approximately 1,452 square feet, and an attached two-car garage, estimated to be approximately 650 square feet. The yard is fully fenced. Landscaping on site is generally associated with an existing residential lot.

5. **Transportation / Connectivity:**

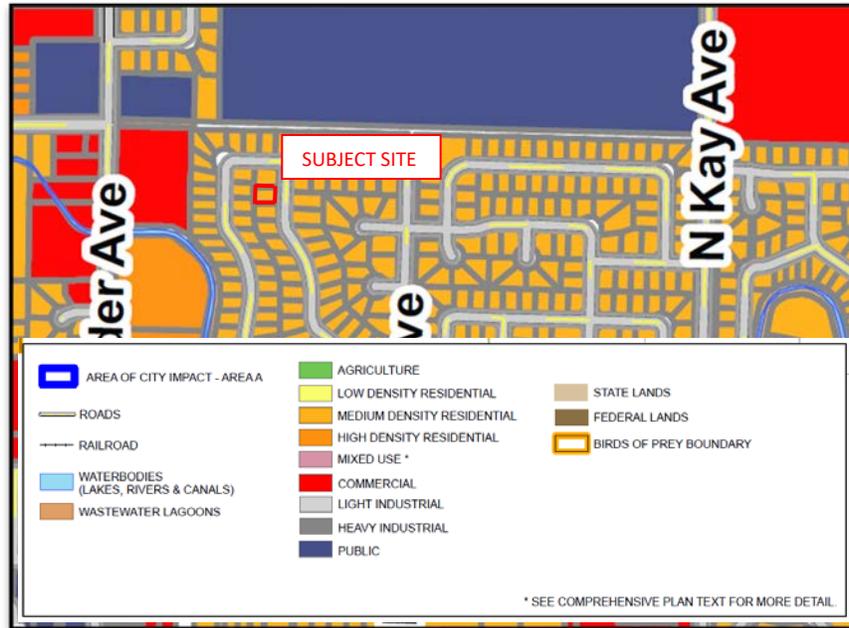
Current access to the site exists along the subject sites frontage on North Katie Way via an existing driveway. Attached sidewalks throughout the subdivision provide pedestrian connectivity.

6. **Environmental Issues:**

Apart from being in the nitrate priority area, staff is not aware of any environmental issues, health or safety conflicts at this time. This site’s topography is generally flat.

7. **Comprehensive Future Land Use Map:**

The Future Land Use Map (FLU) identifies this site as Medium-Density Residential. Staff views this proposed Special Use Permit request to be consistent with the surrounding zoning designations as designated in the Future Land Use Map.



8. Agency Responses:

The following agencies returned comments which are included as exhibits with this case file:

- Department of Environmental Quality (February 27, 2020) Exhibit B-1
- Central District Health Department (February 26, 2020).....Exhibit B-2
- Nampa and Meridian Irrigation District (March 9, 2020)Exhibit B-3
- City Engineer (February 27, 2020)Exhibit B-4

E. Staff Analysis:

In order to operate an In-Home Childcare Facility, a Special Use Permit is required per Kuna City Code Title 5, Chapters 3 and 1 (Zoning Districts and Definitions). Group Childcare, allows the applicant to provide childcare for six (6) or fewer children throughout the day, with the appropriate child to staff ratio according to Idaho Code 39-1109(4)(a). The Group Childcare Facility hours of operation are proposed as Monday through Friday from 6:00 am to 6:00 pm. The applicant has proposed to be the only employee. The children will range from newborns to three years of age.

Childcare facilities require a minimum of forty (40) square feet of usable indoor space per child and eighty (80) square feet of usable outdoor space per child. The applicant will be required to comply with Idaho Code Title 39, Chapter 11. Staff finds that the square footage of the proposed site exceeds the requirements for six (6) or fewer children.

Staff has determined that this application complies with Title 5 of Kuna City Code; Code; the Comprehensive Plan; and the Future Land Use Map; Staff recommends that if the Planning and Zoning Commission approves Case No. 20-02-SUP that the applicant be subject to the recommended conditions of approval listed in section “I” of this report.

F. Applicable Standards:

1. Kuna City Code, Title 5, Zoning Regulations.
2. City of Kuna Comprehensive Plan.
3. Idaho Code, Title 67, Chapter 65, Local Land Use Planning Act.

4. Idaho Code, Title 39, Chapter 11, Health and Safety.

G. Comprehensive Plan Analysis:

The Kuna Planning and Zoning Commission *accepts* the Comprehensive Plan components, and has determined the requested Special Use Permit for the site *is* consistent with the following Comprehensive Plan components as described below:

1. The proposed Special Use Permit application for the site are consistent with the following comprehensive plan components:

Goal Area 1: Kuna will be Economically Diverse and Vibrant.

- Goal 1.C: Attract and encourage new and existing businesses.
 - Objective 1.C.2: Create an environment that is friendly to business creation, expansion and relocation.

Goal Area 3: Kuna's Land uses will support a desirable, distinctive and well-designed community.

- Goal 3.G: Respect and protect private property rights.
 - Objective 3.G.1: Ensure land use policies, restrictions, and fees do not violate private property rights.
 - Policy 3.G.1.c: Ensure City land use actions, decisions and regulations do not prevent a private property owner from taking advantage of a fundamental property right. Ensure city actions do not impose a substantial and significant limitation on the use of the property.

H. Kuna City Code Analysis:

1. This request appears to be *consistent* and *in compliance* with all Kuna City Code (KCC).

Comment: *The proposed application adheres to the applicable requirements of Title 5 of the KCC.*

2. The site *is* physically suitable for the proposed project.

Comment: *The 0.173-acre project site is suitable for an in-home childcare facility.*

3. The special use permit *is not likely* to cause substantial environmental damage or avoidable injury to wildlife or their habitat.

Comment: *The land to be built on is not used as wildlife habitat. Roads, structures and open space already exist and will therefore not cause environmental damage or loss of habitat.*

4. The special use permit application *is not likely* to cause adverse public health problems.

Comment: *The proposed in-home childcare facility is connected to Kuna public sewer and water therefore eliminating the occurrence of adverse public health problems.*

5. The application appears to avoid detriment to the present and potential surrounding uses; to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing adjacent uses.

Comment: *The special use permit request considers the location of the property and adjacent uses. The adjacent uses are residential, commercial and public – as referenced in the Kuna Comprehensive Plan Future Land Use Map.*

6. The existing utility services in proximity to the site are suitable and adequate for the proposed use.

Comment: *Utility services are suitable and adequate for an in-home childcare facility.*

I. Decision by the Commission:

Based on the facts outlined in staff's report and public testimony as presented, the Planning and Zoning Commission of Kuna, Idaho, hereby *approves* Case No. 20-02-SUP, a Special Use Permit request by Karla Brauneisen with the following conditions of approval:

1. As requested by the applicant, the Group Childcare facility is allowed to be open Monday through Friday from 6:00 am to 6:00 pm, with some variation to accommodate special circumstances.
2. Applicant shall ensure that fencing around the outside play area is in safe condition and complies with Idaho Code 39-1109.
3. The applicant shall provide the City with a copy of the Childcare License from the State of Idaho "Health and Welfare" Department within 30 days after approval and signing of the City's Findings of Fact, Conclusions of Law for the Special Use Permit or the approvals may be revoked.
4. The applicant shall provide a copy of all subsequent license renewals to Kuna's Planning and Zoning Department for the Group Childcare Facility.
5. Applicant shall install a door chime on the front door to indicate any opening.
6. Applicant shall install safety locks on doors and cabinets where chemicals are stored.
7. Applicant shall install a fire extinguisher with the correct class rating (5lb ABC) for a kitchen.
8. All electrical outlets shall be covered with safety devices.
9. In the event the uses or the building on this parcel are enlarged, expanded upon or altered in anyway (even for temporary purposes), the landowner/applicant/developer, and any future assigns having interest in the subject property, shall seek an amendment to the approvals of this Special Use Permit through the Planning and Zoning Department.
10. This Special Use Permit is valid if the conditions of approval are adhered to continuously. In the event the conditions are not continuously followed; the special use permit approval may be revoked.
11. The applicant shall maintain a Kuna City Business License through Kuna City Clerk's office once the Special Use Permit is acquired.
12. The Fire District, Building Inspector and Central District Health Department must perform their necessary inspections for final sign-off. The applicant shall provide the City with copies.
13. The Special Use Permit shall follow the proposed intent provided on the SUP application and divest when the applicant no longer operates a Group Childcare Facility on the property and/or no longer has any interest in the property or the business is discontinued for more than one (1) year. The applicant is obligated to advise the City of any changes in ownership or leasing agreements which would affect business operations.
14. The special use permit is not transferable from one parcel to another.
15. The applicant shall follow all staff and agency recommendations.
16. The applicant shall comply with all local, state and federal laws.

DATED: this 23rd day of June, 2020.



City of Kuna
Kuna Planning and Zoning Commission
Findings of Fact and Conclusions of Law

P.O. Box 13
Phone: (208) 922-5274
Fax: (208) 922-5989
www.kunacity.id.gov

Based upon the record contained in Case No. 20-02-SUP including the Comprehensive Plan, Kuna City Code, Staff's Memorandums, the exhibits, and the testimony during the public hearing, the Kuna Planning and Zoning Commission hereby *approves* Case No. 20-02-SUP, a request from Karla Brauneisen to operate an in-home daycare. The site is located at 727 N. Katie Way, Kuna, ID 83634.

If the Planning and Zoning Commission wishes to approve, deny or modify specific parts of the Findings of Facts and Conclusions of Law as detailed below, those changes must be specified.

1. Based on the evidence contained in Case Nos. 20-02-SUP, this proposal **does** generally comply with the City Code.

Finding: *The applicants have submitted a complete application, and following staff review for technical compliance the application appears to be in general compliance with the special use standards, supplementary conditions and safeguards in Kuna City Code Title 5.*

2. Based on the evidence contained in Case Nos. 20-02-SUP, this proposal **does** generally comply with the Comprehensive Plan.

Finding: *The current zoning district is R-6 (Medium Density Residential). The Comp Plan Map designates this property as Medium Density Residential.*

3. The in-home daycare **does** constitute a special use as established on the official schedule of district regulations for the zoning district involved.

Finding: *According to the official schedule of district regulations, an in-home daycare does constitute a special use for an R-6 zoning district.*

4. The public notice requirements were met and the public hearing was conducted within the guidelines of applicable Idaho Code and City Ordinances.

Finding: *As noted in the process and noticing sections, notice requirements were met to hold a public hearing on June 9th, 2020.*

DATED this 23rd day of June, 2020.

Lee Young, Chairman
Planning and Zoning Commission

ATTEST:

Doug Hanson, Planner I
Kuna Planning and Zoning Department



City of Kuna

Planning and Zoning Commission

Findings of Fact and Conclusions of Law

P.O. Box 13
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www.Kunacity.id.gov

To: Planning and Zoning Commission

Case Numbers: 20-04-SN (Sign);
 20-06-DR (Design Review) -
**Malaspina Ranch
 Monument Sign**

Site Location: W Walker Lane.
 Kuna, Idaho 83634

Planner: Doug Hanson, Planner I

Meeting Date: June 9, 2020

Owner: **Endurance Holdings**
 1977 W. Fairview Avenue
 Meridian, ID 83642

Applicant: **Conger Group**
 Dianne Jossis
 P.O. Box 6385
 Boise, ID 83707
 208.336.5355
djossis@congergroup.com

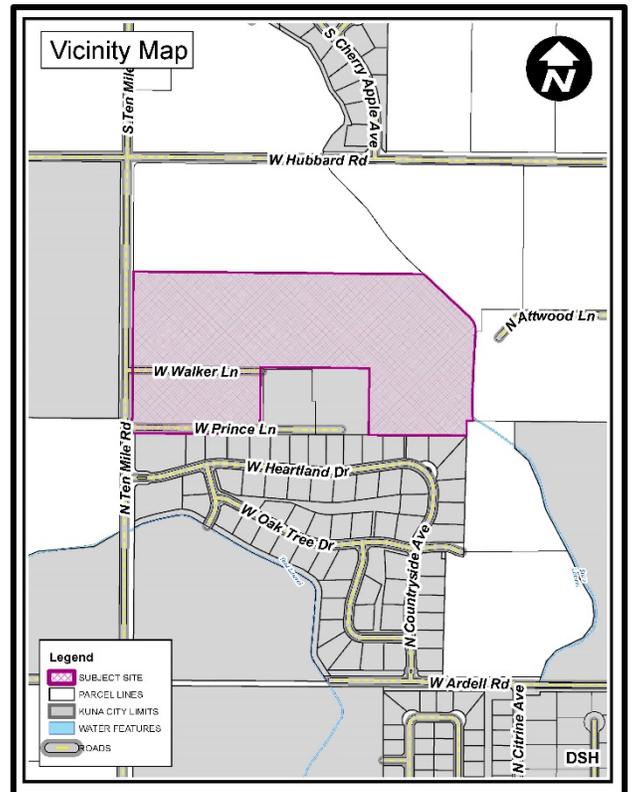


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| A. Process and Noticing | E. Staff Analysis |
| B. Applicants Request | F. Applicable Standards |
| C. Site History | G. Decision by the Commission |
| D. General Project Facts | |

A. Process and Noticing:

Kuna City Code (KCC), Title 1, Chapter 14, Section 3, states that design reviews are designated as *public meetings*, with the Planning and Zoning Commission (acting as the Design Review Board) as the decision-making body. As a public meeting item, this action requires no formal public noticing actions.

B. Applicant’s Request:

Conger Group, request sign and design review approval for an approximately 32 square foot monument sign. The subject site is located at W. Walker Lane, Kuna, ID 83634 (APN# R3785270042).

C. Site History:

This parcel is currently zoned A within Kuna City Limits. The Malaspina Ranch Subdivision was originally approved in 2007. At the time of the original approval a monument sign was not included in the application.

D. General Projects Facts:

1. Surrounding Land Uses:

North	RR	Rural Residential – Ada County
South	R-4 C-1	Medium Density Residential (MDR) – Kuna City Neighborhood Commercial – Kuna City
East	RR	Rural Residential – Ada County
West	A	Agriculture – Kuna City

2. Parcel Sizes, Current Zoning, Parcel Numbers:

Property Owner	Parcel Size	Current Zone:	Parcel Number
Endurance Holdings LLC	27.61 acres	A (Agriculture)	R3785270042

3. Existing Structures, Vegetation and Natural Features:

There are currently no structures situated on the subject site. The site’s vegetation has been cleared for future development.

4. Environmental Issues:

Apart from being in the nitrate priority area, staff is not aware of any environmental issues, health or safety conflicts at this time. This site’s topography is generally flat.

E. Staff Analysis:

The applicant is proposing to construct a new onsite freestanding monument sign for the Malaspina Ranch Subdivision, located for future Lot 1, Block 2 of the subdivision. The monument sign stands approximately four (4) ft high and twelve (12) ft across at its widest point. The sign area is approximately 32 square feet of just sign area.

Staff has determined the design review application complies with Kuna City Code, Title 5; Staff recommends if the proposed project is approved, the applicant be subject to the conditions of approval listed in section “G” of this report and any additional conditions requested by the Planning and Zoning Commission.

F. Applicable Standards:

1. City of Kuna Zoning Ordinance Title 5.
2. City of Kuna Comprehensive Plan.
3. Idaho Code, Title 67, Chapter 65- the Local Land Use Planning Act.

G. Commission’s Order of Decision:

Based on the facts outlined in staff’s report and public testimony as presented, the Planning and Zoning Commission of Kuna, Idaho, hereby **approves** Case No’s 20-06-DR (Design Review) and 20-04-SN (Sign), a request from Conger Group, for design review approval for a subdivision monument sign, subject to the following conditions:

1. All signage on site shall comply with KCC 5-10.
2. Applicant shall obtain and pay fees for a building permit for the footings, foundations, and/or other items determined by the building official. All work shall be inspected by City of Kuna inspectors.
3. The land owner/applicant/developer, and any future assigns having an interest in the subject property, shall fully comply with all conditions of approval by the Design Review Committee/Planning and Zoning Commission, or seek an amendment through the Design Review process.
4. Applicant must ensure that sign is no closer than 10’ to Rights-of-Way
5. Applicant shall follow staff, City Engineer and other agency recommended requirements, as applicable.
6. Applicant shall comply with all local, state and federal laws.



City of Kuna
Planning and Zoning Commission
Findings of Fact and Conclusions of Law

P.O. Box 13
Phone: (208) 922-5274
Fax: (208) 922-5989
www.Kunacity.id.gov

Based upon the record contained in Case No's 20-06-DR & 20-04-SN including the Comprehensive Plan, Kuna City Code, Staff's Memorandums, including the exhibits, the Kuna Commission hereby *approves* the Findings of Fact and Conclusions of Law, and conditions of approval for Case No's 20-06-DR & 20-04-SN, a design review request from Conger Group for a subdivision monument sign.

1. Based on the evidence contained in Case No's 20-06-DR & 20-04-SN, this proposal **does** generally comply with the City Code.

Finding: *The applicant has submitted a complete application, and following staff review for technical compliance, the application appears to be in general compliance with the design requirements listed in Kuna City Code Title 5.*

2. The contents of the proposed design Review application **does** contain all of the necessary requirements as listed in Kuna City Code 5-4-9: - Design Review Application Required.

Finding: *Review by Staff and the Commission of the proposed Design Review confirms all applicable requirements listed in KCC 5-4-9 were provided.*

3. The proposed project **does** generally conform to the Kuna Architecture Guidelines.

Finding: *The applicant proposes to construct a monument sign that stands approximately four (4) ft high and twelve (12) ft across at its widest point. The sign area is approximately 32 square feet. The applicant has proposed to construct the sign out of materials and colors that are consistent with the subdivision.*

DATED this 23rd day of June, 2020.

Lee Young, Chairman
Planning and Zoning Commission

ATTEST:

Doug Hanson, Planner I
Kuna Planning and Zoning Department



City of Kuna
Planning and Zoning Commission
Findings of Fact and Conclusions of Law

P.O. Box 13
Phone: (208) 922-5274
Fax: (208) 922-5989
www.Kunacity.id.gov

To: Planning and Zoning Commission
Case Numbers: 20-01-OA – Sign Ordinance Amendment
Planner: Jace Hellman, Planner II
Hearing Date: June 9, 2020
Findings: June 23, 2020
Applicant: City of Kuna, Planning and Zoning
751 W. 4th St
Kuna, ID 83634
208.922.5274
jhellman@kunaid.gov

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- A. Course of Proceedings
B. Project Request
C. Agency Responses
D. Staff Analysis
E. Applicable Standards
F. Commission’s Recommendation

A. Process and Noticing:

1. Kuna City Code (KCC), Title 1, Chapter 14, Section 3, states ordinance amendments are designated as a public hearing with the Planning and Zoning Commission as the recommending body and City Council as the decision-making body. This request was given proper public notice and followed the requirements set forth in Idaho Code, Chapter 65, Local Land Use Planning Act and Kuna City Code, Title 5.

a. Notifications

- i. Sign Company Comment Request December 23, 2019
ii. Agency Comment Request March 16, 2020
iii. Kuna Melba Newspaper May 20, 2020
iv. Kuna Melba Newspaper May 27, 2020

B. Project Request:

Consideration from the Planning and Zoning Commission of an Ordinance for the City of Kuna, Idaho, making certain findings; and amending Subsection 2 of Section 6, Chapter 1, Title 5 Adding Definitions Associated with signage; and repealing Chapter 10 of Title 5; and amending Title 5 by the addition of a new Chapter 10; and providing a severability clause; and directing the City Clerk; and providing an effective date.

C. Agency Responses:

Request for agency comments was sent on March 16, 2020. Staff received no responses.

D. Staff Analysis:

The proposed ordinance amendment repeals the existing Chapter 10 of Title 5, and provides an entirely new Chapter 10. Within this proposed new chapter, staff has eliminated contradictory sections of code such as the measurement of sign areas and sign heights. Height and area requirements of signs have been expanded in order to provide for more flexibility in design. Staff has also reduced the permitted brightness of signs with digital components from 5,200 NIT between sunrise and sunset and 300 between sunset and sunrise to 5,000 NIT

between sunrise and sunset and 100 NIT between sunset and sunrise. A NIT is an illuminative brightness measurement equivalent to one (1) candela per square meter measured perpendicular to the rays of the source.

A new process for the approval of signs has been proposed as well. Under the proposed ordinance, signs are no longer subject to the approval of the design review committee. Rather, all signage requiring approval shall be subject to administrative determination prior to installation.

Additionally, the proposed ordinance amendment removes definitions from Chapter 10 of Title 5 and adds all definitions associated with signage to Kuna City Code 5-1-6-2: - Meaning of Terms or Words.

On December 23, 2019, staff sent the proposed ordinance draft to several sign companies who work in the community, Staff only received comment from one company. Those recommendations and corrections have been incorporated into the proposed ordinance amendment.

E. Applicable Standards:

1. City of Kuna Zoning Ordinance Title 5.
2. City of Kuna Comprehensive Plan.
3. Idaho Code, Title 67, Chapter 65- the Local Land Use Planning Act.

F. Commission's Recommendation:

Based on the facts outlined in staff's report and public testimony as presented, the Planning and Zoning Commission of Kuna, Idaho, hereby recommends *approval* of Case No. 20-01-OA (*Ordinance Amendment*), a request to amend Subsection 2 of Section 6, Chapter 1, Title 5 by Adding Definitions Associated with signage; and repeal Chapter 10 of Title 5; and amend Title 5 by the addition of a new Chapter 10.

DATED this 23rd day of June, 2020.



City of Kuna
Planning and Zoning Commission
Findings of Fact and Conclusions of Law

P.O. Box 13
Phone: (208) 922-5274
Fax: (208) 922-5989
www.Kunacity.id.gov

Based upon the record contained in Case No. 20-01-OA (Ordinance Amendment) including the Comprehensive Plan, Kuna City Code, Staff's Memorandums, including the exhibits, and the testimony during the public hearing, the Kuna Commission hereby recommends *approval of* the Findings of Fact and Conclusions of Law, and conditions of approval for Case No. 20-01-OA, a request to amend Subsection 2 of Section 6, Chapter 1, Title 5 by Adding Definitions Associated with signage; and repeal Chapter 10 of Title 5; and amend Title 5 by the addition of a new Chapter 10.

1. The public notice requirements have been met and the neighborhood meeting was conducted within the guidelines of applicable Idaho Code and City Ordinances.

Finding: *In lieu of a mailed notice, two notices of the time, place of the hearing and summary of the proposal was published in the Kuna Melba News. The legal notices were published on May 20, 2020 and May 27, 2020.*

2. *In accordance with KCC 5-1A-3 applicable agencies were notified and asked to provide comment.*

Finding: *Applicable agencies were notified on and asked to provide comment on March 16, 2020. Staff has received no responses.*

DATED this 23rd day of June, 2020

Lee Young, Chairman
Kuna Planning and Zoning Commission

ATTEST:

Jace Hellman, Planner II
Kuna Planning and Zoning Department



City of Kuna

Planning and Zoning Commission

Staff Report

P.O. Box 13
 Kuna, ID 83634
 Phone: (208) 922-5274
 Fax: (208) 922-5989
 www.Kunacity.Id.gov

To: Planning and Zoning Commission
 (acting as Design Review Committee)

Case: 20-09-DR (Design Review)
 Francis Dental Office

Location: N. School Avenue
 Lot 2 Block 1 Redhawk Square,
 Kuna, ID 83634

Planner: Doug Hanson, Planner I

Meeting Date: June 23, 2020

Owner: Grant Francis
gfrancis@icloud.com

Applicant: Jessica Petty
 2882 S. Honeycomb Way
 Boise, ID 83716
 208.867.0294
jessica@1215design.com

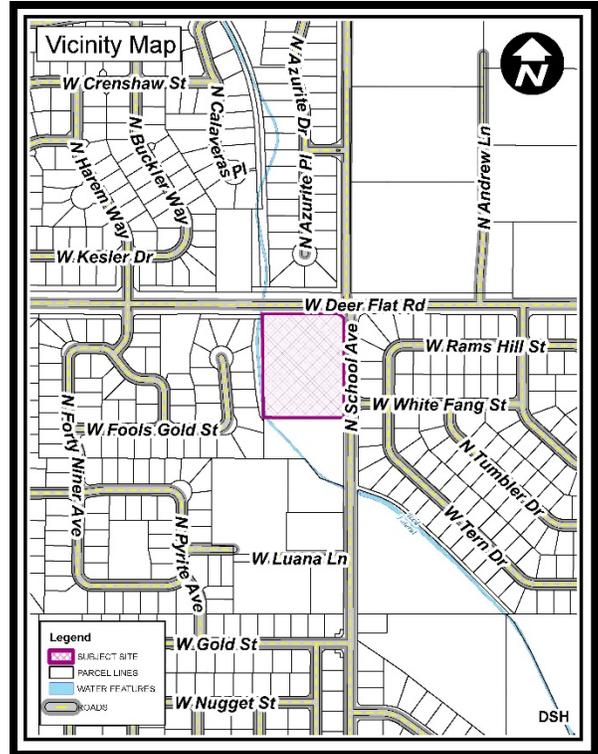


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- A. Course Proceedings
- B. Applicant’s Request
- C. General Project Facts
- D. Staff Analysis
- E. Applicable Standards
- F. Proposed Decision by the Commission

A. Process and Noticing:

Kuna City Code (KCC), Title 1, Chapter 14, Section 3, states that design reviews and signs are designated as *public meetings*, with the Planning and Zoning Commission (acting as the Design Review Board) as the decision-making body. As a public meeting item, this action requires no formal public noticing actions.

a. Notifications

- i. Completeness Letter May 18, 2020
- ii. Agency Notifications May, 18 2020
- iii. Agenda June 23, 2020

B. Applicant’s Request:

Jessica Petty requests design review approval for an approximately 2,940 square foot dental office located on N. School Avenue, future Lot 2 Block 1 of Redhawk Square, Kuna, Idaho 83634.

C. General Projects Facts:

1. **Comprehensive Plan Designation:** The Comprehensive Plan Future Land Use Map identifies this project location as Mixed Use.

2. **Surrounding Land Uses:**

North	MDR	Medium Density Residential – Kuna City
South	MDR	Medium Density Residential – Kuna City
East	MDR	Medium Density Residential – Kuna City
West	MDR	Medium Density Residential – Kuna City

3. **Parcel Sizes, Current Zoning, Parcel Numbers:**

- 3.46 (approximate) acres
- C-1 (Neighborhood Commercial)
- Parcel No. S1323212411

4. **Services:**

Sanitary Sewer – City of Kuna
Potable Water – City of Kuna
Pressurized Irrigation – City of Kuna (KMIS)
Fire Protection – Kuna Rural Fire District
Police Protection – Kuna City Police (Ada County Sheriff’s office)
Sanitation Services – J&M Sanitation

5. **Existing Structures, Vegetation and Natural Features:**

There are currently no structures situated on the subject site. Site development is underway.

6. **Transportation / Connectivity:**

Vehicle ingress/egress will be made available via driveways from W. Deer Flat Road and N. School Avenue.

7. **Environmental Issues:**

Staff is not aware of any environmental issues, health or safety conflicts beyond the designation of being in the nitrate priority area.

D. Staff Analysis:

The Francis Dental Office is planned for future Lot 2, Block 1 of the Redhawk Square Subdivision. Staff has reviewed the application and finds that the proposed building, parking lot and landscaping satisfy the intent of Kuna’s Zoning Code and conforms to the Kuna architecture guidelines and parking standards. Staff finds that the proposed building height and masonry generally appears to conform to Kuna City Code Title 5, Chapter 4, Design Review Overlay District.

The applicant proposes twenty-one (21) parking stalls and the stall dimensions are in conformance with KCC 5-9-2 and 5-9-3.

Trash collection will be served through the use of a trash enclosure. The trash enclosure will be completed by the developer during the buildout of Redhawk Square Subdivision.

The applicant has not proposed a sign, which will require a separate sign permit application. The proposed sign(s) shall be submitted in conformance with KCC Title 5, Chapter 10.

The applicant is subject to design review inspection and fees, for compliance verification of the building façade, parking lot and landscaping, prior to Certificate of Occupancy being issued.

Staff has determined that the application generally complies with Title 5 of KCC; Idaho Code; the Comprehensive Plan and the Future Land Use Map; Staff recommends that if the Planning and Zoning Commission approves Case Nos. 20-09-DR that the applicant be subject to the recommended conditions of approval listed in section “F” of this report.

E. Applicable Standards:

1. Kuna City Code, Title 5
2. City of Kuna Comprehensive Plan
3. Idaho Code, Title 67, Chapter 65, Local Land Use Planning Act

F. Proposed Order of Decision by the Planning and Zoning Commission:

Note: This proposed motion is for (approval, conditional approval or denial) of this request. If the Planning and Zoning Commission wishes to change specific parts of the request as detailed in the report, those changes must be specified.

Based on the facts outlined in staff’s report, case file and testimony at the public meeting, the Planning and Zoning Commission of Kuna, Idaho, hereby approves/ conditionally approves/ denies Case Nos. 20-09-DR, a design review request to construct a dental office, with the following conditions of approval:

1. The applicant and/or owner shall obtain written approval on letterhead or may be written/stamped on the approved plans of the construction plans from the agencies noted below. All submittals are required to include the lighting, landscaping, drainage, and development plans. All site improvements are prohibited prior to approval of the following agencies:
 - a. The City Engineer shall approve the sewer hook-ups.
 - b. The City Engineer shall approve all civil plans. No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of the drainage plan.
 - c. The applicant shall provide the subsurface seepage bed design with supporting calculations to the City Engineer’s office prior to commencement of construction. Storm Water shall be managed on site.
 - d. The Kuna Fire District shall approve fire flow requirements. Installation of fire protection facilities as required by Kuna Fire District are required.
 - e. Approval from Ada County Highway District (ACHD) shall be obtained and Impact Fees must be paid prior to *issuance* of any building permit(s).
2. Street lights and parking lights for the site shall be LED lighting and must comply with Kuna City Code and established Dark Skies practices.
3. If any revisions to the landscape plan are desired the applicant shall request a change from the Planning and Zoning Department and it will be determined if the change will need to go to the Planning and Zoning Commission for approval.
4. All required landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace any unhealthy or dead plant material immediately or as the planting season permits, as required to meet the standards of these requirements. Maintenance and planting within public rights-of-way shall be with a license agreement from the public and/or private entities owning the property.
5. All signs shall be permitted with the City of Kuna. All work shall be inspected by the appropriate staff.
6. The developer/owner/applicant and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the Planning and Zoning Commission, or seek amending them through the design review process.
7. Developer/owner/applicant shall follow staff, City engineers and other agency recommended requirements.
8. Developer/owner/applicant shall comply with all local, state and federal laws.



City of Kuna
Planning and Zoning Commission
Proposed Findings of Fact and Conclusions of Law

P.O. Box 13
Phone: (208) 922-5274
Fax: (208) 922-5989
www.Kunacity.id.gov

Based upon the record contained in Case No. 20-09-DR including the Comprehensive Plan, Kuna City Code, Staff's Memorandums, including the exhibits, the Kuna Commission hereby (*approves/ conditionally approves/ denies*) the Findings of Fact and Conclusions of Law, and conditions of approval for Case No. 20-09-DR (Design Review), a request for design review approval for a commercial shell.

1. Based on the evidence contained in Case No. 20-09-DR, this proposal generally **does/does not** comply with the City Code.

Staff Finding: *The applicant has submitted a complete application, and following staff review for technical compliance, the application appears to be in general compliance with the design requirements listed in Kuna City Code Title 5.*

2. The contents of the proposed design Review application **does/does not** contain all of the necessary requirements as listed in Kuna City Code 5-4-9: - Design Review Application Required.

Staff Finding: *Review by Staff and the Commission of the proposed Design Review confirms all applicable requirements listed in KCC 5-4-9 were provided.*

3. The parking design **does/does not** provide safe vehicle parking and safe access.

Staff Finding: *Per the submitted site plan, there are a total of twenty-one (21) proposed parking spaces with two (2) proposed ADA accessible spaces. All spaces are nine feet in width and at least twenty feet in depth. The parking spaces comply with KCC 5-9-2 and 5-9-3.*

4. The proposed project **does/does not** conform to the Kuna Architecture Guidelines.

Staff Finding: *Per the submitted application, the maximum building height is approximately 35 feet. The building height and proposed building materials conform to the Kuna Architecture guidelines.*



Doug Hanson

From: noreply@civicplus.com
Sent: Wednesday, May 13, 2020 10:06 AM
To: Jessica Reid; Doug Hanson
Subject: Online Form Submittal: Design Review

Design Review

Step 1

Design Review Application Submittal Requirements

Date of Pre-Application Meeting: na

Letter of Explanation: [Dr. Francis Project Description.pdf](#)

Vicinity Map [Dr. Francis Vicinity Map.pdf](#)

Aerial Photo [Dr. Francis Aerial Photo.pdf](#)

Deed [Dr. Francis Warranty Deed.pdf](#)

Detailed Site Plan [Dr. Francis Civil Site Plan.pdf](#)

Detailed Landscape Plan [Dr. Francis Landscape Plan.pdf](#)

Detailed Drainage Plan [Dr. Francis Civil Drainage Plans.pdf](#)

Detailed Elevation Plan [Dr. Francis Civil Elevation.pdf](#)

Material Sample Rendering [Dr. Francis Materials and Rendering.pdf](#)

(Section Break)

Site Plan

A Site Plan that graphically portrays the site and includes the following features: 1) North arrow. 2) To scale drawings. 3) Property lines. 4) Name of "Plan Preparer" with contact info. 5) Name of project & date. 6) Existing structures; identify those which are to be relocated or removed. 7) On-site adjoining streets, alleys, private drives and rights-of-way. 8) Drainage location and method of on-site retention/detention. 9) Location of public restrooms. 10) Existing/proposed utility service and any above-ground utility structures and their location. 11) Location and width of easements, canals and drainage ditches. 12) Location and dimensions of off-street parking. 13) Locations and sizes of any loading area, docks, ramps and vehicle storage or service areas. 14) Trash storage areas and exterior mechanical equipment with proposed method of screening. 15) Sign locations (a separate sign application must be submitted along with this application; a link and upload area are provided at the end of this application). 16) On-site transportation circulation plan

for motor vehicles, pedestrians, and bicycles. 17) Locations and uses of ALL Open Spaces. 18) Locations, types and sizes of sound and visual buffers (Note: All buffers must be located outside the public right-of-way). 19) Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangles. 20) Location of subdivision lines (if applicable). 21) Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles. 22) Location of walls and fences and indication of their height and material of construction. 23) Roofline and foundation plan of building location on the site. 24) Location and designations of all sidewalks. 25) Location and designation of all rights-of-way and property lines.

Site Plan

[Dr. Francis Site Plan.pdf](#)

(Section Break)

Landscape & Streetscape Plan

The landscape and streetscape plans need to be drawn by the project architect, professional landscape architect, landscape designer, or qualified nurseryman for development's possessing more than twelve thousand (12,000) square feet of private land. The landscape and streetscape plans must be colored. The Planning & Zoning Director or City Forester may require the preparation of a landscape plan for smaller developments by one of the noted individuals if the lot(s) have unique attributes.

Landscape & Streetscape Plan Requirements

1) North arrow. 2) To scale drawings. 3) Boundaries, property lines and dimensions. 4) Name of "Plan Preparer" with contact info. 5) Type and location of all plant materials and other ground covers (Please review the city's plant list and rely upon it to identify the site's planting strategy. Include botanical and common name, quantity, spacing and sizes of proposed landscape materials at the time of planting and at maturity. A list of acceptable trees is available upon request from staff). 6) Existing vegetation identified by specific size. Identify those which are proposed to be relocated or removed. 7) Method of irrigation (Note: All plant materials, except existing native plants not damaged during construction or xeriscape species shown not to require regular watering, shall be irrigated by underground sprinkler systems set on a timer in order to obtain proper watering duration and ease of maintenance). 8) Locations, description, materials, and cross-sections of special features, including berming, retaining walls, hedges, fencing, fountains, street/pathway furniture, etc.). 9) Sign locations (a separate sign application must be submitted with this application, a link and upload area are provided at the end of this application). 10) Locations and uses for Open Spaces. 11) Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangles. 12) Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles. 13) Location and designations of all sidewalks. 14) Clearly identify pressurized irrigation lines and underground water storage. 15) Engineered grading and drainage plans: A generalized drainage plan showing direction drainage with proposed on-site retention. Upon submission of building/construction plans for an approved Design Review application, a detailed site grading and drainage plan, prepared by a registered Professional Engineer (PE) shall be submitted to the City for review and approval by the City Engineer.

Landscape & Streetscape
Plan

[Dr. Francis Landscape Plan.pdf](#)

(Section Break)

Building Elevations

1) Detailed elevation plans of each side of any proposed building(s) or addition(s) (Note: Four (4) elevations to include all sides of development and must be in color). 2) Identify the elevations as to North, South, East and West orientation. 3) Color copies of all proposed building materials and indication where each material and color application is located (Note: Submit as 11" x 17" reductions). 4) Screening/treatment of mechanical equipment. 5) Provide a cross-section of the building showing any rooftop mechanical units and their roof placement. 6) Detailed elevation plans showing the materials to be used in construction of trash enclosures.

Building Elevations

[Dr. Francis Elevations.pdf](#)

(Section Break)

Lighting Plan

1) Exterior lighting including detailed cut sheets and photometric plan (pedestrian, vehicle, security, decoration). 2) Types and wattage of all light fixtures (Note: The City encourages use of "Dark Sky" lighting fixtures). 3) Placement of all light fixtures shown on elevations and landscaping plans.

Lighting Plan

[Dr. Francis Lighting Plan.pdf](#)

(Section Break)

Roof Plans

1) Size and location of all rooftop mechanical units.

Roof Plans

[Dr. Francis Roof Plan.pdf](#)

Step 2

Applicant

First Name

Jessica

Last Name

Petty

Title

Representative

Phone Number

2088670294

Email

jessica@1215design.com

Address1

2882 S. Honeycomb Way

Address2

Field not completed.

City	Boise
State	ID
Zip	83716

(Section Break)

Owner

First Name	Grant
Last Name	Francis
Phone Number	2088670294
Email	gfrancis626@icloud.com
Address1	2882 S. Honeycomb Way
Address2	<i>Field not completed.</i>
City	Boise
State	ID
Zip	83716

(Section Break)

Represented By
If different from above

First Name	<i>Field not completed.</i>
Last Name	<i>Field not completed.</i>
Phone Number	<i>Field not completed.</i>
Email	<i>Field not completed.</i>
Address1	<i>Field not completed.</i>
Address2	<i>Field not completed.</i>
City	<i>Field not completed.</i>
State	<i>Field not completed.</i>
Zip	<i>Field not completed.</i>

(Section Break)

Property Information

Address1	Lot 2, Redhawk Square
Address2	<i>Field not completed.</i>
City	Kuna
State	ID
Zip	<i>Field not completed.</i>
Distance from Major Cross Street	0
Cross Street Name(s)	W. Deerflat Rd

Step 3

Intent	Building Design Review
Explanation	Design Review for new Dental Office
Dimension of Property	100 x 140
Current Land Use(s)	new
What are the land uses of the adjoining properties?	commercial
Is the project intended to be phased, if so, what is the phasing time period?	no
Please explain	<i>Field not completed.</i>
Number of and use(s) of all structures	1, dental office
Minimum building height for each zoning district <i>O: 35', C-1: 35', C-2: 60', C-3: 60', CBD: 80', M-1: 60', M-2: 60', M-3: 60', P: 60'</i>	
Building heights	35
Number of stories	1
What is the percentage of building space on the lot when compared to the total lot area?	21%

(Section Break)

Materials

Note: This section must be completed in compliance with the City of Kuna Ordinance No. 2007-21A.

Roof Material and Color	Metal, Black
-------------------------	--------------

Walls

State percentage of wall coverage for each type of building material below for each frontage wall. Please attach photos to support application types.

Supporting Photos	Dr. Francis Wall Material Breakdown.pdf
-------------------	---

% of Wood	0
-----------	---

% EIFS (Exterior Insulation Finish System)	60
--	----

% Masonry	15
-----------	----

% Face Block	<i>Field not completed.</i>
--------------	-----------------------------

% Stucco	<i>Field not completed.</i>
----------	-----------------------------

% Stucco	<i>Field not completed.</i>
----------	-----------------------------

List all other Wall materials	<i>Field not completed.</i>
-------------------------------	-----------------------------

Windows/Doors	20
---------------	----

Soffits & Fascia	1
------------------	---

Trim, etc.	1
------------	---

Identify Mechanical Units	tbd
---------------------------	-----

Type/Height	tbd
-------------	-----

Proposed Screening Method	inside attic
---------------------------	--------------

Identify Trash Enclosures	1
---------------------------	---

Proposed Screening Method	cmu
---------------------------	-----

Materials & Color	match stucco
-------------------	--------------

Are there any irrigation ditches/canals on or adjacent to the property?	No
---	----

If Yes, what is the name of the irrigation or drainage provider? *Field not completed.*

Fencing

Note: The City of Kuna has height limitations of fencing material (Kuna City Code 4-2A-20) and requires a fence permit to be obtained prior to installation.

Existing Fencing Material, Color & Height na

Will the existing fencing remain? *Field not completed.*

New Fencing Material, Color & Height na

Location of New Fencing *Field not completed.*

Drainage

Proposed method of on-site drainage retention/detention? on site

Percentage of site devoted to building coverage? 21

% of site devoted to Landscaping? 14

% of site that is hard surface? 65

% of site devoted to other uses? 0

Describe other uses *Field not completed.*

Dimensions of landscaped areas within public rights-of-way 0

% of Landscaping within the parking lot? 14

Are there any existing trees of 4" or greater on the property? No

If Yes, what type, size and general location? *Field not completed.*

Dock Loading Facilities

Number of docking facilities and their location? 0

Method of screening? *Field not completed.*

Parking Requirements

Total number of parking spaces? 21

Width & length of spaces? 9 x 20

Total number of compact spaces (8' x 17')? 0

Miscellaneous

Pedestrian amenities? bike rack

Is any portion of the property subject to flooding conditions? No

(Section Break)

If the Planning & Zoning Director or designee, the Planning & Zoning Commission, and/or the City Council determine that additional and/or revised information is needed; and/or if other unforeseen circumstances arise, and dates outlined for processing may be rescheduled by the City. Applicant/Representative MUST attend the Planning & Zoning Commission meetings.

The Ada County Highway District (ACHD) may also conduct public meetings regarding this application. If you have questions about the meeting date or the traffic that this development may generate, or the impact of that traffic on streets in the area, please contact ACHD at (208) 387-6100. In order to expedite your request, please have ready the file number indicated in this notice.

By checking the "I agree" box below, you agree and acknowledge that 1) Your application will not be signed in the sense of a traditional paper document, 2) By signing in this alternate manner, you authorize your electronic signature to be valid and binding upon you to the same force and effect as a handwritten signature, and 3) You may still be required to provide a traditional signature at a later date.

First Name Jessica

Last Name Petty

Electronic Signature Agreement *Field not completed.*

Date & Time 5/13/2020 10:00 AM

(Section Break)

Reference Items

Affidavit of Legal Interest [Click here](#)

Sign Permit Application [Click here](#)

Sign Permit Upload [Dr. Francis Affidavit.pdf](#)

Email not displaying correctly? [View it in your browser.](#)

April 6, 2020

Dr. Francis
Project Narrative

The proposed building in the Red Hawk Square Subdivision will be a commercial building for Dr. Francis' Dental Practice. The building is owned and operated by Dr. Francis. The building will be new construction - 3,015 square feet single-story structure.

The exterior will be off-white stucco with white ledgestone, dark awnings on the entrance pieces, and architectural windows & dark fascia trim. The size and scale of the building are similar to the other nearby commercial buildings. The front elevation features a large ledgestone and stucco wall with a wrap-around overhang. The punched window pattern and metal awnings create balance and symmetry across the building.

Complementary landscaping will accent the building, parking stalls and sidewalks. There will be sidewalks on two sides of the building adjacent to the parking for pedestrian access. Along the trash enclosure, sides of building and in parking islands native trees and plants will be planted.

Thank you,

Jessica Petty
Licensed Architect

12.15 Design, LLC



City of Kuna
P.O. Box 13
Kuna, Idaho 83634

Phone: (208) 922-5274
Fax: (208) 922-5989
Web: www.kunacity.id.gov

City of Kuna AFFIDAVIT OF LEGAL INTEREST

State of Idaho)
) ss
County of Ada)

I, NSDF 3.5 LLC 2467 E. Galact., Michael - Managing MEMBER
Name Address
Ste 120 Meridian ID 83642,
City State Zip Code

being first duly sworn upon oath, depose and say:

(If Applicant is also Owner of Record, skip to B)

A. That I am the record owner of the property described on the attached, and I grant my

Permission to 12.15 Design Jessica Petty 2892 S. Honeycomb Way Boise ID 83716 Name Address
to submit the accompanying application pertaining to that property.

B. I agree to indemnify, defend and hold City of Kuna and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.

C. I hereby grant permission to the City of Kuna staff to enter the subject property for the purpose of site inspections related to processing said application(s).

Dated this 11 day of May, 20 20

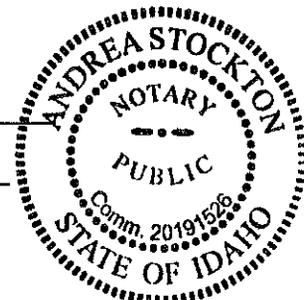
[Signature]
Signature

Subscribed and sworn to before me the day and year first above written.

Andrea Stockton
Notary Public for Idaho

Residing at: Meridian, ID

My commission expires: 07/25/2020



AFTER RECORDING MAIL TO:

ADA COUNTY RECORDER Phil McGrane
BOISE IDAHO Pgs=3 CHE FOWLER
FIRST AMERICAN TITLE AND ESCROW COMPANY

2020-025062
03/02/2020 01:00 PM
\$15.00

NSDF 3.5 LLC, an Idaho limited liability company
2541 E. Gala Street, Suite 310
Meridian, ID 83642

ELECTRONICALLY RECORDED - DO NOT
REMOVE THE COUNTY STAMPED FIRST
PAGE AS IT IS NOW INCORPORATED AS
PART OF THE ORIGINAL DOCUMENT.

WARRANTY DEED

File No.: 4101-3368014 (RR)

Date: **February 27, 2020**

For Value Received, **Redhawk 1212, LLC, an Idaho limited liability company**, hereinafter referred to as Grantor, does hereby grant, bargain, sell and convey unto **NSDF 3.5 LLC, an Idaho limited liability company**, hereinafter referred to as Grantee, whose current address is **2541 E. Gala Street, Suite 310, Meridian, ID 83642**, the following described premises, situated in **Ada County, Idaho**, to wit:

LEGAL DESCRIPTION: Real property in the County of Ada, State of Idaho, described as follows:

See attached Exhibit "A"

APN: **S1323212410**

TO HAVE AND TO HOLD the said premises, with their appurtenances, unto said Grantee, and to the Grantee's heirs and assigns forever. And the said Grantor does hereby covenant to and with the said Grantee, that the Grantor is the owner in fee simple of said premises; that said premises are free from all encumbrances except current years taxes, levies, and assessments, and except U.S. Patent reservations, restrictions, easements of record and easements visible upon the premises, and that Grantor will warrant and defend the same from all claims whatsoever.

APN: S1323212410

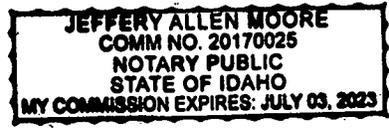
Warranty Deed
- continued

File No.: 4101-3368014 (RR)
Date: 02/27/2020

Redhawk 1212, LLC, an Idaho limited liability company

By: 
Name: Jonathan Fink
Title: Manager

STATE OF Idaho)
) ss.
COUNTY OF Ada)



On this 27th February, 2020, before me, the undersigned Notary Public, in and for said State, personally appeared **Jonathan Fink**, known or identified to me to be the person whose name is subscribed to the within Instrument as the **Manager of RedHawk 1212, LLC, an Idaho limited liability company**, which is known or identified to me to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in said limited liability company's name.



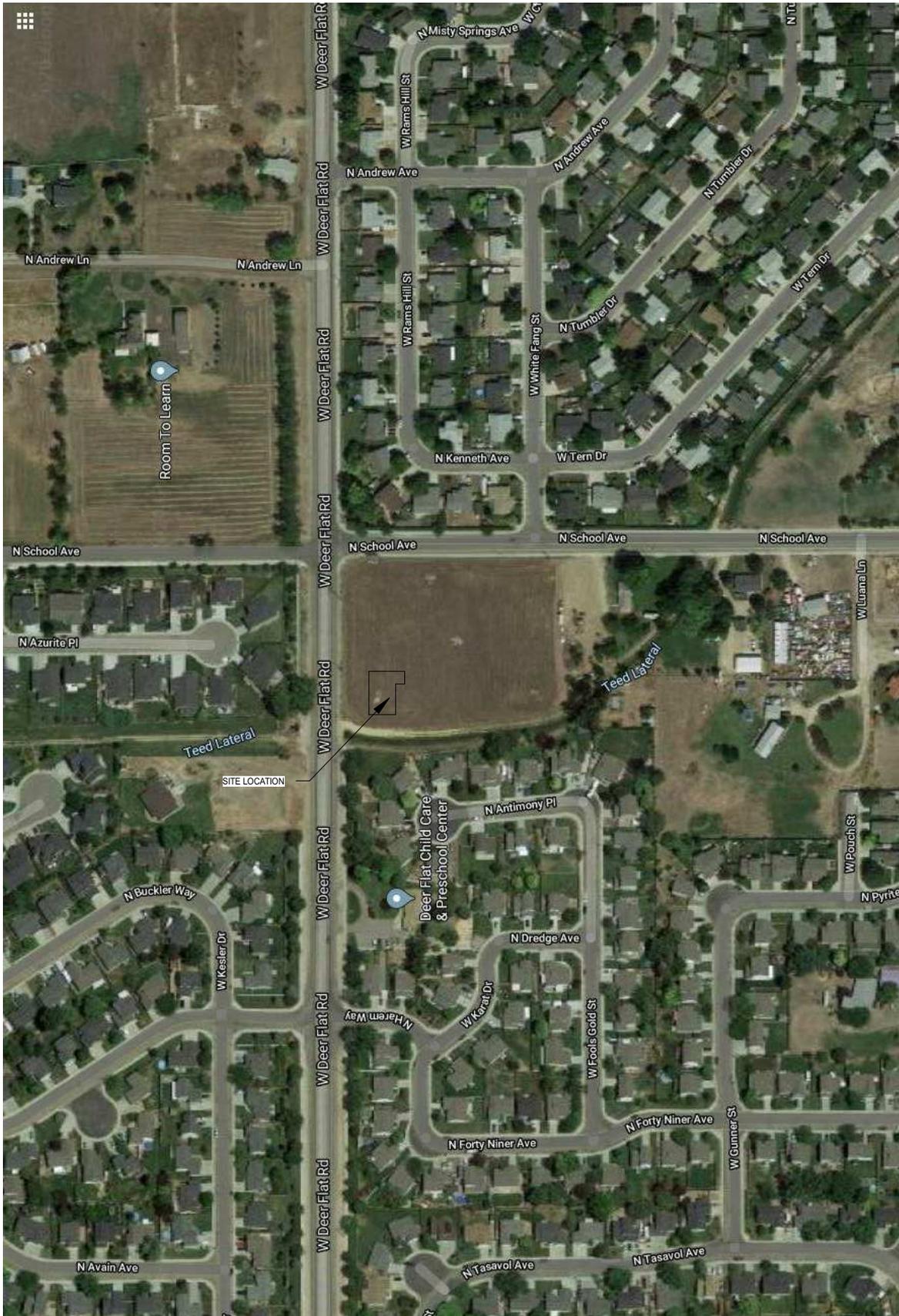
Signature of Notary Public
Residing at: Meridian, ID
My Commission Expires: July 03, 2023

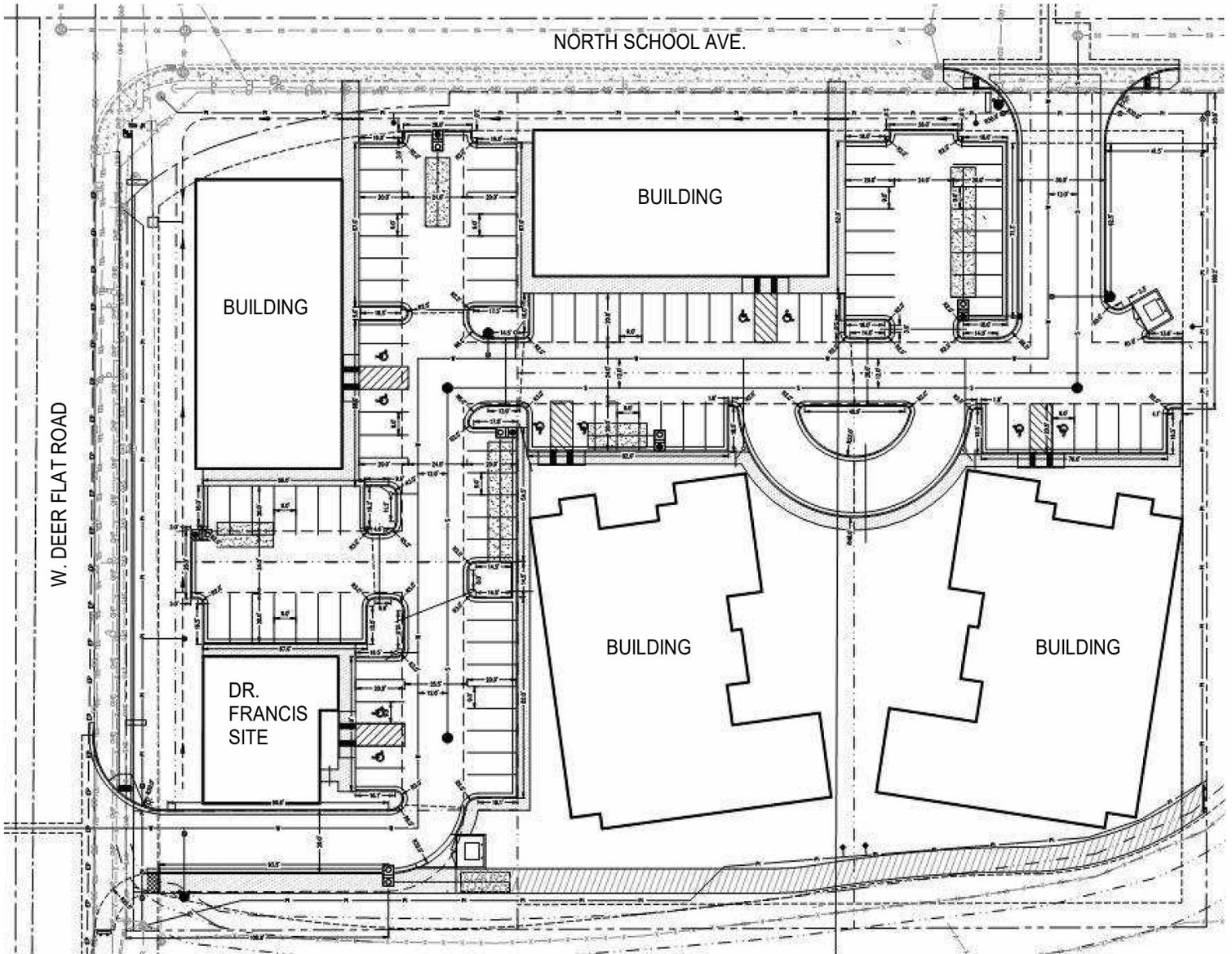
EXHIBIT A

LEGAL DESCRIPTION: Real property in the County of Ada, State of Idaho, described as follows:

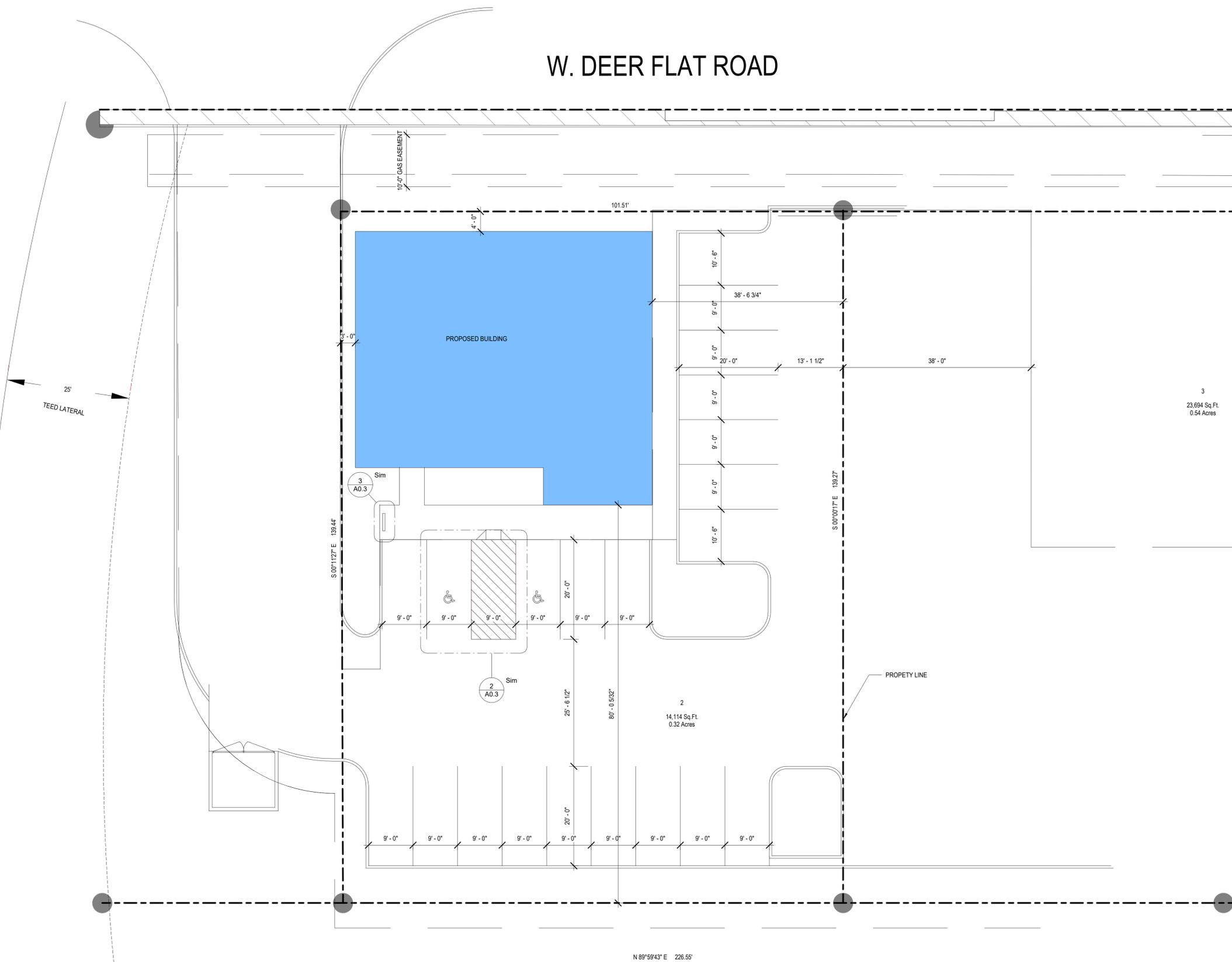
This parcel is a portion of the Northeast quarter of the Northwest quarter of Section 23 in Township 2 North, Range 1 West of the Boise Meridian, Ada County, Idaho and is more particularly described as follows:

Commencing at the northeast corner of the Northeast quarter of the Northwest quarter (North one quarter corner, Section 23), a found brass cap monument; thence
South 00°22'07" East along the east boundary of the Northeast quarter of the Northwest quarter a distance of 61.98 feet; thence
South 89°37'53" West a distance of 30 feet to the TRUE POINT OF BEGINNING, said point being on the west right of way for School Street, a 5/8 x 30 inch rebar set with a plastic cap stamped P.L.S. 15352; thence
South 00°22'07" East parallel with the east boundary of the Northeast quarter of the Northwest quarter and along the west right of way of School Street a distance of 423.00 feet to a 5/8 x 30 inch rebar set with a plastic cap stamped P.L.S. 15352; thence
South 89°40'18" West a distance of 339.88 feet to a point on the east boundary of Goldcreek Subdivision No. 2 as shown on the official plat in the office of the Recorder for Ada County, Idaho, a 5/8 x 30 inch rebar set with a plastic cap stamped P.L.S. 15352; thence
North 01°07'22" West along said east boundary a distance of 440.04 feet to a point on the south right of way of Deer Flat Road witnessed by a found 1/2 inch diameter rebar bearing South 01°07'22" East a distance of 23.00 feet; thence
North 89°40'18" East along said south right of way a distance of 328.67 feet to a 5/8 x 30 inch rebar set with a plastic cap stamped P.L.S. 15352; thence
South 45°20'49" East a distance of 24.05 feet to the TRUE POINT OF BEGINNING.





1 SITE PLAN
1" = 10'-0"



W. DEER FLAT ROAD

VERIFY SCALES
 THIS BAR IS 1 INCH ON ORIGINAL DRAWING

 IF NOT 1 INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

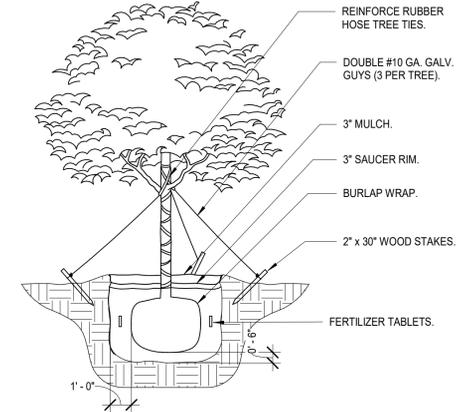
CHECKED	
DATE	05.12.2020
DRAWN	JESSICA
JOB NO.	001

SHEET NUMBER
A0.1

W. DEER FLAT ROAD



TREE SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	MATURE		SPACING	QTY.
				WIDTH	HEIGHT		
	GLEDITSIA TRICANTHOS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	2" CAL B&B	35'	45'	AS SHOWN ON PLAN	2
	ACER PALMATUM 'WOLFF'	EMPEROR JAPANESE MAPLE	9 GAL. CASS 1	15'-20'	15'	AS SHOWN ON PLAN	3
	THUJA STANDISHII X PLICATA	GREEN GIANT ARBORVITAE	2" CAL. CLASS 1	8'-10'	20'-25'	AS SHOWN ON PLAN	3
	BERBERIS THUNBERGII 'ORANGE ROCKET'	ORANGE ROCKET BARBERRY	#2	2'	3'	AS SHOWN ON PLAN	11
	CALAMAGROSTIS X ACUTIFOLIA 'KARL FOERSTER'	FOERSTERS FEATHER REED GRASS	#2	2'	6'	AS SHOWN ON PLAN	14
	HEMEROCALLIS X 'VER0012' PLANT PATENT #27.115	EVERYDAYLILY CREAM DAYLILY	#2	18"	18"	AS SHOWN ON PLAN	22
	ROSA X 'NOARE'	RED FLOWERING CARPET ROSE	#2	3'	3'	AS SHOWN ON PLAN	17



- TYPICAL TREE AND SHRUB PLANTING NOTES:**
- ALL TREES TO BE BALLED AND BURLAPPED. SEE DETAIL THIS SHEET TREE STAKING.
 - 2" MINIMUM OF REGULAR GRIND SOIL AID TO BE PLACED ON SHRUB PLANTING AREAS.
 - PROVIDE AND INSTALL (3) 2 x 2 STAKES EVENLY SPACED AT EACH TREE. TIE ALL STAKES WITH COTTON WEBBING OR OTHER APPROVED METHOD.
 - PROVIDE AND INSTALL BACKFILL MIX FOR ALL PLANTS. USE 1/2 APPROVED PLANTING MIX AND 1/2 EXISTING SOIL REMOVED FROM PLANTING PITS. DIG ALL PLANT PITS TWICE THE SIZE OF ROOT BALL.
 - EXISTING SOIL REMOVED FROM PLANTING PITS. DIG ALL PLANT PITS TWICE THE SIZE OF ROOT BALL.
 - FINISH GRADE TOP SOIL TO A UNIFORM AND SMOOTH SURFACE. REMOVE ALL ROCKS AND FOREIGN MATERIAL 1" AND LARGER PRIOR TO LAYING SOD.
 - PROVIDE AND INSTALL ONE APPLICATION OF APPROVED PLANTING TABLETS FOR ALL PLANTS. PROVIDE AND INSTALL ONE INITIAL APPLICATION OF STARTER FERTILIZER FOR SOD AREAS. ALL FERTILIZERS TO BE APPROVED BY THE OWNER PRIOR TO APPLICATION AND APPLIED AT MANUFACTURERS RECOMMENDED RATE.
 - ALL PLANTS AND LAWN SHALL BE GUARANTEED FOR ONE COMPLETE GROWING SEASON AFTER COMPLETION OF CONTRACT AND FINAL ACCEPTANCE.
 - NEW LANDSCAPE AREAS TO BE PROVIDED WITH FULLY AUTOMATIC SPRINKLER SYSTEMS.

② TREE PLANTING
1/4" = 1'-0"



12.15 Design

ARCHITECT STAMP

LICENSED ARCHITECT
AR-985249
05.12.2020
Jessica Petty
JESSICA PETTY
STATE OF IDAHO

DR. FRANCIS
LOT 2, REDHAWK SQUARE, KUNA

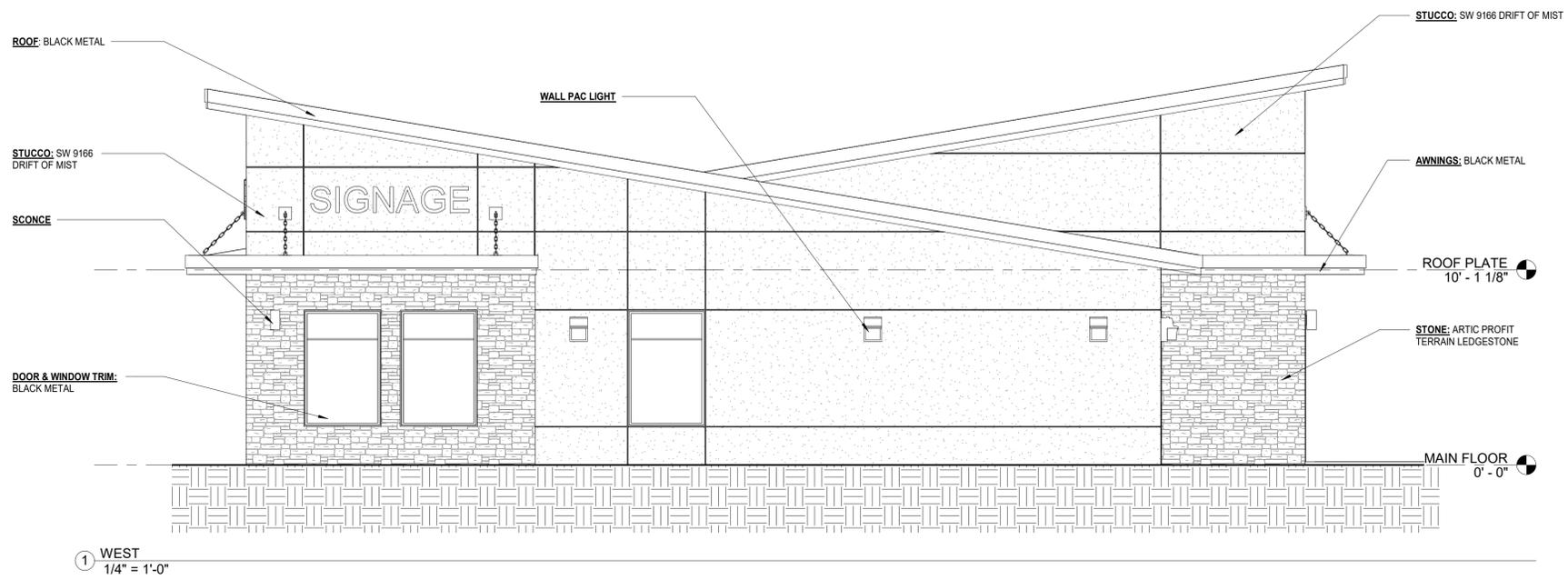
LANDSCAPE PLAN

VERIFY SCALES
THIS BAR IS 1 INCH ON ORIGINAL DRAWING
0 1"
IF NOT 1 INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

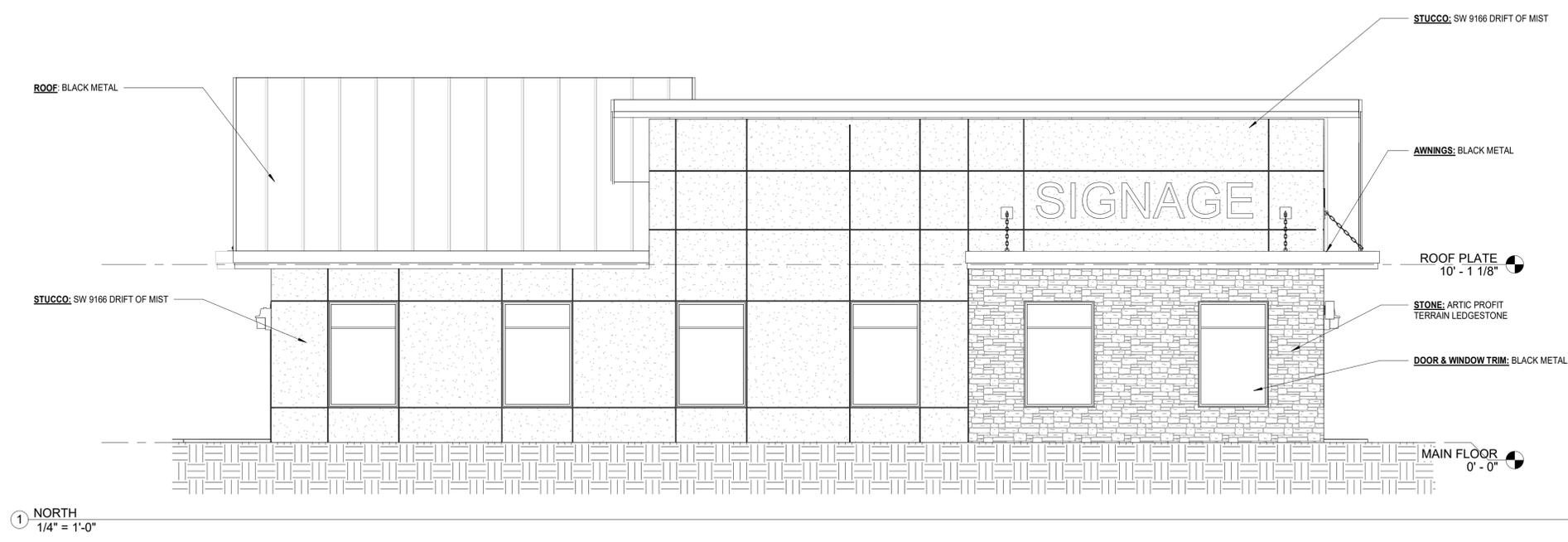
CHECKED	
DATE	05.12.2020
DRAWN	JESSICA
JOB NO.	001

SHEET NUMBER
A0.2

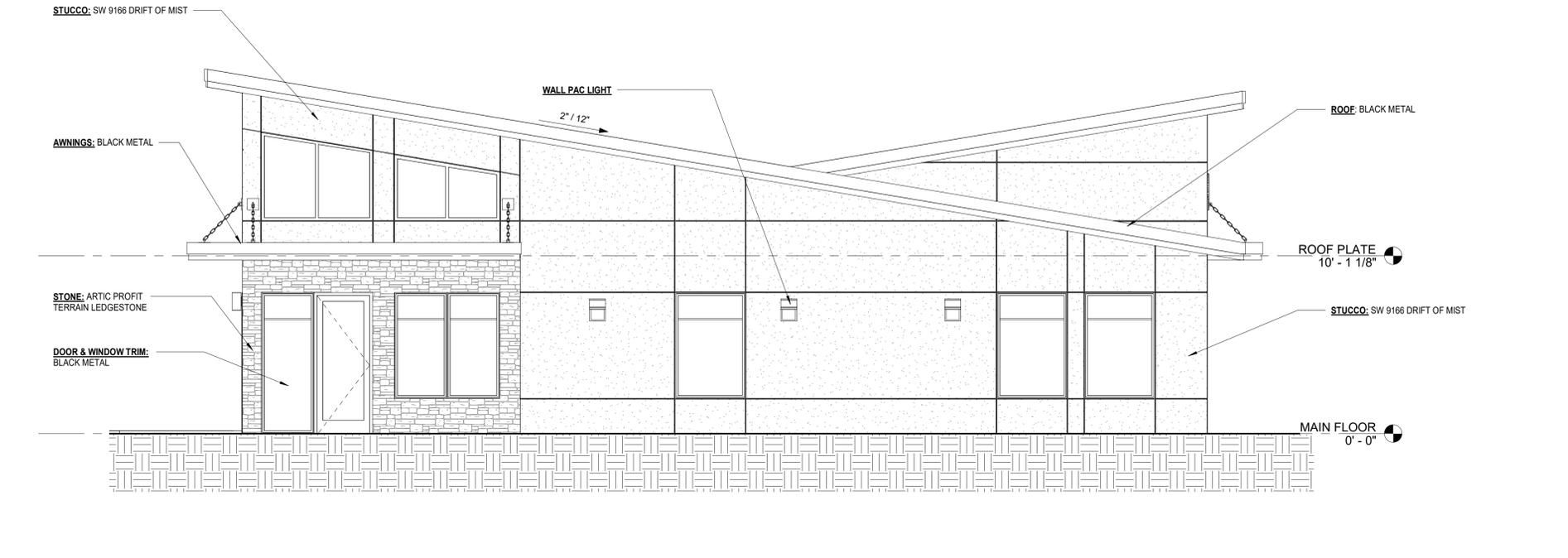
05.13.2020



5/13/2020 9:18:32 AM C:\Users\Jlessical\Dropbox_Work\12.15 Design\2020\Dr. Francis\Dr. Francis_working set.rvt



1 NORTH
1/4" = 1'-0"



2 EAST
1/4" = 1'-0"



ARCHITECT STAMP

LICENSED
ARCHITECT
AR-985249
05.12.2020

Jessica Petty
JESSICA PETTY
STATE OF IDAHO

DR. FRANCIS
LOT 2, REDHAWK SQUARE, KUNA

COLOR RENDERINGS & MATERIALS

VERIFY SCALES
THIS BAR IS 1 INCH
ON ORIGINAL DRAWING
0 1"
IF NOT 1 INCH ON
THIS SHEET, ADJUST
SCALES
ACCORDINGLY

CHECKED	
DATE	05.12.2020
DRAWN	JESSICA
JOB NO.	001

SHEET
NUMBER
A3.3

05.13.2020

MATERIALS

STONE:
ARTIC PROFICT
TERRAIN LEDGESTONE

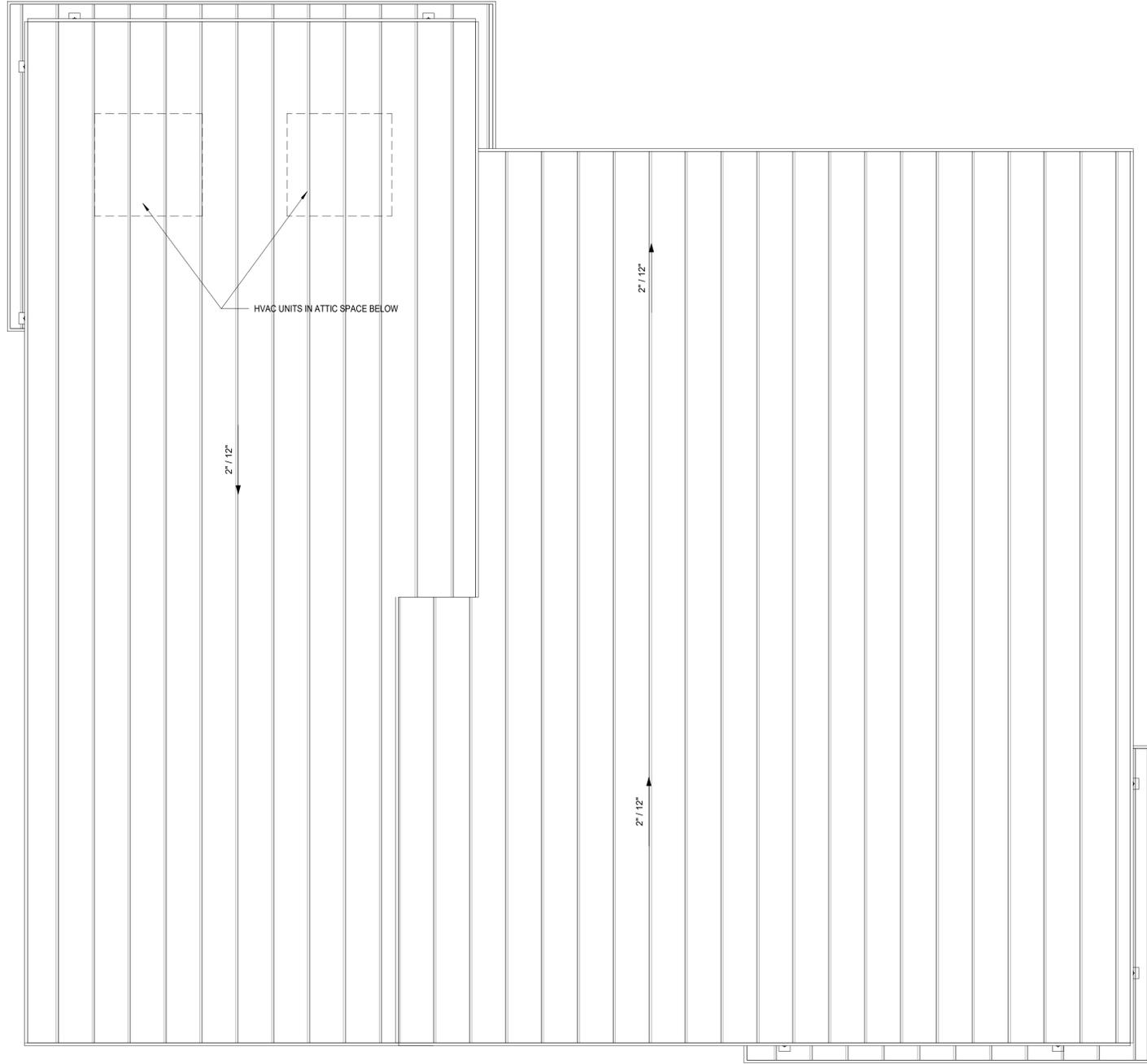


STUCCO:
SW 9166 DRIFT OF MIST



**ROOF, TRIM, AWNINGS &
DOOR AND WINDOW TRIM:**
BLACK METAL





① ROOF PLAN
1/4" = 1'-0"

McCarter-Moorhouse
12.15 Design

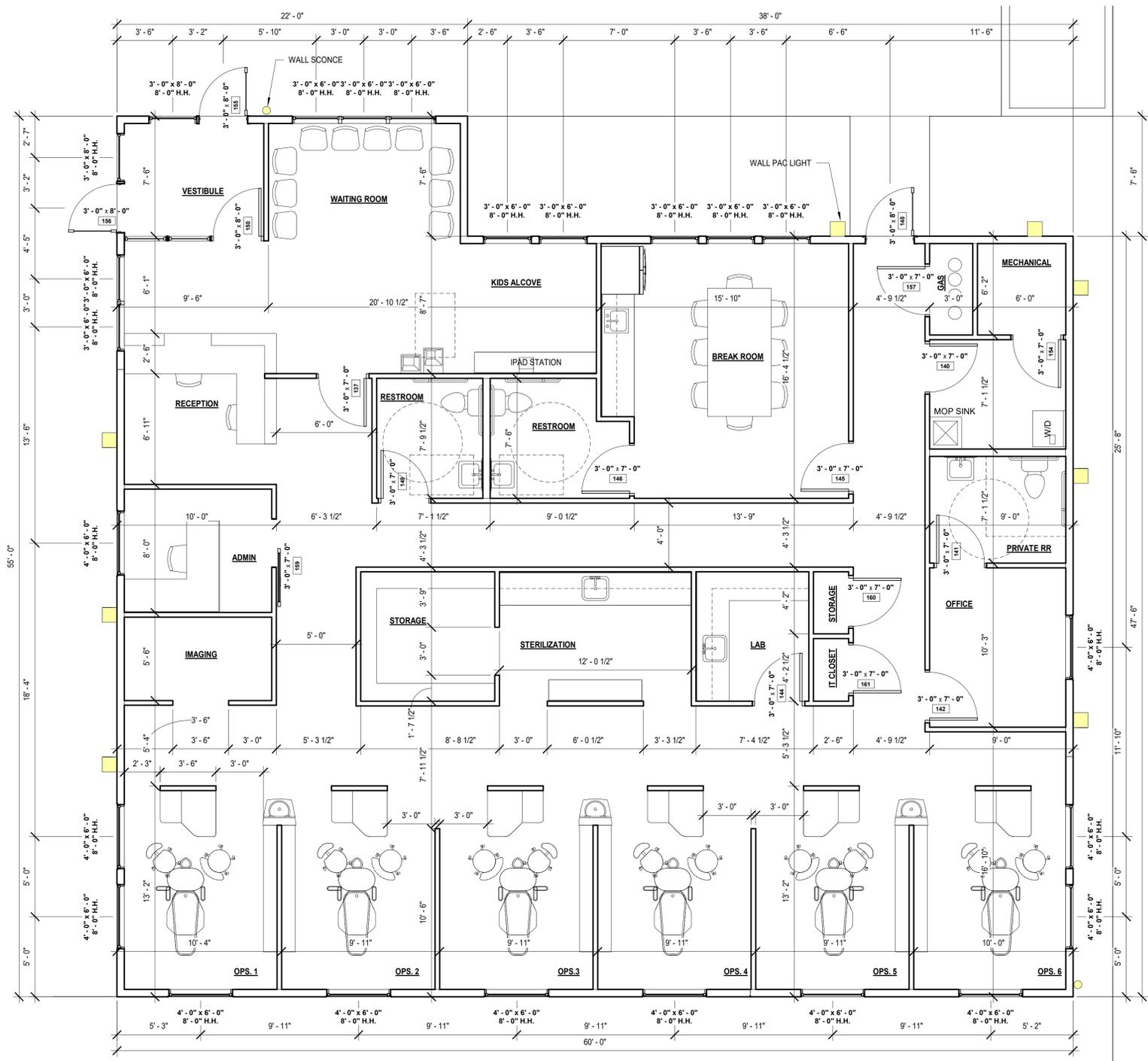
ARCHITECT STAMP
 LICENSED ARCHITECT
 AR-985249
 05.12.2020
Jessica Petty
 JESSICA PETTY
 STATE OF IDAHO

DR. FRANCIS
 LOT 2, REDHAWK SQUARE, KUNA
 ROOF PLAN

VERIFY SCALES
 THIS BAR IS 1 INCH ON ORIGINAL DRAWING
 0 1"
 IF NOT 1 INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

CHECKED	
DATE	05.12.2020
DRAWN	JESSICA
JOB NO.	001

SHEET NUMBER
A4.1



① 1 - MAIN FLOOR
1/4" = 1'-0"



12.15
Design

ARCHITECT STAMP
LICENSED ARCHITECT
AR-985249
05.12.2020

Jessica Petty
JESSICA PETTY
STATE OF IDAHO

DR. FRANCIS
LOT 2, REDHAWK SQUARE, KUNA

MAIN FLOOR PLAN

VERIFY SCALES
THIS BAR IS 1 INCH ON ORIGINAL DRAWING
0 1"
IF NOT 1 INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

CHECKED	
DATE	05.12.2020
DRAWN	JESSICA
JOB NO.	001

SHEET NUMBER
A2.1

05.13.2020

5. The number and use(s) of all structures: One structure, Dental Office

6. Building heights: 20'-8" Number of stories: 1

The height and width relationship of new structures shall be compatible and consistent with the architectural character of the area and proposed use.

Note: The maximum building height for each zoning district is as follows:

L-O: 35' C-2: 60' CBD: 80' M-2: 60' P: 60'
 C-1: 35' C-3: 60' M-1: 60' M-3: 60'

7. What is the percentage of building space on the lot when compared to the total lot area? _____

8. Exterior building materials & colors: *(Note: This section must be completed in compliance with the City of Kuna Ordinance No. 2007-21A (as amended); found online at (www.cityofkuna.com) under the City Code.*

MATERIAL **COLOR**

Roof: Metal / Black

Walls: *(State percentage of wall coverage fro each type of building material below for each frontage wall) If there is not adequate space to identify the various building materials and applications, please list them on the attached sheet of this application. Please attach photos to support application types.*

	West	East	North	South
% of Wood application:				
% EIFS: <i>(Exterior Insulation Finish System)</i>				
% Masonry:	18%	7%	16%	13%
% Face Block:				
% Stucco:	63%	62%	58%	54%
& other material(s):				
List all other materials:				
Windows/Doors: <i>(Type of window frames & styles / doors & styles, material)</i>	8%	21%	16%	32%
Soffits and fascia material:	10%	9%	9%	10%
Trim, etc.:	1%	1%	1%	1%
Other:				

9. Please identify Mechanical Units: _____

Type/Height: TBD

Proposed Screening Method: _____

10. Please identify trash enclosure: *(size, location, screening & construction materials)* 21'-8" x 12' x 6', CMU Masonry with screened metal double doors

11. Are there any irrigation ditches/canals on or adjacent to the property? No

If yes, what is the name of the irrigation or drainage provider? _____

12. Fencing: *(Please provide information about new fencing material as well as any exiting fencing material)*
N/A

Type: _____

DEVELOPMENT PLANS FOR REDHAWK SQUARE SUBDIVISION

LOCATED IN A PORTION OF THE SW 1/4 OF THE SE 1/4

OF SECTION 09, T.3N., R.1E., B.M.

KUNA, ADA COUNTY, IDAHO

2020

GENERAL

- ALL WORK (INCLUDING BUT NOT LIMITED TO CONSTRUCTION OF PRESSURIZED IRRIGATION, SEWER, WATER, STREETS, CURB GUTTER SIDEWALK, AND STREETLIGHTS) SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE KUNA STANDARD CONSTRUCTION SPECIFICATIONS, ADA COUNTY HIGHWAY DISTRICT SPECIFICATIONS, IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION, IDAHO STATE PLUMBING CODE, IDAHO STATE ELECTRICAL CODE, FEDERAL AND STATE LAWS.
- CONTRACTOR SHALL REQUEST CITY OF KUNA INSPECTION OF PRESSURIZED IRRIGATION, SEWER, WATER LINES AND APPURTENANCES AT LEAST TWENTY-FOUR (24) HOURS BEFORE BACKFILLING.
- CONTRACTOR SHALL NOTIFY OWNER'S ENGINEER AND THE CITY OF KUNA FORTY-EIGHT (48) HOURS BEFORE INITIAL CONSTRUCTION BEGINS. CONTRACTOR SHALL NOTIFY THE CITY OF KUNA WHEN SHUTTING DOWN A JOB FOR ANY REASON AND PROVIDE 48 HOURS NOTICE BEFORE RESTARTING WORK.
- CONTRACTOR SHALL STAMP PL. S, OR W IN THE SIDEWALK OR CURB WHERE PRESSURIZED IRRIGATION, SEWER, OR WATER CROSS UNDER THE SIDEWALK OR CURB. WATER (W) STAMP SHALL BE IN LINE WITH THE WATER METER BOX.
- ALL PIPE/PRESSURIZED IRRIGATION, SEWER & WATER MAINS AND SERVICES, SHALL BE BEDDED WITH TYPE I OR TYPE II BEDDING. IN AREAS OF ROCK EXCAVATION BEDDING BELOW THE BOTTOM OF PIPE SHALL BE SIX (6) INCHES THICK.
- CONTRACTOR(S) SHALL REMOVE ALL OBSTRUCTIONS, ABOVE AND BELOW GROUND, AS REQUIRED FOR THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS. THIS SHALL INCLUDE CLEARING THE GROUND SURFACE OF ALL TREES, STUMPS, BRUSH, UNDERGROWTH, HEDGES, HEAVY GROWTH OF GRASS OR WEEDS, FENCE STRUCTURES, DEBRIS, RUBBISH AND MATERIALS WHICH, IN THE OPINION OF THE ENGINEER, ARE UNSUITABLE FOR THE FOUNDATION OF PAVEMENTS.
- ALL MATERIAL(S) NOT SUITABLE FOR FUTURE USE ON SITE SHALL BE DISPOSED OF OFF SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
- SURVEY CONTROL POINTS WHICH ARE CRITICAL TO THE CONSTRUCTION OF THE PROJECT ARE TO BE LOCATED WITHIN THE WORK LIMITS. THE CONTRACTOR SHALL PROTECT SURVEY CONTROL POINTS.
- SURVEY CONTROL MONUMENTS SHALL BE PRESERVED, SET, AND/OR RESTORED IN ACCORDANCE WITH IDAHO CODE 50-1303.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL REPLACEMENT DRAINAGE FACILITIES ARE IN PLACE, FUNCTIONING, AND ACCEPTED BY ACHD OR CITY.
- ALL CONTRACTORS WORKING WITHIN THE PROJECT BOUNDARIES ARE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE SAFETY LAWS OF ANY JURISDICTIONAL BODY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, TRENCH SHORING, SAFETY DEVICES AND TRAFFIC CONTROL WITHIN AND AROUND THE CONSTRUCTION AREA.
- EXISTING A.C. PAVEMENT SHALL BE SAW CUT TO A NEAT, STRAIGHT LINE PARALLEL OR PERPENDICULAR TO THE STREET CENTERLINE AND THE EXPOSED EDGE SHALL BE TACKED WITH EMULSION BEFORE PAVING.
- ALL MATERIALS MUST MEET THE MINIMUM REQUIREMENTS OF THE APPROVING AGENCIES OR AS SET FORTH HEREIN, WHICHEVER IS MORE RESTRICTIVE. ALL MATERIALS AND EQUIPMENT SHALL BE NEW.
- ALL CONTRACTORS WORKING WITHIN THE PUBLIC ROAD RIGHT-OF-WAY SHALL SECURE A RIGHT-OF-WAY PERMIT FROM ACHD AT LEAST 24 HOURS BEFORE ANY CONSTRUCTION.
- ALL COSTS OF RETESTING FAILED TESTS SHALL BE BORNE BY THE CONTRACTOR.
- ALL COSTS FOR CORRECTING DEFICIENT WORK SHALL BE BORNE BY THE CONTRACTOR. FAILURE TO CORRECT DEFECTIVE WORK WILL BE CAUSE FOR A STOP WORK ORDER.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CURBS, GUTTERS, STORM DRAINS, CHANNEL CROSSINGS AND SEWER ELEVATIONS OR INVERTS BEFORE BEGINNING CONSTRUCTION AND SHALL NOTIFY THE OWNER'S ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PROJECT DRAWINGS.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND DEPTH OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING REQUIRED NPDES PERMITS, SUBMITTING NOTICE OF INTENT (NOI) TO DISCHARGE STORM WATER, AND PREPARING A POLLUTION PREVENTION PLAN (PPP) IN ACCORDANCE WITH ENVIRONMENTAL PROTECTION AGENCY (EPA) REGULATIONS. CONTACT THE EPA AT (208) 378-5746 FOR REQUIRED INFORMATION. STORM WATER PERMIT SHALL BE PRESENTED TO THE ENGINEER AT LEAST 48 HOURS BEFORE BEGINNING CONSTRUCTION.
- ALL UTILITIES INCLUDING SERVICE LINES, WITHIN STREET TRAVEL WAYS SHALL BE IN PLACE, TESTED AND FULLY FUNCTIONAL, PRIOR TO CURB, GUTTER, SIDEWALK AND STREET CONSTRUCTION.
- PAVEMENT AND CONCRETE REMOVED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITHIN SEVEN (7) CALENDAR DAYS FROM THE TIME THE PAVEMENT AND/OR CONCRETE IS REMOVED PER ISPMC AND ACHD STANDARDS.
- PAVING SHALL NOT PROCEED UNTIL THE CONTRACTOR OBTAINS WRITTEN APPROVAL OF ALL INSTALLED WATER, SEWER, AND PRESSURE IRRIGATION FACILITIES FROM THE CITY OF KUNA.
- ALL ROCK BLASTING SHALL OCCUR BEFORE INSTALLING SEWER MAINS, WATER MAINS, PRESSURE IRRIGATION MAINS OR SERVICE LINE CROSSINGS. BLASTING IN THE PROXIMITY OF EXISTING UTILITIES MAY BE PERFORMED AS LONG AS THE HORIZONTAL DISTANCE FROM THE EXISTING UTILITY IS EQUAL TO OR GREATER THAN THE EXCAVATION DEPTH FROM THE EXISTING UTILITY OR FIFTEEN (15) FEET, WHICHEVER IS GREATER. THE BLASTING CONTRACTOR SHALL BE RESPONSIBLE FOR ANY/ALL DAMAGE TO ANY/ALL EXISTING UTILITIES.
- THE DEVELOPER SHALL RETAIN AN IDAHO REGISTERED PROFESSIONAL ENGINEER TO PERFORM INSPECTION SERVICES DURING CONSTRUCTION. THE ENGINEER SHALL PROVIDE A WRITTEN CERTIFICATION LETTER TO THE CITY OF KUNA THAT THE PROJECT WAS COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. COPIES OF ALL AIR TESTS, DEFLECTION TESTS, PRESSURE TESTS, AND BACTERIOLOGICAL TEST RESULTS SHALL BE FURNISHED WITH THE CERTIFICATION LETTER.
- THE CITY OF KUNA WILL PROVIDE PERIODIC INSPECTION AND OBSERVE TESTING FOR AN EIGHT (8) HOUR DAY, FROM 8:00 A.M. TO 5:00 P.M., FOR A FORTY(40) HOUR WEEK WEEK CONTRACTOR SHALL REIMBURSE THE CITY AT RATES ESTABLISHED BY THE CITY FOR INSPECTIONS EXCEEDING THE NORMAL WORK WEEK, INCLUDING LEGAL HOLIDAYS. OVERTIME INSPECTION RATES AND A LIST OF LEGAL HOLIDAYS AND A REQUEST FOR INSPECTION OUTSIDE STANDARD CITY BUSINESS HOURS FORM CAN BE OBTAINED FROM THE CITY PUBLIC WORKS DEPARTMENT.
- WHEN CONSTRUCTION IS SATISFACTORILY COMPLETED, CLEANED AND TESTED AND AFTER ALL OTHER UTILITIES ARE INSTALLED THE DEVELOPER SHALL REQUEST A CITY OF KUNA FINAL ACCEPTANCE INSPECTION. AT A MINIMUM, THE FINAL ACCEPTANCE INSPECTION SHALL INCLUDE:
 - CLEAN ALL SEWER MAINLINES
 - DEFLECTION TEST SEWER MAINLINE
 - VISUALLY INSPECT EACH MANHOLE
 - WITNESS SEWER MAINLINE AIR PRESSURE TEST
 - WITNESS WATER MAINLINE PRESSURE TEST
- CITY HAS THE RIGHT TO INSPECT THE WORK AT ANY TIME DURING CONSTRUCTION. ANY WORK NOT CONFORMING TO THE APPROVED PLANS AND SPECIFICATIONS SHALL BE REJECTED.
- THE DEVELOPER SHALL GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR FOLLOWING ACCEPTANCE BY THE CITY. THIS GUARANTEE SHALL COVER ALL DAMAGE, MATERIALS, LABOR, AND WORKMANSHIP.
- DEVELOPER SHALL NOTIFY ALL PURCHASERS OF LOTS, AND THEIR CONTRACTORS, THAT CITY UTILITY SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. ANY DAMAGE TO THESE SYSTEMS DURING HOME CONSTRUCTION SHALL BE BILLED DIRECTLY TO THE OWNER OF RECORD WHEN THE DAMAGE IS FOUND.
- THE DEVELOPER SHALL PROVIDE RECORD DRAWINGS: ONE (1) SET OF ELECTRONIC DRAWINGS ON CD IN PDF FORMAT, AND TWO(2) 24"X 36" SETS ON WHITE PAPER BEFORE FINAL PLAT OR WITHIN 30 DAYS OF FINAL ACCEPTANCE.
- SEE THE FINAL PLAT FOR ALL LOT DIMENSIONS AND EASEMENTS.

VEHICULAR PAVED AREAS, PRIVATE

- ALL MATERIALS, CONSTRUCTION, TESTING AND INSPECTION SHALL BE IN ACCORDANCE TO THE CURRENT EDITION OF THE ISPMC & ADA POLICY.
- PLACE ALL WATER VALVES, BLOW-OFFS, AND MANHOLES TO AVOID CONFLICT WITH CONCRETE CURB & GUTTER, VALLEY GUTTER, AND SIDEWALK IMPROVEMENTS.
- ALL TOPS OF WATER VALVE BOXES, SEWER MANHOLES AND STORM DRAIN STRUCTURES SHALL BE SET FLUSH WITH THE SLOPE OF THE FINISHED GRADES. THE PAVING CONTRACTOR SHALL INSTALL AND ADJUST ALL SPACERS, GRADE RINGS, AND LIDS LOCATED WITHIN PAVED AREAS. THE UTILITY CONTRACTOR SHALL INSTALL AND ADJUST ALL SPACERS, GRADE RINGS, AND LIDS LOCATED WITHIN PAVED AREAS.
- ALL CONCRETE COLLARS SHALL BE SET FLUSH WITH THE SLOPE OF THE FINISHED GRADES.
- ALL PAVEMENT MATCHES SHALL BE SAWCUT TO PROVIDE A STRAIGHT NEAT PAVEMENT EDGE LINE PARALLEL OR PERPENDICULAR TO EXISTING EDGES AND THE EXPOSED EDGE SHALL BE TACKED WITH EMULSION PRIOR TO PAVING.
- OVER EXCAVATION AND ADDITIONAL GRANULAR BACKFILL MAY BE REQUIRED IN HIGH GROUND/WATER AREAS AS DETERMINED BY THE GEOTECHNICAL ENGINEER AND THE FIELD INSPECTOR.
- ALL WORK SHALL BE INSPECTED BY THE ENGINEER IN ACCORDANCE WITH THE LATEST EDITION OF THE I.S.P.W.C.
- ALL STORM DRAIN FACILITIES SHALL BE TESTED BY THE DEVELOPER'S REPRESENTATIVE AND FUNCTIONALITY VERIFIED.
- PRIOR TO POURING CONCRETE VALLEY GUTTER, CURB & GUTTER, AND SIDEWALK THE ENGINEER SHALL APPROVE COMPACTION TEST RESULTS OF THE SUBBASE MATERIAL.
- PARKING AREA LIGHT DESIGN AND LAYOUT S SHALL BE PROVIDED BY OWNER.
- STREET SIGNAGE SHALL BE IN CONFORMANCE WITH MUTCD AND THE CITY OF KUNA SUPPLEMENT STANDARDS.

STORM DRAIN

- ALL MATERIALS, CONSTRUCTION, TESTING AND INSPECTION SHALL BE IN ACCORDANCE TO THE CURRENT EDITION OF THE ISPMC DIVISIONS, AND THE CITY OF KUNA SUPPLEMENT STANDARDS. NO EXCEPTIONS TO THE ISPMC, AND THE SUPPLEMENT STANDARDS BE ALLOWED UNLESS SPECIFICALLY AND PREVIOUSLY APPROVED IN WRITING BY THE CITY OF KUNA.
- ALL STORM DRAIN PIPE SHALL BE ASTM 3034 SDR 35 PVC OR ADS N-12 OR EQUIVALENT APPROVED BY THE CITY.
- ALL STORM DRAIN PIPE SHALL BE 12-INCH MINIMUM.
- CATCH BASINS SHALL BE TYPE IV OR ROLLED CURB AND TYPE I FOR VERTICAL CURB WITH 1-FOOT SLUMP.
- ALL STORM DRAIN MANHOLES SHALL BE CATCH MANHOLES TYPE PER SD-611.
- SEE WATER NOTE 13 FOR REQUIRED SEPARATION BETWEEN WATER LINE AND NON-POTABLE LINE.
- STORMWATER MAINLINE IS REQUIRED PRESSURE AND TRENCH COMPACTION TESTS. TESTING SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE ISPMC. THE ENGINEER SHALL PROVIDE CERTIFICATION OF TESTING AND TEST RESULTS TO THE CITY.

SEWER

- THE HORIZONTAL SEPARATION OF POTABLE WATER AND SEWER MAINS SHALL BE A MINIMUM OF TEN (10) FEET FROM PIPE EDGE TO PIPE EDGE AS SHOWN IN ISPMC SD 407.
- GROUNDWATER LEVELS SHALL BE MAINTAINED BELOW THE BOTTOM OF THE TRENCH DURING PIPE LAYING AND JOINING OPERATIONS.
- TRENCH BACKFILL ABOVE THE PIPE ZONE SHALL BE INSPECTED BY ACHD OR BY THE OWNER'S ENGINEER IN ACCORDANCE WITH THE LATEST EDITION OF THE "CONSTRUCTION QUALITY ASSURANCE MANUAL". COMPACTION TESTS ARE REQUIRED IN THE BACKFILL ABOVE THE PIPE ZONE, WITHIN PUBLIC RIGHT-OF-WAY, ACCORDING TO ACHD REQUIREMENTS. SUBMIT DENSITY TEST RESULTS TO THE CITY OF KUNA AND ACHD BEFORE FINAL ACCEPTANCE.
- CONTRACTOR SHALL LEAVE THE EXCAVATION FOR THE UPSTREAM END OF ALL SERVICE LINES OPEN TO ALLOW ON-SITE VERIFICATION OF THE INVERT ELEVATIONS AND SLOPES BY THE CITY'S INSPECTOR. CONTRACTOR SHALL NOT BACKFILL THE ENDS OF SERVICE LINES UNTIL APPROVED BY THE CITY OF KUNA INSPECTOR OR OTHER ARRANGEMENTS HAVE BEEN MADE FOR THE VERIFICATION OF SERVICE LINE INVERT ELEVATIONS AND SLOPES.
- CONTRACTOR SHALL INSTALL A REMOVABLE PLUG IN THE DOWNSTREAM SIDE OF THE EXISTING MANHOLE WHERE THE NEW CONNECTION WILL BE MADE. THE PLUG SHALL REMAIN IN PLACE UNTIL FINAL ACCEPTANCE OF THE SEWER PROJECT.
- ALL SEWER PIPE AND FITTINGS 4 INCH THROUGH 15 INCH DIAMETER SHALL BE POLYVINYL CHLORIDE (PVC) CONFORMING TO ASTM D-3034, SDR-35. SEWER PIPE AND FITTINGS SIZES 18 INCH THROUGH 36 INCH DIAMETER SHALL BE PVC CONFORMING TO ASTM F 679. PRESSURE SEWER PIPE SHALL CONFORM TO AWWA C900 PVC, DR 18 (235 PSI).
- SEWER SERVICE LINES SHALL BE INSTALLED BEFORE IMPROVEMENTS & SEWER SERVICE MARKERS SHALL BE IN PLACE BEFORE FINAL INSPECTION. CONTRACTOR SHALL NOTIFY THE CITY WHEN SEWER SERVICE STUB OUTS ARE INSTALLED, MARKED & READY FOR INSPECTION.
- CONSTRUCT ALL MANHOLES WATER TIGHT. THE TOP OF MANHOLE CONE SHALL BE WITHIN TWELVE (12) INCHES OF FINISHED GRADE. CONTRACTOR SHALL SUPPLY ALL LID ASSEMBLIES AND GRADE RINGS.
- SEWER CONSTRUCTION SHALL MEET THE SPECIFIC DETAILS AND REQUIREMENTS OF THE FOLLOWING STANDARD DRAWINGS AND ACCOMPANYING SPECIFICATIONS FOUND IN "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" AND ACHD STANDARD DRAWINGS:
 - STANDARD MANHOLE—TYPE A, DRAWING NO. SD-501 AND SD-501A.
 - STANDARD SHALLOW MANHOLE—DRAWING NO. SD-505.
 - MANHOLE COLLAR DETAIL—DRAWING NO. SD-508.
 - MANHOLE COVER AND FRAME—DRAWING NO. SD-507.
 - STANDARD SEWER SERVICE LINE—DRAWING NO. SD-511 & SD-511A.
 - SEWER SERVICE MARKER—DRAWING NO. SD-512.
- MANHOLE: APPLY NON-SHRINK GROUT BETWEEN THE METAL FRAME AND GRADE RINGS. GRADE RINGS SHALL NOT BE STACKED WITHOUT NON-SHRINK GROUT OR MORTAR.
- CONTRACTOR SHALL FIELD VERIFY THE TOP ELEVATION OF MANHOLE CONES TO ASSURE THAT ALL RING ELEVATIONS MATCH FINAL STREET GRADES.
- PAVING CONTRACTOR SHALL SET THE GRADE RINGS AND POUR THE CONCRETE COLLARS PER ISPMC DRAWING NO. SD-508. THE PAVING CONTRACTOR SHALL CONTACT ACHD 24 HOURS PRIOR TO POURING CONCRETE COLLARS.
- SET EACH GRADE RING IN A BED OF NON-SHRINK GROUT OR MORTAR. TROWEL SMOOTH WITH THE INSIDE OF THE MANHOLE.
- PRIOR TO CONNECTING TO THE EXISTING SEWER SYSTEM WHERE THE CONNECTION IS MADE BETWEEN MANHOLES AND EXISTING SERVICES, ALL SEWER MAINS AND SERVICES MUST BE AIR TESTED.
- COMPLETE INTEGRITY TESTING, AFTER ALL UTILITIES ARE INSTALLED AND BEFORE PAVING.
- CONTRACTOR SHALL CONTACT OWNER'S ENGINEER AND THE CITY OF KUNA AT LEAST 24 HOURS BEFORE TESTING. SEWER LINES SHALL BE TESTED IN ACCORDANCE WITH DIVISION 5000P OF THE ISPMC SPECIFICATIONS. A CITY REPRESENTATIVE MUST OBSERVE THE TESTING. TESTING SHALL INCLUDE AIR PRESSURE TESTING, DEFLECTION TESTING, INVERT ELEVATION SURVEY AND VISUAL INSPECTION USING A CLOSED-CIRCUIT TELEVISION (CCTV) CAMERA. ALL SEWER LINES SHALL BE CLEANED AND CHECKED FOR DEFLECTION BEFORE BEGINNING THE CCTV CAMERA INSPECTION. PROVIDE A COPY (DVD) OF THE VISUAL INSPECTION TO THE CITY OF KUNA FOR QUALITY VERIFICATION. NO SEWER MAINLINE SHALL BE CONSIDERED APPROVED AND ACCEPTED UNTIL THE VISUAL REVIEW IS COMPLETE.
- SEWER CONSTRUCTION INSPECTIONS WILL BE PERFORMED BY THE OWNER'S ENGINEER OR DESIGNATED REPRESENTATIVE. SUCH APPROVAL SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PERFORMING THE WORK IN AN ACCEPTABLE MANNER. IN CONFORMANCE WITH THE APPROVED MASTER PLAN, CONTRACT DRAWINGS, AND ASSOCIATED SPECIFICATIONS.
- CITY OF KUNA SHALL PROVIDE FINAL APPROVAL AND ACCEPTANCE OF ALL SEWER CONSTRUCTION.

WATER

- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER SERVICE TO ALL EXISTING WATER USERS AFFECTED BY CONSTRUCTION.
- CONTRACTOR SHALL PREVENT THE ENTRY OF ANIMALS, DIRT AND OTHER FOREIGN MATTER INTO PIPES AND SHALL NOT LEAVE ANY OPEN PIPE END AT ANY TIME WHEN ABSENT FROM THE WORK SITE.
- ALL WATER MAINLINE PIPE SHALL BE PVC CONFORMING TO AWWA C-900 DR 18 (235 PSI) OR CLASS 152 CEMENT MORTAR LINED DUCTILE IRON CONFORMING TO AWWA C-152. ALL FITTINGS SHALL BE DUCTILE IRON CONFORMING TO AWWA C-110.
- ALL WATER MAINLINE PIPE, AND SERVICES SHALL BE BEDDED WITH TYPE I OR TYPE II BEDDING. IN AREAS OF ROCK EXCAVATION, BEDDING SHALL BE SIX (6) INCHES BELOW THE BOTTOM OF PIPE.
- MINIMUM DEPTH FOR ALL WATER MAIN PIPE SHALL BE FOUR (4) FEET FROM FINISHED GRADE TO TOP OF PIPE.
- COMPACT TRENCH BACKFILL TO 95% OF ASTM D 698 (MINIMUM).
- CONTRACTOR SHALL PROVIDE BACTERIAL WATER MAIN PIPE AND SERVICE LINES. LOOP THE TRACER WIRE FROM THE MAIN LINE TO EACH SERVICE VAULT ALONG THE SERVICE PIPE AND BACK TO THE MAIN LINE. THE TRACER WIRE SHALL BE ACCESSIBLE AT ALL VALVE BOXES AND SHALL BE EXTENDED ALONG THE OUTSIDE OF THE LOWER PORTION AND ALONG THE INSIDE OF THE UPPER PORTION OF THE VALVE BOX. WIRE SHALL BE TAPED TO GATE VALVES SO IT IS ACCESSIBLE FROM ABOVE WITHOUT INTERFERING WITH VALVE OPERATION. CONDUCT AN ELECTRICAL CONTINUITY VERIFICATION TEST BEFORE PAVING.
- ALL MAIN LINE WATER VALVES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANSI/AWWA C-509. ACCEPTABLE VALVES ARE MUELLER MODEL A-2360 AND A-2361 OR CLOW MODEL 2639 AND 2640. OTHER WATER VALVES MUST BE APPROVED BY THE CITY ENGINEER.
- FURNISH ALL WATER VALVES WITH A STANDARD CAST IRON 5-1/4 INCH DIAMETER 3-PIECE ADJUSTABLE VALVE BOX. THE CAST IRON COVER SHALL BE DESIGNED TO SLIP INSIDE THE TOP BE MARKED WITH THE WORD "WATER" AS AN INTEGRAL PART OF THE COVER. A CONCRETE COLLAR SHALL BE REQUIRED WHEN LOCATED IN PAVEMENT.
- ALL TEES, PLUGS, BENDS, AND OTHER LOCATIONS WHERE UNBALANCED FORCES EXIST, SHALL BE SECURED AND ANCHORED BY SUITABLE THRUST BLOCKING AS SHOWN ON ISPMC SD-403.
- SLERVE WATER SERVICE LINES IN A FOUR (4) INCH DIAMETER SCHEDULE 80 WATER CLASS PIPE WHEREVER THE SERVICE LINE CROSSES A STREET DRAINAGE SEWER BED.
- OPEN EACH METER SETTER AND VERIFY THAT THE CORPORATION STOP IS OPEN AND THE SERVICE IS OPERABLE BEFORE PAVING.
- OPERATE EACH VALVE AND FIRE HYDRANT TO ENSURE PROPER FUNCTION BEFORE PAVING. A CITY OF KUNA REPRESENTATIVE SHALL OBSERVE THE TESTING.
- LEAK TEST, FLUSH AND DISINFECT ALL WATER MAINLINES AFTER INSTALLATION OF ALL UTILITIES, BEFORE CONNECTING TO THE WATER DISTRIBUTION SYSTEM, AND BEFORE PAVING. PRESSURE TEST THE DISTRIBUTION SYSTEM PER ISPMC SECTION 401.
- THE CONTRACTOR MAY PRESSURE TEST ALL WATER LINES AFTER DISINFECTION AND FLUSHING BUT BEFORE INSTALLATION OF OTHER UTILITIES. AFTER ALL UTILITIES ARE INSTALLED AND PRIOR TO PAVING THE CONTRACTOR SHALL PERFORM A FINAL PRESSURE TEST WITH CITY PERSONNEL IN ATTENDANCE. THE CONTRACTOR SHALL FURNISH ALL PERSONNEL AND EQUIPMENT NECESSARY TO CONDUCT THE TEST.
- DISINFECT AND FLUSH WATER MAIN LINES ACCORDING TO ISPMC DIVISION 400. THE DISINFECTION AND FINAL FLUSHING SHALL BE TESTED TO DETERMINE IF THE APPROPRIATE MINIMUM CHLORINE RESIDUALS HAVE BEEN MET.
- SAMPLE AND TEST ALL WATER LINES FOR BACTERIAL COLIFORMS. ALL WATER LINES SHALL PASS THE REQUIRED BACTERIOLOGICAL TEST BEFORE BEING PUT INTO SERVICE.
- CONTRACTOR SHALL PROVIDE BACTERIAL TEST REPORTS FROM A CERTIFIED LABORATORY SHOWING THAT THE WATER LINES HAVE PASSED BACTERIA SAFETY REQUIREMENTS. A CITY OF KUNA REPRESENTATIVE SHALL OBSERVE THE SAMPLE EVENT.
- LOCATE VALVES, FLANGED OR M.J., IN THE STREET UNLESS EXPLICITLY APPROVED BY THE CITY ENGINEER. SET ALL GATE VALVES AS CLOSE (FLANGE CONNECTED) AS POSSIBLE TO WATER MAIN LINE FITTINGS.
- CONTRACTOR SHALL FIELD VERIFY ALL VALVE BOX ELEVATIONS TO ENSURE THAT LID ELEVATIONS MATCH FINAL STREET GRADE, AND ALL METER LID ELEVATIONS MATCH SIDEWALK ELEVATIONS.
- LOCATE ALL WATER METERS AND FIRE HYDRANTS OUT OF THE ROAD RIGHT-OF-WAY. PROVIDE AT LEAST ONE (1) FOOT SEPARATION BETWEEN BACK OF SIDEWALK (OR CURB IF NO SIDEWALK) AND THE LEADING EDGE OF ANY FIRE HYDRANT.
- THE CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING SERVICE CONNECTIONS WITH AN 8 FOOT 2'X 4" BOARD OR METAL T POST PAINTED BLUE.
- PAVING CONTRACTOR SHALL SET WATER VALVE RISERS IN CONCRETE COLLARS PER ISPMC STANDARD DRAWING SD-406.
- ALL FIRE HYDRANTS SHALL BE DRY BARREL CONFORMING TO AWWA C-502, INSTALLED PER ISPMC SECTION 403 AND ISPMC DWG SD-404.
- FIRE HYDRANTS SHALL HAVE A FIVE (5) FOOT SETTING MINIMUM, 150 PSI WORKING PRESSURE, ONE 4-1/2 INCH DIAMETER NATIONAL STANDARD PUMPER NOZZLE AND TWO 2-1/2 INCH DIAMETER NATIONAL STANDARD THREADED FIRE HOSE NOZZLES. THE VALVE OPERATOR SHALL OPEN COUNTER CLOCKWISE. THE HYDRANT SHALL BE EQUIPPED WITH A DRAIN THAT OPENS WHEN THE HYDRANT IS CLOSED; AND A SIX (6) INCH FLANGED BY MECHANICAL JOINT RESILIENT WEDGE GATE VALVE ATTACHED DIRECTLY TO THE WATER MAIN LINE TEE. ALPHA RESTRAINT ALLOWED.

WATER

- FIRE HYDRANTS SHALL BE LOW MEDALLION, WATEROUS PACER 100, OR MUELLER A423. NO OTHERS WILL BE ACCEPTED. MAXIMUM HYDRANT SPACING SHALL BE 500 FEET. HYDRANT LOCATIONS SHALL BE APPROVED IN WRITING BY THE KUNA RURAL FIRE DEPARTMENT AND SUBMITTED WITH THE CONSTRUCTION PLANS FOR FINAL REVIEW AND APPROVAL BY THE CITY ENGINEER.
- INSTALL INDIVIDUAL ONE (1)-INCH WATER SERVICES FOR EACH CONNECTION FROM A SINGLE OR DUAL METER VAULT. EXTEND THE ONE (1)-INCH WATER SERVICE FOR EACH CONNECTION AT LEAST 10-FOET ON THE HOUSE SIDE OF THE METER, OR AS REQUIRED TO EXTEND PAST OTHER UTILITIES LOCATED WITHIN THE 10-FOOT UTILITY EASEMENT. DETAILS SHALL BE AS NOTED IN ISPMC DWG SD-401.
- THE CITY OF KUNA SHALL FURNISH AND INSTALL WATER METERS.
- CONTRACTOR SHALL PROVIDE EACH WATER SERVICE LEG WITH 18-INCH TALL 1/2-INCH COPPER METER SETTER, CURB STOP LOCKABLE SHUTOFF VALVE AND CHECK VALVE, 20-INCH DIAMETER BY 36-INCH TALL INSULATED METER BOX AS MANUFACTURED BY "MID-STATES PLASTICS, INC." WITH 20"X 1" FOAM INSULATION PADS AND A CAST IRON FRAME AND COVER TAPPED WITH A 1-INCH DIAMETER RECESSED HOLE FOR THE CITY AUTO READ METER SENSOR AS APPROVED BY THE CITY.
- METER BOXES SHALL BE LOCATED ON THE NORTH OR EAST SIDE OF THE PROPERTY, OR IN CASE OF DUAL WATER SERVICE, ON THE NORTH OR EAST SIDE OF THE COMMON PROPERTY LOT LINE.
- THE CENTERLINE OF THE METER SETTER SHALL BE LOCATED 18-INCHES BELOW FINISH GRADE. METERS SHALL BE PLACED 18-INCHES INSIDE THE PROPERTY LINE AND 18-INCHES AWAY FROM THE SIDE LOT LINE.
- MULTIPLE TAPS IN THE SAME PIPE JOINT SHALL BE STAGGERED AND SHALL BE SEPARATED BY A MINIMUM OF ONE AND A HALF (1 1/2) FEET OR AS LISTED IN THE PIPE MANUFACTURERS RECOMMENDATIONS, WHICHEVER IS GREATER.

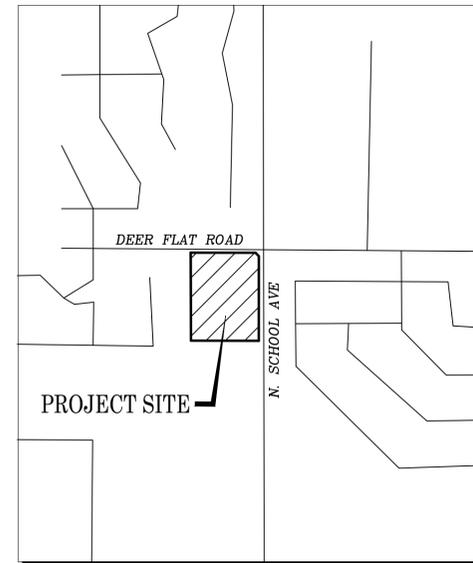
ACHD PAVEMENT REPAIR NOTES

ACTUAL FIELD CONDITIONS DURING CONSTRUCTION MAY REQUIRE ADDITIONAL PAVEMENT REPAIR BEYOND THE LIMITS SHOWN ON THE PLANS. THE FOLLOWING CONDITIONS ARE LISTED IN SECTION 6000 OF THE ACHD STORM DRAIN POLICY MANUAL ALSO REFERENCE I.S.P.W.C. SD-301; ACHD SUP. DWG SD-303; AND ACHD SUP. DWG. SD-806

- ALL ASPHALT MATCH LINES FOR THE PAVEMENT REPAIR SHALL BE PARALLEL TO THE CENTERLINE OF THE STREET AND INCLUDE ANY AREA DAMAGED BY EQUIPMENT DURING CONSTRUCTION.
 - IF THE CUMULATIVE DAMAGED PAVEMENT AREA EXCEEDS 50% OF THE TOTAL ROAD SURFACE, THE CONTRACTOR SHALL REPLACE THE ENTIRE ROAD SURFACE.
 - CONTRACTOR SHALL REPLACE THE PAVEMENT SURFACE TO ENSURE THE MATCH LINE DOES NOT FALL WITHIN THE WHEEL PATH OF THE LANE MATCH LINE SHALL ONLY FALL IN THE CENTER OR EDGE OF TRAVEL LANE.
 - FLOWABLE FILL OR IMPORTED MATERIAL MAY BE REQUIRED IF THE NATIVE TRENCH MATERIAL IS DEEMED UNSUITABLE BY ACHD INSPECTOR, DOES NOT MEET COMPACTION STANDARDS OR TIME IS A CRITICAL FACTOR.
 - ANY EXCEPTIONS TO THESE RULES SHALL BE PRE-APPROVED IN WRITING BY THE DISTRICT STAFF BEFORE CONSTRUCTION BEGINS.
- PAVEMENT SECTION SHALL BE AS FOLLOWS:
- DEERFLAT ROAD: SP-3, 0.50 INCH (1/2") MIX, PG 64-28 FIVE INCH (5") THICK PAVEMENT, ON TOP OF 4" 3/4" BASE, AND 26" OF 6" MINUS PIT RUN.
 - SCHOOL AVE.: SP-3, 0.50 INCH (1/2") MIX, PG 64-28 THREE INCH (3") THICK PAVEMENT, ON TOP OF 4" 3/4" BASE, AND 20" OF 6" MINUS PIT RUN.

ROADWAY

- ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE CURRENT EDITION OF THE ISPMC AND THE ACHD SUPPLEMENTAL SPECIFICATIONS. NO EXCEPTIONS TO DISTRICT POLICY, STANDARDS, AND THE ISPMC WILL BE ALLOWED UNLESS SPECIFICALLY AND PREVIOUSLY APPROVED IN WRITING BY THE DISTRICT.
- WHEN DISCREPANCIES OCCUR BETWEEN PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER. UNTIMELY NOTIFICATION SHALL NEGATE ANY CONTRACTORS CLAIM FOR ADDITIONAL COMPENSATION.
- INSPECTION OF WORK WITHIN THE RIGHT-OF-WAYS SHALL BE BY THE ADA COUNTY HIGHWAY DISTRICT AND THE OWNER'S ENGINEER. CONTACT ACHD "202" INSPECTION STAFF AT 387-6280.
- ALL STORM DRAINAGE APPURTENANCES SHALL BE INSPECTED BY ADA COUNTY HIGHWAY DISTRICT (R/W ONLY), AND THE OWNERS ENGINEER.
- ALL ONSITE PRIVATE DRIVES SHALL CONFORM TO THE CURRENT EDITION OF THE ISPMC. NO EXCEPTIONS TO THE ISPMC WILL BE ALLOWED UNLESS SPECIFICALLY AND PREVIOUSLY APPROVED IN WRITING BY THE DESIGN ENGINEER AND/OR GARDEN CITY PUBLIC WORKS.
- CONTACT THE DESIGN ENGINEER FOR CONSTRUCTION OBSERVATION OF ALL ONSITE PRIVATE DRIVES. THE CITY MAY STILL OBSERVE THE PRIVATE DRIVE CONSTRUCTION, BUT THE DESIGN ENGINEER IS PRIMARILY RESPONSIBLE FOR PLAN CONFORMANCE OF ALL ONSITE PRIVATE DRIVES.
- TESTING RESULTS OF ONSITE PRIVATE DRIVES SHALL BE REVIEWED FOR COMPLIANCE BY THE OWNER'S ENGINEER.
- ALL COSTS OF TESTING FOR PREVIOUSLY FAILED TESTS SHALL BE RECHARGED TO THE CONTRACTOR BY THE OWNER.
- ALL COSTS TO THE CONTRACTOR INCURRED IN CORRECTING DEFICIENT WORK SHALL BE TO THE CONTRACTOR'S ACCOUNT. FAILURE TO CORRECT SUCH WORK WILL BE CAUSE FOR A STOP WORK ORDER AND POSSIBLE TERMINATION.
- EXISTING A.C. PAVEMENT SHALL BE CUT TO A NEAT STRAIGHT LINE PARALLEL OR PERPENDICULAR TO THE STREET CENTERLINE AND THE EXPOSED EDGE SHALL BE TACKED WITH EMULSION PRIOR TO PAVING.
- MANHOLE GRADE RINGS, CAST IRON RINGS, AND COVERS SHALL BE PROVIDED BY THE SEWER CONTRACTOR. THE ROAD CONTRACTOR SHALL INSTALL THE SEWER GRADE RINGS, CAST IRON RINGS, COVERS AND CONCRETE COLLARS TO FINISH GRADE. WATER VALVE BOXES AND COVERS SHALL BE PROVIDED BY THE WATER CONTRACTOR. THE ROAD CONTRACTOR SHALL INSTALL THE WATER VALVE BOXES COVERS AND CONCRETE COLLARS TO FINISH GRADE.
- ALL TOPS OF VALVE BOXES AND SEWER MANHOLES SHALL BE SET FLUSH WITH THE SLOPE OF THE FINISHED STREET GRADES. THE ROADWAY CONTRACTOR SHALL INSTALL AND ADJUST ALL SPACERS, GRADE RINGS, MANHOLE RINGS AND LIDS.
- ALL WATER VALVES WILL BE PLACED SO AS NOT TO CONFLICT WITH ANY CONCRETE CURB, GUTTER, VALLEY GUTTER, AND SIDEWALK IMPROVEMENTS.
- ALL WATER METERS ARE TO BE LOCATED OUTSIDE THE ROAD RIGHT-OF-WAY. THERE MUST BE AT LEAST A ONE (1) FOOT SEPARATION BETWEEN BACK OF SIDEWALK (OR CURB IF NO SIDEWALK) AND THE LEADING EDGE OF ANY FIRE HYDRANT.
- OVER EXCAVATION AND ADDITIONAL GRANULAR BACKFILL MAY BE REQUIRED IN HIGH GROUND/WATER AREAS WHICH ARE TO BE DETERMINED BY THE FIELD INSPECTOR.
- ALL MATERIALS PLACED WITHIN THE PUBLIC RIGHT-OF-WAY AS FILL OR BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH SECTION 306 OF THE CURRENT EDITION OF ADA COUNTY HIGHWAY DISTRICT STANDARD SPECIFICATIONS.
- CLEARING AND GRUBBING AND REMOVAL OF OBSTRUCTIONS SHALL BE IN ACCORDANCE WITH ISPMC SECTION 201.
- EXCAVATION AND EMBANKMENT SHALL BE IN ACCORDANCE WITH ISPMC SECTION 202.
- STRUCTURAL EXCAVATION AND COMPACTION BACKFILL SHALL BE IN ACCORDANCE WITH ISPMC SECTION 204.
- DEWATERING SHALL BE IN ACCORDANCE WITH ISPMC SECTION 205.
- PERMANENT EROSION CONTROL SHALL BE IN ACCORDANCE WITH ISPMC SECTION 206.
- PERMANENT STORMWATER BEST MANAGEMENT PRACTICES SHALL BE IN ACCORDANCE WITH ISPMC SECTION 207.
- UNCROUSHED AGGREGATE (6-INCH MINUS) SHALL BE PER ISPMC SECTION 801.
- ROADWAY AGGREGATE BASE 3/4-INCH (TYPE I) SHALL BE PER ISPMC SECTION 802.
- DRAINAGE GUTTER (TYPE I) SHALL BE PER ISPMC SECTION 2050.
- CONSTRUCTION WILL MEET SPECIFIC DETAILS AND REQUIREMENTS OF THE FOLLOWING IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION STANDARD DRAWINGS (CURRENT EDITION) OR THE APPLICABLE ACHD SUPPLEMENTAL DRAWINGS (CURRENT EDITION):
 - STREET SECTION, DRAWING NO. SD-801, AND SECTIONS AS SHOWN ON TYPICAL STREET SECTIONS.
 - VERTICAL CURB AND GUTTER, (ACHD SUP. DWG. SD-701).
 - PEDESTRIAN RAMP FOR HANDICAPPED, DRAWING NO. SD-712C.
 - SIDEWALKS, (ACHD SUP. DWG. SD-709).
 - ROLLED CURB AND GUTTER ISPMC SD-702.
- ALL PEDESTRIAN RAMPS LOCATED IN THE RIGHT OF WAY SHALL HAVE TRUNCATED DOMES PER ISPMC SD-712. DOMES SHALL BE RIGID INSERTS WET SET INTO CONCRETE (CONCRETE STAMP AND ADHESIVE MATS NOT ALLOWED) AND SHALL BE COLORED "TRAFFIC YELLOW".
- THE ENGINEER OF RECORD CERTIFIES THAT THE PLANS ARE PREPARED IN SUBSTANTIAL CONFORMANCE WITH THE ACHD POLICY AND STANDARDS IN EFFECT AT THE TIME OF PREPARATION. THE ENGINEER ACKNOWLEDGES THAT ACHD ASSUMES NO LIABILITY FOR ERRORS OR DEFICIENCIES IN THE DESIGN. ALL VARIANCES FROM ACHD POLICY SHALL BE APPROVED IN WRITING. THE FOLLOWING VARIANCES LISTED BY DATE AND SHORT DESCRIPTION, WERE APPROVED FOR THIS PROJECT: NONE.
- DRIVEWAY APPROACH TO CONSTRUCTED PER ACHD SD-710B, 6" THICK PER NOTE E OF ACHD SUPPLEMENTAL SD-710B



VICINITY MAP

1"= 800'

SHEET INDEX

- COVER SHEET, GENERAL NOTES
- DETAIL/LEGEND SHEET
- OVERALL SITE PLAN / PRESSURE IRRIGATION
- STORM DRAIN DETAILS
- UTILITY PLAN/PROFILE
- UTILITY PLAN/PROFILE
- UTILITY PLAN/PROFILE
- UTILITY PLAN/PROFILE
- HORIZONTAL CONTROL PLAN
- GRADING AND DRAINAGE PLAN

PROJECT BENCHMARK

TBM #1
5/8" REBAR PLS "15352"
LOCATED BEHIND SIDEWALK IN
NORTH EAST CORNER OF SITE
ELEV: 2692.25'

Water, sewer, and irrigation plans are approved for construction. The design registered professional engineer's responsibilities and obligations listed in IDAPA 10.01.02 remain in effect.

By:
Paul A. Stevens, P.E.
Kuna City Engineer

Date: 5/4/2020

Plans Are Accepted For Public Street Construction

By stamping and signing the improvement plans, the Registered Engineer ensures the District that the plans conform to all District policies and standards. Variations or waivers must be specifically and previously approved by the District in writing. Acceptance of the improvement plans by the District does not relieve the Registered Engineer of these responsibilities.

BY: _____ DATE: _____
ADA COUNTY HIGHWAY DISTRICT

UTILITY	REPRESENTATIVE	PHONE
GAS	INTERMOUNTAIN GAS	(208) 377-6839
ELECTRICITY	IDAHO POWER	(208) 388-6320
TELEPHONE	CENTURY LINK	(208) 385-2144
SEWER	KUNA WASTEWATER	(208) 287-1729
WATER	KUNA WATERWORKS	(208) 287-1725
ROADS	ADA COUNTY HIGHWAY DISTRICT	(208) 454-8135
IRRIGATION	KUNA WATERWORKS	(208) 287-1725
FIRE	KUNA RURAL FIRE DISTRICT	(208) 992-1144

Revisions	Date	Description
1	4/22/20	CITY OF KUNA COMMENTS
2		
3		
4		

ROCK SOLID CIVIL
Civil Engineering and Land Development Consulting
270 North 27th Street, Boise, ID 83702
Office Phone: 208-342-3277
www.rocksolidcivil.com

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Project Name
REDHAWK SQUARE SUBDIVISION

Sheet Name
**COVER SHEET
GENERAL NOTES AND DETAILS**

Project No. RSC 18-35

Drawn By: JEC

Date: April 22, 2020

Sheet No. **1** of **10**

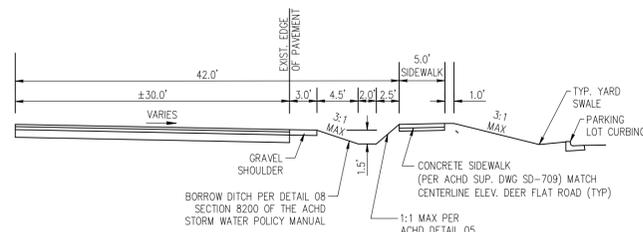
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AllTerra CONSULTING

OWNER
MICHAEL LAYNE FIFE
NSDF 3.5 LLC
2667 E. GALA CT. STE. 120
MERIDIAN, ID. 83642
(208) 941-0325

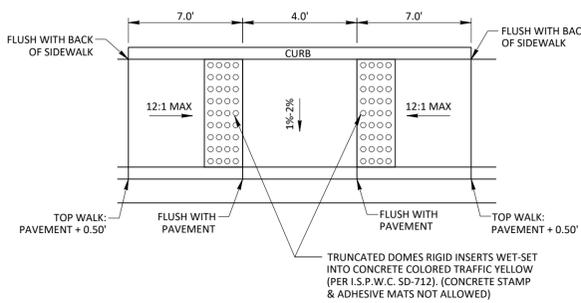
LAND SURVEYOR
RICHARD GRAY
COMPASS LAND SURVEYING
3818 E. NEWBY STREET
NAMP A, ID. 83867
(208) 442-0115

CIVIL ENGINEER
JIM E. COSLETT, P.E.
ROCK SOLID CIVIL LLC
270 N. 27TH STREET
BOISE, ID. 83702
(208) 342-3277

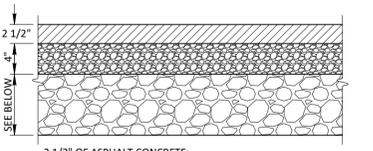


DEER FLAT ROAD SECTION
1" = 10'

Water, sewer, and irrigation plans are approved for construction. The design registered professional engineer's responsibilities and obligations listed in IDAPA 10.01.02 remain in effect.
By: *Paul A. Stevens, P.E.*
Kuna City Engineer
Date: 5/4/2020

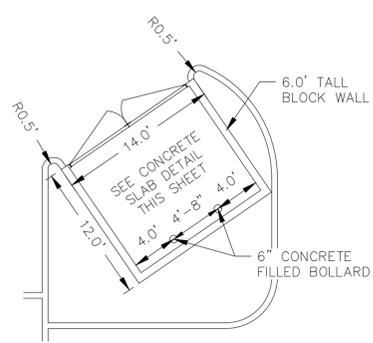


PEDESTRIAN RAMP DETAIL
-NTS-

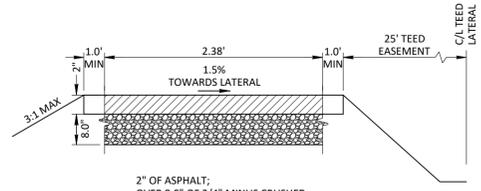


**STRUCTURAL SECTION
PARKING AND DRIVE ISLE**
-NTS-

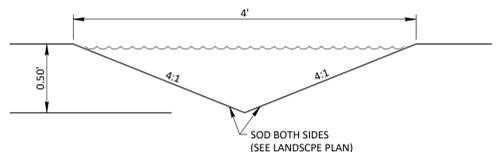
NOTES
1. PAVEMENT THICKNESS RECOMMENDATION IS ADOPTED FROM THE GEOTECHNICAL ENGINEERING REPORT OF DEERFLAT ROAD AND SCHOOL AVENUE DEVELOPMENT, BY ALL WEST TESTING & ENGINEERING, FILE NUMBER 517-060G, STAMPED DATE MARCH 22, 2017.



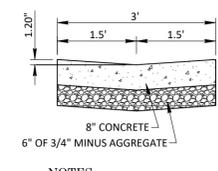
TRASH ENCLOSURE
-NTS-



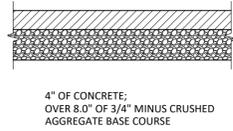
ASPHALT PATHWAY DETAIL
-NTS-



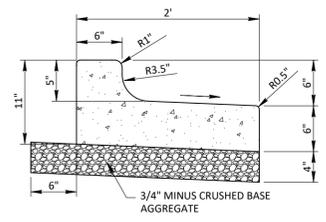
CONVEYANCE SWALE
-NTS-



3' CONCRETE VALLEY GUTTER
-NTS-

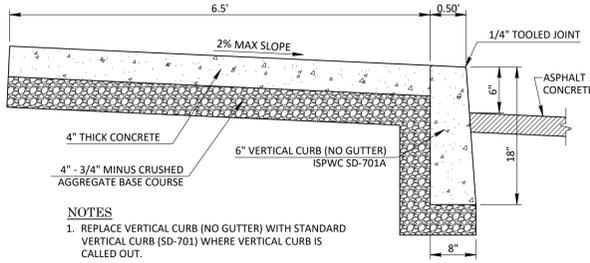


CONCRETE SLAB SECTION
-NTS-



NOTES
1. MATERIALS & CONSTRUCTION IN COMPLIANCE WITH I.S.P.W.C.
2. SCORE INTERVALS AT 10' MAX SPACING

**6" VERTICAL CURB & GUTTER W/
REVERSE GUTTER PLATE**
-NTS-

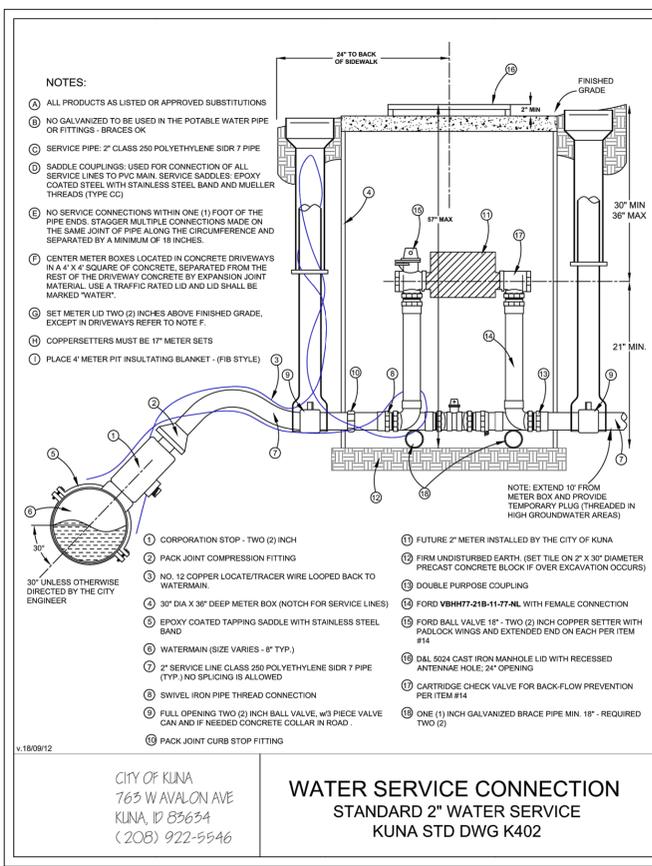


NOTES
1. REPLACE VERTICAL CURB (NO GUTTER) WITH STANDARD VERTICAL CURB (SD-701) WHERE VERTICAL CURB IS CALLED OUT.

SIDEWALK DETAIL
-NTS-

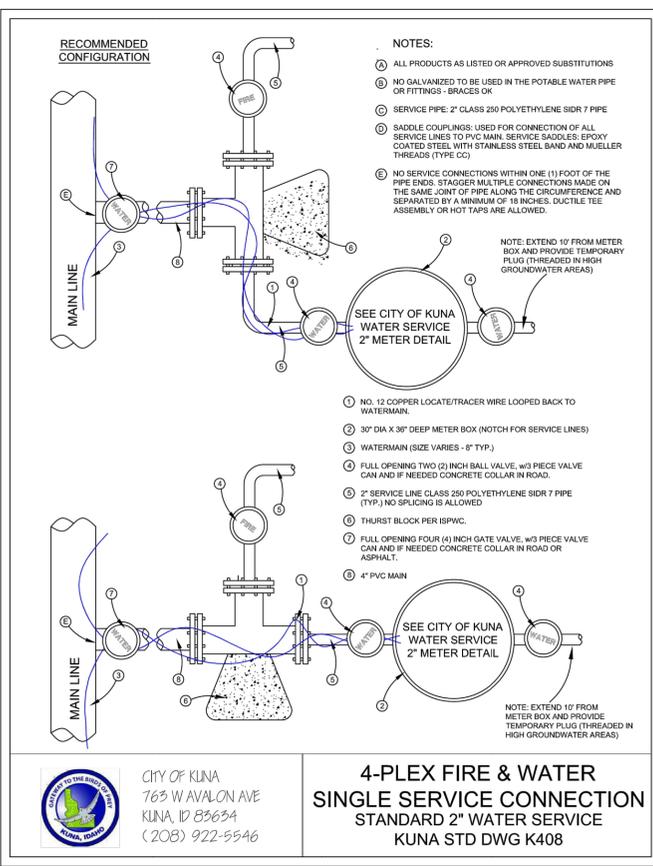
GENERAL LEGEND

---	PROPERTY BOUNDARY LINE
---	PROPOSED LOT LINE
---	CENTERLINE
---	PROPOSED EASEMENT
TVC	TOP BACK OF VERTICAL CURB
TC	TOP BACK OF CURB NO GUTTER
SWK	FINISH GRADE SIDEWALK
BVC	BEGIN VERTICAL CURVE
EVC	END VERTICAL CURVE
PC	POINT OF CURVE
PT	POINT OF TANGENT
EP	EDGE OF PAVEMENT
GB	GRADE BREAK
---	TEMPORARY BENCHMARK
---	PROPOSED PRESSURE IRRIGATION SERVICE
---	PROPOSED SEWER MANHOLE
---	PROPOSED STREET LIGHT
---	GROUNDWATER MONITORING WELL
---	FLOW DIRECTION
---	INSTALL SIGN
---	PROPOSED FIRE VALVE
---	PROPOSED WATER HYDRANT
---	3" PVC SLEEVE
---	PROPOSED PRESSURE IRRIGATION
---	PROPOSED WATER MAIN
---	PROPOSED ROOF DRAIN
---	PROPOSED STORM DRAIN
---	PROPOSED SANITARY SEWER MAIN
---	PROPOSED 1" WATER SERVICE
---	EXISTING CONTOUR LINE
---	EXISTING EDGE OF PAVEMENT
---	EXISTING 12" WATER MAIN
---	EXISTING TELEPHONE LINE
---	EXISTING OVERHEAD POWER
---	EXISTING GAS MAIN
---	EXISTING FENCE
---	EXISTING IRRIGATION LINE
---	EXISTING STORM DRAIN PIPE
---	EXISTING CATCH BASIN
---	EXISTING TELEPHONE RISER
---	EXISTING FIRE HYDRANT
---	EXISTING IRRIGATION VALVE
---	EXISTING SEWER CLEANOUT
---	EXISTING SEWER MANHOLE
---	EXISTING UTILITY POLE
---	EXISTING GATE VALVE
---	EXISTING ELECTRICAL BOX
---	EXISTING CABLE BOX
---	EXISTING SIGN



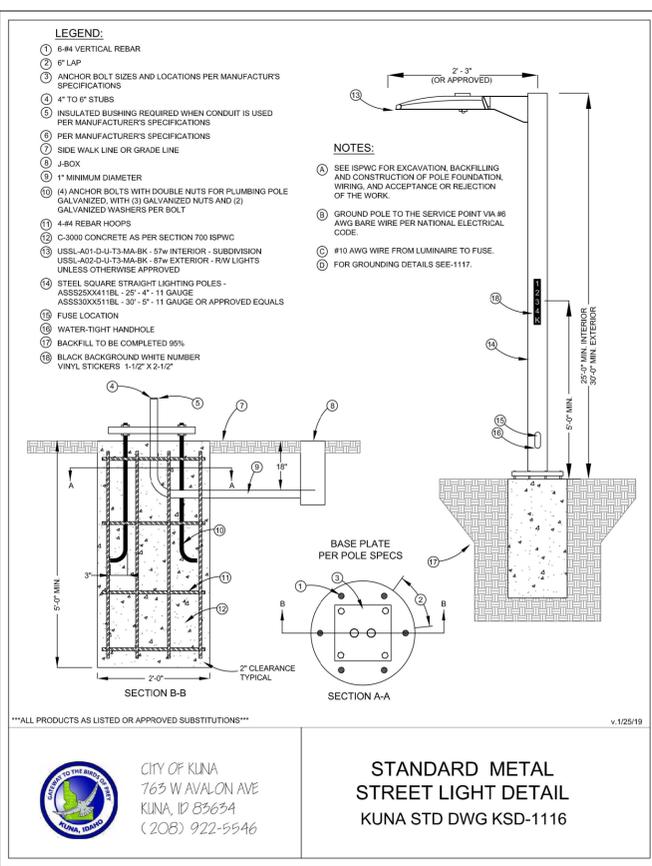
**WATER SERVICE CONNECTION
STANDARD 2" WATER SERVICE**
KUNA STD DWG K402

CITY OF KUNA
763 W AVALON AVE
KUNA, ID 83634
(208) 922-5546



**4-PLEX FIRE & WATER
SINGLE SERVICE CONNECTION
STANDARD 2" WATER SERVICE**
KUNA STD DWG K408

CITY OF KUNA
763 W AVALON AVE
KUNA, ID 83634
(208) 922-5546



**STANDARD METAL
STREET LIGHT DETAIL**
KUNA STD DWG KSD-1116

CITY OF KUNA
763 W AVALON AVE
KUNA, ID 83634
(208) 922-5546

Revisions

Date	Description
4/22/20	CITY OF KUNA COMMENTS

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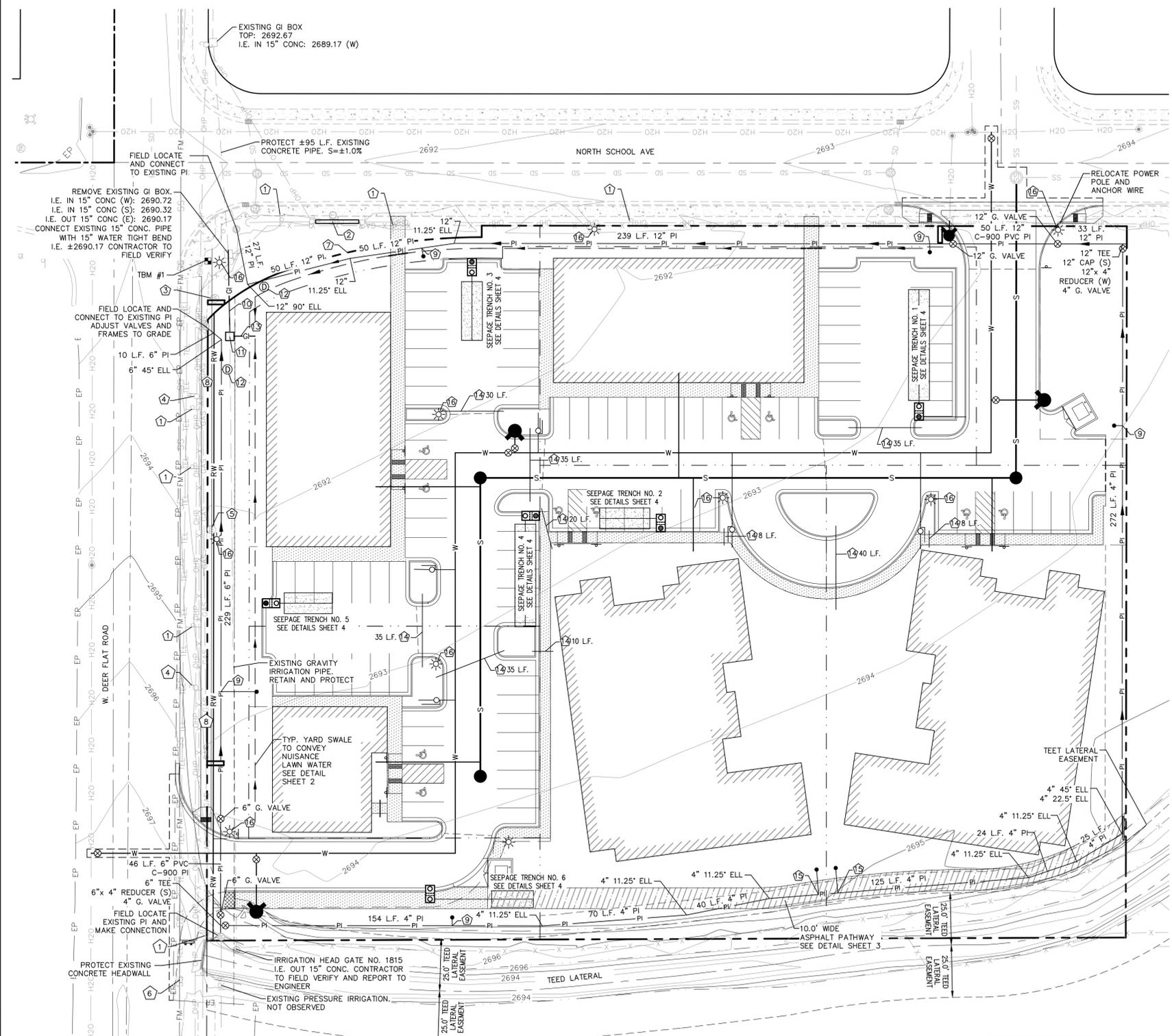
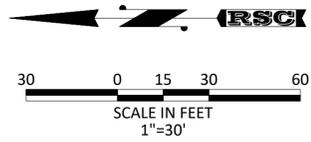
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Project Name: **REDHAWK SQUARE SUBDIVISION**
Sheet Name: **DETAIL SHEET**

PROFESSIONAL ENGINEER
No. 10692
4/22/20
JIM E. COSLETT

Project No. RSC 18-35
Drawn By: JEC
Date: April 22, 2020
Sheet No. **2** of 10

811
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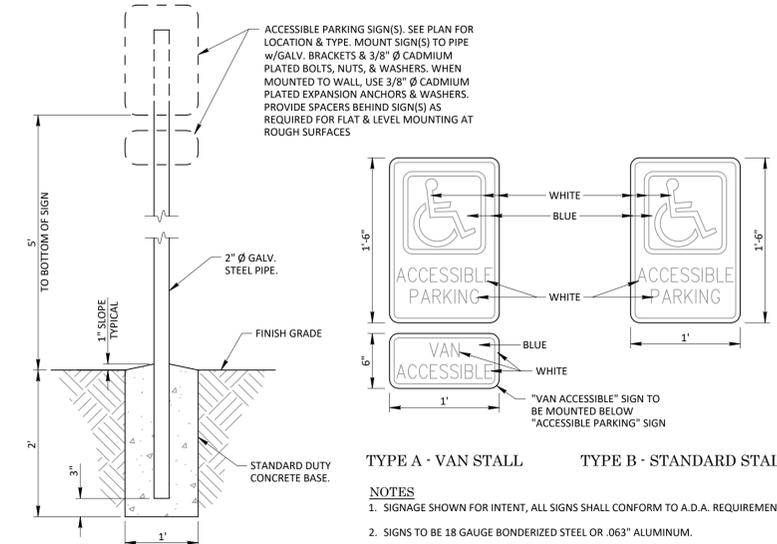


KEY NOTES

- 1 PROTECT EXISTING SIGN
- 2 PROTECT EXISTING 3-PHASE FRAME STRUCTURE. ADJUST ANCHOR WIRE AS NEEDED
- 3 PROTECT EXISTING TELEPHONE PEDESTAL
- 4 PROTECT EXISTING POWER POLE
- 5 RELOCATE EXISTING TELEPHONE PEDESTAL
- 6 PROTECT EXISTING UTILITY HAND HOLE BOX
- 7 RESERVED FOR FUTURE ACHD ROUNDABOUT FOOTPRINT
- 8 CONSTRUCT 5.0' WIDE SIDEWALK, SEE DEER FLAT ROAD SECTION DETAIL SHEET 2 AND SHEET 9 FOR TOP BACK OF CURB ELEVATIONS
- 9 1" IRRIGATION SERVICE PER CITY OF KUNA STANDARD DRAWING K-902-S OR K-902-L
- 10 40 L.F. 15" CONCRETE PIPE @ 1.0%. PROVIDE WATER TIGHT CONNECTION AT CONNECTION TO EXISTING 12" CONCRETE PIPE. I.E.: AT CONNECTION POINT ±2690.17
- 11 GRAVITY IRRIGATION BOX IS/PCW SD-619 4.0'x 4.0' I.D. STA: 8+48.77 251.47 R, CENTER OF BOX TOP OF BOX: 2694.00 I.E. IN 15" CONC. (W): 2690.80. CONTRACTOR TO FIELD VERIFY I.E. IN 15" CONC (S): 2691.25 I.E. OUT 15" CONC (E): 2690.57
- 12 INSTALL IRRIGATION DRAIN VALVE PER CITY OF KUNA STD DWG K-903
- 13 10 L.F. 15" CONCRETE PIPE @ 2.0%. I.E.: AT DAYLIGHT ±2691.45
- 14 3" CONDUIT FOR LANDSCAPE IRRIGATION
- 15 PRESSURE IRRIGATION SERVICE TO BE 1-INCH AS APPROVED BY THE CITY ENGINEER VIA EMAIL SENT 4/10/2020
- 16 INSTALL STREET LIGHT. SEE STREET LIGHT DETAIL SHEET 2

PRESSURE IRRIGATION

1. THE DEVELOPER SHALL NOTIFY ALL LOT PURCHASERS THAT THERE MUST BE NO INTERCONNECTION BETWEEN THE PRESSURE IRRIGATION SYSTEM AND HOUSE PLUMBING.
2. OUTSIDE HOUSE FAUCETS MUST ONLY BE CONNECTED TO THE MUNICIPAL POTABLE WATER SYSTEM THROUGH THE HOUSE SERVICE CONNECTION.
3. CONNECTION TO THE CITY OF KUNA MUNICIPAL WATER (POTABLE) SYSTEM FOR IRRIGATION PURPOSES IS NOT ALLOWED.
4. LOT SERVICE REQUIREMENTS:
LOT SIZE S.F.
0-14,000 ONE 1" IRRIGATION RISERS
14,000-26,000 TWO 1" OR ONE 1.5" IRRIGATION RISERS
26,000+ DETERMINED BY CITY ENGINEER
5. ALL IRRIGATION MAINLINES SHALL BE INSTALLED SUCH THAT AIR AUTOMATICALLY VENTS DURING FILLING AND DRAINING. AUTOMATIC AIR/VACUUM RELIEF VALVES SHALL BE INSTALLED AT ALL HIGH POINTS IN THE SYSTEM AND IN LOCATIONS DETERMINED BY THE CITY ENGINEER. IN LIEU OF AUTOMATIC VENTS, THE CONTRACTOR MAY INSTALL SERVICES WITH THE TAP ON TOP OF THE MAIN AT THE HIGH POINT WITH THE SERVICE LINE LAID LEVEL OR RISING TO THE SERVICE BOX.
6. ALL IRRIGATION MAINS SHALL FREELY DRAIN. "FREELY DRAIN" MEANS TO DRAIN BY GRAVITY INTO A DRAINAGE SWALE, DRAINAGE POND, DRAINAGE DITCH OR ADEQUATELY SIZED DRY WELL. THE DRAIN SYSTEM SHALL INCLUDE MANUALLY OPERATED VALVES AS DETAILED IN CITY OF KUNA STANDARD DETAILS. LOCATE DRAINS IN COMMON AREAS, ALONG PATHWAYS OR STREET FRONTS UNLESS SPECIFICALLY APPROVED OTHERWISE BY THE CITY ENGINEER.
7. PIPE DEPTH: ALL IRRIGATION MAINLINES NOT WITHIN ROAD RIGHT OF WAY (ROW) SHALL HAVE AT LEAST THREE (3) FEET OF COVER FROM FINISH GRADE TO CROWN OF PIPE IF THE PIPE IS FREE DRAINING. A MINIMUM OF FOUR (4) FEET OF COVER SHALL BE REQUIRED FROM FINISH GRADE TO CROWN OF PIPE UNDER ROADWAYS AND WHERE PIPE IS NOT FREE-DRAINING.
8. PRESSURE IRRIGATION MAIN LINE PIPING 4 INCH DIAMETER AND LARGER SHALL BE CONSTRUCTED OF POLYVINYL CHLORIDE (PVC), DR21 (200 PSI), CONFORMING TO ASTM D2441.
9. PRESSURE IRRIGATION MAINLINE PIPING IN THE R.O.W. AND PARALLEL TO CENTER LINE SHALL BE PVC, C900 DR 18.
10. 4 INCH DIAMETER AND LARGER PIPE SHALL HAVE RUBBER GASKETED JOINTS.
11. PRESSURE IRRIGATION PIPE SHALL BE CLEARLY MARKED WITH TYPE, CLASS OR THICKNESS. LETTERING SHALL BE LEGIBLE AND PERMANENT.
12. ALL IRRIGATION PIPE SHALL BE INSTALLED WITH FINDER TAPE. TAPE SHALL BE TWO (2) INCHES WIDE, PURPLE IN COLOR, WITH THE WORDS "DANGER-UNSAFE WATER" OR "NON-POTABLE WATER" CLEARLY MARKED ALONG THE LENGTH OF THE TAPE. TAPE SHALL BE PLACED BETWEEN SIX (6) INCHES BELOW GROUND SURFACE AND SIXTEEN (16) INCHES ABOVE THE TOP OF PIPE.
13. TAPE A #12 DIRECT BURIAL TRACER WIRE ALONG THE CROWN OF THE PRESSURE IRRIGATION MAINLINE. LOOP THE TRACER WIRE FROM THE MAINLINE TO EACH SERVICE BOX AND BACK TO THE MAINLINE. THE TRACER WIRE SHALL BE ACCESSIBLE AT ALL VALVE BOXES AND EXTENDED ALONG THE OUTSIDE OF THE LOWER PORTION AND ALONG THE INSIDE OF THE UPPER PORTION OF THE VALVE BOX. CONDUCT AN ELECTRICAL CONTINUITY TEST BEFORE PAVING TO VERIFY TRACER WIRE INTEGRITY.
14. EQUIP EACH PRESSURE IRRIGATION SERVICE WITH A METAL OR PLASTIC TAG (VULCANIZED) "NON-POTABLE WATER-DO NOT DRINK"
15. VALVES 4 INCH DIAMETER AND LARGER SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO THE REQUIREMENTS OF ANSI/AWWA C509, WITH MECHANICAL OR FLANGED JOINTS AND 2 INCH SQUARE OPERATING NUT. ACCEPTABLE VALVES ARE MUELLER MODEL A-2360 AND A-2361 OR CLOW MODEL 2639 AND 2640. ANY OTHERS MUST BE SPECIFICALLY APPROVED BY THE CITY ENGINEER. VALVE BOXES FOR VALVES 4 INCH DIAMETER AND LARGER SHALL BE STANDARD CAST IRON 5 1/4 INCH DIAMETER ADJUSTABLE VALVE BOX.
16. VALVES FOR STREET CROSSINGS SHALL BE PLACED WITHIN 2 FEET OF THE BACK EDGE OF SIDEWALK.
17. FITTINGS SHALL BE CAST IRON, DUCTILE IRON, PVC, BRASS OR STAINLESS STEEL, AND SHALL HAVE A MINIMUM PRESSURE RATING EQUAL TO OR GREATER THAN 200 PSI. ALL FITTINGS FOUR (4) INCHES AND LARGER SHALL BE DUCTILE IRON WITH FLANGED OR MECHANICAL JOINTS. THRUST BLOCKS OR OTHER CITY ENGINEER APPROVED RESTRAINTS SHALL BE PROVIDED AT CHANGES OF DIRECTION.
18. IRRIGATION SYSTEMS SHALL BE PRESSURE TESTED IN ACCORDANCE WITH IS/PCW SPECIFICATIONS FOLLOWING INSTALLATION OF ALL OTHER UTILITIES AND BEFORE PAVING. TESTING SHALL BE OBSERVED BY A CITY REPRESENTATIVE.



TYPE A - VAN STALL TYPE B - STANDARD STALL

- NOTES**
1. SIGNAGE SHOWN FOR INTENT, ALL SIGNS SHALL CONFORM TO A.D.A. REQUIREMENTS.
 2. SIGNS TO BE 18 GAUGE BONDZERIZED STEEL OR .063" ALUMINUM.
 3. SEE PLAN FOR LOCATION AND TYPE.

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208-342-1585

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By: *Paul A. Stevens, P.E.*
Kuna City Engineer
Date: 5/4/2020

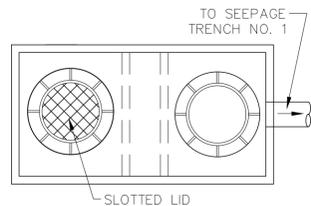
Revisions	
Date	Description
4/22/20	CITY OF KUNA COMMENTS

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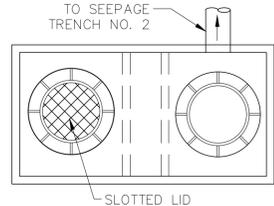
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Project Name: **REDHAWK SQUARE SUBDIVISION**
Sheet Name: **OVERALL SITE AND UTILITY PLAN PRESSURE IRRIGATION**

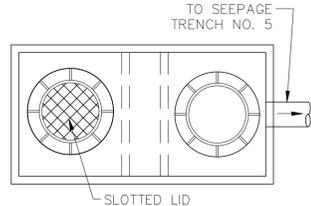
Project No. RSC 18-35
Drawn By: JEC
Date: April 22, 2020
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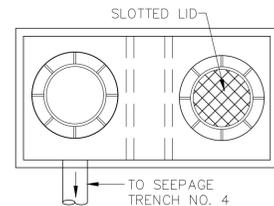
PLAN VIEW
-NTS-



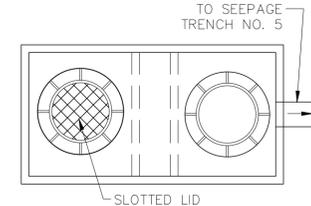
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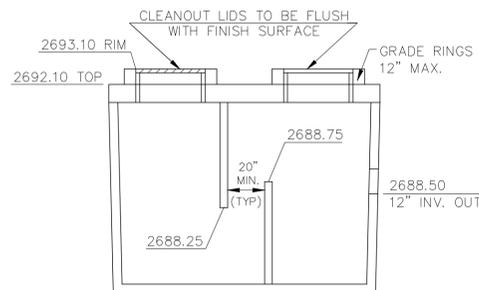
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PLAN VIEW
-NTS-

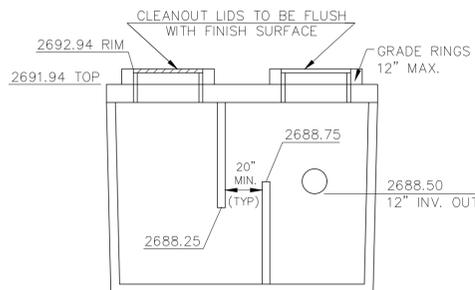


PLAN VIEW
-NTS-



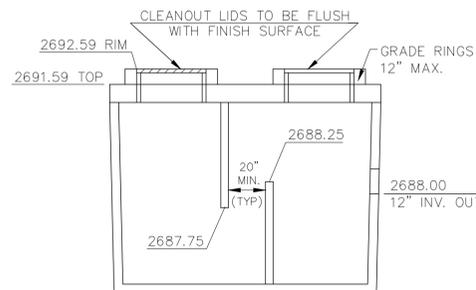
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1000 GALLON (PRIVATE)

Q100: 0.96 cfs
-NTS-



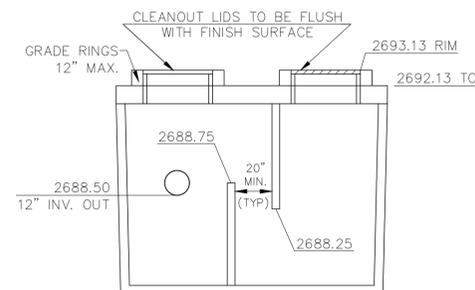
SAND/GREASE TRAP NO. 2
1000 GALLON (PRIVATE)

Q100: 0.61 cfs - Q25: 0.44 cfs
-NTS-



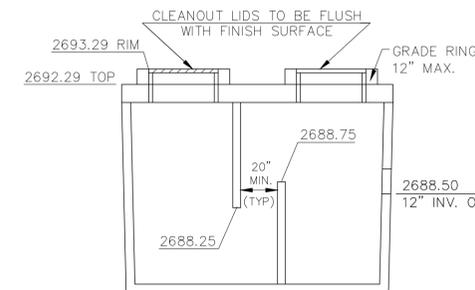
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Q100: 0.71 cfs - Q25: 0.51 cfs
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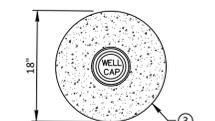
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Q100: 1.23 cfs - Q25: 0.88 cfs
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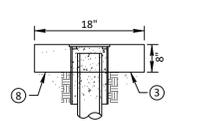


SAND/GREASE TRAP NO. 5
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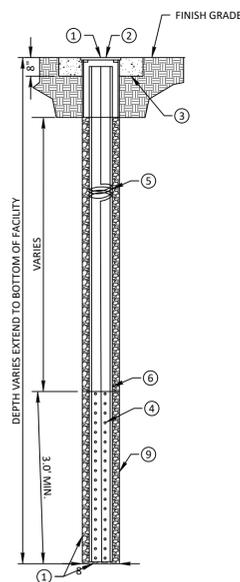


PLAN CONCRETE COLLAR
-NTS-



SECTION CONCRETE COLLAR
-NTS-

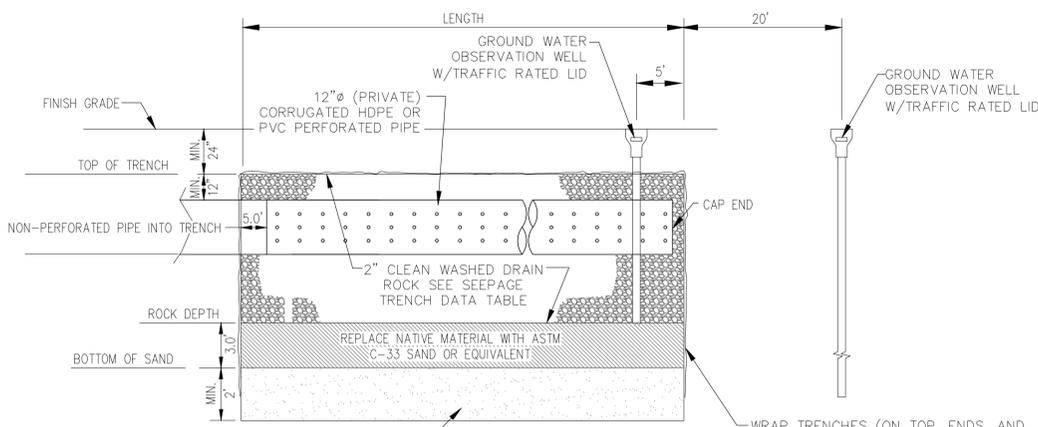
1. WELL COVER, 8" DIA. WATERTIGHT GALVANIZED STEEL BOLT DOWN COVER AND CANISTER
2. OR 3 BOLT LID WITH 9/16" HEAD AND SEA THREADS, GASKETED
3. CONCRETE (COLLAR), CLASS 3000 (ISPC SECTION 703)
4. 3/8" DIA HOLES OR SLOTS CUT INTO PIPE AT 3" ON CENTER
5. TRACER WIRE SHALL BE PLACED OUTSIDE OF PVC PIPE, MINIMUM 18 GAUGE, UNSULATED, SINGLE CONDUCTOR COPPER WIRE, INSULATION COLOR SHALL BE GREEN WITH THREE 6" DIAMETER COILS
6. PIPE SHALL BE PERFORATED PVC, ASTM D-3035, SDR-35. WELLS BACKFILLED IN A PIT REQUIRE 6" PIPE, DRILLED WELLS MAY UDE 4" PIPE
7. NONWOVEN FILTER FABRIC AROUND OPENINGS AND BOTTOM, FABRIC OVER CHIPS/DRAIN ROCK
8. POLYPROPYLENE FIBER REINFORCEMENT AT 1 1/2 LBS/CY
9. BACKFILL MATERIAL TO MATCH STORAGE MEDIA FOR OBSERVATION WELLS LOCATED WITHIN A BMP FACILITY. USE PIPE BEDDING CHIPS FOR OBSERVATION WELLS LOCATED OUTSIDE BMP FACILITIES



GROUNDWATER OBSERVATION WELL
-NTS-

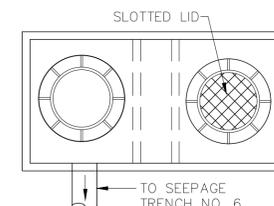
ACHD SUPPLEMENTAL DWG SD-627 (REV 2017)
-NTS-

SEEPAGE TRENCH DATA						
TRENCH No.	LENGTH	WIDTH	ROCK DEPTH	TOP	BOTTOM/ROCK	GROUNDWATER @
TRENCH #1	53.0'	10.0'	8.0'	2691.00'	2683.00'	NA
TRENCH #2	24.0'	10.0'	8.0'	2691.00'	2683.00'	NA
TRENCH #3	28.0'	10.0'	8.0'	2690.50'	2682.50'	NA
TRENCH #4	49.0'	10.0'	8.0'	2691.00'	2683.00'	NA
TRENCH #5	23.0'	10.0'	8.0'	2691.00'	2683.00'	NA
TRENCH #6	16.0'	10.0'	8.0'	2692.50'	2684.50'	NA

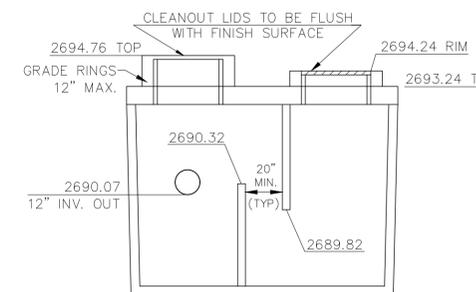


SEEPAGE BED DETAIL
-NTS-

1. PIPE PERFORATION TO BE 6 - 3/8" DIA. HOLES AT 60 DEGREES AT 6" O.C. ALONG LENGTH OF PIPE.
2. BOTTOM OF SAND/BOTTOM OF SEEPAGE TRENCH SHALL BE A MINIMUM OF 3' ABOVE GROUND WATER LEVEL. NOTIFY ENGINEER IMMEDIATELY IF LESS THAN 3' FROM THE BOTTOM OF DESIGN ELEVATION FOR ANY INFILTRATION FACILITY.
3. SEEPAGE TRENCH LENGTH, WIDTH AND 2" CLEAN WASHED DRAIN ROCK DEPTH SHOWN ON SEEPAGE TRENCH DATA TABLE.
4. EXCAVATE BOTTOM OF TRENCH A MIN. OF 2' INTO FREE DRAINING MATERIALS (SILTY SAND & GRAVEL). MAY BACK-FILL W/CLEAN PIT RUN. CONTACT THE ENGINEER TO VERIFY MATERIALS ENCOUNTERED BEFORE PLACING PIT RUN, FILTER FABRIC AND SAND.
5. GROUND WATER DATA AND SOIL REPORT PREPARED PER INFILTRATION DESIGN RATE IS 2"/HOUR.
6. GROUNDWATER ELEVATIONS SHALL BE VERIFIED AT THE TIME OF INSTALLATION OF STORM WATER SYSTEMS. CONTACT THE ENGINEER OF RECORD TO CONFIRM LEVELS IN THE FIELD PRIOR TO INSTALLATION.



PLAN VIEW
-NTS-



SAND/GREASE TRAP NO. 6
1000 GALLON (PRIVATE)

Q100: 0.39 cfs - Q25: 0.28 cfs
-NTS-

Revisions	Date	Description
1	4/22/20	CITY OF KUNA COMMENTS
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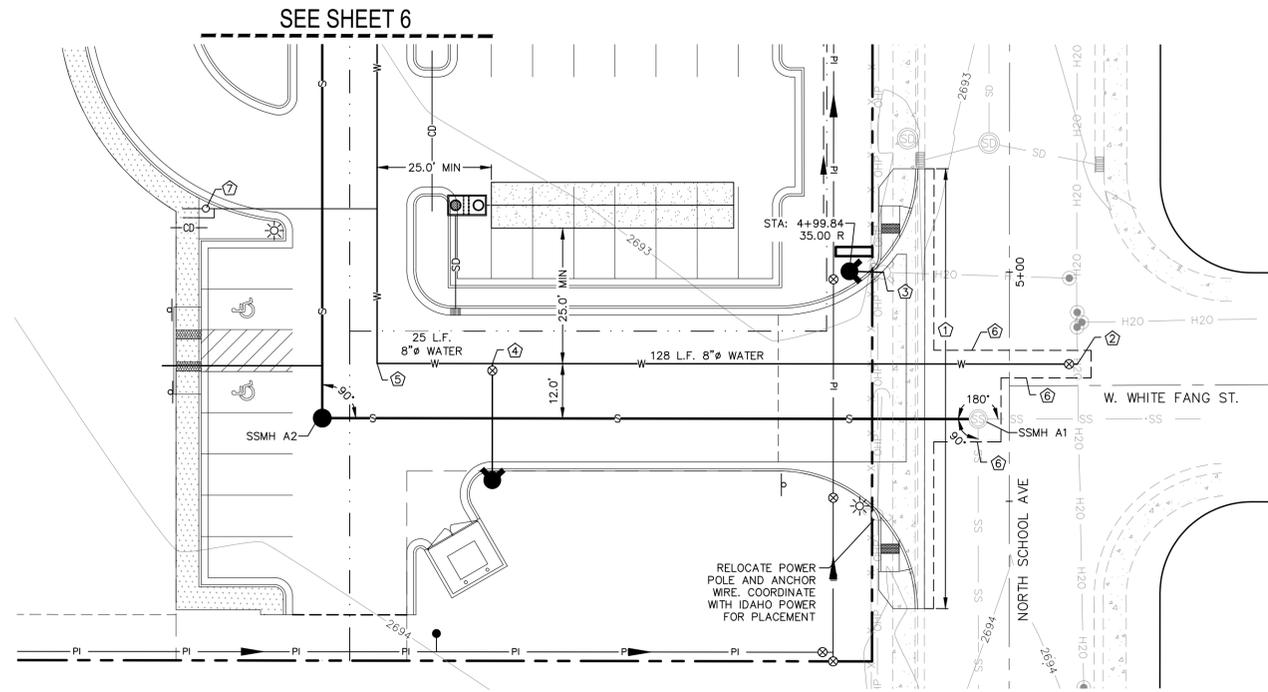
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Project Name
REDHAWK SQUARE SUBDIVISION
Sheet Name
STORM DRAIN DETAILS

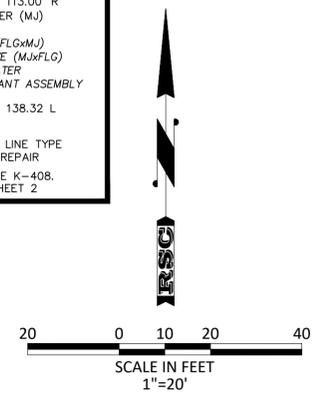
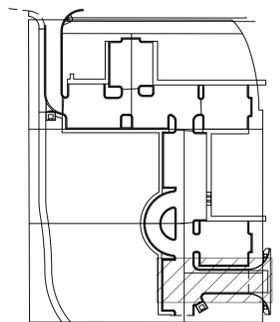


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Date: April 22, 2020
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of 10

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- ### KEY NOTES
- SAWCUT AND REMOVE ±90 L.F. EXISTING CURB, GUTTER AND SIDEWALK. INSTALL 4.0' WIDE VALLEY GUTTER PER ISPCW SD-708. NEAT SAWCUT, TYPE "P" SURFACE REPAIR, MATCH EXISTING ROAD SECTION.
 - STA: 5+20.07 14.89 L HOT TAP EXISTING MAIN COORDINATE WITH CITY FOR ALL REQUIREMENTS PRIOR TO CONSTRUCTION
 - RELOCATE FIRE HYDRANT 8 L.F. 6" WATER 6" F.H. ASSEMBLY HYDRANT TO BE REPLACED IF TESTING FAILS
 - STA: 5+20.00 113.00' R 8"x 6" REDUCER (M.J) 8" TEE 8" ADAPTER (FLGxM.J) 6" GATE VALVE (M.JxFLG) 25 L.F. 6" WATER 6" FIRE HYDRANT ASSEMBLY
 - STA: 5+20.00 138.32 L 8" 90° ELL
 - NEAT SAWCUT LINE TYPE "P" SURFACE REPAIR
 - WATER SERVICE K-408. SEE DETAIL SHEET 2

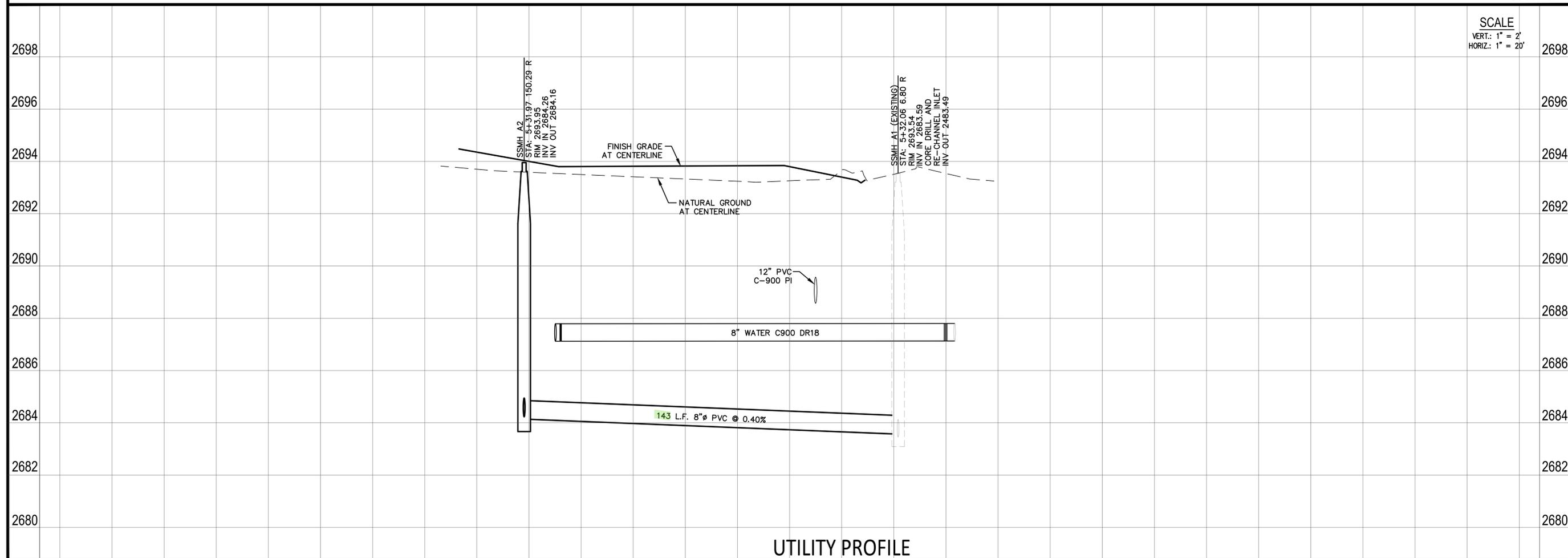


Water, sewer, and irrigation plans are approved for construction. The design registered professional engineer's responsibilities and obligations listed in IDAPA 10.01.02 remain in effect.

By: *Paul A. Stevens, P.E.*
Paul A. Stevens, P.E.
Kuna City Engineer

Date: 5/4/2020

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UTILITY PROFILE

Revisions	Date	Description
1	4/22/20	CITY OF KUNA COMMENTS
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Project Name
REDHAWK SQUARE SUBDIVISION

Sheet Name
UTILITY PLAN / PROFILE

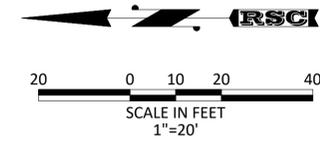
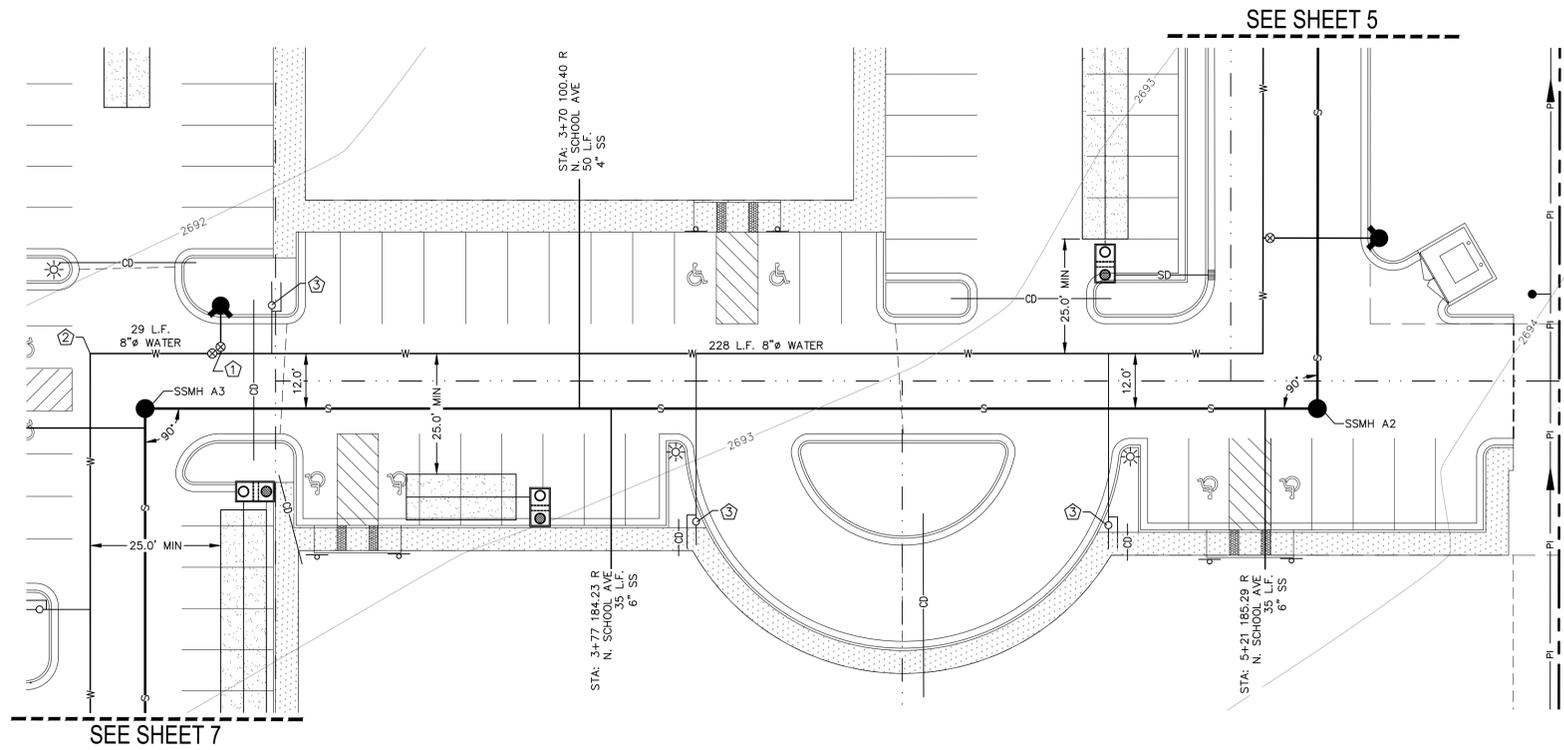


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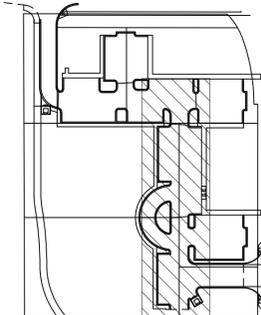
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Date: April 22, 2020

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- KEY NOTES**
- ① STA: 2+92.00 138.46 R
8" x 6" REDUCER
8" TEE
8" G. VALVE (FLGXMJ)(N)
8" ADAPTER (FLGXMJ)
6" G. VALVE (MJxFLG)
11 L.F. 6" WATER
6" F.H. ASSEMBLY
 - ② STA: 2+63.47 138.48 R
8" 90° ELL
 - ③ WATER SERVICE K-408.
SEE DETAIL SHEET 2



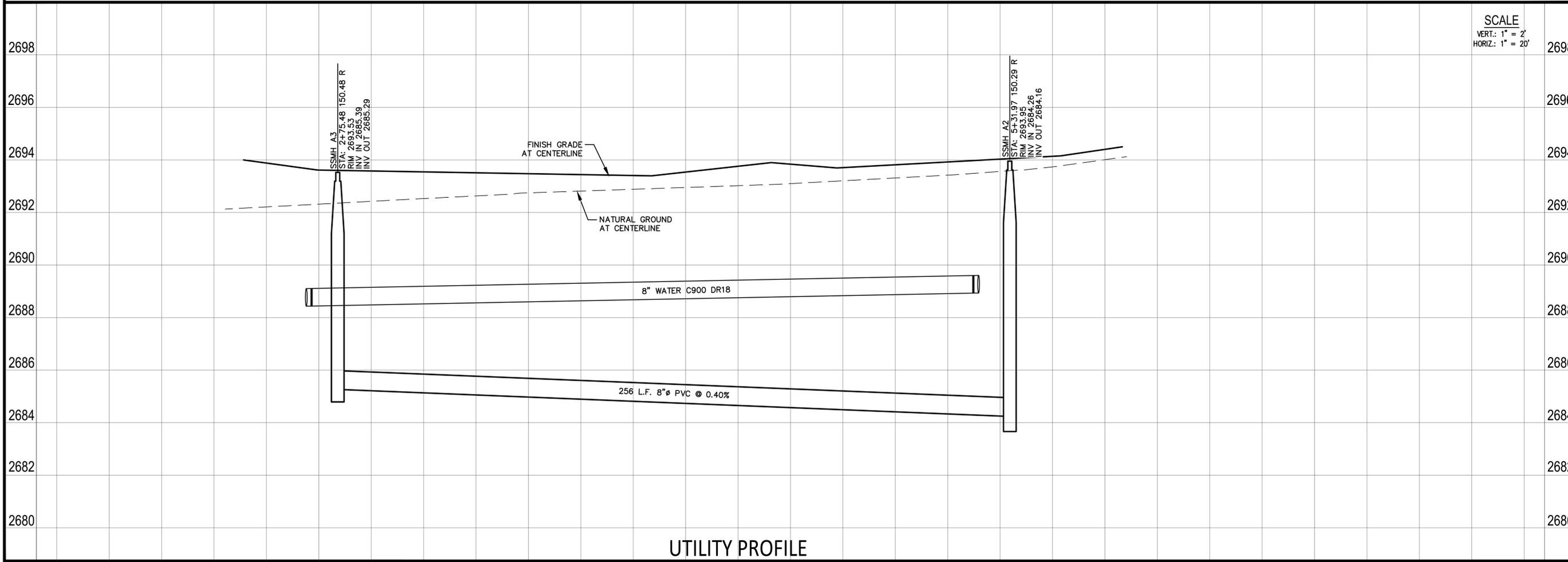
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By: *Paul A. Stevens, PE*
Paul A. Stevens, PE
Kuna City Engineer
Date: 5/4/2020

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UTILITY PROFILE

NAVD 88 DATUM
SCALE
VERT.: 1" = 2'
HORIZ.: 1" = 20'

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Project Name
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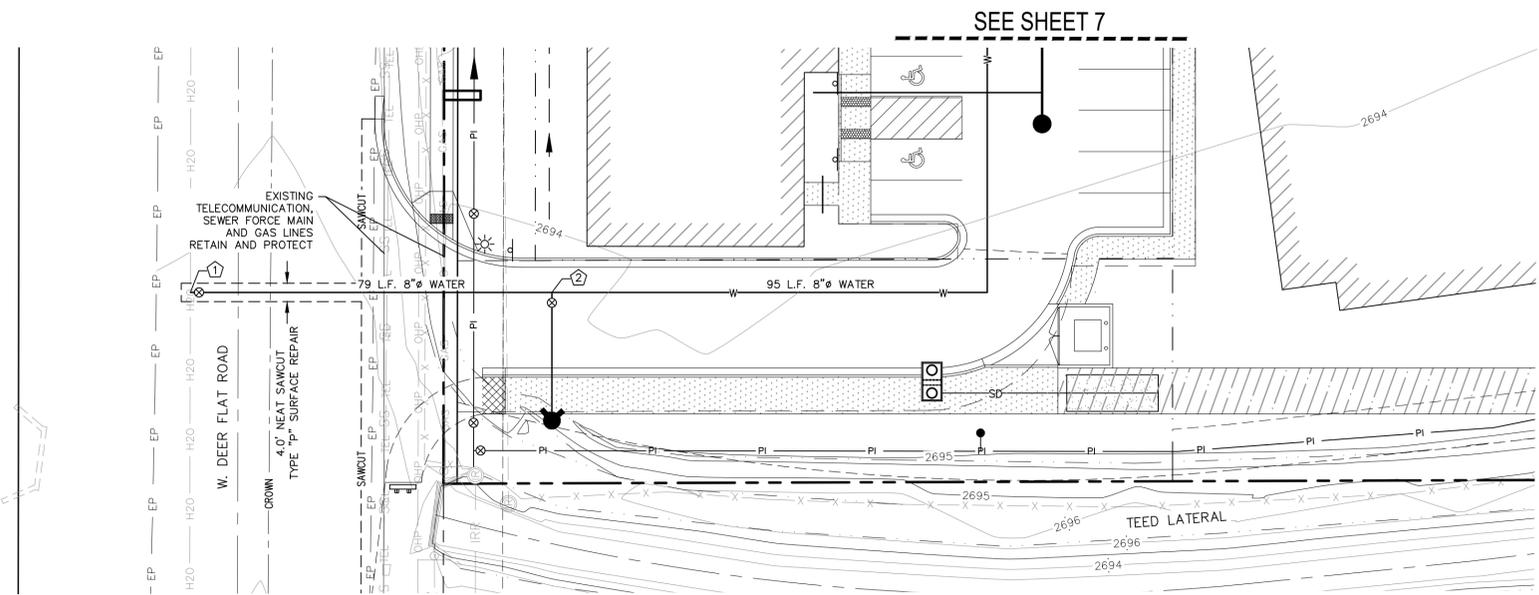


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Sheet No. **6**
6 of 10

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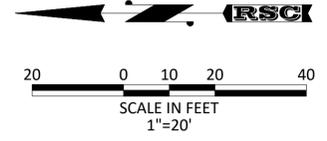
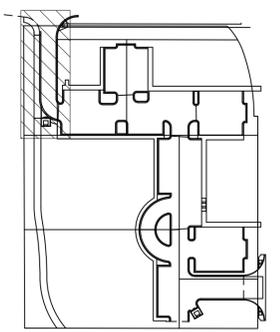
By: *Paul A. Stevens, PE*
 Paul A. Stevens, PE
 Kuna City Engineer
 Date: 5/4/2020



KEY NOTES

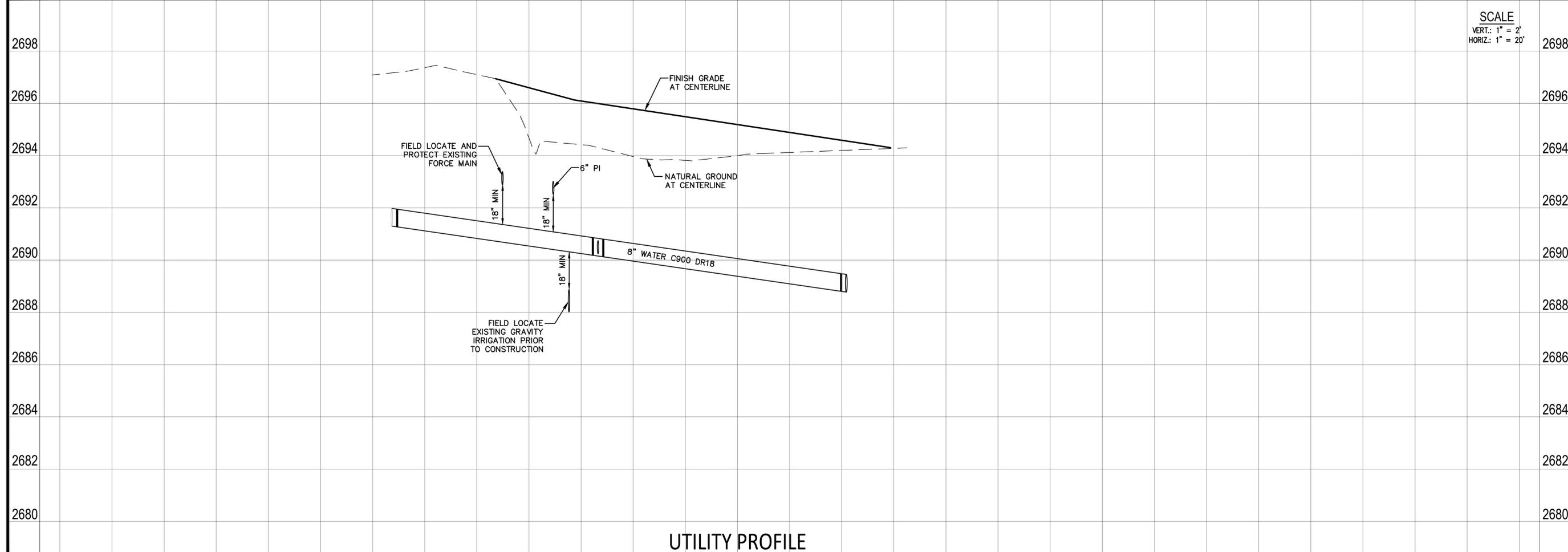
① STA: 0+89.27 329.96' R
 HOT TAP EXISTING MAIN
 COORDINATE WITH CITY FOR
 ALL REQUIREMENTS PRIOR
 TO CONSTRUCTION

② STA: 1+68.38 329.90 R
 8" TEE (MJ)
 8" x 6" REDUCER (FLGxMJ)
 8" ADAPTER (FLGxMJ)
 28 L.F. 6" WATER
 6" F.H. ASSEMBLY



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NAVD 88 DATUM



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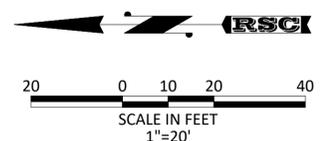
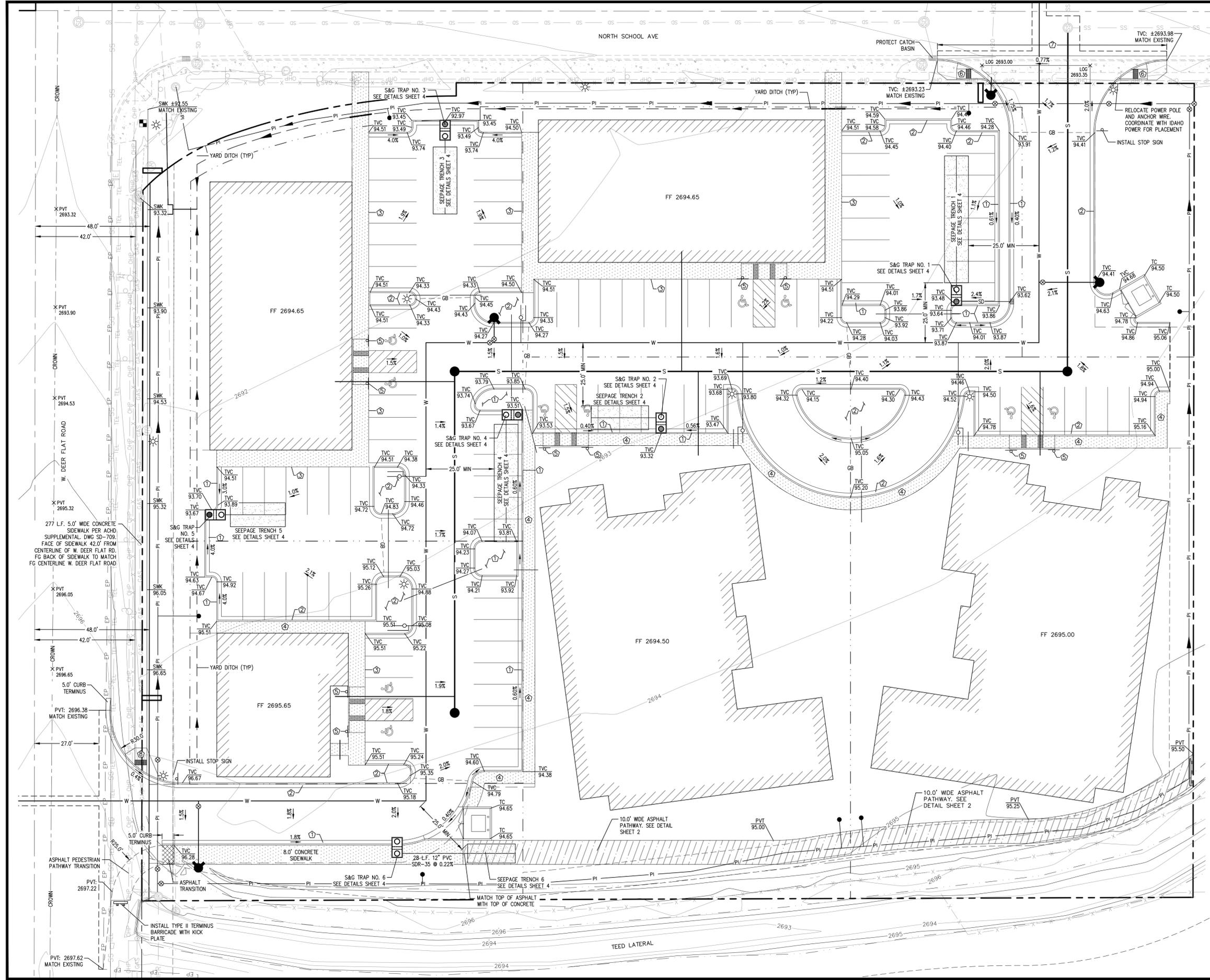
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UTILITY PLAN / PROFILE



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 Drawn By: JEC
 Date: April 22, 2020
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KEY NOTES

- ① INSTALL CURB AND GUTTER, ISPWC SD-701
- ② INSTALL CURB W/ REVERSE GUTTER PLATE, SEE DETAIL SHEET 2
- ③ THICKENED EDGE SIDEWALK SEE DETAIL SHEET 2
- ④ 5.0' WIDE SIDEWALK, SD-709
- ⑤ ADA PARKING SIGN, SEE DETAIL SHEET 2
- ⑥ PEDESTRIAN RAMP, SD-712C TYPE C4
- ⑦ SAWCUT AND REMOVE ±96 L.F. EXISTING CURB, GUTTER AND SIDEWALK, INSTALL 4.0' WIDE VALLEY GUTTER PER ISPWC SD-708, NEAT SAWCUT, TYPE "P" SURFACE REPAIR, MATCH EXISTING ROAD SECTION.
- ⑧ PEDESTRIAN RAMP, SD-712C TYPE C3

Revisions	
Date	Description
1 4/22/20	CITY OF KUNA COMMENTS
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3	
4	

ROCK SOLID CIVIL
Civil Engineering and Land Development Consulting
270 North 27th Street, Boise, ID 83702
Office Phone: 208.342.3277
www.rocksolidcivil.com

REUSE OF DRAWINGS
THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE IS THE PROPERTY OF ROCK SOLID CIVIL LLC AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF ROCK SOLID CIVIL LLC.

Project Name: **RED HAWK SQUARE SUBDIVISION**
Sheet Name: **GRADING AND DRAINAGE PLAN**



Water, sewer, and Irrigation plans are approved for construction. The design registered professional engineer's responsibilities and obligations listed in IDAPA 10.01.02 remain in effect.
By: *Paul A. Stevens, P.E.*
Paul A. Stevens, P.E.
Kuna City Engineer
Date: 5/4/2020

Project No. RSC 18-35
Drawn By: JEC
Date: April 22, 2020
Sheet No. **10** of 10

Aerial Map

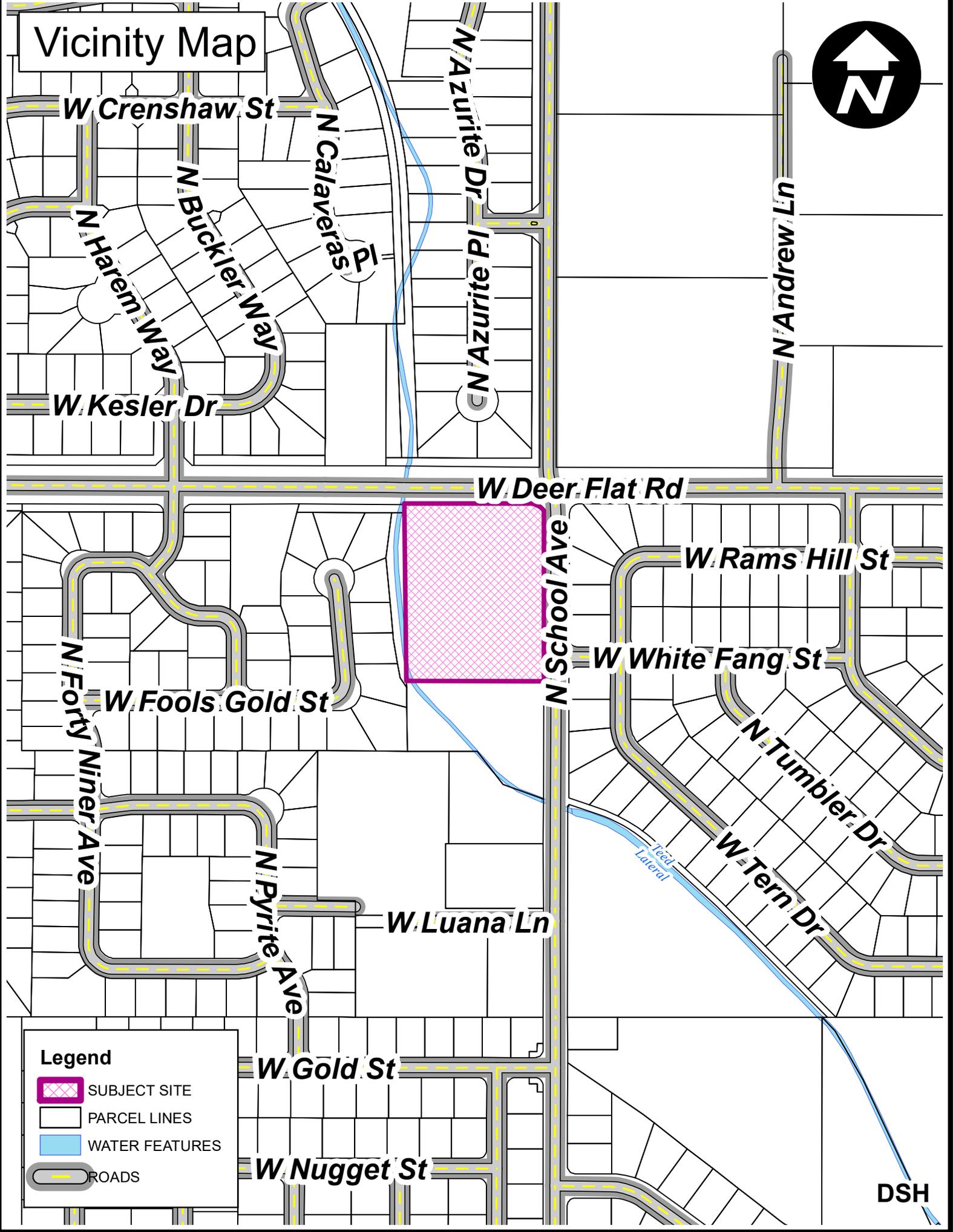


Legend

-  SUBJECT SITE
-  WATER FEATURES
-  ROADS

DSH

Vicinity Map



Legend

-  SUBJECT SITE
-  PARCEL LINES
-  WATER FEATURES
-  ROADS

DSH



City of Kuna
Planning & Zoning Department

City of Kuna
P.O. Box 13
Kuna, Idaho 83634
Phone: (208) 922-5274
Fax: (208) 922-5989
www.Kunacity.id.gov

Agency Transmittal

May 18, 2020

Notice is hereby given by the City of Kuna the following actions are under consideration:

FILE NUMBER:	20-09-DR (Design Review) – Francis Dental Office
PROJECT DESCRIPTION	Jessica Petty requests Design Review Approval for the Francis Dental Office, which consists of one lot on approximately 0.32 acres. (APN: S1323212411)
SITE LOCATION	The SWC of W. Deer Flat Road and N. School Avenue, Kuna, ID 83634.
REPRESENTATIVE	<i>Jessica Petty</i> 2882 S. Honeycomb Way Boise, ID 83716 208.867.0294 jessica@1215design.com
SCHEDULED HEARING DATE	Tuesday, June 23, 2020. 6:00 P.M.
STAFF CONTACT	Doug Hanson Dhanson@Kunald.Gov Phone: 922.5274 Fax: 922.5989

We have enclosed information to assist you with your consideration and response. ***No response within 15 business days will indicate you have no objection or comments for this project.*** We would appreciate any information as to how this action would affect the service(s) your agency provides. The hearing is scheduled to begin at 6:00 p.m. or as soon as it may be heard. Kuna City Hall is located at 751 W. 4th Street, Kuna, ID 83634. Please contact staff with questions. ***If your agency needs different plans or paper copies to review, notify our office know and we will send them. Please notify our office who future packets should be sent to, included their email as well.*** If your agency needs additional time for review, please let our office know ASAP.

Doug Hanson

From: Phil Roberts <proberts@kunafire.com>
Sent: Wednesday, May 20, 2020 10:07 AM
To: Doug Hanson
Subject: RE: 20-09-DR (Design Review) Francis Dental Office

I don't think we will have an issue with this but I can not open any of the attached documents.

*Phil Roberts
Fire Chief
Kuna Rural Fire District
208-922-1144 Ext 101
208-922-1982 Fax
208-870-3057 Cell*



From: Doug Hanson <dhanson@kunaid.gov>
Sent: Monday, May 18, 2020 5:00 PM
To: Paul Stevens <PStevens@kunaid.gov>; J&M Sanitation - Chad Gordon <Chad.Gordon@jmsanitation.com>; jmcdaniel@adaweb.net; Phil Roberts <proberts@kunafire.com>
Subject: 20-09-DR (Design Review) Francis Dental Office

May 18, 2020

Notice is hereby given by the City of Kuna the following actions are under consideration:

FILE NUMBER:	20-09-DR (Design Review) – Francis Dental Office
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STAFF CONTACT	Doug Hanson Dhanson@Kunald.Gov Phone: 922.5274 Fax: 922.5989
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Doug Hanson
 Planner 1
 City of Kuna
 751 W 4th St
 Kuna, ID 83634

Doug Hanson

From: Chad Gordon <chad.gordon@jmsanitation.com>
Sent: Wednesday, May 20, 2020 10:01 AM
To: Doug Hanson
Subject: Re: 20-09-DR (Design Review) Francis Dental Office
Attachments: Redhawk Square Sub.pdf

Doug,

Attached are the changes that are needed. With the complete build out of this project they will need 1 dumpster enclosure per building. I have marked on the plans with a red X where the other container enclosures will need to be placed. From what I can see on the detail sheet the enclosures themselves are the correct dimensions and design. The only thing on the enclosure that we want to make sure of is that the gate posts are placed at the end of the walls and not inset. This will allow the gates to swing open past 90 degrees. Let me know if you need anything else.

Thanks,

On Mon, May 18, 2020 at 4:59 PM Doug Hanson <dhanson@kunaid.gov> wrote:
May 18, 2020

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	jessica@1215design.com
SCHEDULED HEARING DATE	Tuesday, June 23, 2020. 6:00 P.M.
STAFF CONTACT	Doug Hanson Dhanson@Kunald.Gov Phone: 922.5274 Fax: 922.5989
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Doug Hanson

Planner 1

City of Kuna

751 W 4th St

Kuna, ID 83634

--

Chad J. Gordon

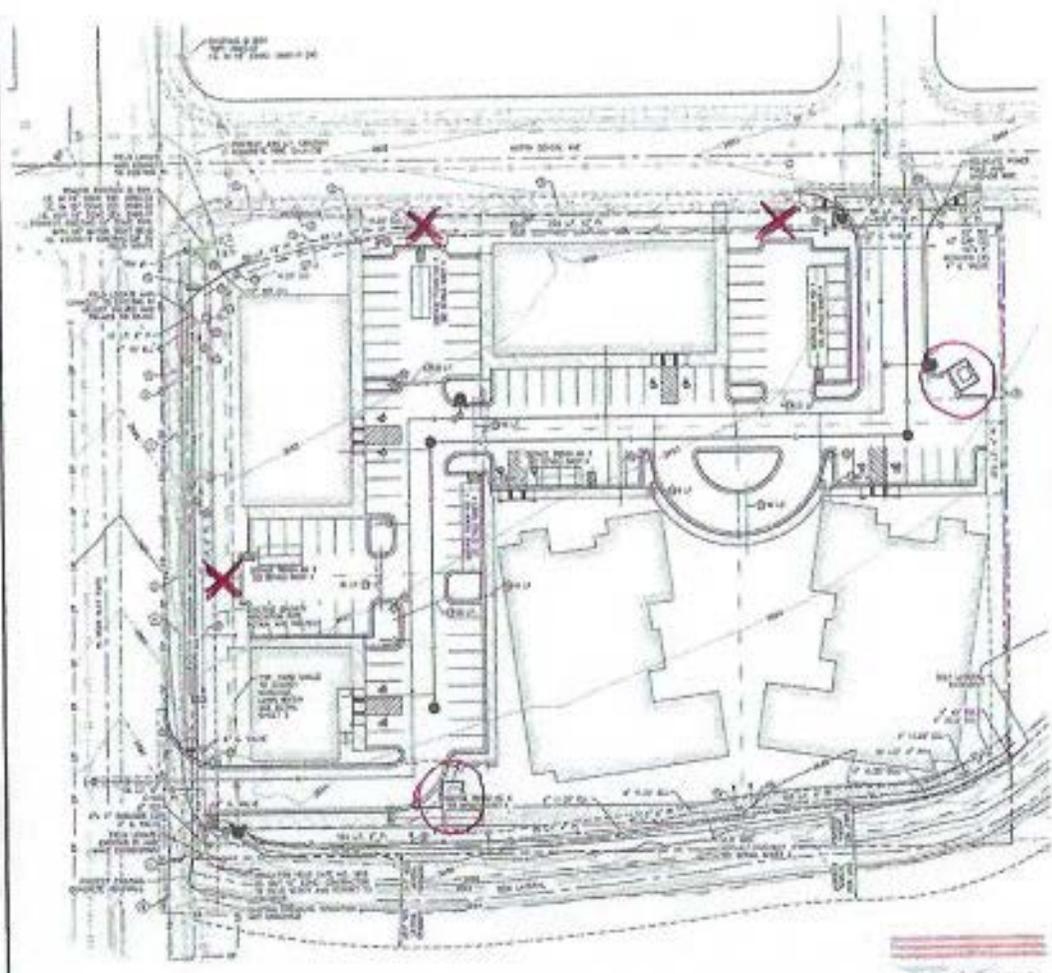
J&M Sanitation Inc.

Office # (208) 922-3313

Fax # (208) 922-4033

Cell # (208) 941-6371

E-mail : chad.gordon@jmsanitation.com



KEY NOTES

- 1. VERIFY EXISTING AND NEW CONCRETE WALLS AND FOUNDATIONS.
- 2. VERIFY EXISTING AND NEW CONCRETE SLABS AND BEAMS.
- 3. VERIFY EXISTING AND NEW CONCRETE FLOORS.
- 4. VERIFY EXISTING AND NEW CONCRETE ROOFS.
- 5. VERIFY EXISTING AND NEW CONCRETE PARTITIONS.
- 6. VERIFY EXISTING AND NEW CONCRETE STAIRS.
- 7. VERIFY EXISTING AND NEW CONCRETE CORES.
- 8. VERIFY EXISTING AND NEW CONCRETE CURBS AND WALLS.
- 9. VERIFY EXISTING AND NEW CONCRETE DRIVEWAYS AND PAVEMENTS.
- 10. VERIFY EXISTING AND NEW CONCRETE DRIVEWAYS AND PAVEMENTS.
- 11. VERIFY EXISTING AND NEW CONCRETE DRIVEWAYS AND PAVEMENTS.
- 12. VERIFY EXISTING AND NEW CONCRETE DRIVEWAYS AND PAVEMENTS.
- 13. VERIFY EXISTING AND NEW CONCRETE DRIVEWAYS AND PAVEMENTS.
- 14. VERIFY EXISTING AND NEW CONCRETE DRIVEWAYS AND PAVEMENTS.
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- 16. VERIFY EXISTING AND NEW CONCRETE DRIVEWAYS AND PAVEMENTS.
- 17. VERIFY EXISTING AND NEW CONCRETE DRIVEWAYS AND PAVEMENTS.
- 18. VERIFY EXISTING AND NEW CONCRETE DRIVEWAYS AND PAVEMENTS.
- 19. VERIFY EXISTING AND NEW CONCRETE DRIVEWAYS AND PAVEMENTS.
- 20. VERIFY EXISTING AND NEW CONCRETE DRIVEWAYS AND PAVEMENTS.

TERRAZZO INSTALLATION

1. TERRAZZO SHALL BE INSTALLED ON ALL FLOORS AND PARTITIONS AS SHOWN ON THESE PLANS.

2. TERRAZZO SHALL BE INSTALLED ON ALL FLOORS AND PARTITIONS AS SHOWN ON THESE PLANS.

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15. TERRAZZO SHALL BE INSTALLED ON ALL FLOORS AND PARTITIONS AS SHOWN ON THESE PLANS.

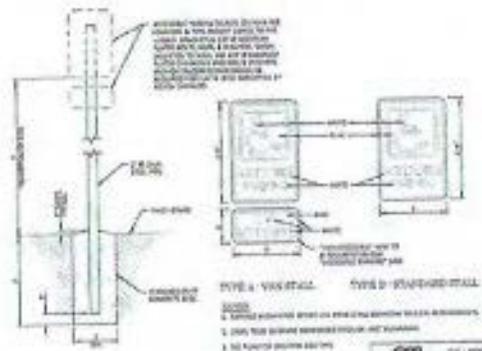
16. TERRAZZO SHALL BE INSTALLED ON ALL FLOORS AND PARTITIONS AS SHOWN ON THESE PLANS.

17. TERRAZZO SHALL BE INSTALLED ON ALL FLOORS AND PARTITIONS AS SHOWN ON THESE PLANS.

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20. TERRAZZO SHALL BE INSTALLED ON ALL FLOORS AND PARTITIONS AS SHOWN ON THESE PLANS.



A.A. FABRICA S.p.A.
 Via ...
 ...

Revisions

No.	Description	Date
1	ISSUE FOR PERMIT	...
2	ISSUE FOR PERMIT	...
3	ISSUE FOR PERMIT	...

ROCK SOLID CIVIL
 ENGINEERS AND ARCHITECTS
 1000 ...
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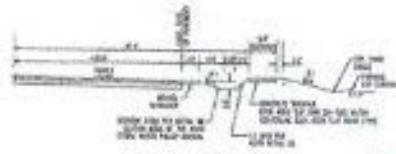
REDHAWK SQUARE SUBDIVISION
 CIVIL AND UTILITY PLAN
 PRESSURE BERGATION

Scale: 1/4" = 1'-0"

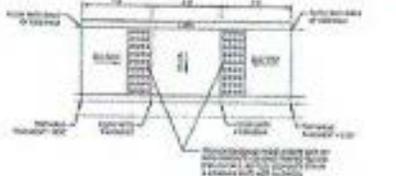
Sheet No. 42

Date: 04/20/2020

Sheet 3 of 10



MEET FLAT ROAD DETAIL



REGULAR ROAD DETAIL



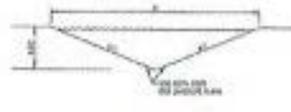
FUNCTIONAL DETAIL



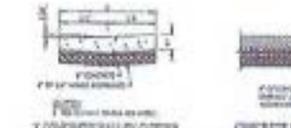
TRAP DETAIL



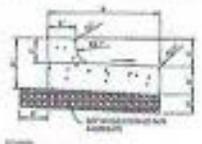
ASPHALT PAVEMENT DETAIL



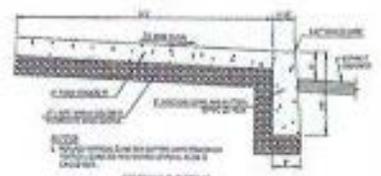
CONTOUR DETAIL



CONCRETE PAVEMENT DETAIL



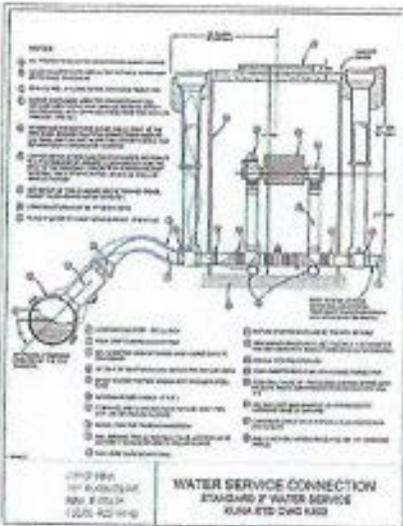
VERTICAL CURB & GUTTER DETAIL



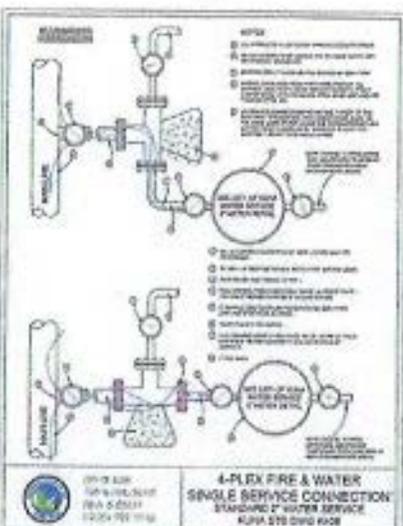
SINKAGE DETAIL

GENERAL NOTES

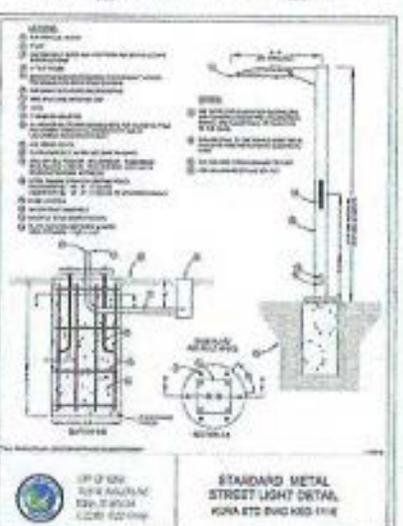
1. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED.
2. ALL MATERIALS SHALL BE AS SPECIFIED IN THE SPECIFICATIONS.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY MAINTENANCE.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY UTILITIES.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY STRUCTURES.
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY TRAFFIC CONTROL.
8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY SAFETY.
9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY ENVIRONMENTAL PROTECTION.
10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY ACCESSIBILITY.



WATER SERVICE CONNECTION
STANDARD 2" WATER SERVICE
KUNA STD CIVIL 6408



4-PLEX FIRE & WATER
SINGLE SERVICE CONNECTION
STANDARD 2" WATER SERVICE
KUNA STD CIVIL 6408



STANDARD METAL
STREET LIGHT DETAIL
KUNA STD CIVIL 6408 1114

Revisions

No.	Description	Date
1	ISSUED	04/17/2009



ROCK SOLID CIVIL
INCORPORATED
1000 S. 1000 E. SUITE 100
KUNA, IDAHO 83642
PHONE: 208-853-1114
FAX: 208-853-1115
WWW.ROCKSOLIDCIVIL.COM

Project Name: RECREATION SQUARE SANITIZATION
Sheet No: 05
Date: April 17, 2009
Scale: 1" = 10'-0"



Project No: 888-16-24
Drawn By: JC
Date: April 17, 2009
Scale: 1" = 10'-0"
2 of 10



CITY OF KUNA
P.O. BOX 13
KUNA, ID 83634
www.kunacity.id.gov

Paul A. Stevens, P.E.
Kuna City Engineer
208-287-1727

DESIGN REVIEW MEMORANDUM

Date: 19 June 2020
From: Paul A. Stevens, P.E.
To: Wendy Howell, Planning and Zoning Director
RE: 20-09-DR FRANCIS DENTAL OFFICE

The Francis Dental Office design review application dated 18 May 2020 has been reviewed. The following narrative is limited to the design review request. Items such as number of parking spaces, sufficiency of Handicapped facilities and landscaping are not a function of Public Works. Comments regarding landscaping, parking and associated facilities will be generated from the respective disciplines. The lot area as shown on the site plan is approximately 14,114 square feet (0.32) Acres. Approximately 3,015 square feet (21%) of the lot will contain the building, the balance of 11,099 (79%) square feet will contain parking and landscaping.

1. General

- a. Street lights appear evenly spaced and adequate.
- b. All connections to City utilities (pressurized irrigation, sewer, water) shall adhere to the City of Kuna standards in effect at the time of construction.
- c. Coordinate connection to City utilities with the City of Kuna Public Works department.

2. On Site Stormwater Retention

- a. The civil construction drawings show on site storm water retention. The calculations have been checked. The storm water system design matches or exceeds standard storm water requirements.

3. Irrigation

- a. Pressurized irrigation is included in the civil design package.
- b. Connection to potable water for irrigation is not allowed.

4. Sewer

- a. A sewer mainline of sufficient capacity has been extended to service this property.
- b. Commercial units require separate sewer services.

5. Water

- a. A water mainline of sufficient capacity has been extended to service this property.
- b. Commercial units require separate water services.

- c. The Kuna Fire Department shall review fire suppression capabilities of the lot and shall provide their requirements concerning fire hydrant location.



City of Kuna

Planning and Zoning Commission

Staff Report

P.O. Box 13
 Phone: (208) 922-5274
 Fax: (208) 922-5989
www.Kunacity.id.gov

To: Planning and Zoning Commission

Case Numbers: 19-08-ZC (Rezone), 19-10-S (Preliminary Plat), 19-06-SUP (Special Use Permit) & 20-03-DR (Design Review) **Monarch Landing Commercial Subdivision**

Site Location: 1901 W. Hubbard Rd, Kuna, ID 83634

Planner: Troy Behunin, Planner III

Hearing Date: June 23, 2020

Owner: Dennis Wolfgram
 1901 W. Hubbard Rd.
 Kuna, ID 83634

Applicant: Lete Family Revocable Trust
 117 N. King's Rd.
 Nampa, ID 83687
 208.465.5013
inaki@kinggateid.com

Representative: Mason & Associate, Inc.
 924 3rd St. South Ste. B
 Nampa, ID 83657
 208.454.0256
wmason@masonandassociates.us

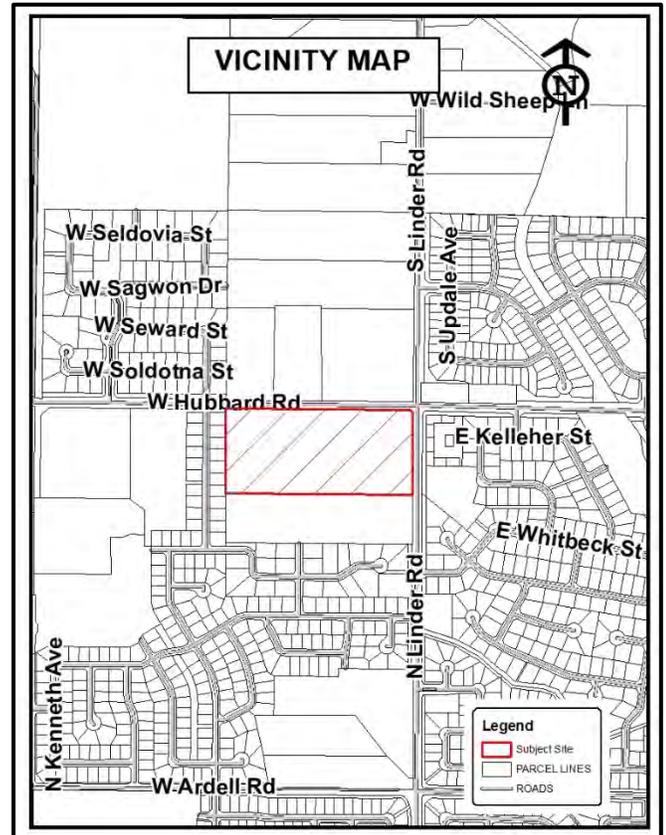


Table of Contents:

- | | |
|--------------------------|--|
| A. Process and Noticing | F. Applicable Standards |
| B. Applicants Request | G. Proposed Comprehensive Plan Analysis |
| C. Site History | H. Proposed Kuna City Code Analysis |
| D. General Project Facts | I. Proposed Recommendation by the Commission's |
| E. Staff Analysis | |

A. Process and Noticing:

1. Kuna City Code (KCC), Title 1, Chapter 14, Section 3, states that Special Use Permits (SUP) are designated as *public hearings*, and that design review (DR) applications are designated as *public meetings*, with the Planning and Zoning Commission (acting as the Design Review Board) as the decision-making body; and that rezones and preliminary plats are designated as *public hearings*, with the Planning and Zoning Commission as a recommending body and City Council as the decision-making body. These land use applications were given proper public notice and followed the requirements set forth in Idaho Code, Chapter 65, Local Planning Act.

a. Notifications

- i. Neighborhood Meeting September 05, 2019 (10 persons attended)

- ii. Agency Comment Request March 2, 2020
- iii. 400' Property Owners Notice June 11, 2020
- iv. Kuna Melba Newspaper June 3, 2020
- v. Site Posted May 14, 2020

B. Applicant's Request:

Mason & Associates, Inc. (applicant) requests Rezone, Preliminary Plat, Special Use Permit (SUP) and Design Review approvals for the Monarch Landing Subdivision. Applicant requests a rezone for approx. 17.34 total acres from Agriculture (AG) to a C-3 Commercial (Service Commercial) zone. Applicant also requests preliminary plat approval in order to re-subdivide Lot 1, Block 1 of Tukila Meadow Sub into 15 total lots, and requests a SUP to place an approx. 5 acre self-storage facility on the same site. The subject site is at the SWC Linder and Hubbard Roads, Kuna, ID 83634, within Section 14, Township 2 North, Range 1 West (APN R8555340170).

C. Site History:

The parcel is currently zoned Agriculture within Kuna City limits. Historically this parcel has served as a residence and farmland/pasture.

D. General Projects Facts:

1. **Comprehensive Plan Map:** The Future Land Use Map (FLUM) is intended to serve as a *guide* for the decision-making body for the City. The FLUM indicates land use designations generally speaking, it is not the actual zone. The Future Land Use Map identifies this 17.34-acre site as a commercial site. Please see the FLU map attached to the back of this report.

2. **Recreation and Pathways Map:** The Recreation and Pathways Master Plan Map does not call for a future pathway/trail through or adjacent to the subject site.

3. **Surrounding Land Uses:**

North	RR	Rural Residential – Ada County
South	A	Agriculture – Kuna City
East	C-1	Neighborhood Commercial – Kuna City
West	R-4	Medium Density Residential – Kuna City

4. **Parcel Sizes, Current Zoning, Parcel Numbers:**

Property Owner	Parcel Size	Current Zone:	Parcel Numbers
Wolfgram, Dennis & Helene	17.34 acres	Ag. (Agriculture)	R8555340170

5. **Services:**

- Sanitary Sewer– City of Kuna
- Potable Water – City of Kuna
- Pressurized Irrigation – City of Kuna (KMIS)
- Fire Protection – City of Kuna (KRFD)
- Police Protection – Kuna Police (Ada County Sheriff's office)
- Sanitation Services – J & M Sanitation

6. **Existing Structures, Vegetation and Natural Features:**

The proposed project site contains one single-family home and three (3) outbuildings. Vegetation on-site is consistent with that of a residence and for farmland. The site has an estimated average slope less than 1.25%. Bedrock depth is estimated to be greater than 60 inches according to the USDA Soil Survey for Ada County.

7. **Transportation / Connectivity:**

The applicant proposes connection to existing Hubbard Road at two points and proposes access to Linder Road. Staff informed the applicant that ACHD has separation requirements for site accesses and intersections, and the closer they get to the intersection of Linder and Hubbard their chances for ingress/egress approval are diminished.

8. **Environmental Issues:**

Staff is not aware of any environmental issues, health or safety conflicts beyond the designation of being in the nitrate priority area. Idaho Department of Environmental Quality (DEQ) has provided recommendations for surface and groundwater protection practices and requirements for development of the site.

9. **Agency Responses:** The following responding agency comments are included as exhibits with this case file:

- City Engineer Exhibit C-1
- Ada County Highway District Exhibit C-2
- Boise Project Board of Control Exhibit C-3
- Central District Health Department Exhibit C-4
- Department of Environmental Quality Exhibit C-5

E. **Staff Analysis:**

The applicant proposes to rezone lot 1, Block 1 within the Tukila subdivision from Agriculture (Ag.) to C-3 (Area Commercial). Lot 1, Block 1 is approximately 17.34 acres, and is within Kuna City limits. Applicant proposes to subdivide the 17.34 acres into 15 total lots (10 buildable lots, five (5) common lots). Additionally, the applicant seeks a Special Use Permit (SUP) in order to place an approximate 5 acre self-storage facility on a part of the 17.34 acres. The applicant held a neighborhood meeting with residents within 400 ft of the subject site on September 5, 2019. There were 10 people who attended the meeting. Minutes from the neighborhood meeting are included in packet.

The applicant proposes three separate points of access, two on Hubbard road, and one on Linder Road. ACHD has policies and design standards for access on classified roads that must be followed; both are classified as Mile arterial roads. ACHD has recommended that both access points on Hubbard line up with the two existing accesses to the north, and that the eastern access should be a temporary full-access. ACHD has also recommended that the Linder Rd. access be a Right In/Right Out (RIRO) and located between lots 14 & 15. Staff supports a full access for the proposed western Hubbard Rd. access (approx. 675’ west of the intersection) as long as it lines up with the northern access. With Councils approval staff will support a RIRO for the proposed eastern Hubbard access and a RIRO for the Linder Road access. Due to the increasing volume of traffic at this intersection staff does not support a full-access for the proposed eastern Hubbard Road or Linder Road access points. Staff would recommend the applicant be conditioned to follow Kuna City Code (KCC) for improvements to include curb, gutter and an 8 foot sidewalk on both frontages. The City does not allow for borrow ditches for any roads. If a classified road does not meet the ACHD policies for vertical curb and if the need arises for borrow ditches on classified roads and if ACHD specifically does not allow vertical curb, staff recommends the applicant be conditioned to obtain a license agreement from ACHD to provide sod and watering source in the borrow ditches as allowed. Applicant shall provide sand windows for draining. It is the goal of the City of Kuna to have a completed project along roadways and dirt/gravel are not a completed road section.

Although the existing residence is not a part of the proposed preliminary plat, it is still part of the overall project and impact to the area. Staff notified the applicant prior to submittal to expect to be required to fully improve the frontage along Hubbard Road including connection to the existing sidewalk to the west to complete this section of an arterial road. This proposed development will create a small remnant property and will likely not be redeveloped for a long time. If this is not improved with this development, it will create a gap in the road section and the sidewalk greater than 300’ with commercial attracting more vehicle and foot traffic, in compliance with Objective 4.B.2 of the Comp Plan.

Staff notes that the proposed preliminary plat appears to follow KCC. Staff would highlight that a note on the plat states that there is a 20' landscaping strip along the frontages. While the width is sufficient, staff would recommend that the landscaping 'strip' be placed in a common lot to be owned and maintained by the property owners' association. Staff believes this was the intent, since common lots are proposed with the plat. Staff recommends the note be removed or edited appropriately.

Kuna's Comprehensive Plan (Comp Plan), encourages a variety of commercial uses to be established throughout the City numerous times throughout the document. Additionally, the City encourages commercial uses on corners of arterial roadways. This project proposes a Special Use Permit (SUP) in order to develop an approximately five-acre self-storage facility in the western part of the 17+ acres. KCC allows for self-storage facilities within a C-3 zone after an applicant obtains a SUP. Staff supports a five-acre self-storage facility at this location provided the applicant places the storage units as proposed. This application also provides for additional commercial uses on the Linder and Hubbard frontages, including the hard corner. The Comp plan encourages a variety of Commercial uses throughout the City as described in Section G (Comp Plan Analysis) of this report.

A design review application for common area landscaping and open space was included as a part of the overall application. Staff reminds the applicant that he will be required to follow KCC 5-17 landscaping requirements for all common areas. Staff finds the proposed landscaping and buffers do not appear to be in compliance with Kuna City Code and additional trees and shrubs will be required along the frontages and other common areas. Staff recommends that the applicant be conditioned to provide a new landscape plan compliant with KCC 5-17. Staff notes that if this project is approved, at the time of site development, landscaping may not be placed within ten (10) feet of any and all meter pits, pressurized irrigation valves, street lights or ACHD underground facilities.

The two Zones, C-3 and all residential uses are competing uses and require a buffer between them. The Design Review application for the storage units, does not include a transition separating the competing uses. Since the lands to the south are designated as a complementary commercial use, a buffer shall not be required. However, staff recommends that during design review for the Storage Units buildings, that an organic landscaped strip at least 15' wide be provided to separate residential uses on the west, and the Commercial Uses within this proposal. A monument sign for the subdivision has not been included in this application and that any proposed signage must go through the design review process prior to construction/placement. The signage must be in conformance with Kuna City Code 5-10. Applicant is hereby notified that this project is subject to design review inspection and fees for all buildings, landscaping, parking lot(s), and street lights. Required inspections (post construction), are to verify landscaping compliance prior to signature on the final plat.

Staff has determined the rezone request, the preliminary plat and design review (with recommended changes) generally comply with the goals and policies for Kuna City, Title 5 and Title 6 of the Kuna City Code; Idaho Statute § 67-6511; and the Kuna Comprehensive Plan. Staff recommends that if the Planning and Zoning Commission recommends approval of Case No's 19-08-AN (Rezone) and 19-10-S (Preliminary Plat) and approves Case No. 20-03-DR (Design Review), the applicant be subject to the conditions of approval listed in section "I" of this report, as well as any additional conditions requested by the *Planning and Zoning Commission*.

F. Applicable Standards:

1. City of Kuna Zoning Ordinance Title 5.
2. City of Kuna Subdivision Ordinance Title 6.
3. City of Kuna Comprehensive Plan.
4. City of Kuna Landscape Ordinance in Title 5.
5. Idaho Code, Title 67, Chapter 65- the Local Land Use Planning Act.

G. Proposed Comprehensive Plan Analysis:

Kuna Planning and Zoning Commission may (accept or reject) the Comprehensive Plan components, and shall determine if the proposed rezone and preliminary plat requests for the site *are/are not* consistent with the following Comprehensive Plan components as described below:

Goal Area 1: Kuna will be economically diverse and vibrant.

Goal 1 A: Ensure Land use in Kuna will support economic development.

- 1 B: Support development of a skilled, talented and trained workforce.
- 1 C: Attract and encourage new and existing businesses.
- 1 D: Address and plan for economic expansion of the City and region.

Objectives:

1.A.2. Create commercial nodes and corridors that support development of economic opportunities that do not compete with downtown revitalization efforts.

Policies:

1A.2.d: Designate a sufficient quantity of land on the Future Land Use Map for commercial use.

Plan Implementation: (Pg. 18)

2. Develop true mixed-use areas and new commercial areas and employment centers.

Goal Area 3: Kuna’s land uses will support a desirable, distinctive and well-designed community.

Goal 3 C: Encourage development of commercial areas with good connectivity and character.

Goal Area 4: Kuna will be a connected community through strong transportation and infrastructure systems.

- Goal 4.B.2: Maintain and expand sidewalks and pedestrian facilities within the community.

Policies:

4.B.2.C. Promote the installation of off-system pedestrian pathways to create neighborhood connections and reduce the length of non-motorized transportation routes.

Objectives:

4.C.2: Ensure expansion of pathways, trails and on-street bicycle routes.
4.C.2.c: Promote the installation of off-system bicycle pathways to create neighborhood connections and reduce non-motorized transportation route lengths.

- Goal 4.D: Promote a connected street network that incorporates mid-mile collectors and crossing for improved neighborhood connectivity.

INTENT:

1. *Reducing access to Meridian Road/Highway 69;*
2. *Improving connectivity, and*
3. *Providing viable access to the growing commercial/mixed-use corridor.*

- Objective 4.D.2: Ensure the continued expansion/development of (mile and) mid-mile collector system throughout the community.
 - Policy 4.D.1.a: Extend and expand section line roads as growth occurs.
 - Policy: 4.D.1.c: Initiate capital projects, including roadway segments and canal crossings, to fill gaps in the section line roadway system.
 - Policy 4.D.1.b: Preserve adequate right-of-way along all (mile and) mid-mile roads or other approved alternative locations to align roads.

H. Proposed Kuna City Code Analysis:

1. This request appears to be consistent and in compliance with all Kuna City Code (KCC).

Comment: *The proposed applications **adhere/do not adhere** to the applicable requirements of Title 5 and Title 6 of KCC.*

2. The Planning and Zoning Commission feels the site **is/is not** physically suitable for the proposed development.

Comment: *The 17.34-acre approximate (approx.) site **does/does not** appear to be suitable for the proposed development.*

3. The rezone, preliminary plat and SUP requests **are/are not** likely to cause substantial environmental damage or avoidable injury to wildlife or their habitat.

Comment: *The land to be developed is not used as wildlife habitat. Roads, driveways, family units and open spaces are planned for construction according the City and ACHD requirements and best practices and will therefore not cause environmental damage or loss of habitat.*

4. These applications **are/are not** likely to cause adverse public health problems.

Comment: *The project would connect to public sewer and potable water systems, therefore eliminating the occurrence of adverse public health problems.*

5. The application **does/does not** appear to avoid detriment to the present and potential surrounding uses; to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing adjacent uses.

Comment: *The rezone, preliminary plat and SUP requests considers the location of the property and adjacent uses. The adjacent uses are medium density residential and commercial (Kuna City) and rural residential (Ada County).*

6. The existing and proposed street and utility services in proximity to the site **are/are not** suitable or adequate for a commercial development.

Comment: *Correspondence from ACHD and Kuna Public Works confirms that the streets and utility services are suitable and adequate for this project, however, per Kuna City Engineer, a commensurate impact of City services will result with this development.*

I. Proposed Recommendation by the Commission:

Note: These motions are for the approval, conditional approval or denial of the design review application and the recommendation of approval, conditional approval or denial of the annexation and preliminary plat applications to the City Council. However, if the planning and Zoning Commission wishes to approve or deny specific parts of these requests as detailed in the report, those changes must be specified.

Based on the facts outlined in staff's report and public testimony as presented, the Planning and Zoning Commission of Kuna, Idaho, hereby recommends **approval/conditional approval/denial** of Case No's 19-08-ZC (Rezone) and 19-10-S (Preliminary Plat), a rezone and subdivision request from Mason & Associates, Inc. requests a rezone for approx. 17.34 acres from Ag. **TO** a C-3 (Area Commercial) zone and to subdivide the same 17.43 acres into 15 total lots (10) buildable lots, five (5) common lots); AND **approves/conditionally approves/deny** Case No's 19-06-SUP (Special Use Permit) 20-03-DR (Design Review), subject to the following conditions of approval:

1. The applicant and/or owner shall obtain written approval on letterhead or may be written/stamped on the approved plans of the construction plans from the agencies noted below. All submittals are required to include the lighting, landscaping, drainage, and development plans. All site improvements are prohibited prior to approval of the following agencies:
 - a. The City Engineer shall approve the sewer hook-ups.
 - b. The City Engineer shall approve all civil plans. No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of the drainage plan.
 - c. Central District Health Department recommends the plan be designed and constructed in conformance with standards contained in, "Catalog for Best Management Practices for Idaho Cities and Counties".
 - d. The Kuna Fire District shall approve fire flow requirements and/or building plans. Installation of fire protection facilities as required by Kuna Fire District are required.
 - e. The Kuna Municipal Irrigation System and Boise Project Board of Control shall approve any modifications to the existing irrigation system.
 - f. Approval from Ada County Highway District (ACHD) shall be obtained and Impact Fees must be paid prior to *issuance* of any building permit(s).
 - g. All public rights-of-way shall be dedicated and constructed to standards of the City and Ada County Highway District. No public street construction may commence without the approval and permit from Ada County Highway District.
2. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground, see **KCC 6-4-2-W**.
3. Compliance with Idaho Code, Section §31-3805 pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site. Compliance with the requirements of the Boise Project Board of Control is required.
4. When required, submit a petition to the City (as necessary, confirmed with the City engineer) consenting to the pooling of irrigation surface water rights for delivery purposes and request to annex the irrigation surface water rights appurtenant to the property over to the Kuna Municipal Pressure Irrigation system of the City (KMID).
5. Connection to City Services (Sewer, Water, Pressurized Irrigation) is required. The applicant shall conform all corresponding Master Plans.
6. Curb, gutter and sidewalk (attached and detached) shall be installed in accordance with Kuna City Code Title 5 Chapter 17.
7. Preliminary Plat note No. 9 shall be amended to state common lots, or be eliminated. A revised preliminary plat shall be submitted to the Planning and Zoning Department for approval.
8. Applicant shall work with staff in order to provide locations of street lights as required by Kuna City Code.
9. Street lights for the site shall be LED lighting and must comply with Kuna City Code and established Dark Skies practices.
10. Fencing within and around the site shall comply with Kuna City Code (Unless specifically approved otherwise and permitted).
11. All required landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace unhealthy or dead plant material within 3 days or as the planting season permits as required to meet the standards of these requirements. Maintenance and planting within public rights-of-way shall be with approval from the public entities owning the property.
12. If ACHD *specifically* does not allow vertical curb for classified roads, the applicant is conditioned to obtain a license agreement from ACHD to provide sod and watering source in the borrow ditches as allowed, including sand windows for draining.
 - 12.1 Otherwise, road widening and full improvements is hereby conditioned.
13. The applicant's updated Landscape Plan shall be considered a binding site plan, or as modified and approved through the public hearing process.

14. Applicant shall comply with Kuna City Code 5-17 for all common areas. The applicant shall provide staff with an amended landscape plan.
15. Landscaping cannot be placed within ten (10) feet of any and all meter pits, pressurized irrigation valves, and/or ACHD underground facilities and must honor all vision triangles.
16. Applicant shall provide an organic landscaped strip at least 15' wide on the west side during the Design Review for the Storage units.
17. If any revisions are made, the applicant shall provide the Planning and Zoning Staff with a revised copy of the preliminary plat.
18. Any revisions of the plat are subject to administrative determination to rule if the revision is substantial.
19. The land owner/applicant/developer, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the City Council, or seek amending them through public hearing processes.
20. Developer/owner/applicant shall follow staff, City engineers and other agency recommended requirements as applicable.
21. Developer/owner/applicant shall comply with all local, state and federal laws.

DATED this _____ day of _____, 2020.



City of Kuna
Planning and Zoning Commission
Proposed Findings of Fact and Conclusions of Law

P.O. Box 13
Phone: (208) 922-5274
Fax: (208) 922-5989
www.Kunacity.id.gov

Based upon the record contained in Case No's 19-08-ZC and 19-06-S including the Comprehensive Plan, Kuna City Code, Staff's Memorandums, including the exhibits, and the testimony during the public hearing, the Kuna Commission hereby recommends **approval/conditional approval/denial** for Case No's 19-08-ZC and 19-06-S and the Commission hereby **approves/conditionally approves/denies** the Findings of Fact and Conclusions of Law, and conditions of approval for Case No's 19-08-SUP and 20-03-DR, a request from Mason & Associates, Inc. for Special use Permit for a five-acre self-storage unit facility and design review for the 19-06-S Monarch Landing Subdivision Preliminary Plat with the following Findings of Fact and Conclusion of Law:

If the planning and Zoning Commission wishes to approve, deny or modify specific parts of the Findings of Facts and Conclusions of Law as detailed below, those changes must be specified.

1. *Based on the evidence contained in Case No's 19-08-AZC, 19-10-S, 19-06-SUP and 20-03--DR, this proposal **does/does not** generally comply with the City Code.*

Staff Finding: *The applicant has submitted a complete application, and following staff review for technical compliance the application appears to be in general compliance with the design requirements, public improvement requirements, objectives and considerations listed in Kuna City Code Title 5 and Title 6.*

2. *The public notice requirements have been met and the neighborhood meeting was conducted within the guidelines of applicable Idaho Code and City Ordinances.*

Staff Finding: *Neighborhood Notices were mailed out to residents within 400-FT of the proposed project site on June 11, 2020 and a legal notice was published in the Kuna Melba Newspaper on June 3, 2020. The applicant posted sign on the property on May 14, 2020.*

3. *Based on the evidence contained in Case No's 19-08-ZC, 19-10-S, 19-06-SUP and 20-03-DR, this proposal **does/does not** generally comply with the Comprehensive Plan.*

Staff Finding: *The Comp Plan has listed numerous goals for providing a variety of Commercial throughout the City to accommodate various commercial needs in Kuna. The proposed zoning designation is C-3 (Area Commercial). The Comp Plan Map designates the northern property as Commercial.*

4. *The contents of the proposed preliminary plat application **does/does not** contain all of the necessary requirements as listed in Kuna City Code 6-2-3: - Preliminary Plat.*

Staff Finding: *Review by Staff of the proposed preliminary plat confirms all technical requirements listed in KCC 6-2-3 were provided.*

5. *The availability of existing and proposed public services and streets **can** accommodate the proposed development.*

Staff Finding: *Correspondence from ACHD and Kuna Public Works confirms that the streets and utility services and suitable and adequate to accommodate the proposed project. It should be noted that installation of this project will place a commensurate impact on City services.*

6. The proposed development *is* continuous with Master Utility Plans (Sewer/Water/Pressurized Irrigation).

Staff Finding: *Correspondence from Kuna Public Works recommends the applicant be required to conform to the Master Sewer Plan, Master Water Plan and Master Pressurized Irrigation Plan, therefore satisfying this requirement.*

7. The public **does/does not** have the financial capability to provide supporting services to the proposed development.

Staff Finding: *Throughout the development of the project and beyond, connection fees, impact fees (Fire, police, Park and Ada County Highway District), and property taxes will be collected, therefore satisfying the financial capability to provide supporting services.*

8. The proposed project **does/does not** consider health and safety of the public and the surrounding area's environment.

Staff Finding: *Connection to City services, as well as other public improvements such as streetlights, fire hydrants, sidewalks, bike lanes, etc. are required to be implemented as a part of this project. No major wildlife habitats will be impacted by the proposed development.*

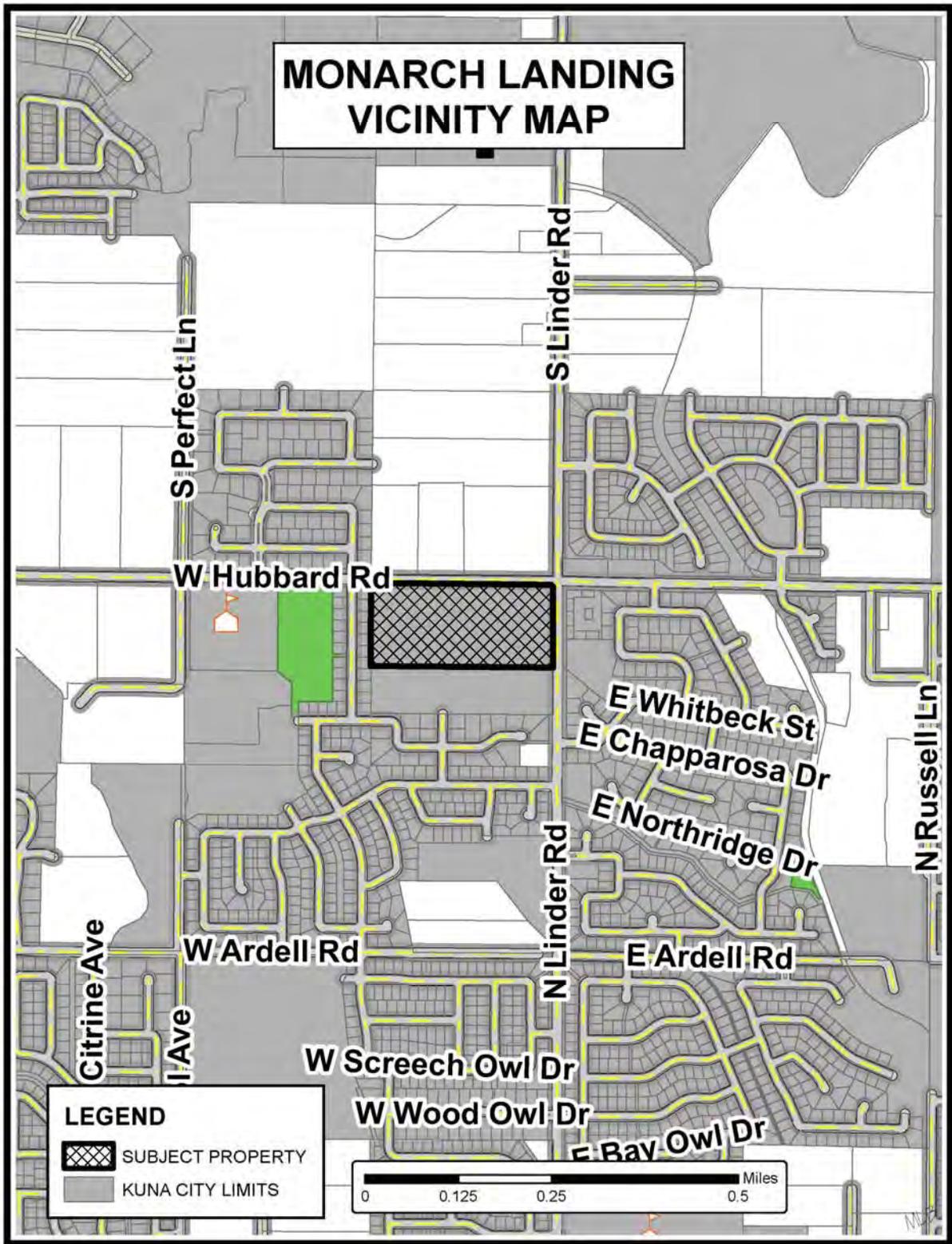
9. The proposed project lands *are* within Kuna's jurisdiction.

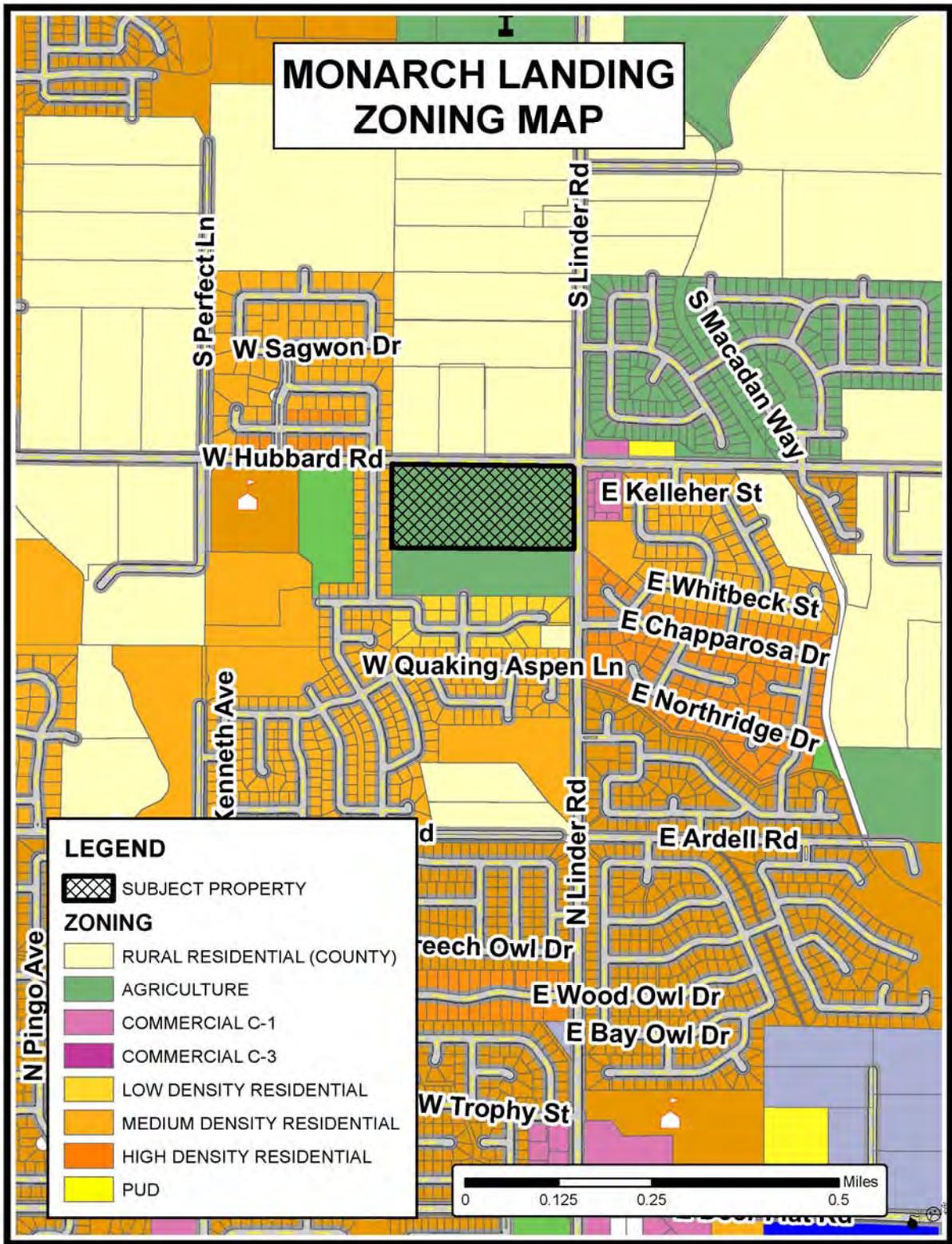
Staff Finding: *The parcel is already in City limits.*

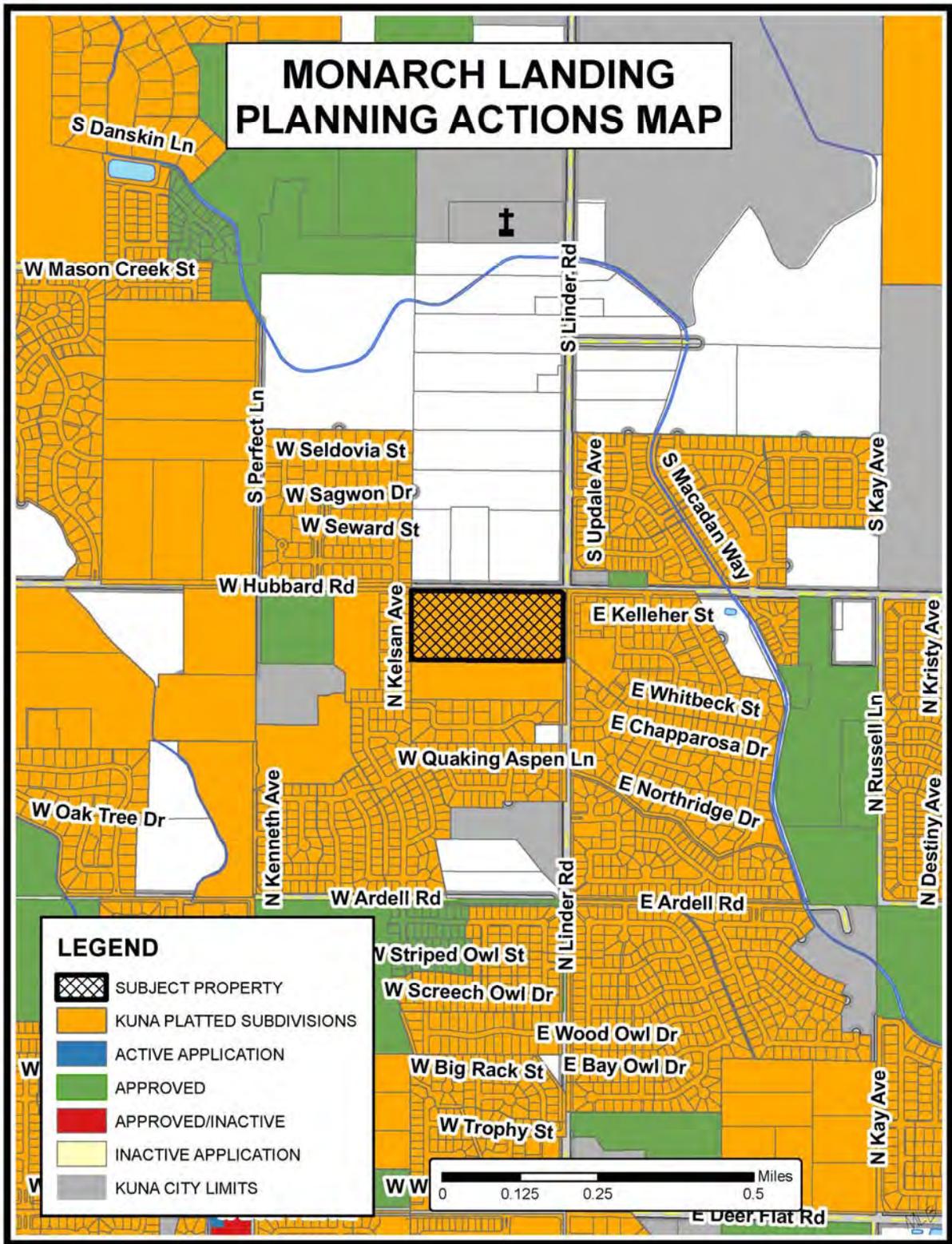
10. The site landscaping **does/does not** minimize the impact on adjacent properties through the use of screening.

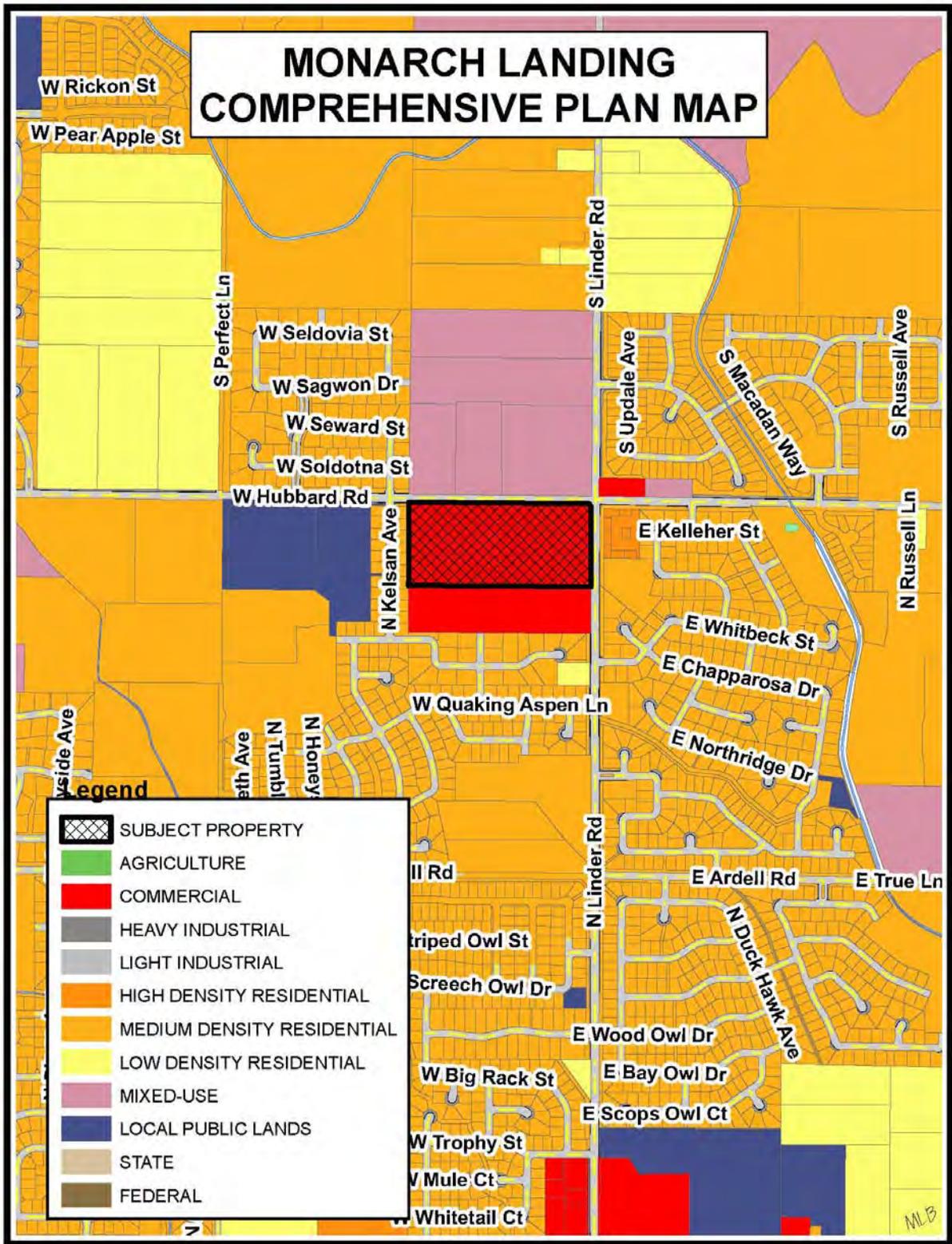
Staff Finding: *Staff recommends a buffer be placed between competing zones to be conditioned here and through design review for future commercial uses.*

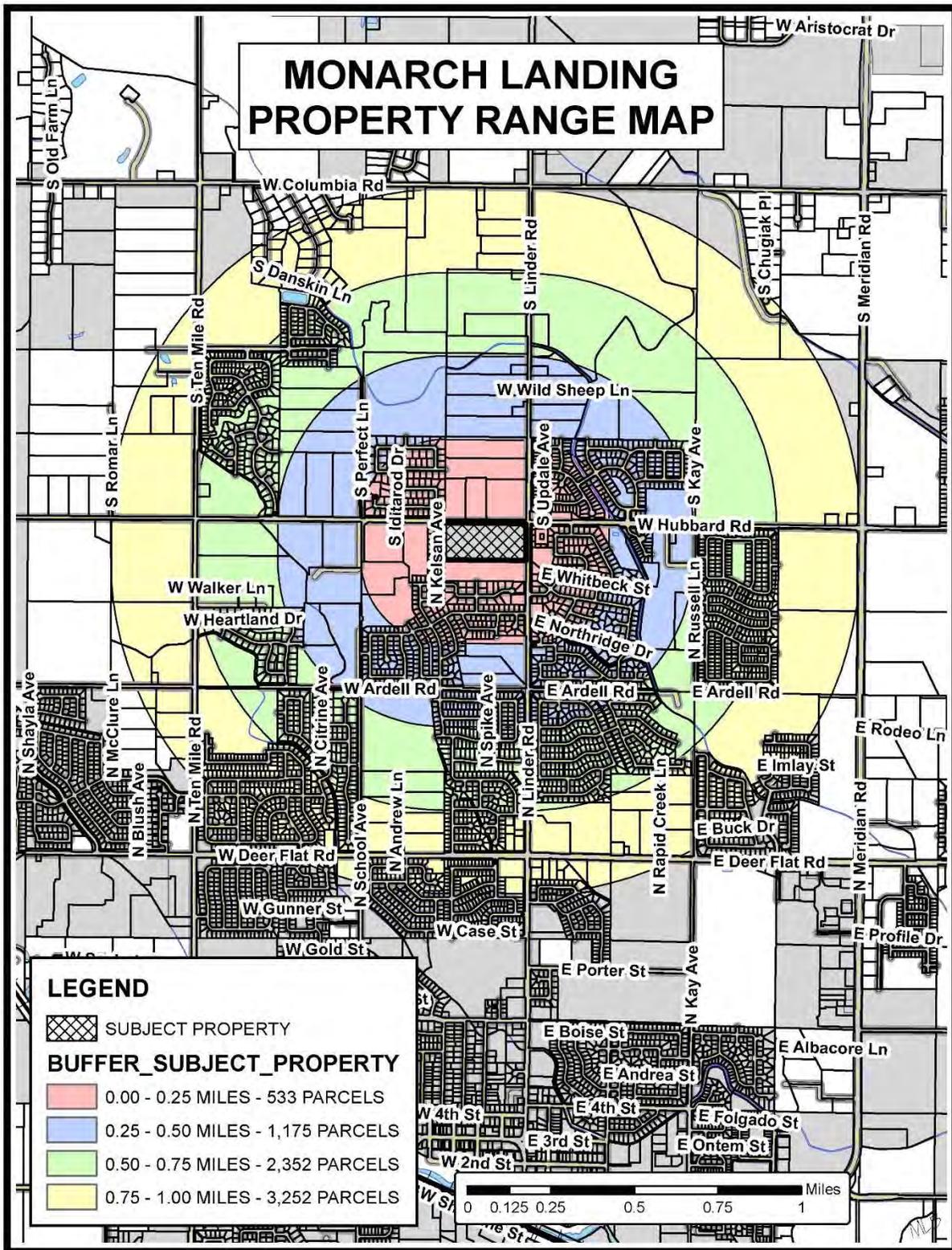
DATED this _____ day of _____, 2020

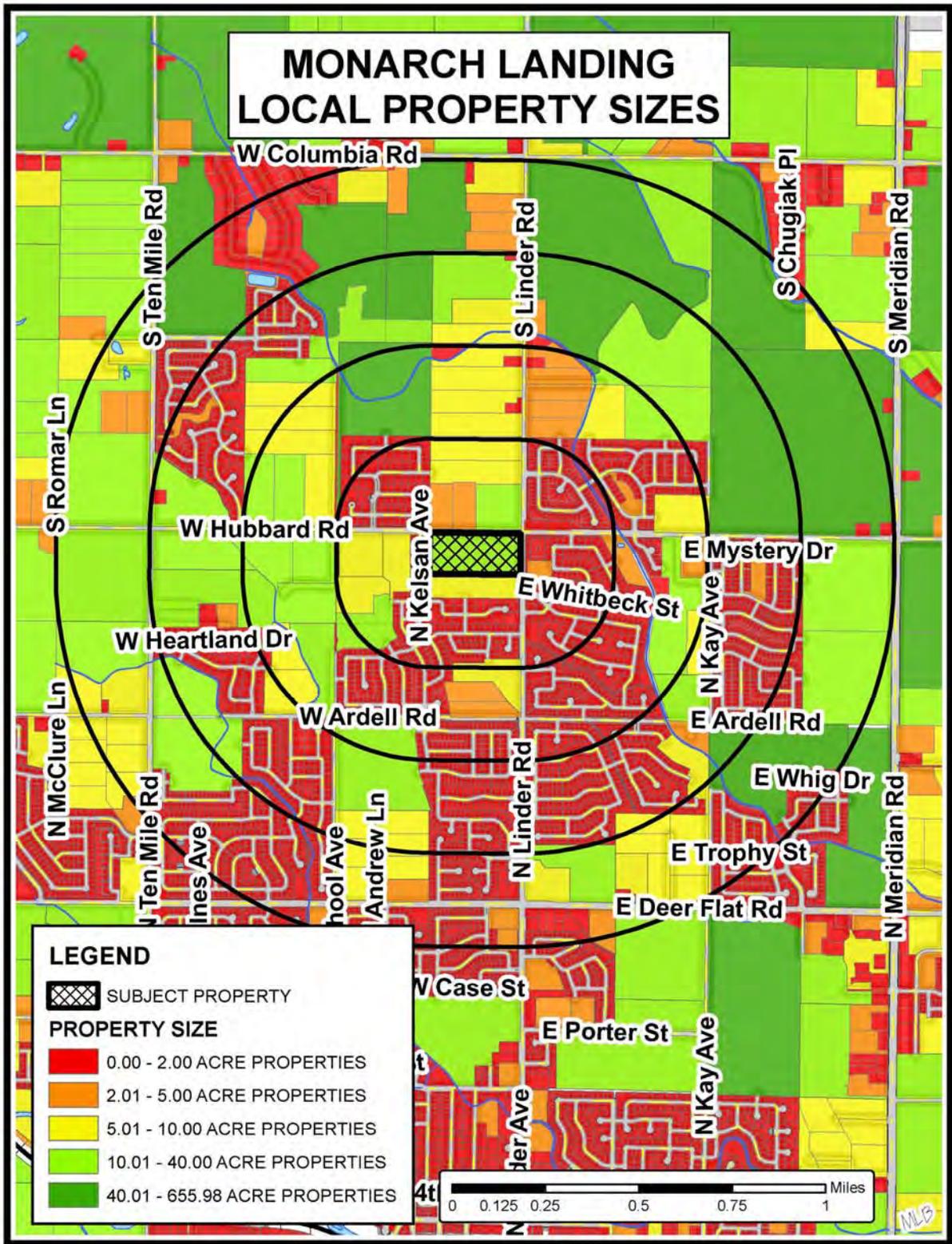


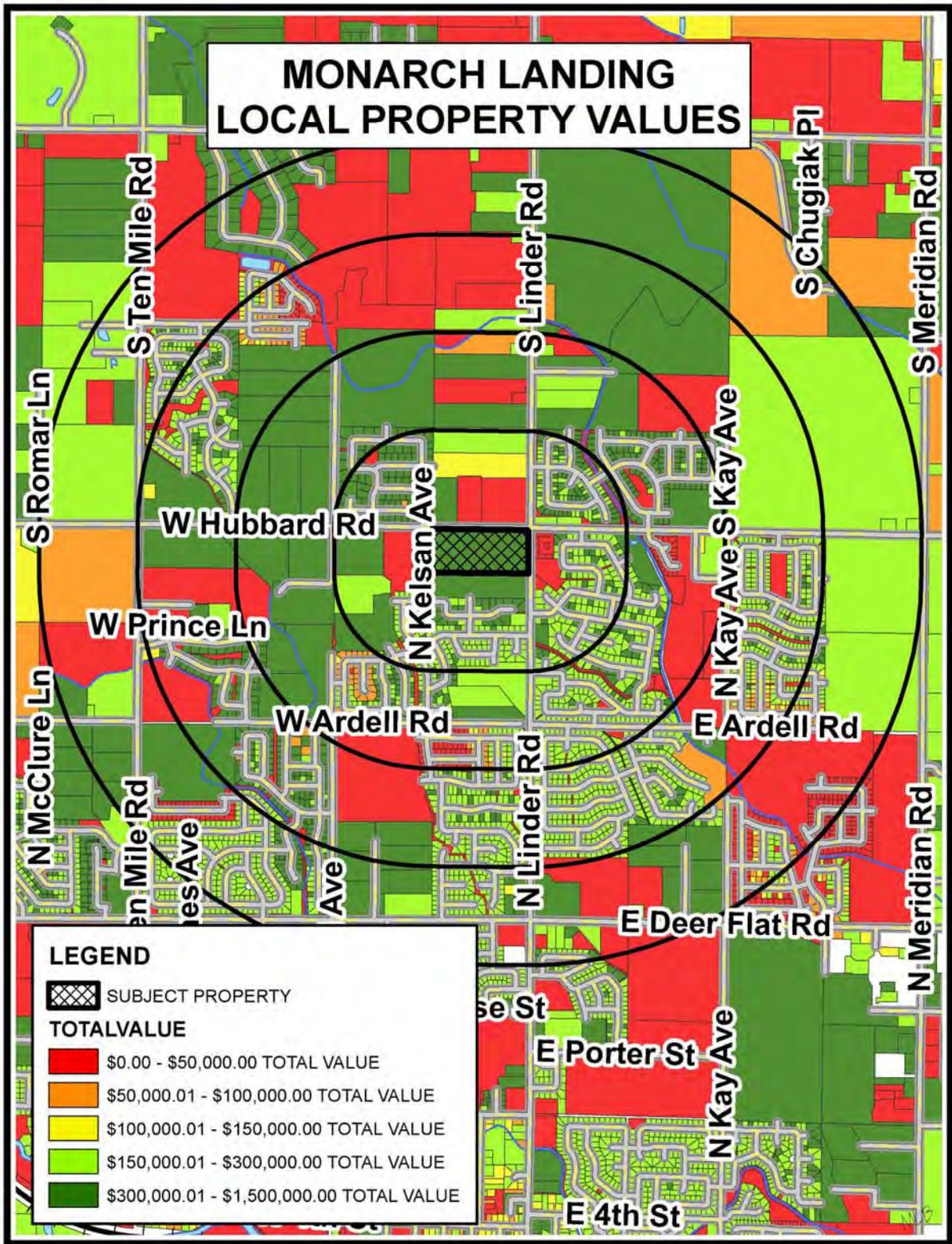


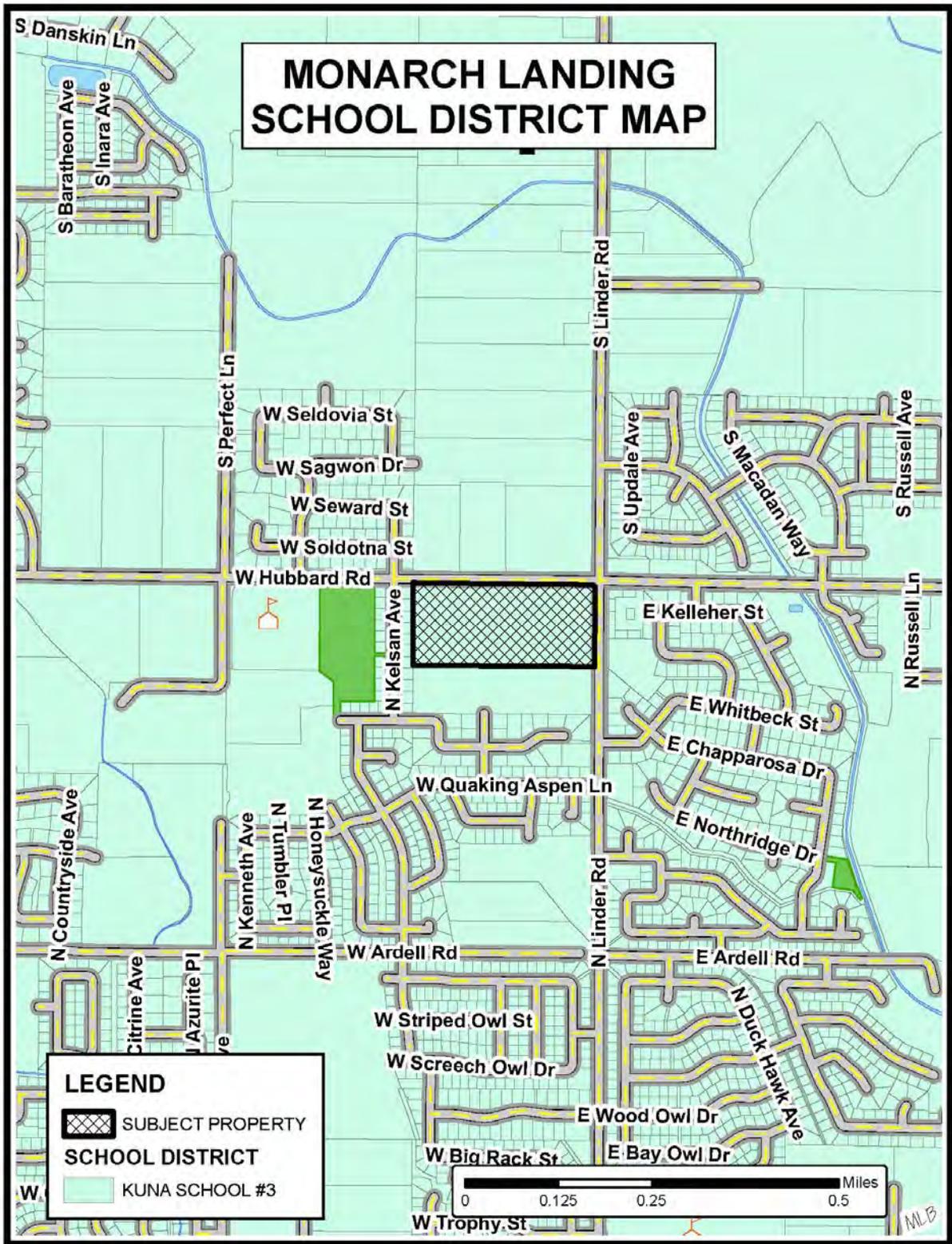


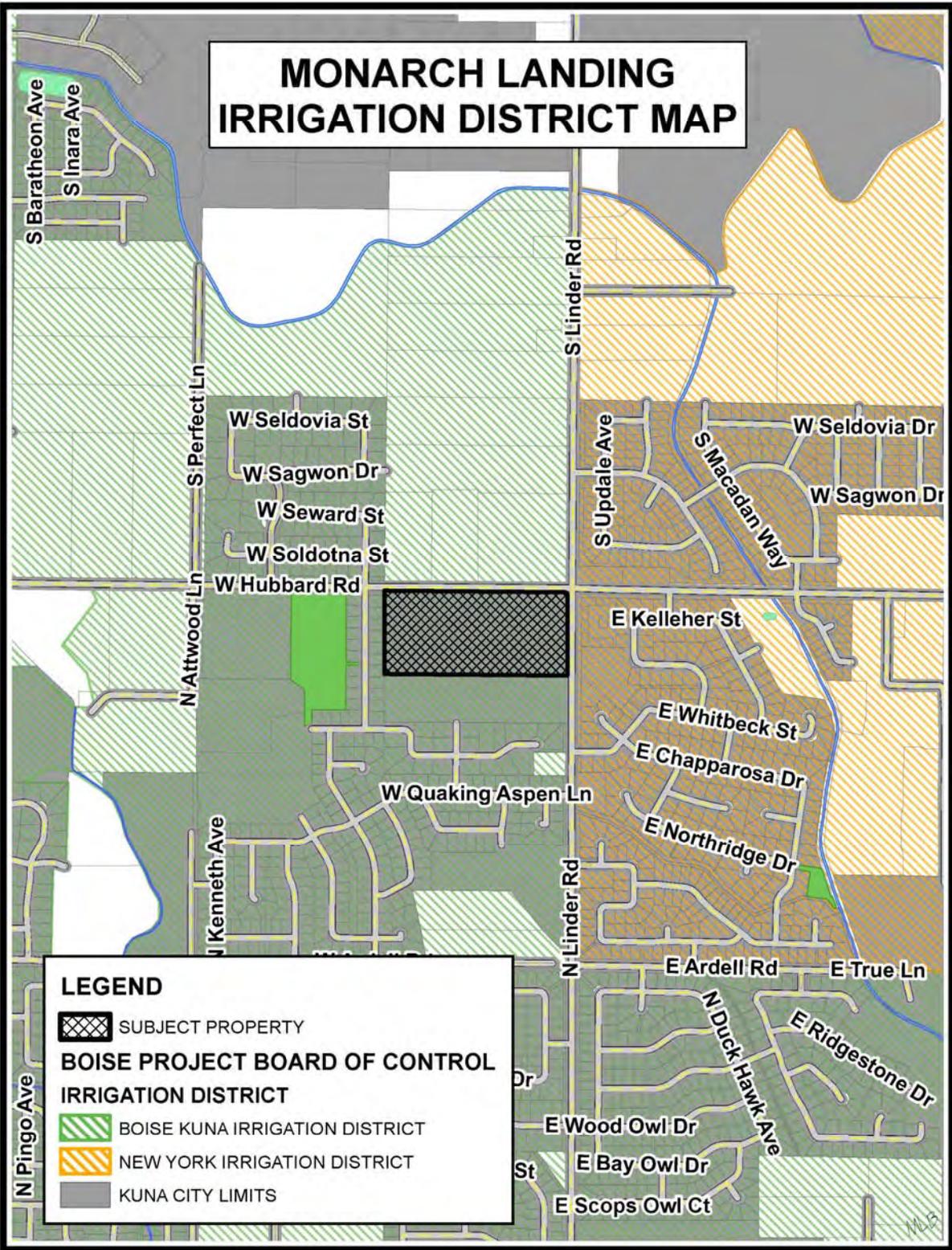




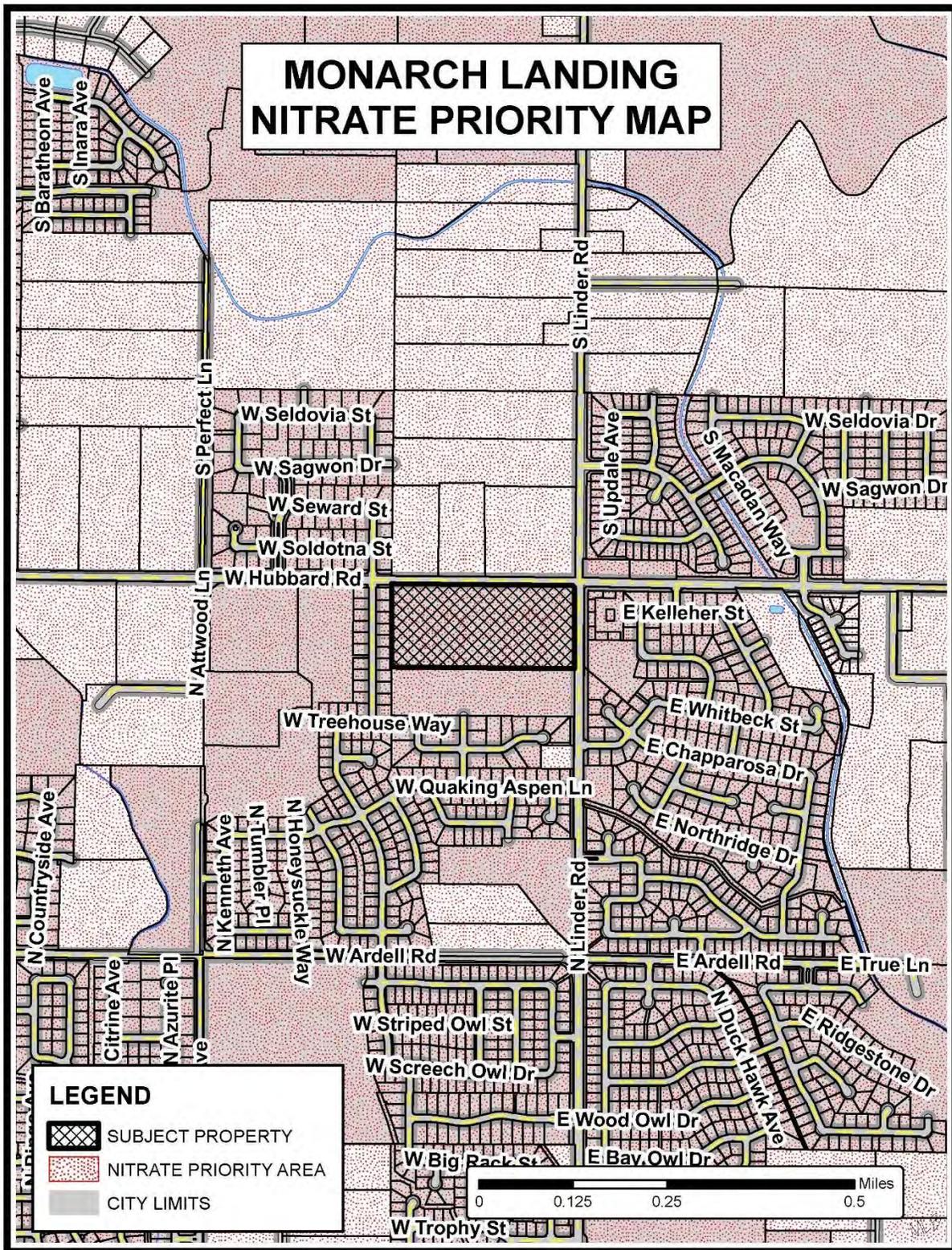


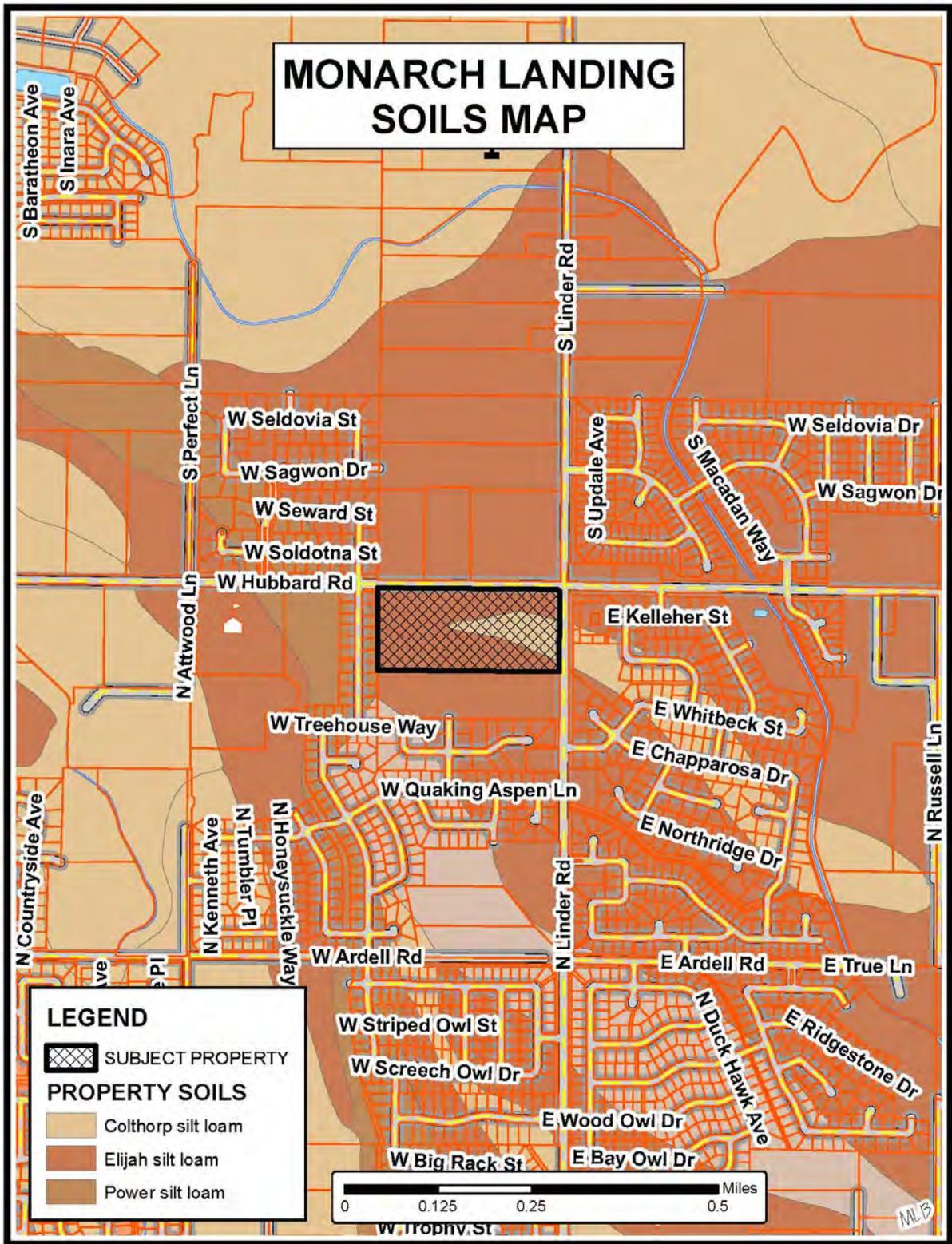


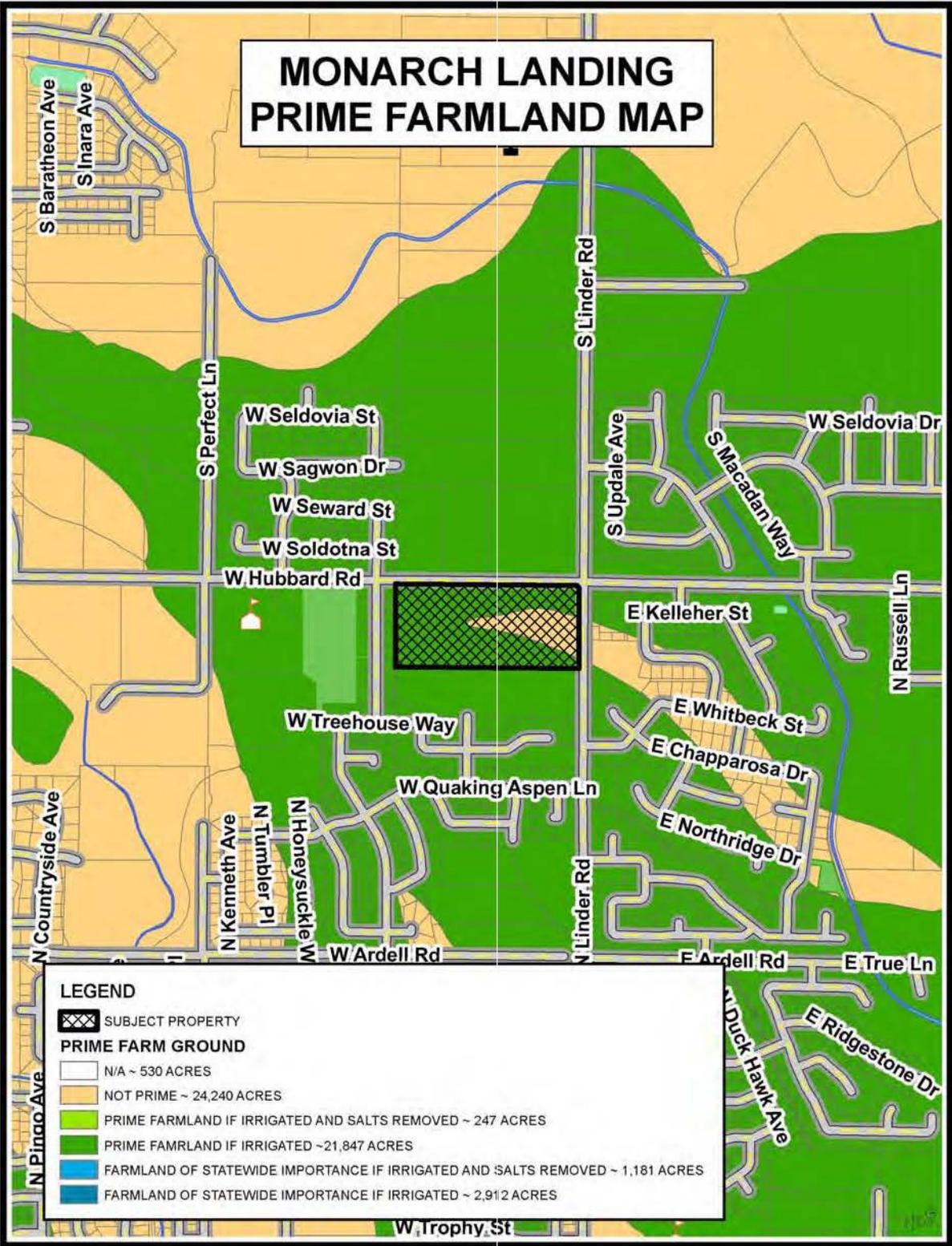


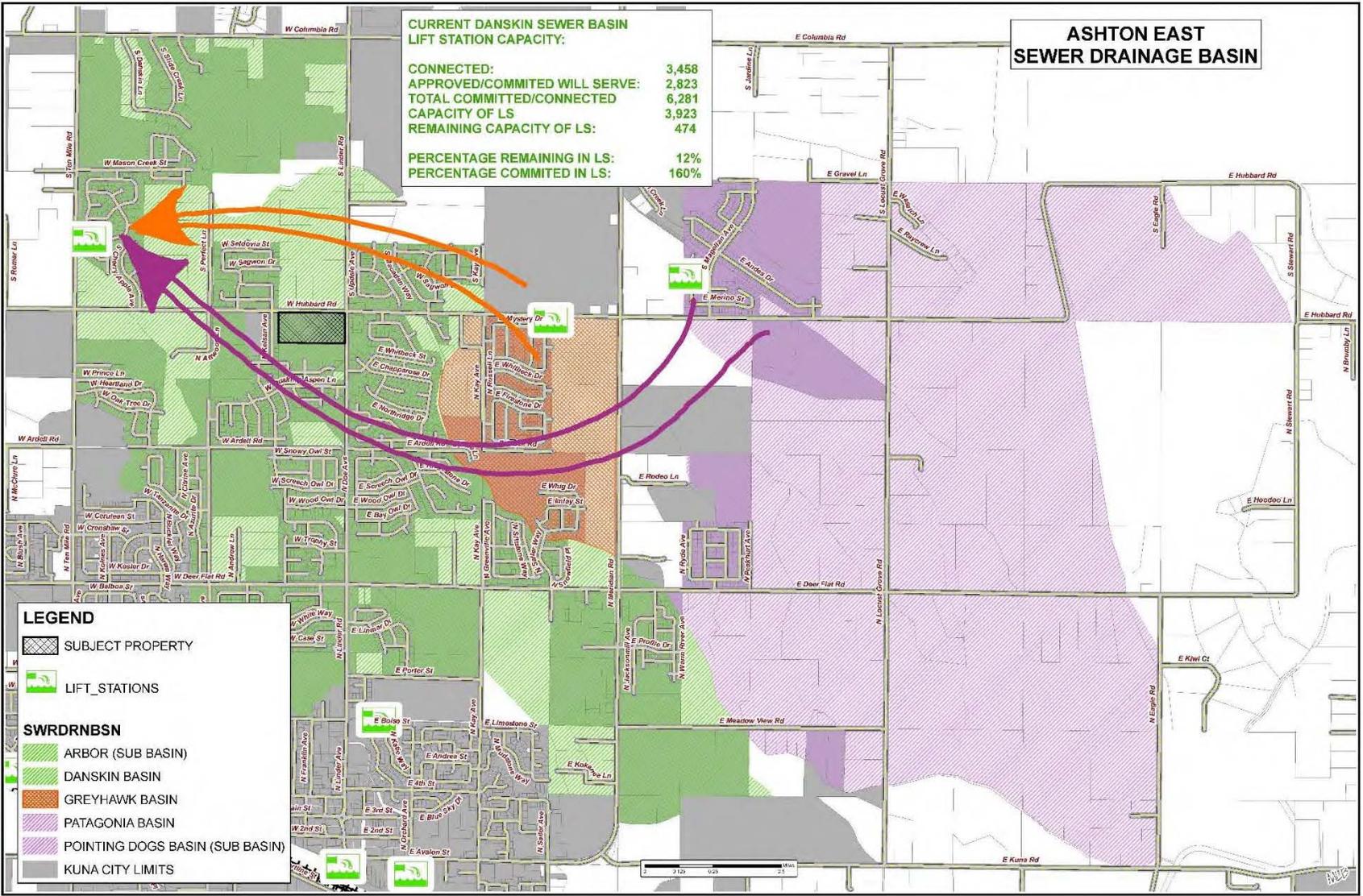




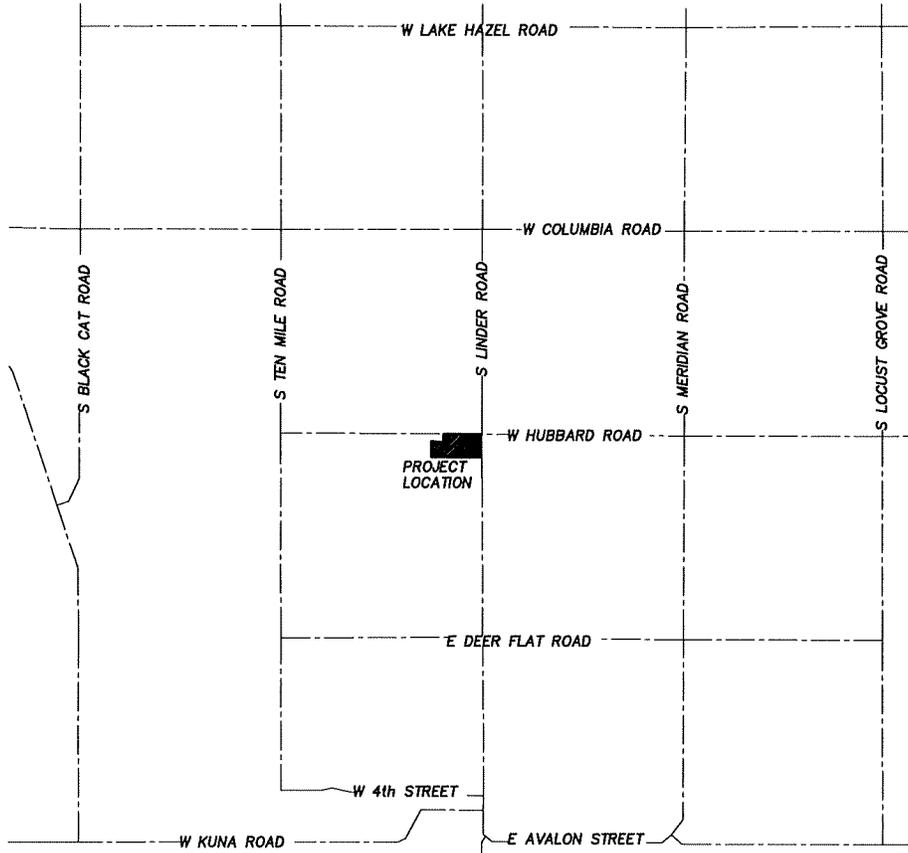








VICINITY MAP



MONARCH LANDING

VICINITY MAP

JOB NO. **JY0419**

DWG NO. **JY0419PP**

SCALE: **1"=5000'**

REV.

FIELD BOOK NO.

DRAWN BY: DATE:

JH

12/9/19



Professional Engineers, Land Surveyors and Planners

924 3rd St. So. Ste B, Nampa, ID 83651
Ph (208) 454-0256 Fax (208) 467-4130
Email: acuellar@masonandassociates.us

LETTER OF INTENT
REZONE, SPECIAL USE PERMIT AND PRELIMINARY PLAT FOR
MONARCH LANDING SUBDIVISION

The developer of Monarch Landing is requesting a rezone for the property on 1901 W. Hubbard Rd. Kuna, Idaho. This property is on the corner of Hubbard and Linder Roads. Currently the property is zoned agricultural. There is currently a residence on the property. The residential home along with a portion of the surrounding property will remain separate and not a part of the project.

The City of Kuna has designated the future use of this property commercial. The request would be to zone this property C3 which is congruent with the City's future plan.

The developer is also requesting a special use permit to build storage units, similar to those at Deer Flat and 10 Mile, Kuna Caves Storage. The landscaping will enhance the aesthetics of the area. These storage units would only be on the southwest portion of the project property. The remainder of the property will be designated for future commercial use to be determined by market demand and will be landscaped to fit within the aesthetics of the City of Kuna.

The preliminary plat for the Monarch Landing Subdivision will conform the requirements of the City of Kuna. The developer will work with staff to ensure that all the requirements of the City are met.



Professional Engineers, Land Surveyors and Planners

924 3rd St. So. Ste B, Nampa, ID 83651
Ph (208) 454-0256 Fax (208) 467-4130
Email: acuellar@masonandassociates.us

LETTER OF EXPLANATION
DESIGN REVIEW FOR LANDSCAPING BUFFER
MONARCH LANDING SUBDIVISION

This will be a commercial property with lots available for commercial use. This project is within the City of Kuna Comprehensive Plan for property use.

The design review application is for the common lot landscape buffers along Hubbard Road and Linder Road. These buffers will help screen the properties and future business from traffic along both roads as well as provide beautification that exemplifies the City of Kuna standards.

At the time of individual lot construction lot landscaping should be provided.

received
FEB 14, 2022

received
12.9.19



City of Kuna
Planning & Zoning
Department
P.O. Box 13
Kuna, Idaho 83634
208.922.5274
Fax: 208.922.5989
Website: www.kunacity.id.gov

Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

*Please submit the appropriate checklist (s) with application

Type of Review (check all that apply):

- Annexation
- Appeal
- Comprehensive Plan Amendment
- Design Review
- Development Agreement
- Final Planned Unit Development
- Final Plat
- Lot Line Adjustment
- Lot Split
- Planned Unit Development
- Preliminary Plat
- Rezone
- Special Use
- Temporary Business
- Vacation
- Variance

For Office Use Only	
File Number (s)	19-10-S (Pre-Plat) 19-05-ZC 19-00-SUP
Project name	Monarch Landing
Date Received	12.9.19
Date Accepted/Complete	
Cross Reference Files	
Commission Hearing Date	
City Council Hearing Date	

Contact/Applicant Information

Owners of Record: <u>Dennis Wolfgram</u>	Phone Number: _____
Address: <u>1901 W. Hubbard Rd</u>	E-Mail: _____
City, State, Zip: <u>Kuna, ID 83634</u>	Fax #: _____
Applicant (Developer): <u>Lete Family Revocable Trust</u>	Phone Number: <u>(208) 465-6141</u>
Address: <u>117 N. Kings Road</u>	E-Mail: <u>inaki@kinggateid.com</u>
City, State, Zip: <u>Nampa, ID 83687</u>	Fax #: <u>(208) 465-5013</u>
Engineer/Representative: <u>Mason and Associates, Inc</u>	Phone Number: <u>(208) 454-0256</u>
Address: <u>924 3rd Street South ste B</u>	F-Mail: <u>masonandassociates-us</u>
City, State, Zip: <u>Nampa ID 83651</u>	Fax #: <u>(208) 467-4130</u>

Subject Property Information

Site Address: <u>1901 W. Hubbard Rd</u>	
Site Location (Cross Streets): <u>Hubbard Rd and N. Linder Rd</u>	
Parcel Number (s): <u>R8555340170</u>	
Section, Township, Range: <u>Sec 14, 2N, 1W</u>	
Property size: <u>17.34 acres</u>	
Current land use: <u>Ag + Res</u>	Proposed land use: <u>Commercial</u>
Current zoning district: <u>Agricultural</u>	Proposed zoning district: <u>C-3</u>

Project Description

Project / subdivision name: Kings Corner
 General description of proposed project / request: Rezone and SUP for C-3 zoning for Commercial and proposed storage units and other commercial
 Type of use proposed (check all that apply):
 Residential Residential home on property will remain
 Commercial _____
 Office _____
 Industrial _____
 Other _____
 Amenities provided with this development (if applicable): _____

Residential Project Summary (if applicable)

Are there existing buildings? Yes No
 Please describe the existing buildings: Residential home with shop and out buildings
 Any existing buildings to remain? Yes No - Residence will not be a part of development
 Number of residential units: one Number of building lots: _____
 Number of common and/or other lots: _____
 Type of dwellings proposed: NA
 Single-Family _____
 Townhouses _____
 Duplexes _____
 Multi-Family _____
 Other _____
 Minimum Square footage of structure (s): _____
 Gross density (DU/acre-total property): _____ Net density (DU/acre-excluding roads): _____
 Percentage of open space provided: _____ Acreage of open space: _____
 Type of open space provided (i.e. landscaping, public, common, etc.): _____

Non-Residential Project Summary (if applicable)

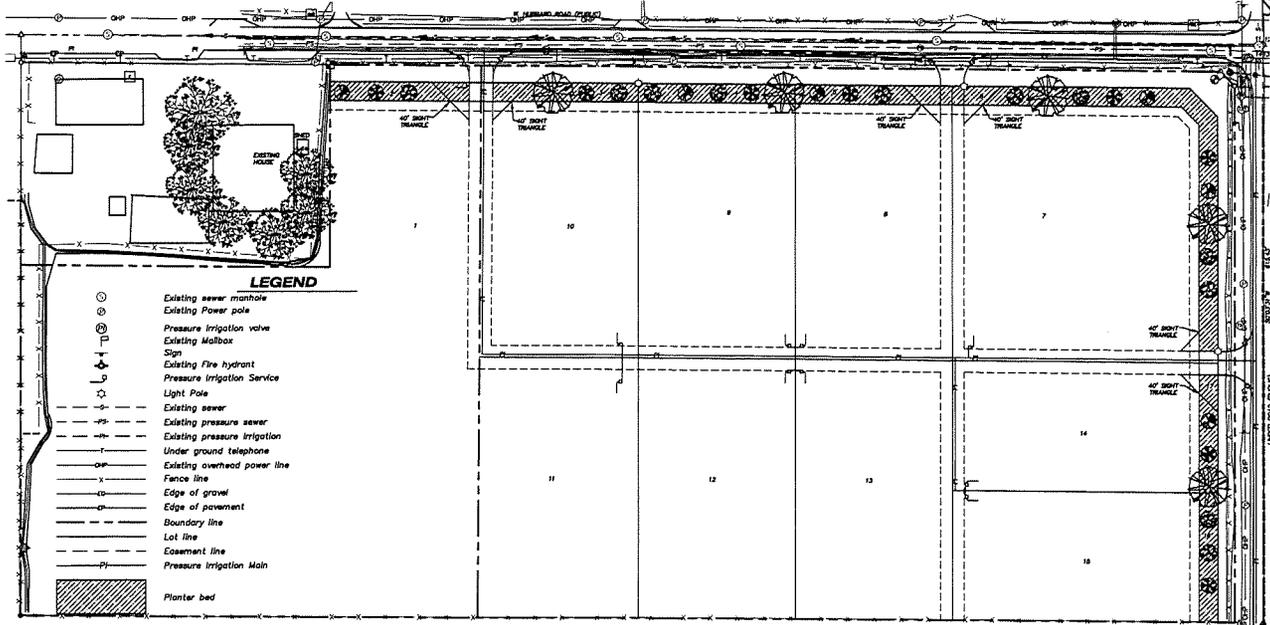
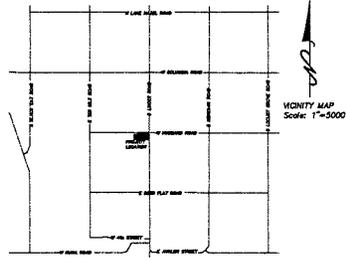
Number of building lots: 10 Other lots: 5 Common
 Gross floor area square footage: unknown Existing (if applicable): _____
 Hours of operation (days & hours): _____ Building height: Per zoning code
 Total number of employees: unknown Max. number of employees at one time: _____
 Number and ages of students/children: 0 Seating capacity: 0
 Fencing type, size & location (proposed or existing to remain): privacy fencing around Storage
 Proposed Parking:
 a. Handicapped spaces: _____ Dimensions: _____
 b. Total Parking spaces: _____ Dimensions: _____
 c. Width of driveway aisle: _____
 Proposed Lighting: _____
 Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.): around exterior and using appropriate

Applicant's Signature: [Signature] Date: 12-9-19

LANDSCAPE PLAN FOR MONARCH LANDING

TUKILA MEADOW SUBDIVISION LOT 1 BLOCK 1
OF THE NE 1/4 NE 1/4, SECTION 14, T. 2 N., R. 1 W., B.M.,
KUNA, ADA COUNTY, IDAHO
2019

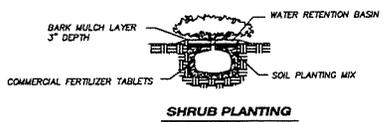
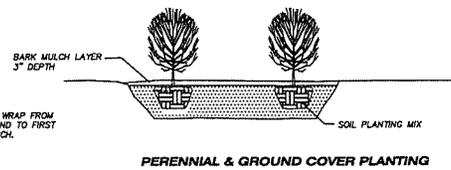
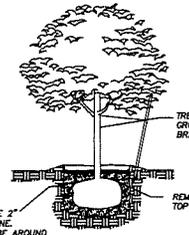
This Document, and the Concepts, Ideas and Design Incorporated herein are an instrument of professional services and are the Property of Mason and Associates, Inc., therefore they are not to be used in whole or part for any other project without the express Written Authorization of Mason and Associates, Inc. ©



Scale: 1"=60'

- NOTE**
1. IRRIGATION SHALL BE PROVIDED BY PRESSURIZED IRRIGATION SYSTEM FROM CITY APPROVED CIVIL IMPROVEMENT PLANS.
 2. UTILIZE DROUGHT TOLERANT VEGETATION WITHIN BIOSWAL.
 3. TREES SHALL NOT BE PLANTED WITHIN THE 10' CLEAR ZONE OF ALL ACID STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.

- LEGEND**
- Existing sewer manhole
 - ⊙ Existing Power pole
 - ⊕ Pressure irrigation valve
 - ⊞ Existing Mailbox
 - ⊟ Sign
 - ⊠ Existing Fire hydrant
 - ⊡ Pressure Irrigation Service
 - ⊢ Light Pole
 - ⊣ Existing sewer
 - ⊤ Existing pressure sewer
 - ⊥ Existing pressure irrigation
 - ⊦ Under ground telephone
 - ⊧ Existing overhead power line
 - ⊨ Fence line
 - ⊩ Edge of gravel
 - ⊪ Edge of pavement
 - ⊫ Boundary line
 - ⊬ Lot line
 - ⊭ Easement line
 - ⊮ Pressure Irrigation Main
 - ▭ Planter bed



SYMBOLS	PLANT SCHEDULE	COMMON NAME	SCIENTIFIC NAME	SIZE AT PLANTING
⊗	BLUE SNAKE CEDAR	DECIDARA COLUMN CEDAR	2" CAL. B AND B	
⊗	IVORY HALO	CORNUS ALBA 'HALOHALO'	2 GAL.	
⊗	DWARF HAWKIN GRASS	PENISTRIUM ALOPECUROIDES	2 GAL.	
⊗	BRADFORD PEAR	PIRUS CALLERYANA	2" CAL. B AND B	
⊗	RED TINE	CORNUS SERICEA	2 GAL.	
⊗	CALAMAGROSTIS GRASS	CALAMAGROSTIS	1 GAL.	
⊗	OVERDAN	CALAMAGROSTIS ACUTIFLORA	1 GAL.	

Mason & Associates

Professional Engineers,
Land Surveyors
PL 113 104 WEST CEDAR
PO BOX 1028 KUNA ID 83401
(208) 465-6141

CLIENT:
TUKILA MEADOW
SUBDIVISION
HAWAII, HI. 96707
(208) 465-6141

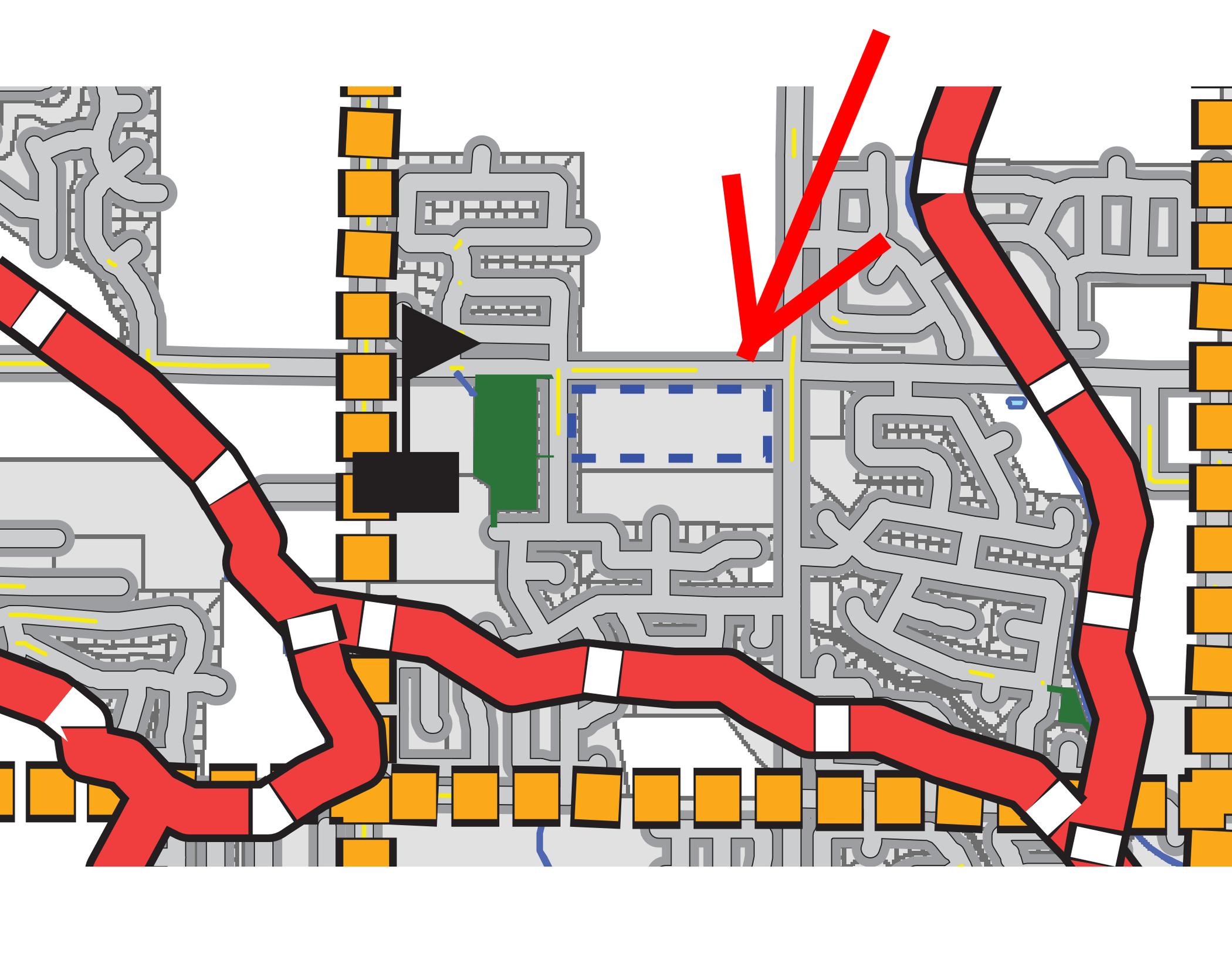
JOB NO. J10419
DRAWING NO. J10419LS
SCALE: 1"=60'
REV. 0

DRAWING TITLE:
MONARCH LANDING
LANDSCAPE PLAN
SHEET NO. 1 OF 1 SHEETS

DESIGNED BY: [Signature]
CHECKED BY: [Signature]
DATE: 9/19

APPROVED BY: [Signature]

[Signature] 12/1/19
STEVE A. PETERSEN NURSERYMAN/FLOREST LICENSE #7718





Professional Engineers, Land Surveyors and Planners

924 3rd St. So. Nampa, ID 83651
Ph (208) 454-0256 Fax (208) 467-4130

c-mail: dholzhey@masonandassociates.us

FOR: Lete Family Revocable Trust
JOB NO.: JY0419
DATE: October 08, 2019

PARCEL 1

A parcel of land being a portion of Lot 1 Block 1 of Tukila Meadow Subdivision in Book 62 at Pages 6188 & 6189 on file in the Ada County Recorder's Office laying in the NE1/4 NE1/4 of Section 14, Township 2 North, Range 1 West, Boise Meridian, Ada County Idaho, more particularly described as follows:

Commencing at the northeast corner of the NE1/4 NE1/4;

Thence N 89° 27' 03" W a distance of 1317.18 feet along the north boundary of the NE1/4 NE1/4 to the northwest corner of the NE1/4 NE1/4;

Thence S 00° 06' 07" W a distance of 30.00 feet along the west boundary of the NE1/4 NE1/4 to the northwest corner of Lot 1 and the **POINT OF BEGINNING**;

Thence S 89° 27' 03" E a distance of 327.45 feet along the north boundary of Lot 1;

Thence S 00° 06' 07" W a distance of 214.90 feet parallel with the west boundary of Lot 1;

Thence N 89° 27' 03" W a distance of 327.45 feet parallel with the north boundary of Lot 1 to a point on the west boundary of Lot 1;

Thence N 00° 06' 07" E a distance of 214.90 feet along the west boundary of Lot 1 to the **POINT OF BEGINNING**.

This parcel contains 1.615 acres more or less.

This parcel is subject to all easements and rights-of-way of record or implied.



Professional Engineers, Land Surveyors and Planners
Page 1 of 1





Professional Engineers, Land Surveyors and Planners

924 3rd St. So. Nampa, ID 83651
Ph (208) 454-0256 Fax (208) 467-4130

e-mail: dholzhey@masonandassociates.us

FOR: Lete Family Revocable Trust
JOB NO.: JY0419
DATE: October 08, 2019

PARCEL 2

A parcel of land being a portion of Lot 1 Block 1 of Tukila Meadow Subdivision in Book 62 at Pages 6188 & 6189 on file in the Ada County Recorder's Office laying in the NE1/4 NE1/4 of Section 14, Township 2 North, Range 1 West, Boise Meridian, Ada County Idaho, more particularly described as follows:

Commencing at the northeast corner of the NE1/4 NE1/4;

Thence N 89° 27' 03" W a distance of 1317.18 feet along the north boundary of the NE1/4 NE1/4 to the northwest corner of the NE1/4 NE1/4;

Thence S 00° 06' 07" W a distance of 244.90 feet along the west boundary of the NE1/4 NE1/4 to the **POINT OF BEGINNING**;

Thence S 89° 27' 03" E a distance of 327.45 feet parallel with the north boundary of Lot 1;

Thence N 00° 06' 07" E a distance of 214.90 feet parallel with the west boundary of Lot 1 to a point on the north boundary of Lot 1;

Thence S 89° 27' 03" E a distance of 944.76 feet along the north boundary of Lot 1;

Thence S 44° 41' 46" E a distance of 21.30 feet along the easterly boundary of Lot 1;

Thence S 00° 03' 31" W a distance of 570.48 feet along the east boundary of Lot 1 to the southeast corner of Lot 1;



Thence N 89° 33' 26" W a distance of 1287.63 feet along the south boundary of Lot 1 to the southwest corner of Lot 1;

Thence N 00° 06' 07" E a distance of 372.98 feet along the west boundary of Lot 1 to the **POINT OF BEGINNING**.

This parcel contains 15.721 acres more or less.

This parcel is subject to all easements and rights-of-way of record or implied.



EXHIBIT C-1



CITY OF KUNA
P.O. BOX 13
KUNA, ID 83634
www.kunacity.id.gov

Paul A. Stevens, P.E.
Kuna City Engineer

MEMORANDUM

Date: 19 June 2020
From: Paul A. Stevens, P.E.
To: Wendy Howell, Planning and Zoning Director
RE: Monarch Landing Subdivision Preliminary Plat, Zone Change & Special Use Permit. 19-10-S, 19-08-ZC
19-06-SUP

The Monarch Landing Subdivision Preliminary Plat, Zone Change and Special Use Permit application dated 9 December 2019 has been reviewed. It is noted that while the application outlines the applicant's general development intent, specific development plans are not provided except those implied as allowed or permitted in a "C-3" zone. These comments apply to the preliminary plat. Review of civil design drawings is accomplished separately, when received.

These comments may be expanded or refined based on future land-use actions. The following comments apply:

1. General

- a. Monarch Landing Subdivision requests a rezone from A agricultural to C3 residential, contains 17.34 Acres, 10 building lots, and 5 common lots. A commensurate impact on the City of Kuna's water and sewer utilities will result.
- b. Access to Monarch Landing Subdivision is from W. Hubbard Road and Linder Road.
- c. A plan approval letter will be required if this project affects any local irrigation districts.
- d. Verify that existing and proposed elevations match at property boundaries such that a slope burden is not imposed on adjacent properties.
- e. State the vertical datum used for elevations on all drawings.
- f. Provide engineering certification on all final engineering drawings.

2. Inspection Fees

- a. An inspection fee will be required for City inspection of the construction of any water, sewer and irrigation facilities associated with this development.
- b. The developer shall retain a qualified responsible, Idaho registered professional engineer to provide sufficient inspection to certify to IDEQ that the project was completed in accordance with approved plans and specifications and to provide accurate as-built drawings to the City.
- c. The developer's engineer and the City's inspector are permitted to coordinate inspections.
- d. The current inspection fee is \$1.00 per lineal foot of sewer, water and pressurized irrigation pipe

EXHIBIT C -1

- e. Payment is due and payable prior to City's approval of final construction plans.

3. Right-of-Way

- a. Sufficient right-of-way on the quarter line and section line for existing and future classified streets shall be provided pursuant to City & ACHD standards.
- b. Approaches onto classified streets must comply with ACHD approach policies.
- c. Sidewalk, curb and gutter, street widening and any related storm drainage facilities, shall be provided in connection with property development. All construction shall comply with city code and policies.
- d. All street construction must meet or exceed ACHD and City of Kuna development standards.
- e. Developer shall provide sufficient access and maintenance easements to allow city access to and maintenance of the pressurized irrigation, sewer and water main lines and any associated apparatus.

4. Sanitary Sewer & Potable Water

- a. The applicant's property is presently partially developed. All new lots are subject to connection fees for the ultimate connected sewer load and water demand as provided in the City's Standard Tables. City Code (6-4-2) requires connection to the City sewer system for all sanitary sewer needs. City Code (6-4-2X) requires connection to City water services.
- b. City code 5-16-3: B.2 states that applicant shall extend public sewer and water to each parcel when water and sewer are available within three hundred (300) feet of the parcels.
- c. The exact method of water supply and wastewater conveyance is to be determined.
- d. All sewer and water infrastructure must meet or exceed City of Kuna requirements.
- e. Monarch Landing Subdivision is located in the Hubbard Lift Station Sewer Drainage Basin. Approximately 200 EDU connections may be available in the Hubbard Lift Station Drainage Basin.
- f. Developer participation may be needed to expand the Hubbard Lift Station and associated force main.
- g. Sewer and Water "Will Serve" commitments shall be based on available water and sewer capacities at the time of construction drawing approval.
- h. Development construction must be in progress and vigorously pursued within one year from the Will Serve Letter date of issue to avoid automatic termination of the Will Serve Commitments.

5. Pressurized Irrigation

- a. The applicant's property is not connected to the City of Kuna pressurized irrigation system. Relying on drinking water for irrigation purposes is contrary to City Code (6-4-2).
- b. Pressurized irrigation can be obtained from the City of Kuna.
- c. All pressurized irrigation infrastructure shall meet or exceed City of Kuna standards.
- d. This application shall be conditioned to conform to the Pressurized Irrigation Master Plan.

6. Grading and Storm Drainage

The following provisions apply to Monarch Landing Subdivision:

- a. Provide a grading and drainage plan which supports and maintains all upstream drainage rights and all downstream irrigation delivery rights as they presently exist for this property.
- b. Verify that existing and proposed elevations match at property boundaries such that a slope burden is not imposed on adjacent properties. Slopes shall not be steeper than 3:1 on lots adjacent to a street or common lot and no steeper than 4:1 for lots with common rear lot lines.
- c. Runoff from public right-of-way is regulated by ACHD. On site storm water retention shall be reviewed in conjunction with the Civil Engineering construction improvements review.

EXHIBIT C -1

- d. The City of Kuna relies on the ACHD Stormwater Policy Manual to establish the requirements for design of any private disposal system.
- e. Any increase in quantity or rate of runoff or decrease in quality of runoff (compared to historical conditions) must be detained, treated and released at run off rates no greater than historical rates at a quality consistent with historical quality.
- f. If impervious area is increased, provide an on site storm water disposal plan for review by the City Engineer which accounts for the increased storm water drainage. Provide detailed drawings of drainage facilities for review.

7. As-Built Drawings

- a. As-built drawings are required at the conclusion of any public facility construction project and are the responsibility of the developer's engineer. The city may help track changes but will not be responsible for the finished product. As-built drawings will be required before occupancy or final plat approval is granted.

8. Property Description

- a. The applicant provided a preliminary plat and supporting documents as part of the application.



Project/File: **Monarch Landing/ KPP20-0002/ 19-08-ZC/ 19-10-S/ 19-06-SUP**
This is a rezone from A to C-3, a preliminary plat consisting of 17 lots, and special use permit application for a mixed-use commercial development on 17.34-acres.

Lead Agency: City of Kuna

Site address: SWC of Linder Road and Hubbard Road

Staff Approval: April 2, 2020

Applicant: Lete Family Revocable Trust
 Inaki Lete
 117 N Kings Road
 Nampa, ID 83687

Representative: Mason and Associates, Inc.
 Will Mason
 924 3rd Street South, Ste. B
 Nampa, ID 83651

Staff Contact: Stacey Yarrington
 Phone: 387-6171
 E-mail: syarrington@achdidaho.org

A. Findings of Fact

1. **Description of Application:** The applicant is requesting approval of a rezone, preliminary plat and special use permit applications. The rezone and special use permit are to rezone the site from A (Agriculture) to C-3 (Service Commercial) to allow for self-storage units and mixed-use commercial development. The preliminary plat application consists of 10 commercial lots, 7 common lots and one existing residential lot, on 17.34-acres. The City of Kuna’s Future Land Use Map designates this site as Neighborhood Business Commercial.

2. **Description of Adjacent Surrounding Area:**

Direction	Land Use	Zoning
North	Rural Residential (Ada County)	RR
South	Agriculture	A
East	Low density Residential, Neighborhood Business Commercial	R-4, C-1
West	Low density Residential	R-4

3. **Site History:** ACHD has not previously reviewed this site for a development application.
4. **Adjacent Development:** The following developments are pending or underway in the vicinity of the site:
- *Stem Charter School, a K-8th school located west of the site was approved by ACHD in June 2018.*

5. **Transit:** Transit services are not available to serve this site.
6. **New Center Lane Miles:** The proposed development includes 0 centerline miles of new public road.
7. **Impact Fees:** There will be an impact fee that is assessed and due prior to issuance of any building permits. The assessed impact fee will be based on the impact fee ordinance that is in effect at that time. The impact fee assessment will not be released until the civil plans are approved by ACHD.
8. **Capital Improvements Plan (CIP)/ Integrated Five Year Work Plan (IFYWP):**
There are no roadways, bridges or intersections in the general vicinity of the project that are in the Integrated Five Year Work Plan (IFYWP) or the District's Capital Improvement Plan (CIP).

B. Traffic Findings for Consideration

1. **Trip Generation:** Below is a list of land uses and estimated trip generation rates for uses that may be included within the site. Trip generation rates are based on the Institute of Transportation Engineers Trip Generation Manual, 10th edition.

Use	Avg. Daily Trips	Avg. PM Peak Hour
Mini-Warehouse (Self-storage) (per unit)	1.51	0.17
Medical/Dental Office Building (per 1,000 sf)	34.80	3.46
Convenience Market w/Gasoline pumps (fuel position)	322.50	23.04
Fast Food w/ Drive Thru (per 1,000 sf)	470.95	32.67

2. **Condition of Area Roadways**

Traffic Count is based on Vehicles per hour (VPH)

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service
Hubbard Road	1,287-feet	Minor Arterial	237	Better than "E"
Linder Road	587-feet	Minor Arterial	295	Better than "E"

* Acceptable level of service for a two-lane minor arterial is "E" (575 VPH).

3. **Average Daily Traffic Count (VDT)**

Average daily traffic counts are based on ACHD's most current traffic counts.

- The average daily traffic count for Hubbard Road east of Linder Road was 3,596 on 06/06/2018.
- The average daily traffic count for Linder Road north of Deer Flat Road was 6,516 on 04/10/2019.

C. Findings for Consideration

1. **Hubbard Road/ Linder Road Intersection**

- a. **Policy:**

ACHD Master Street Map: ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, collector street requirements, roundabout requirements, and specific roadway features required through development. A new roundabout

EXHIBIT C -2

was identified on the MSM. The new multi-lane roundabout is planned at the mid-mile at the Hubbard Road/ Linder Road intersection.

b. Staff Comments/ Recommendations:

As noted above, the intersection of Hubbard Road and Linder Road is shown as a multi-lane roundabout on the MSM. Therefore, the applicant should be required to dedicate right-of-way at the Hubbard Road/ Linder Road intersection consistent with the template shown as Attachment 3 below to accommodate the future construction of the roundabout at the intersection. The roundabout is not listed in the IFYWP or CIP, therefore the right-of-way dedication is not impact fee eligible.



2. Hubbard Road

a. **Existing Conditions:** Hubbard Road is improved with 2-travel lanes, 24-feet of pavement, and no curb, gutter or sidewalk abutting the site. There is 55-feet of right-of-way for Hubbard Road (30-feet from centerline).

b. Policy:

Arterial Roadway Policy: District Policy 7205.2.1 states that the developer is responsible for improving all street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

Master Street Map and Typology Policy: District Policy 7205.5 states that the design of improvements for arterials shall be in accordance with District standards, including the Master Street Map and Livable Streets Design Guide. The developer or engineer should contact the District before starting any design.

Street Section and Right-of-Way Width Policy: District Policy 7205.2.1 & 7205.5.2 states that the standard 3-lane street section shall be 46-feet (back-of-curb to back-of-curb) within 70 feet of right-of-way. This width typically accommodates a single travel lane in each direction, a continuous center left-turn lane, and bike lanes.

Right-of-Way Dedication: District Policy 7205.2 states that The District will provide compensation for additional right-of-way dedicated beyond the existing right-of-way along arterials listed as impact fee eligible in the adopted Capital Improvements Plan using available impact fee revenue in the Impact Fee Service Area.

No compensation will be provided for right-of-way on an arterial that is not listed as impact fee eligible in the Capital Improvements Plan.

The District may acquire additional right-of-way beyond the site-related needs to preserve a corridor for future capacity improvements, as provided in Section 7300.

Sidewalk Policy: District Policy 7205.5.7 requires a concrete sidewalk at least 5-feet wide to be constructed on both sides of all arterial streets. A parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District’s planter width policy if trees are to be placed within the parkway strip. Sidewalks constructed next to the back-of-curb shall be a minimum of 7-feet wide.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

Frontage Improvements Policy: District Policy 7205.2.1 states that the developer shall widen the pavement to a minimum of 17-feet from centerline plus a 3-foot wide gravel shoulder adjacent to the entire site. Curb, gutter and additional pavement widening may be required (See Section 7205.5.5).

ACHD Master Street Map: ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, arterial street requirements, and specific roadway features required through development. This segment of Hubbard Road is designated in the MSM as a Residential Arterial with 3-lanes and on-street bike lanes, a 46-foot street section within 74-feet of right-of-way.

- c. **Applicant Proposal:** The applicant is not proposing any improvements to Hubbard Road abutting the site.
- d. **Staff Comments/Recommendations:** The applicant’s proposal does not meet District policy for right-of-way dedication or street improvements and should not be approved, as proposed. The applicant should be required to dedicate additional right-of-way to total 37-feet of right-of-way from the centerline of Hubbard Road abutting the site. Hubbard Road is not listed in the IFYWP or CIP and therefore the right-of-way dedication is not eligible for compensation.

The applicant should be required to improve Hubbard Road with 17-feet of pavement from centerline; and construct detached 5-foot wide concrete sidewalk located 30-feet from centerline to front face of sidewalk on Hubbard Road abutting the site. Provide a permanent right-of-way easement to 2-feet behind back of sidewalk for any sidewalk placed outside of the dedicated right-of-way.

The existing dwelling that is shown to be located on the site has officially been separated thru a Record of Survey and Deed Dedication and is therefore not a part of the project.



EXHIBIT C -2

3. Linder Road

a. **Existing Conditions:** Linder Road is improved with 2-travel lanes, 25-feet of pavement, and no curb, gutter or sidewalk abutting the site. There is 65-feet of right-of-way for Linder Road (30-feet from centerline).

b. **Policy:**

Arterial Roadway Policy: District Policy 7205.2.1 states that the developer is responsible for improving all street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

Master Street Map and Typology Policy: District Policy 7205.5 states that the design of improvements for arterials shall be in accordance with District standards, including the Master Street Map and Livable Streets Design Guide. The developer or engineer should contact the District before starting any design.

Street Section and Right-of-Way Width Policy: District Policies 7205.2.1 & 7205.5.2 state that the standard 5-lane street section shall be 72-feet (back-of-curb to back-of-curb) within 96-feet of right-of-way. This width typically accommodates two travel lanes in each direction, a continuous center left-turn lane, and bike lanes on a minor arterial and a safety shoulder on a principal arterial.

Right-of-Way Dedication: District Policy 7205.2 states that The District will provide compensation for additional right-of-way dedicated beyond the existing right-of-way along arterials listed as impact fee eligible in the adopted Capital Improvements Plan using available impact fee revenue in the Impact Fee Service Area.

No compensation will be provided for right-of-way on an arterial that is not listed as impact fee eligible in the Capital Improvements Plan.

The District may acquire additional right-of-way beyond the site-related needs to preserve a corridor for future capacity improvements, as provided in Section 7300.

Sidewalk Policy: District Policy 7205.5.7 requires a concrete sidewalk at least 5-feet wide to be constructed on both sides of all arterial streets. A parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip. Sidewalks constructed next to the back-of-curb shall be a minimum of 7-feet wide.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

Frontage Improvements Policy: District Policy 7205.2.1 states that the developer shall widen the pavement to a minimum of 17-feet from centerline plus a 3-foot wide gravel shoulder adjacent to the entire site. Curb, gutter and additional pavement widening may be required (See Section 7205.5.5).

ACHD Master Street Map: ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, arterial street requirements, and specific roadway features required through development. This segment of Linder Road is designated in the MSM as a Residential Arterial with 5-lanes and on-street bike lanes, a 72-foot street section within 96-feet of right-of-way.

- c. **Applicant Proposal:** The applicant is not proposing any improvements to Linder Road abutting the site.
- d. **Staff Comments/Recommendations:** The applicant's proposal does not meet District policy for right-of-way dedication or street improvements and should not be approved, as proposed. The applicant should be required to dedicate additional right-of-way to total 48-feet of right-of-way from the centerline of Linder Road abutting the site. Linder Road is not listed in the IFYWP or CIP and therefore the right-of-way dedication is not eligible for compensation.

The applicant should be required to improve Linder Road with 17-feet of pavement from centerline; and construct detached 5-foot wide concrete sidewalk located 41-feet from centerline to front face of sidewalk on Linder Road abutting the site. Provide a permanent right-of-way easement to 2-feet behind back of sidewalk for any sidewalk placed outside of the dedicated right-of-way.

4. Driveways

4.1 Hubbard Road

- a. **Existing Conditions:** There is an existing circular residential driveway onto Hubbard Road located 160-feet and 276-feet east of the west property line.

- b. **Policy:**

Access Points Policy: District Policy 7205.4.1 states that all access points associated with development applications shall be determined in accordance with the policies in this section and Section 7202. Access points shall be reviewed only for a development application that is being considered by the lead land use agency. Approved access points may be relocated and/or restricted in the future if the land use intensifies, changes, or the property redevelops.

Access Policy: District policy 7205.4.6 states that direct access to minor arterials is typically prohibited. If a property has frontage on more than one street, access shall be taken from the street having the lesser functional classification. If it is necessary to take access to the higher classified street due to a lack of frontage, the minimum allowable spacing shall be based on Table 1a under District policy 7205.4.6, unless a waiver for the access point has been approved by the District Commission.

Driveway Location Policy: District policy 7205.4.5 requires driveways located on minor arterial roadways from a signalized intersection with a single left turn lane shall be located a minimum of 330-feet from the nearest intersection for a right-in/right-out only driveway and a minimum of 660-feet from the intersection for a full-movement driveway.

Successive Driveways: District policy 7205.4.6 Table 1a, requires driveways located on minor arterial roadways with a speed limit of 45 MPH to align or offset a minimum of 380-feet from any existing or proposed driveway.

Driveway Width Policy: District policy 7205.4.8 restricts high-volume driveways (100 VTD or more) to a maximum width of 36-feet and low-volume driveways (less than 100 VTD) to a maximum width of 30-feet. Curb return type driveways with 30-foot radii will be required for high-volume driveways with 100 VTD or more. Curb return type driveways with 15-foot radii will be required for low-volume driveways with less than 100 VTD.

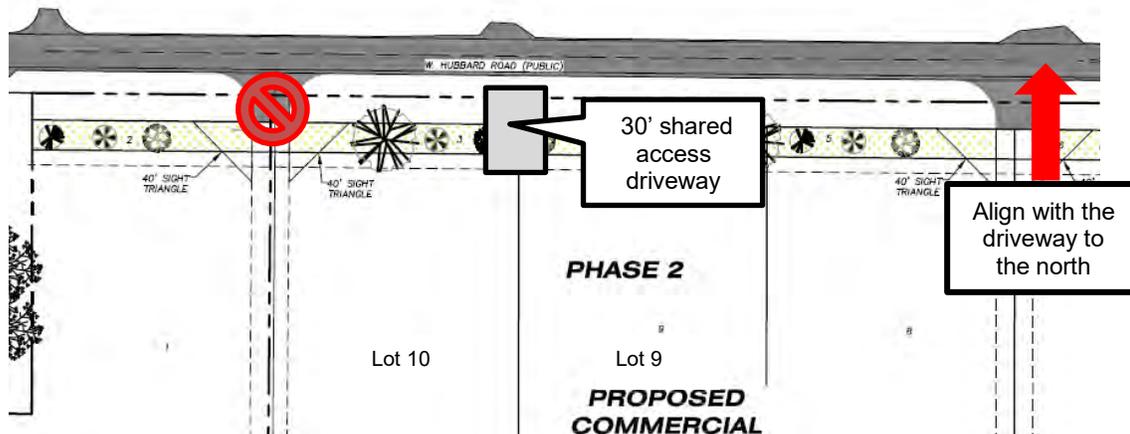
Driveway Paving Policy: Graveled driveways abutting public streets create maintenance problems due to gravel being tracked onto the roadway. In accordance with District policy, 7205.4.8, the applicant should be required to pave the driveway its full width and at least 30-feet into the site beyond the edge of pavement of the roadway and install pavement tapers in accordance with Table 2 under District Policy 7205.4.8.

EXHIBIT C -2

Cross Access Easements/Shared Access Policy: District Policy 7202.4.1 states that cross access utilizes a single vehicular connection that serves two or more adjoining lots or parcels so that the driver does not need to re-enter the public street system.

- c. **Applicant's Proposal:** The applicant is proposing to construct two, 30-foot wide commercial driveways onto Hubbard Road from the site located 330-feet and 820-feet west of Linder Road (measured centerline to centerline).
- d. **Staff Comments/Recommendations:** The applicant's proposal does not meet District Successive Driveway policy as the two proposed driveways do not meet the minimum offset of 380-feet from any existing driveway. There is an existing driveway located approximately 160-feet west of the proposed western driveway, and an existing driveway located approximately 340-feet west of the proposed eastern driveway onto Hubbard Road.

Staff recommends the applicant construct one 30-foot wide shared temporary full access driveway onto Hubbard Road located approximately 305-feet west of Linder Road in alignment with an existing driveway directly to the north (measured centerline to centerline). The proposed driveway does not meet the minimum 330-foot offset from the intersection for a right-in/right-out access, however, because of the existing driveway directly to the north, staff recommends a modification to District Location policy to allow the driveway due to the fact that it would be in alignment with an existing driveway reducing potential turning movement conflict; and staff is recommending that this driveway be approved, as a temporary full access driveway, as restricting the driveway to right-in/right-out at this time would also restrict the existing driveway across from the site that provides access to an existing residence and agricultural use. This is an 8% modification to the dimensional standards and is approved at the Development Services Managers discretion. This driveway may be restricted to right-in/right-out in the future as conditions warrant as determined by ACHD.



Staff recommends the applicant construct one 30-foot wide shared full access driveway onto Hubbard Road located approximately 365-feet east and west of existing driveways and 670-feet west of Linder Road between the proposed Lots 9 and 10 in alignment with an existing driveway directly north of the site (measured centerline to centerline). The proposed driveway is consistent with District Location requirements. This is a 4% modification to the dimensional standards and is approved at the Development Services Managers discretion.

Pave the driveways their entire width and at least 30-feet into the site beyond the edge of pavement of Hubbard Road.

Special Note to City of Kuna

Staff recommends that the City require cross access between all lots within the development and the existing home site located at 1901 W Hubbard Road.

4.2 Linder Road

a. **Existing Conditions:** There are no existing driveways onto Linder Road from the site.

b. **Policy:**

Access Points Policy: District Policy 7205.4.1 states that all access points associated with development applications shall be determined in accordance with the policies in this section and Section 7202. Access points shall be reviewed only for a development application that is being considered by the lead land use agency. Approved access points may be relocated and/or restricted in the future if the land use intensifies, changes, or the property redevelops.

Access Policy: District policy 7205.4.6 states that direct access to minor arterials is typically prohibited. If a property has frontage on more than one street, access shall be taken from the street having the lesser functional classification. If it is necessary to take access to the higher classified street due to a lack of frontage, the minimum allowable spacing shall be based on Table 1a under District policy 7205.4.6, unless a waiver for the access point has been approved by the District Commission.

Driveway Location Policy: District policy 7205.4.5 requires driveways located on minor arterial roadways from a signalized intersection with a single left turn lane shall be located a minimum of 330-feet from the nearest intersection for a right-in/right-out only driveway and a minimum of 660-feet from the intersection for a full-movement driveway.

Successive Driveways: District policy 7205.4.6 Table 1a, requires driveways located on minor arterial roadways with a speed limit of 45 MPH to align or offset a minimum of 380-feet from any existing or proposed driveway.

Driveway Width Policy: District policy 7205.4.8 restricts high-volume driveways (100 VTD or more) to a maximum width of 36-feet and low-volume driveways (less than 100 VTD) to a maximum width of 30-feet. Curb return type driveways with 30-foot radii will be required for high-volume driveways with 100 VTD or more. Curb return type driveways with 15-foot radii will be required for low-volume driveways with less than 100 VTD.

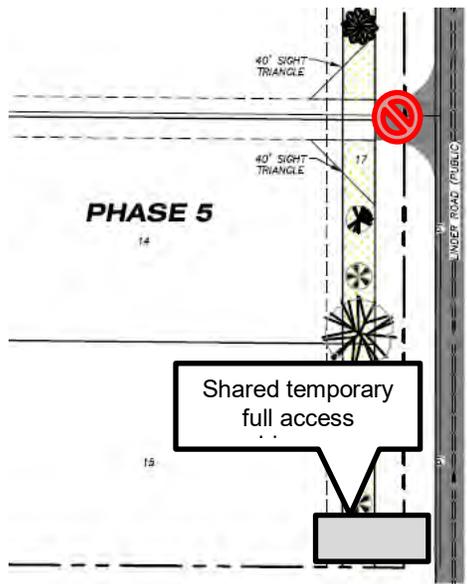
Driveway Paving Policy: Graveled driveways abutting public streets create maintenance problems due to gravel being tracked onto the roadway. In accordance with District policy, 7205.4.8, the applicant should be required to pave the driveway its full width and at least 30-feet into the site beyond the edge of pavement of the roadway and install pavement tapers in accordance with Table 2 under District Policy 7205.4.8.

Cross Access Easements/Shared Access Policy: District Policy 7202.4.1 states that cross access utilizes a single vehicular connection that serves two or more adjoining lots or parcels so that the driver does not need to re-enter the public street system.

c. **Applicant's Proposal:** The applicant is proposing to construct a 30-foot wide driveway onto Linder Road from the site located approximately 340-feet south of Hubbard Road and 400-feet north of an existing residential driveway (measured centerline to centerline).

EXHIBIT C -2

d. **Staff Comments/Recommendations:** The applicant's proposal meets District policy for a right-in/right-out only driveway, however as mentioned above, the Hubbard/Linder intersection is listed in the MSM to be constructed as a future multi-lane roundabout. Therefore, staff recommends that the applicant move the proposed driveway to the south property line in order to be located outside the roundabout influence area. Staff recommends the applicant construct one 30-foot wide shared driveway onto Linder Road located approximately 600-feet south of Hubbard Road along the south property line (measured centerline to centerline). This proposed location does not meet District Location policy for a full access driveway that requires a 660-foot offset from an intersection. Therefore, staff recommends a modification of policy to allow a temporary full access driveway located 600-feet south of Hubbard Road as there is not enough frontage to meet the required offset. This is a 10% modification to the dimensional standards and is approved at the Development Services Managers discretion.



Pave the driveway its full width and at least 30-feet into the site beyond the edge of pavement of Linder Road.

Special Note to City of Kuna

Staff recommends that the City require cross access between this site and the property directly south of the site.

5. Tree Planters

Tree Planter Policy: Tree Planter Policy: The District's Tree Planter Policy prohibits all trees in planters less than 8-feet in width without the installation of root barriers. Class II trees may be allowed in planters with a minimum width of 8-feet, and Class I and Class III trees may be allowed in planters with a minimum width of 10-feet.

6. Landscaping

Landscaping Policy: A license agreement is required for all landscaping proposed within ACHD right-of-way or easement areas. Trees shall be located no closer than 10-feet from all public storm drain facilities. Landscaping should be designed to eliminate site obstructions in the vision triangle at intersections. District Policy 5104.3.1 requires a 40-foot vision triangle and a 3-foot height restriction on all landscaping located at an uncontrolled intersection and a 50-foot offset from stop signs. Landscape plans are required with the submittal of civil plans and must meet all District requirements prior to signature of the final plat and/or approval of the civil plans.

7. Other Access

Hubbard Road and Linder Road are classified as minor arterials roadways. Other than the access specifically approved with this application, direct lot access is prohibited to these roadways and should be noted on the final plat.

D. Site Specific Conditions of Approval

1. Dedicate additional right-of-way at the Hubbard Road/ Linder Road intersection to accommodate the future construction of the multi-lane roundabout at the intersection, as shown on attachment 3.
2. Dedicate additional right-of-way to total 37-feet of right-of-way from the centerline of Hubbard Road abutting the site. Right-of-way dedication is not eligible for compensation.
3. Improve Hubbard Road with 17-feet of pavement from centerline and 3-foot wide gravel shoulder abutting the site.
4. Construct detached 5-foot wide concrete sidewalk located 30-feet from centerline to front face of sidewalk on Hubbard Road abutting the site.
5. Provide a permanent right-of-way easement to 2-feet behind back of sidewalk for any sidewalk placed outside of the dedicated right-of-way.
6. Dedicate additional right-of-way to total 48-feet of right-of-way from the centerline of Linder Road abutting the site. Right-of-way dedication is not eligible for compensation.
7. Improve Linder Road with 17-feet of pavement from centerline and 3-foot wide shoulder abutting the site.
8. Construct detached 5-foot wide concrete sidewalk located 41-feet from centerline to front face of sidewalk on Linder Road abutting the site.
9. Provide a permanent right-of-way easement to 2-feet behind back of sidewalk for any sidewalk placed outside of the dedicated right-of-way.
10. Construct one 30-foot wide full access driveway onto Hubbard Road located 670-feet west of Linder Road between the proposed Lots 9 and 10.
11. Construct one 30-foot wide temporary full access driveway onto Hubbard Road located 305-feet west of Linder Road in alignment with an existing driveway directly to the north.
12. Pave the driveways onto Hubbard Road their full width and at least 30-feet into the site beyond the edge of pavement of the roadway.
13. Construct a 30-foot wide temporary full access driveway onto Linder Road located 600-feet south of Hubbard Road along the south property line.
14. Pave the driveway onto Linder Road its full width and at least 30-feet into the site beyond the edge of pavement of roadway.
15. Other than the access approved with this application, direct lot access to Hubbard Road and Linder Road is prohibited and should be noted on the final plat.
16. Submit civil plans to ACHD Development Services for review and approval. The impact fee assessment will not be released until the civil plans are approved by ACHD.
17. Payment of impact fees is due prior to issuance of a building permit.
18. Comply with all Standard Conditions of Approval.

EXHIBIT C -2

E. Standard Conditions of Approval

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).
2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
3. In accordance with District policy, 7203.3, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA) requirements. The applicant's engineer should provide documentation of ADA compliance to District Development Review staff for review.
4. Replace any existing damaged curb, gutter and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.
5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.
9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.
10. Construction, use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.
11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.
12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.

F. Conclusions of Law

1. The proposed site plan is approved, if all of the Site Specific and Standard Conditions of Approval are satisfied.
2. ACHD requirements are intended to assure that the proposed use/development will not place an undue burden on the existing vehicular transportation system within the vicinity impacted by the proposed development.

G. Attachments

1. Vicinity Map
2. Site Plan
3. Utility Coordinating Council
4. Development Process Checklist
5. Appeal Guidelines

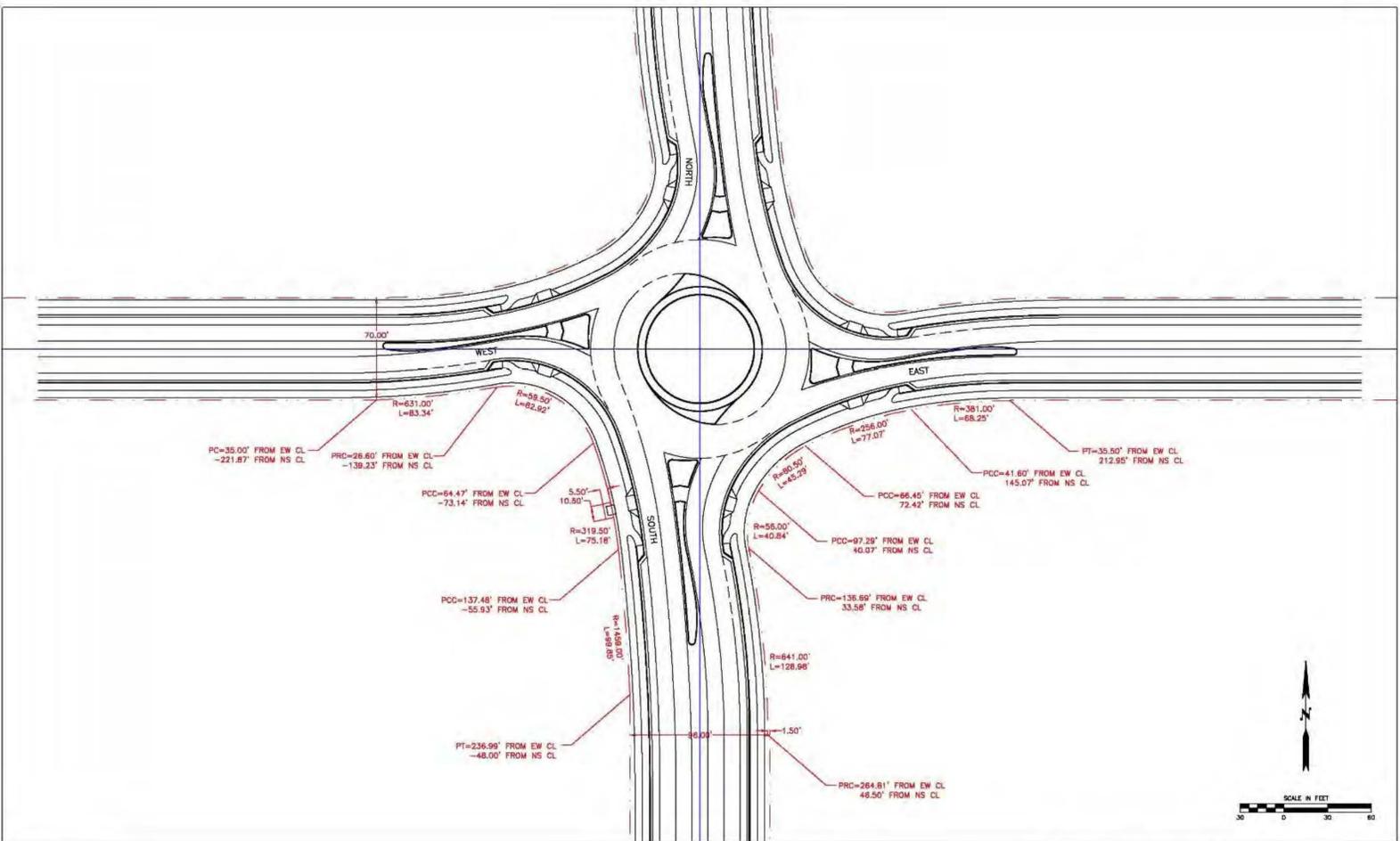
EXHIBIT C -2

VICINITY MAP



EXHIBIT C-2

ROUNDBOUT TEMPLATE



Reid Middleton
 200 Lake Street SE, Suite 200
 Everett, Washington 98201
 Ph: 425 711-3800

ACHD - Multi-lane Roundabout **Figure 7**
 Centered - RIGHT-OF-WAY September 2011

Ada County Utility Coordinating Council

Developer/Local Improvement District Right of Way Improvements Guideline Request

Purpose: To develop the necessary avenue for proper notification to utilities of local highway and road improvements, to help the utilities in budgeting and to clarify the already existing process.

- 1) **Notification:** Within five (5) working days upon notification of required right of way improvements by Highway entities, developers shall provide written notification to the affected utility owners and the Ada County Utility Coordinating Council (UCC). Notification shall include but not be limited to, project limits, scope of roadway improvements/project, anticipated construction dates, and any portions critical to the right of way improvements and coordination of utilities.
- 2) **Plan Review:** The developer shall provide the highway entities and all utility owners with preliminary project plans and schedule a plan review conference. Depending on the scale of utility improvements, a plan review conference may not be necessary, as determined by the utility owners. Conference notification shall also be sent to the UCC. During the review meeting the developer shall notify utilities of the status of right of way/easement acquisition necessary for their project. At the plan review conference each company shall have the right to appeal, adjust and/or negotiate with the developer on its own behalf. Each utility shall provide the developer with a letter of review indicating the costs and time required for relocation of its facilities. Said letter of review is to be provided within thirty calendar days after the date of the plan review conference.
- 3) **Revisions:** The developer is responsible to provide utilities with any revisions to preliminary plans. Utilities may request an updated plan review meeting if revisions are made in the preliminary plans which affect the utility relocation requirements. Utilities shall have thirty days after receiving the revisions to review and comment thereon.
- 4) **Final Notification:** The developer will provide highway entities, utility owners and the UCC with final notification of its intent to proceed with right of way improvements and include the anticipated date work will commence. This notification shall indicate that the work to be performed shall be pursuant to final approved plans by the highway entity. The developer shall schedule a preconstruction meeting prior to right of way improvements. Utility relocation activity shall be completed within the times established during the preconstruction meeting, unless otherwise agreed upon.

Notification to the Ada County UCC can be sent to: 50 S. Cole Rd. Boise 83707, or Visit iducc.com for e-mail notification information.

Development Process Checklist

Items Completed to Date:

- Submit a development application to a City or to Ada County
- The City or the County will transmit the development application to ACHD
- The ACHD **Planning Review Section** will receive the development application to review
- The **Planning Review Section** will do one of the following:
 - Send a “**No Review**” letter to the applicant stating that there are no site specific conditions of approval at this time.
 - Write a **Staff Level** report analyzing the impacts of the development on the transportation system and evaluating the proposal for its conformance to District Policy.
 - Write a **Commission Level** report analyzing the impacts of the development on the transportation system and evaluating the proposal for its conformance to District Policy.

Items to be completed by Applicant:

- For **ALL** development applications, including those receiving a “**No Review**” letter:
 - The applicant should submit one set of engineered plans directly to ACHD for review by the **Development Review Section** for plan review and assessment of impact fees. (Note: if there are no site improvements required by ACHD, then architectural plans may be submitted for purposes of impact fee assessment.)
 - The applicant is required to get a permit from Construction Services (ACHD) for **ANY** work in the right-of-way, including, but not limited to, driveway approaches, street improvements and utility cuts.
- Pay Impact Fees prior to issuance of building permit. Impact fees cannot be paid prior to plan review approval.

DID YOU REMEMBER:

Construction (Non-Subdivisions)

Driveway or Property Approach(s)

- Submit a “Driveway Approach Request” form to ACHD Construction (for approval by Development Services & Traffic Services). There is a one week turnaround for this approval.

Working in the ACHD Right-of-Way

- Four business days prior to starting work have a bonded contractor submit a “Temporary Highway Use Permit Application” to ACHD Construction – Permits along with:
 - a) Traffic Control Plan
 - b) An Erosion & Sediment Control Narrative & Plat, done by a Certified Plan Designer, if trench is >50’ or you are placing >600 sf of concrete or asphalt.

Construction (Subdivisions)

Sediment & Erosion Submittal

- At least one week prior to setting up a Pre-Construction Meeting an Erosion & Sediment Control Narrative & Plan, done by a Certified Plan Designer, must be turned into ACHD Construction to be reviewed and approved by the ACHD Stormwater Section.

Idaho Power Company

- Vic Steelman at Idaho Power must have his IPCO approved set of subdivision utility plans prior to Pre-Con being scheduled.

Final Approval from Development Services is required prior to scheduling a Pre-Con.

Request for Appeal of Staff Decision

1. **Appeal of Staff Decision:** The Commission shall hear and decide appeals by an applicant of the final decision made by the Development Services Manager when it is alleged that the Development Services Manager did not properly apply this section 7101.6, did not consider all of the relevant facts presented, made an error of fact or law, abused discretion or acted arbitrarily and capriciously in the interpretation or enforcement of the ACHD Policy Manual.
 - a. **Filing Fee:** The Commission may, from time to time, set reasonable fees to be charged the applicant for the processing of appeals, to cover administrative costs.
 - b. **Initiation:** An appeal is initiated by the filing of a written notice of appeal with the Secretary and Clerk of the District, which must be filed within ten (10) working days from the date of the decision that is the subject of the appeal. The notice of appeal shall refer to the decision being appealed, identify the appellant by name, address and telephone number and state the grounds for the appeal. The grounds shall include a written summary of the provisions of the policy relevant to the appeal and/or the facts and law relied upon and shall include a written argument in support of the appeal. The Commission shall not consider a notice of appeal that does not comply with the provisions of this subsection.
 - c. **Time to Reply:** The Development Services Manager shall have ten (10) working days from the date of the filing of the notice of appeal to reply to the notice of the appeal, and may during such time meet with the appellant to discuss the matter, and may also consider and/or modify the decision that is being appealed. A copy of the reply and any modifications to the decision being appealed will be provided to the appellant prior to the Commission hearing on the appeal.
 - d. **Notice of Hearing:** Unless otherwise agreed to by the appellant, the hearing of the appeal will be noticed and scheduled on the Commission agenda at a regular meeting to be held within thirty (30) days following the delivery to the appellant of the Development Services Manager's reply to the notice of appeal. A copy of the decision being appealed, the notice of appeal and the reply shall be delivered to the Commission at least one (1) week prior to the hearing.
 - e. **Action by Commission:** Following the hearing, the Commission shall either affirm or reverse, in whole or part, or otherwise modify, amend or supplement the decision being appealed, as such action is adequately supported by the law and evidence presented at the hearing.

EXHIBIT C -3

RON PLATT
CHAIRMAN OF THE BOARD

BRIAN MCDEVITT
VICE CHAIRMAN OF THE BOARD

ROBERT D. CARTER
PROJECT MANAGER

THOMAS RITTHALER
ASSISTANT PROJECT MANAGER

APRYL GARDNER
SECRETARY-TREASURER

MARY SUE CHASE
ASSISTANT SECRETARY-
TREASURER

BOISE PROJECT BOARD OF CONTROL

(FORMERLY BOISE U.S. RECLAMATION PROJECT)

2485 OVERLAND ROAD
BOISE, IDAHO 83705-3155

RECEIVED
MAR 11 2020
CITY OF KUNA

OPERATING AGENCY FOR 167,000
ACRES FOR THE FOLLOWING
IRRIGATION DISTRICTS

NAMPA-MERIDIAN DISTRICT
BOISE-KUNA DISTRICT
WILDER DISTRICT
NEW YORK DISTRICT
BIG BEND DISTRICT

TEL: (208) 344-1141
FAX: (208) 344-1437

09 March 2020

City of Kuna
P.O. Box 13
Kuna, Idaho 83634

RE: Mason and Associates
Linder and Hubbard rds, Kuna 83634
Boise-Kuna Irrigation District
Kuna Canal 206+50
Sec. 14, T2N, R1W, BM.

19-08-ZC
BK-272 A1

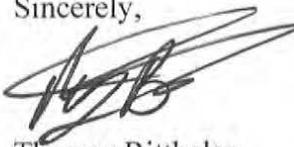
Troy Behunin, Planner:

There are no Boise Project facilities located on the above-mentioned property, however it does in fact possess a valid water right.

Local irrigation/drainage ditches that cross this property, in order to serve neighboring properties, must remain unobstructed and protected by an appropriate easement.

If you have any further questions or comments regarding this matter, please do not hesitate to contact me at (208) 344-1141.

Sincerely,


Thomas Ritthaler
Management / GIS

tbr/tr

cc: Clint McCormick
Lauren Boehlke
File

Watermaster, Div; 2 BPBC
Secretary – Treasurer, BKID



CENTRAL DISTRICT HEALTH DEPARTMENT
Environmental Health Division

Return to:

- ACZ
Boise
Eagle
Garden City
Meridian
Kuna
Star

Rezone # 19-06-54P

Conditional Use #

Preliminary / Final / Short Plat

Monarch Landing

EXHIBIT C -4

- 1. We have No Objections to this Proposal.
2. We recommend Denial of this Proposal.
3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
4. We will require more data concerning soil conditions on this Proposal before we can comment.
5. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
6. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
7. This project shall be reviewed by the Idaho Department of Water Resources concerning well construction and water availability.
8. After written approvals from appropriate entities are submitted, we can approve this proposal for:
9. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
10. This Department would recommend deferral until high seasonal ground water can be determined if other considerations indicate approval.
11. If restroom facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
12. We will require plans be submitted for a plan review for any:
13. Infiltration beds for storm water disposal are considered shallow injection wells. An application and fee must be submitted to CDHD.

Reviewed By:

Row Berg
Date: 3/11/2020



STATE OF IDAHO
DEPARTMENT OF
ENVIRONMENTAL QUALITY

1445 North Orchard • Boise, ID 83706 • (208) 373-0550

Brad Little, Governor
John H. Tippets, Director

March 11, 2020

City of Kuna
Planning & Zoning Department
P.O. Box 13
Kuna, Idaho 83634

RE: Monarch Landing Subdivision, 19-08-ZC, 19-10-S, and 19-06-SUP

Thank you for the opportunity to respond to your request for comment. While DEQ does not review projects on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at: deq.idaho.gov/assistance-resources/environmental-guide-for-local-govts.

The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:

1. Air Quality

- Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), trade waste burning (58.01.01.600-617), and odor control plans (58.01.01.776).

All property owners, developers, and their contractor(s) must ensure that reasonable controls to prevent fugitive dust from becoming airborne are utilized during all phases of construction activities per IDAPA 58.01.01.651.

DEQ recommends the city/county require the development and submittal of a dust prevention and control plan prior to final plat approval. Dust prevention and control plans incorporate appropriate best management practices to control fugitive dust that may be generated at sites.

Citizen complaints received by DEQ regarding fugitive dust from development and construction activities will be referred to the city or county to address under their ordinances.

Information on fugitive dust control plans can be found at:
http://www.deq.idaho.gov/media/61833-dust_control_plan.pdf

- Per IDAPA 58.01.01.600-617, the open burning of any construction waste is prohibited. The property owner, developer, and their contractor(s) are responsible for ensuring no prohibited open burning occurs during construction.

For questions, contact David Luft, Air Quality Manager, at (208) 373-0550.

2. Wastewater and Recycled Water

- DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.16 and IDAPA 58.01.17 are the sections of Idaho rules regarding wastewater and recycled water. Please review these rules to determine whether this or future projects will require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the district health department.

All projects for construction or modification of wastewater systems require preconstruction approval. Recycled water projects and subsurface disposal projects require separate permits as well.

- DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss potential for development of a community treatment system along with best management practices for communities to protect ground water.
- DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

3. Drinking Water

- DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.

All projects for construction or modification of public drinking water systems require preconstruction approval.

- DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system (refer to the DEQ website at: deq.idaho.gov/water-quality/drinking-water.aspx). For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.
- If any private wells will be included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.
- DEQ recommends using an existing drinking water system whenever possible or construction of a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for

EXHIBIT C -5

Response to Request for Comment

March 11, 2020

Page 3

protection of ground water resources.

- DEQ recommends cities and counties develop and use a comprehensive land use management plan which addresses the present and future needs of this area for adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

4. Surface Water

- A DEQ short-term activity exemption (STAE) from this office is required if the project will involve de-watering of ground water during excavation and discharge back into surface water, including a description of the water treatment from this process to prevent excessive sediment and turbidity from entering surface water.
- Please contact DEQ to determine whether this project will require a National Pollution Discharge Elimination System (NPDES) Permit. A Construction General Permit from EPA may be required if this project will disturb one or more acres of land, or will disturb less than one acre of land but are part of a common plan of development or sale that will ultimately disturb one or more acres of land.
- If this project is near a source of surface water, DEQ requests that projects incorporate construction best management practices (BMPs) to assist in the protection of Idaho's water resources. Additionally, please contact DEQ to identify BMP alternatives and to determine whether this project is in an area with Total Maximum Daily Load stormwater permit conditions.
- The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call (208) 334-2190 for more information. Information is also available on the IDWR website at:
<http://www.idwr.idaho.gov/WaterManagement/StreamsDams/Streams/AlterationPermit/AlterationPermit.htm>
- The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.

For questions, contact Lance Holloway, Surface Water Manager, at (208) 373-0550.

5. Hazardous Waste And Ground Water Contamination

- **Hazardous Waste.** The types and number of requirements that must be complied with under the federal Resource Conservation and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.
- No trash or other solid waste shall be buried, burned, or otherwise disposed of at the project site. These disposal methods are regulated by various state regulations including Idaho's Solid Waste

EXHIBIT C -5

Response to Request for Comment
March 11, 2020
Page 4

Management Regulations and Standards, Rules and Regulations for Hazardous Waste, and Rules and Regulations for the Prevention of Air Pollution.

- **Water Quality Standards.** Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA 58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.02.851 and 852).

Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.02.851.01 and 04. Hazardous material releases to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.

- **Ground Water Contamination.** DEQ requests that this project comply with Idaho's Ground Water Quality Rules (IDAPA 58.01.11), which states that "No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water quality standard to be exceeded, injures a beneficial use of ground water, or is not in accordance with a permit, consent order or applicable best management practice, best available method or best practical method."

For questions, contact Albert Crawshaw, Waste & Remediation Manager, at (208) 373-0550.

6. Additional Notes

- If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, the site should be evaluated to determine whether the UST is regulated by DEQ. EPA regulates ASTs. UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at (208) 373-0550, or visit the DEQ website deq.idaho.gov/waste-mgmt-remediation/storage-tanks.aspx for assistance.
- If applicable to this project, DEQ recommends that BMPs be implemented for any of the following conditions: wash water from cleaning vehicles, fertilizers and pesticides, animal facilities, composted waste, and ponds. Please contact DEQ for more information on any of these conditions.

We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any of our technical staff at (208) 373-0550.

Sincerely,



Aaron Scheff
Regional Administrator
Boise Regional Office

ec: CM#2020AEK79



City of Kuna Design Review Application

P.O. Box 13
Kuna, Idaho 83634
(208) 922.5274
Fax: (208) 922.5989
Website: www.kunacity.id.gov

FILE NO.:	20-03- MONARCH LANDING
CROSS REF.:	
FILES:	

The City of Kuna has adopted a Design Review process whose purpose is to make Kuna a pleasant and comfortable place to live and work. This Design Review process is based on standards and guidelines found in the Design Review Ordinance No. 2007-02 and the Architecture and Site Design Booklet. Both documents can be found online (www.cityofkuna.com) or are picked up in the City's Planning and zoning department is located at 751 W 4th Street, Kuna ID.

The Design Review application applies to the following land use actions:

- ▶ Multi- family dwellings (3 or more)
- ▶ Commercial
- ▶ Industrial
- ▶ Institutional
- ▶ Office
- ▶ Common Area
- ▶ Subdivision Signage
- ▶ Proposed Conversions
- ▶ Proposed changes in land use and/or building use or exterior remodeling
- ▶ Exterior restoration, and enlargement or expansion of existing buildings, signs or sites.

Application Submittal Requirements

Applicant Use		Staff Use
<input type="checkbox"/>	Date of pre- application meeting : _____ <i>Note: Pre-Applications are valid for a period of three (3) months.</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	A complete Design Review Application form <i>Note: It is the applicant's responsibility to use a current application.</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Detailed letter of explanation or justification for the application, describing the project and design elements, and how the project complies with Design Review standards.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	One (1) Vicinity Map (8 ½" x 11") at 1" = 300' scale (or similar), label the location of the property and adjacent streets.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	One 8 ½" x 11" colored aerial photo depicting proposed site, street names, and surrounding area within five-hundred feet (500').	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Copy of Deed; and, if the applicant is not the owner, an original notarized statement (affidavit of legal interest) from the owner (and all interested parties) stating the applicant is authorized to submit this application.	<input type="checkbox"/>

Detailed site, landscape, drainage plan, elevation and to scale. (No smaller than 1"=30', unless otherwise approved.)
One of each plan (site, landscape, drainage plan and elevations) is required to be submitted in the following plan sizes:

- (2) 24" x 36" LARGE FORMAT PLANS
- (1) 11" X 17" PLAN REDUCATIONS
- (1) 8 1/2" x 11" PLAN REDUCTIONS

Provide a color rendering and material sample board specifically noting where each color and material is to be located on the structure.
Note: Provide photo of the colored rendering and material samples board to City Staff electronically in a JPG or PDF format.

The Applicant is obligated to provide a site plan that graphically portrays the site and includes the following features:

Site Plan

Applicant Use		Staff Use
<input checked="" type="checkbox"/>	North Arrow	<input type="checkbox"/>
<input checked="" type="checkbox"/>	To scale drawings	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Property lines	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Name of "Plan Preparer" with contact information	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Name of project and date	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Existing structures, identify those which are to be relocated or removed	<input type="checkbox"/>
<input checked="" type="checkbox"/>	On-site and adjoining streets, alleys, private drives and rights-of-way	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Drainage location and method of on-site retention / detention	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Location of public restrooms	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Existing / proposed utility service and any above-ground utility structures and their location	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Location and width of easements, canals and drainage ditches	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Location and dimension of off-street parking	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Locations and sizes of any loading area, docks, ramps and vehicle storage or service areas	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Trash storage areas and exterior mechanical equipment, with proposed method of screening	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Sign locations (a separate sign application must be submitted with this application)	<input type="checkbox"/>
<input checked="" type="checkbox"/>	On-site transportation circulation plan for motor vehicles, pedestrians and bicycles	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Locations and uses of ALL open spaces	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Locations, types and sizes of sound and visual buffers (Note: all buffers must be located outside the public right-of-way)	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Locations of subdivision lines (if applicable)	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Location of walls and fences and indication of their height and material of construction	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Roofline and foundation plan of building, location on the site	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Location and designations of all sidewalks	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Location and designation of all rights-of-way and property lines	<input type="checkbox"/>

Landscape and Streetscape Plan

The landscape and streetscape plans need to be drawn by the project architect, professional landscape architect, landscape designer, or qualified nurseryman for development's possessing more than twelve thousand (12,000) square feet of private land. The landscaped and streetscape plans must be colored. The Planning Director or City Forester may require the preparation of a landscape plan for smaller developments by one of the noted individuals if the lot(s) have unique attributes.

Applicant Use		Staff Use
<input checked="" type="checkbox"/>	North Arrow	<input type="checkbox"/>
<input checked="" type="checkbox"/>	To scale drawings	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Boundaries, property lines and dimensions	<input type="checkbox"/>
<input type="checkbox"/>	Name of "Plan Preparer" with contact information	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Name of project and date	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Type and location of all plant materials and other ground covers. <i>Please review the City's plant list and rely upon it to identify the site's planting strategy. Include botanical and common name, quantity, spacing and sizes of all proposed landscape materials at the time of planting, and at maturity. A list of acceptable trees is available upon request from City Planning Staff.</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Existing vegetation identified by specific size. Identify those which are proposed to be relocated or removed	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Method of irrigation <i>Note: All plant materials, except existing native plants not damaged during construction or xeriscape species shown not to require regular watering, shall be irrigated by underground sprinkler systems set on a timer in order to obtain proper watering duration and ease of maintenance.</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Location, description, materials, and cross-sections of special features, including berming, retaining walls, hedges, fences, fountains street/pathway furniture (benches, etc.), etc.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Sign locations <i>Note: A separate sign application must be submitted with this application</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Locations and uses for open spaces	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Location and designations of all sidewalks	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Clearly identify pressurized irrigation lines and underground water storage	<input type="checkbox"/>
<input type="checkbox"/>	Engineered grading and drainage plans: A generalized drainage plan showing direction drainage with proposed on-site retention. Upon submission of building/construction plans for an approved design review application, a detailed site grading and drainage plan, prepared by a registered professional engineer (PE) shall be submitted to the City for review and approval by the City Engineer.	<input type="checkbox"/>

Building Elevations

Applicant Use		Staff Use
<input checked="" type="checkbox"/>	Detailed elevation plans of each side of any proposed building(s) or additions(s) <i>Note: Four (4) elevations to include all sides of development and must be in color</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Identify the elevations as to north, south, east, and west orientation	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Colored copies of all proposed building materials and indication where each material and color application is to be located <i>Note: Submit as 11"x17" reductions</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Screening/treatment of mechanical equipment	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Provide a cross-section of the building showing any roof top mechanical units and their roof placement	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Detailed elevation plans showing the materials to be used in construction of trash enclosures	<input type="checkbox"/>

Lighting Plan

Applicant Use		Staff Use
<input checked="" type="checkbox"/>	Exterior lighting including detailed cut sheets and photometric plan (pedestrian, vehicle, security, decoration)	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Types and wattage of all light fixtures <i>Note: The City encourages use of "dark sky" lighting fixtures</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Placement of all light fixtures shown on elevations and landscaping plans	<input type="checkbox"/>

Roof Plans

Applicant Use		Staff Use
<input checked="" type="checkbox"/>	Size and location of all roof top mechanical units	<input type="checkbox"/>

Design Review Application

Applicant: Mason & Associates, Inc. Phone: (208) 454-0256
 Owner Representative Fax/Email: wmason@masonandassociates.us

Applicant's Address: 924 3rd Street South Ste B
Nampa ID Zip: 83651

Owner: Lete Family Revocable Trust Phone: (208) 465-6141

Owner's Address: 117 N. Kings Road Email: inaki@kingsgateid.com
Nampa, ID Zip: 83687

Represented By: (if different from above) Mason & Associates Inc. Phone: (208) 454-0256

Address: 924 3rd Street South Ste B Email: wmason@masonandassociates.us
Nampa, ID 83651 Zip: 83651

Address of Property: 1901 W. Hubbard Rd
Kuna, ID Zip: 83634

Distance from Major Cross Street: at intersection of Street Name(s): Hubbard Rd and N. Linder Rd

Please check the box that reflects the intent of the application

- BUILDING DESIGN REVIEW DESIGN REVIEW MODIFICATION
 SUBDIVISION / COMMON AREA LANDSCAPE STAFF LEVEL APPLICATION

This Design Review application is a request to construct, add or change the following: (Briefly explain the nature of the request.)

Review of Common area / Landscaping area along Hubbard and Linder Roads.

1. Dimension of Property: approx 957 feet along Hubbard and 530 feet along Linder
2. Current Land Use(s): Agricultural
3. What are the land uses of the adjoining properties?

North: Agricultural and Residential
South: Agricultural and Residential
East: Residential
West: Residential and Park

4. Is the project intended to be phased, if so what is the phasing time period? _____
Please explain: phases will be market driven as commercial lots are sold and developed



Neighborhood Meeting Certification

received
12.9.19

CITY OF KUNA PLANNING & ZONING * 763 W. Avalon, Kuna, Idaho, 83634 * www.kunacity.id.gov * (208) 922-5274 * Fax: (208) 922-5989

GENERAL INFORMATION:

You must conduct a neighborhood meeting prior to application for variance, conditional use, zoning ordinance map amendment, expansion or extension of a nonconforming use, and/or a subdivision. Please see Section 5-1A-2 of the Kuna City Code or ask one of our planners for more information on neighborhood meetings.

The meeting must be held either on a weekend between 10 a.m. and 7 p.m., or a weekday between 6 p.m. and 8 p.m. Meetings cannot be conducted on holidays, holiday weekends, or the day before or after a holiday or holiday weekend. The meeting must be held at one of the following locations:

- The Subject Property;
- The nearest available public meeting place (Examples include fire stations, libraries and community centers);
- An office space within a 1-mile radius of the subject property.

The meeting cannot take place more than 2 months prior to acceptance of the application and the application will not be accepted before the neighborhood meeting is conducted. You are required to send written notification of your meeting, allowing a reasonable amount of time before your meeting for property owners to plan to attend. Contacting and/or meeting individually with residents will not fulfill Neighborhood Meeting requirements.

You may request a list of the people you need to invite to the neighborhood meeting from our department. This list includes property owners within 300 feet of the subject property. Once you have held your neighborhood meeting, please complete this certification form and include it with your application.

Please Note: The neighborhood meeting must be conducted in one location for attendance by all neighboring residents. Contacting and/or meeting individually with residents does not comply with the neighborhood meeting requirements.

Please include a copy of the sign-in sheet for your neighborhood meeting, so we have written record of who attended your meeting and the letter of intent sent to each recipient. In addition, provide any concerns that may have been addressed by individuals that attended the meeting.

Description of proposed project: Rezone, Preliminary Plat, Special use Permit.
 Date and time of neighborhood meeting: September 05, 2019
 Location of neighborhood meeting: 1901 W. Hubbard Rd, Kuna, ID

SITE INFORMATION:

Location: Quarter: _____ Section: 14 Township: 2N Range: 1W Total Acres: 17.34
 Subdivision Name: Monarch Landing Lot: _____ Block: _____
 Site Address: 1901 W. Hubbard Rd Tax Parcel Number(s): R8555340170
Kuna, ID 83634

Please make sure to include **all** parcels & addresses included in your proposed use.

CURRENT PROPERTY OWNER:

Name: Dennis Wolfgram - under purchase agreement with Life Family trust
 Address: 1901 W. Hubbard Rd City: Kuna State: ID Zip: 83634

CONTACT PERSON (Mail recipient and person to call with questions):

Name: Mason and Associates Business (if applicable): _____
 Address: 924 3rd Street S. Ste B City: Nampa State: ID Zip: 83651

PROPOSED USE:

I request a neighborhood meeting list for the following proposed use of my property (check all that apply):

Application Type

Brief Description

Annexation

Re-zone

Subdivision (Sketch Plat and/or Prelim. Plat)

Special Use

Variance

Expansion of Extension of a Nonconforming Use

Zoning Ordinance Map Amendment

Zone from Ag to C-3

Storage Facility.

APPLICANT:

Name: Lete Family Revocable trust

Address: 117 N. Kings Rd

City: Nampa State: ID Zip: 83687

Telephone: (208) 465-5013 Fax: (208) 465-6141

I certify that a neighborhood meeting was conducted at the time and location noted on this form and in accord with Section 5-1A-2 of the Kuna City Code

Signature: (Applicant)  Date 12-9-19

NEIGHBORHOOD MEETING MINUTES

Meeting Date: 9-5-19 Number of Attendees: 12-15

Meeting Location: 1901 W. Hubbard Rd, Kuna, ID 83634

Description of Project Presented:

Attendee's comments:

~~Cover parking~~
no amendments?
Hours access?
Buffer / Landscape
Lighting
Access to business
more complaints about cell tower across street
more concerned about commercial; want
more restaurants.
TAX base

I hereby certify that the above information is complete and correct to the best of my knowledge.

Inaki LETE
Printed Name

[Signature]
Signature

9/5/2019
Date

SIGN IN SHEET

PROJECT NAME: Monarch Landing

Date: 9-5-19

	Name	Address	Zip	Phone
1	Deb Noble	2830 N. Kelsan	83634	208-409-8090
2	Johal Noble	2830 N Kelsan	83634	208 863 4412
3	Bob Moore	2955 A7WOOD LN	83634	208 850-5091
4	Sean Moore	2955 A7WOOD LN	83634	208 941-7569
5	Zach Wesley	2767 N. Kelsan	83634	208 546 8089
6	Helene Wolfgang	1901 W. Hubbard	83634	208 631 3955
7	Gene Morrison	1646 W Hubbard	83634	208 891 0068
8	Dennis Wolfgang	1901 W. Hubbard	83634	208 631 3950
9	Debrae Emma	2835 W Hubbard	83634	208-867-6795
10	Debrae Emma	"	"	208-850-5967
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Professional Engineers, Land Surveyors and Planners

924 3rd St. So. Suite B, Nampa, ID 83651
Ph (208) 454-0256 Fax (208) 467-4130

Dear Property Owner and Neighbor,

Mr. Lete would like to invite you to a neighborhood meeting to be held from 6:00 p.m. to 6:30 p.m. on Thursday, September 05, 2019.

The location of this meeting will be at 1901 W. Hubbard Rd, Kuna, ID.

Mr. Lete will be requesting rezone for a portion of this property from agricultural to commercial. Commercial use is the City of Kuna's preferred future land use for this property.

In accordance with City of Kuna requirements, Mr. Lete will be asking for a Special Use Permit to place storage units on a portion of the property.

If you have questions, a representative for the project will be there to discuss them.

Thank you,

A handwritten signature in blue ink that reads "William J. Mason".

William Mason PE
Mason & Associates, Inc.

John and Vicki Kirby
1880 W. Hubbard Rd
Kuna, ID 83634

James and Vicki Clark
2965 N. Linder Rd
Kuna, ID 83634

Pamelee and John Noble
2830 N. Kelsan Ave
Kuna, ID 83634

Bernard Morrison
9565 S. Linder Rd
Meridian, ID 83642

Kimberly and William Fox
2588 N Kelsan Ave
Kuna, ID 83634

Arbor Ridge Silverdale Sub HOA
P.O. Box 1350
Meridian, ID 83680

Stone Mountain Properties LLC
740 E. Jamaica CT
Meridian, ID 83642

Michael and Danielle Tinker
2600 N. Kelsan Ave
Kuna, ID 83634

Denali Heights HOA
P.O. Box 1246
Meridian, ID 83680

Timbermist HOA Inc C/O AMI
3140 W. Belltower Dr
Meridian, ID 83646

Fimian Living Trust
535 E. Sable Ridge Dr
Kuna, ID 83634

Bruce and Cinda Perkins
9520 S. Kelsan Ave
Kuna, ID 83634

Dale Voloshin
9513 S. Updale Ave
Kuna, ID 83634

Craig and Carrie Freeman
2656 N. Kelsan Ave
Kuna, ID 83634

Cassie Fontaine and Aaron Powers
9488 S. Kelsan Ave
Kuna, ID 83634

Tami and Jacob Loshaw
1525 W. Soldotna Dr
Kuna, ID 83634

Arturo and Sylvia Lara
2720 N. Kelsan Ave
Kuna, ID 83634

Gregory and Kathleen Hatch
2043 W. Soldotna St.
Kuna, ID 83634

Chapparosa Ridge Sub HOA
C/O NorthStar HOA Management
4850 N. Rosepoint way #104
Boise, ID 83713

Jeremy Perez
2742 N. Kelsan Ave
Kuna, ID 83634

Kay Clark and Christine Poulson
2069 W. Soldotna St.
Kuna, ID 83634

Open Door Rentals LLC
1545 W. Hubbard Rd Apt 201
Kuna, ID 83634

Michael Bailey
2766 N. Kelsan Ave
Kuna, ID 83634

Melissa Fleck
2837 N. Kelsan Ave
Kuna, ID 83634

Joann Fractman
124 E. Chapparosa CT
Kuna, ID 83634

Tammy and Thomas Kline
2788 N. Kelsan Ave
Kuna, ID 83634

Ashley and Kyle Johnson
2805 N. Kelsan Ave
Kuna, ID 83634

Victor Deinhi and Jane Mansapit
221 Point San Pedro Rd
San Rafael, CA 94901

Janna and Billy Fikes
2804 N. Kelsan Ave
Kuna, ID 83634

City of Kuna
P.O. Box 13
Kuna, ID 83634

Kimberly Pope
2789 N. Kelsan Ave
Kuna, ID 83634

Zachary and Amanda Wesley
2767 N. Kelsan Ave
Kuna, ID 83634

Nick and Melissa Colivas
2743 N. Kelsan Ave
Kuna, ID 83634

Wayne Taylor
2721 N. Kelsan Ave
Kuna, ID 83634

James Witzel
2679 N. Kelsan Ave
Kuna, ID 83634

John Who
2657 N. Kelsan Ave
Kuna, ID 83634

Vicky Forester
2623 N. Kelsan Ave
Kuna, ID 83634

Steven Douglas
2605 N. Kelsan Ave
Kuna, ID 83634

PARCEL	ZONING	CODEARE	TOTALVAL	ACRES	PROPYEA	CHAR_	PROP_ADD	DESCRIPT
R8461170160	R-4	04	0	0.549	2019 Bare Land	S LINDER RD	MERIDIAN, ID 83642-0000	LOT 03 BL
R8461170240	R-4	04	309600	0.25	2019 Residential	9513 S UPDALE AVE	KUNA, ID 83634-0000	LOT 11 BL
R8461170250	R-4	04	370600	0.221	2019 Residential	1525 W SOLDOTNA DR	KUNA, ID 83634-0000	LOT 12 BL
R0501670010	R-4	04	0	7.269	2019 Bare Land	2055 W HUBBARD RD	KUNA, ID 83634-0000	LOT 01 BL
R0501670020	R-4	04	237100	0.189	2019 Residential	2837 N KELSAN AVE	KUNA, ID 83634-0000	LOT 02 BL
R0501670030	R-4	04	284100	0.202	2019 Residential	2805 N KELSAN AVE	KUNA, ID 83634-0000	LOT 03 BL
R0501670040	R-4	04	317900	0.202	2019 Residential	2789 N KELSAN AVE	KUNA, ID 83634-0000	LOT 04 BL
R0501670050	R-4	04	259100	0.202	2019 Residential	2767 N KELSAN AVE	KUNA, ID 83634-0000	LOT 05 BL
R0501670060	R-4	04	300300	0.202	2019 Residential	2743 N KELSAN AVE	KUNA, ID 83634-0000	LOT 06 BL
R0501670070	R-4	04	229400	0.202	2019 Residential	2721 N KELSAN AVE	KUNA, ID 83634-0000	LOT 07 BL
R0501670080	R-4	04	244900	0.202	2019 Residential	2679 N KELSAN AVE	KUNA, ID 83634-0000	LOT 08 BL
R0501670090	R-4	04	319300	0.202	2019 Residential	2657 N KELSAN AVE	KUNA, ID 83634-0000	LOT 09 BL
R0501670100	R-4	04	240300	0.202	2019 Residential	2623 N KELSAN AVE	KUNA, ID 83634-0000	LOT 10 BL
R0501670110	R-4	04	223500	0.198	2019 Residential	2605 N KELSAN AVE	KUNA, ID 83634-0000	LOT 11 BL
R0501670170	R-4	04	0	0.047	2019 Bare Land	W HUBBARD RD	KUNA, ID 83634-0000	LOT 01 BL
R0501670180	R-4	04	247600	0.22	2019 Residential	2830 N KELSAN AVE	KUNA, ID 83634-0000	LOT 02 BL
R0501670190	R-4	04	326200	0.207	2019 Residential	2804 N KELSAN AVE	KUNA, ID 83634-0000	LOT 03 BL
R0501670200	R-4	04	225900	0.207	2019 Residential	2788 N KELSAN AVE	KUNA, ID 83634-0000	LOT 04 BL
R0501670210	R-4	04	235800	0.207	2019 Residential	2766 N KELSAN AVE	KUNA, ID 83634-0000	LOT 05 BL
R0501670220	R-4	04	265600	0.207	2019 Residential	2742 N KELSAN AVE	KUNA, ID 83634-0000	LOT 06 BL
R0501670230	R-4	04	271200	0.207	2019 Residential	2720 N KELSAN AVE	KUNA, ID 83634-0000	LOT 07 BL
R0501670240	R-4	04	261500	0.207	2019 Residential	2678 N KELSAN AVE	KUNA, ID 83634-0000	LOT 08 BL
R0501670250	R-4	04	241300	0.207	2019 Residential	2656 N KELSAN AVE	KUNA, ID 83634-0000	LOT 09 BL
R0501670260	R-4	04	313000	0.207	2019 Residential	2622 N KELSAN AVE	KUNA, ID 83634-0000	LOT 10 BL
R0501670270	R-4	04	234900	0.207	2019 Residential	2600 N KELSAN AVE	KUNA, ID 83634-0000	LOT 11 BL
R0501670280	R-4	04	278500	0.243	2019 Residential	2588 N KELSAN AVE	KUNA, ID 83634-0000	LOT 12 BL
R1375610010	R-5	04	0	0.345	2019 Bare Land	N LINDER RD	KUNA, ID 83634-0000	LOT 01 BL
R1375610050	R-5	04	238100	0.236	2019 Residential	123 E CHAPPAROSA CT	KUNA, ID 83634-0000	LOT 05 BL
R1375610060	R-5	04	0	0.483	2019 Bare Land	E CHAPPAROSA CT	KUNA, ID 83634-0000	LOT 06 BL
R1375610070	R-5	04	216600	0.217	2019 Residential	124 E CHAPPAROSA CT	KUNA, ID 83634-0000	LOT 07 BL
R1805140010	R-5	04	0	0.461	2019 Bare Land	W HUBBARD RD	KUNA, ID 83634-0000	LOT 01 BL
R1805140070	R-5	04	350700	0.232	2019 Residential	2069 W SOLDOTNA ST	KUNA, ID 83634-0000	LOT 07 BL
R1805140080	R-4	04	362000	0.266	2019 Residential	2043 W SOLDOTNA ST	KUNA, ID 83634-0000	LOT 08 BL
R1805140090	R-4	04	0	0.071	2019 Bare Land	W HUBBARD RD	KUNA, ID 83634-0000	LOT 01 BL
R1805140100	R-4	04	499000	0.348	2019 Residential	9520 S KELSAN AVE	KUNA, ID 83634-0000	LOT 02 BL
R1805140110	R-4	04	464300	0.232	2019 Residential	9488 S KELSAN AVE	KUNA, ID 83634-0000	LOT 03 BL

R4865420010	C-1	04	0	0.802	2019 Bare Land	W HUBBARD RD KUNA, ID 83634-0000	LOT 01 BL
R4865420090	R-4	04	0	2.785	2019 Bare Land	N UPDALE AVE KUNA, ID 83634-0000	LOT 09 BL
R4865430020	C-1	04		1.171	2020 Bare Land	W HUBBARD RD KUNA, ID 83634-0000	LOT 25 BL
R4865430040	C-1	04		0.103	2020 Bare Land	1535 W HUBBARD RD KUNA, ID 83634-0000	LOT 26 BL
R4865430060	C-1	04		0.138	2020 Bare Land	1545 W HUBBARD RD KUNA, ID 83634-0000	LOT 27 BL
R4865430080	C-1	04		0.099	2020 Bare Land	1555 W HUBBARD RD KUNA, ID 83634-0000	LOT 28 BL
R4865430100	C-1	04		0.114	2020 Bare Land	1565 W HUBBARD RD KUNA, ID 83634-0000	LOT 29 BL
R4865430120	C-1	04		0.106	2020 Bare Land	1575 W HUBBARD RD KUNA, ID 83634-0000	LOT 30 BL
R4865430140	C-1	04		0.113	2020 Bare Land	1585 W HUBBARD RD KUNA, ID 83634-0000	LOT 31 BL
R4865430160	C-1	04		0.118	2020 Bare Land	1595 W HUBBARD RD KUNA, ID 83634-0000	LOT 32 BL
R4865430180	C-1	04		0.103	2020 Bare Land	1525 W HUBBARD RD KUNA, ID 83634-0000	LOT 33 BL
R8555340170	A	04	415400	17.34	2019 Residential	1901 W HUBBARD RD KUNA, ID 83634-0000	LOT 1 BLK
R8555340270	A	04	313800	10	2019 Residential	2965 N LINDER RD KUNA, ID 83634-0000	LOT 2 BLK
S1311449000	RR	239	333600	4.82	2019 Residential	1880 W HUBBARD RD KUNA, ID 83634-0000	PAR #900C
S1311449060	RR	239		4.882	2020 Bare Land	1800 W HUBBARD RD KUNA, ID 83634-0000	PAR #906C
S1311449160	RR	239		10.11	2020 Bare Land	9565 S LINDER RD MERIDIAN, ID 83642-0000	PAR #916C
S1312336050	C-1	04	278800	1	2019 Commercial	1530 W HUBBARD RD MERIDIAN, ID 83642-0000	PAR #605C

From: [Sub Name Mail](#)
To: [Angie Cuellar](#)
Cc: [Darin Holzhey](#)
Subject: Monarch Landing Subdivision Name Reservation
Date: Friday, August 23, 2019 4:59:31 PM
Attachments: [image002.png](#)
[image004.png](#)

August 23, 2019

Darin Holzhey, Mason and Associates
Angie Cuellar, Mason and Associates

RE: Subdivision Name Reservation: **MONARCH LANDING SUBDIVISION**

At your request, I will reserve the name **Monarch Landing Subdivision** for your project. I can honor this reservation only as long as your project is in the approval process. Final approval can only take place when the final plat is recorded.

This reservation is available for the project as long as it is in the approval process unless the project is terminated by the client, the jurisdiction or the conditions of approval have not been met, in which case the name can be re-used by someone else.

Sincerely,



Jerry L. Hastings, PLS 5359
County Surveyor
Deputy Clerk Recorder
Ada County Development Services
200 W. Front St., Boise, ID 83702
(208) 287-7912 office
(208) 287-7909 fax
E-mail: jhastings@adacounty.id.gov

From: Angie Cuellar [<mailto:acuellar@masonandassociates.us>]
Sent: Wednesday, August 21, 2019 5:10 PM
To: Sub Name Mail
Cc: 'William J Mason'
Subject: RE: Request to reserve subdivision name

To whom it may concern:

Request to reserve subdivision name: Monarch Landing

Physical address: 1901 W. Hubbard Rd, Kuna, ID 83634

Parcel number: R8555340170

Section: 14

Township: 2N

Range: 1W

Owner: Dennis Wolfgram

Developer: Lete Family Revocable Trust

Surveyor: Darin Holzhey of Mason and Associates Inc.

Contact information: Darin Holzhey – Surveyor dholzhey@masonandassociates.us Ph: 208-454-0256

William Mason – Engineer wmason@masonandassociates.us Ph: 208-454-0256

Angie Cuellar -Planner acuellar@masonandassociates.us Ph: 208-454-0256

Angie Cuellar, Planner

*Mason &
Associates Inc.*

Professional Engineers, Land Surveyors and Planners
924 3rd St. So., Suite B, Nampa, ID 83651
Ph (208) 454-0256 Fax(208) 467-4130
e-mail: acuellar@masonandassociates.us

From: Sub Name Mail <subnamemail@adacounty.id.gov>

Sent: Friday, August 16, 2019 4:01 PM

To: Angie Cuellar <acuellar@masonandassociates.us>

Subject: RE: Request to reserve subdivision name

Angie;

The primary name KINGS you have selected has either been used, or is a sound alike to a recorded name.

Please choose another name.

Glen Smallwood
Surveying Technician
Ada County Development Services



200 W. Front St., Boise, ID 83702
(208) 287-7926 office
(208) 287-7909 fax

From: Angie Cuellar [<mailto:acuellar@masonandassociates.us>]
Sent: Thursday, August 15, 2019 5:10 PM
To: Sub Name Mail
Cc: 'William J Mason'
Subject: Request to reserve subdivision name

To whom it may concern:

Request to reserve subdivision name: Kings Corner

Physical address: 1901 W. Hubbard Rd, Kuna, ID 83634

Parcel number: R8555340170

Section: 14

Township: 2N

Range: 1W

Owner: Dennis Wolfgram

Developer: Lete Family Revocable Trust

Surveyor: Darin Holzhey of Mason and Associates Inc.

Contact information: Darin Holzhey – Surveyor dholzhey@masonandassociates.us Ph: 208-454-0256

William Mason – Engineer wmason@masonandassociates.us Ph: 208-454-0256

Angie Cuellar -Planner acuellar@masonandassociates.us Ph: 208-454-0256

Angie Cuellar, Planner

Mason & Associates Inc.

Professional Engineers, Land Surveyors and Planners
924 3rd St. So., Suite B, Nampa, ID 83651
Ph (208) 454-0256 Fax(208) 467-4130
e-mail: acuellar@masonandassociates.us

City of Kuna

Planning & Zoning Department

June 18, 2020

Subject: Public hearing on June 23, 2020

Site: SWC Linder and Hubbard Roads, Kuna, Id 83634, within Section 14, Township 2 North, Range 1 West (APN R8555340170).

Rezone for Approx. 17.34 acres from Ag to C-3 Commercial zone for the Monarch Landing Sub from Mason & Asso. Inc. Also request preliminary plat approval in order to re-subdivide Lot 1 Block 1 of Tukila Meadow Sub in 15 total lots and requests a SUP to place an approx. 5 acre self-storage facility on same site.

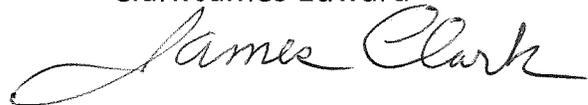
My wife and I own Lot 2 Block 1 in the Tukila Meadow Sub. Our north boundary is the south boundary of the proposed rezone. We are requesting a substantial fence on this border to buffer our property from the proposed commercial development. We suggest an **8' concrete block fence** like seen at many commercial sites that abut private property.

We wish to remind P&Z staff that Snowbell Street in Arbor Ridge Subdivision dead ends at the south boundary of our property, planned for future development. It is likely that our property will provide future home sites.

In orderly development of the property north of us, we are requesting that **weed control** occur during all phases of development.

Thank you for consideration of our concerns.

Clark James Edward



Clark Vicki Michele



2965 N Linder Rd.

Kuna, Idaho 83634



City of Kuna

Planning & Zoning Commission

Staff Report

P.O. Box 13
 Phone: (208) 922-5274
 Fax: (208) 922-5989
 www.Kunacity.id.gov

To: Kuna Planning and Zoning Commission.

File Numbers: 20-01-SUP (Special Use Permit);
 In-Home Daycare

Location: 3040 W. Pear Apple Street.,
 Kuna, Idaho 83634

Planner: Doug Hanson, Planner I

Hearing date: June 23, 2020

Owner/Applicant: Aimerine Uwineza
 3040 W. Pear Apple Street
 Kuna, ID 83634
 208.353.5676
uaimerine@icloud.com



Table of Contents:

- A. Course Proceedings
- B. Applicants Request
- C. History
- D. General Project Facts
- E. Staff Analysis
- F. Applicable Standards
- G. Proposed Comprehensive Plan Analysis
- H. Proposed Kuna City Code Analysis

I. Proposed Decision by the Commission

A. Course of Proceedings:

1. The applicant is proposing to operate an In-Home Childcare Facility within an existing residence located at 3040 W. Pear Apple Street. In accordance with Titles 5-3 and 5-6 (Zoning Districts and Definitions) of Kuna City Code (KCC); this use requires approval of a Special Use Permit (SUP).
2. In accordance with KCC Title 5, Chapters 3 and 6, the applicant seeks approval of a Special Use Permit (SUP) for an In-Home Childcare Facility at the subject site which allows for no more than 6 children at any one time, on a regularly scheduled basis.

a. Notifications

- | | |
|-------------------------------------|------------------------------------|
| i. Neighborhood Meeting | December 21, 2019 (five attendees) |
| ii. Agency Notification | March 4, 2020 |
| iii. 300' Notice to Property Owners | June 3, 2020 |
| iv. Kuna Melba Newspaper | June 3, 2020 |
| v. Site Posted | June 12, 2020 |

B. Applicants Request:

Aimerine Uwineza, seeks Special Use Permit approval in order to operate an In-Home Childcare Facility in an existing residence. The site is located at 3040 W. Pear Apple Street, Kuna, ID 83634.

C. **History:** The property Lot 5, Block 2 of Silver Trail Subdivision No. 2 and is currently zoned R-6 (Medium Density Residential). The existing home is used as a residence. The final plat was approved by the City Council on December 6, 2016.

D. **General Projects Facts:**

1. **Surrounding Land Uses:**

North	R-6	Medium-Low Density Residential – Kuna City
South	R-6	Medium-Low Density Residential – Kuna City
East	R-6	Medium-Low Density Residential – Kuna City
West	R-6	Medium-Low Density Residential – Kuna City

2. **Parcel Sizes, Current Zoning, Parcel Numbers:**

- Parcel Size: Approximately 0.138 acres
- Zoning: R-6 (Medium Density Residential)
- Parcel #: R7909830020

3. **Services:**

Sanitary Sewer– City of Kuna
 Potable Water – City of Kuna
 Irrigation District – Kuna Municipal District (KMID)
 Pressurized Irrigation – City of Kuna (KMID)
 Fire Protection – Kuna Rural Fire District
 Police Protection – Kuna Police (Ada County Sheriff)
 Sanitation Services – J&M Sanitation

4. **Existing Structures, Vegetation and Natural Features:**

There is currently a single-family residential home onsite, estimated to be approximately 2,129 square feet, and an attached two-car garage, estimated to be approximately 722 square feet. The yard is fully fenced. Landscaping on site is generally associated with an existing residential lot.

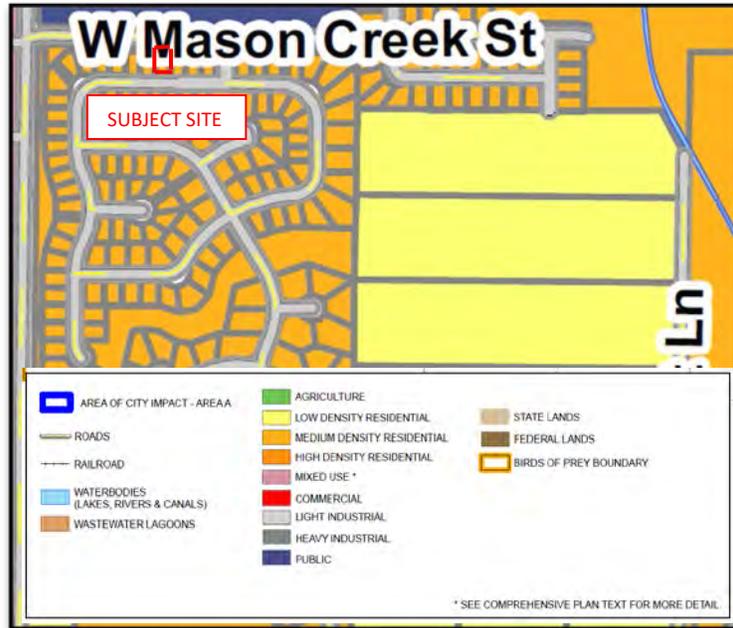
5. **Transportation / Connectivity:**

Current access to the site exists along the subject site’s frontage on W. Pear Apple Street via an existing driveway. Attached sidewalks throughout the subdivision provide pedestrian connectivity.

6. **Environmental Issues:**

Apart from being in the nitrate priority area, staff is not aware of any environmental issues, health or safety conflicts at this time. This site’s topography is generally flat.

7. **Comprehensive Future Land Use Map:** The Future Land Use Map (FLUM) identifies this site as Medium-Density Residential. Staff views this proposed Special Use Permit request to be consistent with the surrounding zoning designations as designated in the FLUM.



8. Agency Responses:

The following agencies returned comments which are included as exhibits with this case file:

- City Engineer (March 24, 2020) Exhibit B-1
- Department of Environmental Quality March 11, 2020) Exhibit B-2
- Central District Health Department (March 11, 2020)Exhibit B-3
- Nampa Meridian Irrigation District (March 19, 2020)Exhibit B-4

E. Staff Analysis:

In order to operate an In-Home Childcare Facility, a Special Use Permit is required per Kuna City Code Title 5, Chapters 3 and 1 (Zoning Districts and Definitions). Group Childcare, allows the applicant to provide childcare for six (6) or fewer children throughout the day, with the appropriate child to staff ratio according to Idaho Code 39-1109(4)(a). The Group Childcare Facility hours of operation are proposed as Monday through Friday from 8:00 am to 5:00 pm. The applicant has proposed two employees, herself and her husband. The children will range from newborns to eleven years of age.

Childcare facilities require a minimum of forty (40) square feet of usable indoor space per child and eighty (80) square feet of usable outdoor space per child. The applicant will be required to comply with Idaho Code Title 39, Chapter 11. Staff finds that the square footage of the proposed site exceeds the requirements for six (6) or fewer children.

Staff has determined that this application complies with Title 5 of Kuna City Code; Idaho Code; the Comprehensive Plan; and Future Land Use Map. Staff recommends that if the Planning and Zoning Commission approves Case No. 20-01--SUP that the applicant be subject to the recommended conditions of approval listed in section “I” of this report.

F. Applicable Standards:

1. Kuna City Code, Title 5, Zoning Regulations.
2. City of Kuna Comprehensive Plan.
3. Idaho Code, Title 67, Chapter 65, Local Land Use Planning Act.
4. Idaho Code, Title 39, Chapter 11, Health and Safety.

G. Proposed Comprehensive Plan Analysis:

The Kuna Planning and Zoning Commission may (*accept or reject*) the Comprehensive Plan components, and has determined the requested Special Use Permit for the site (*is/is not*) consistent with the following Comprehensive Plan components as described below:

1. The proposed Special Use Permit application for the site are consistent with the following comprehensive plan components:

Goal Area 1: Kuna will be Economically Diverse and Vibrant.

- Goal 1.C: Attract and encourage new and existing businesses.
 - Objective 1.C.2: Create an environment that is friendly to business creation, expansion and relocation.

Goal Area 3: Kuna's Land uses will support a desirable, distinctive and well-designed community.

- Goal 3.G: Respect and protect private property rights.
 - Objective 3.G.1: Ensure land use policies, restrictions, and fees do not violate private property rights.
 - Policy 3.G.1.c: Ensure City land use actions, decisions and regulations do not prevent a private property owner from taking advantage of a fundamental property right. Ensure city actions do not impose a substantial and significant limitation on the use of the property.

H. Proposed Kuna City Code Analysis:

1. This request appears to be *consistent/inconsistent* and *in compliance/ not in compliance* with all Kuna City Code (KCC).

Comment: *The proposed application adheres to the applicable requirements of Title 5 of the KCC.*

2. The site *is/is not* physically suitable for the proposed project.

Comment: *The 0.138-acre project site is suitable for an in-home childcare facility.*

3. The special use permit *is likely/is not likely* to cause substantial environmental damage or avoidable injury to wildlife or their habitat.

Comment: *There is no new development associated with this application. Roads, structures and open space already exist and will therefore not cause environmental damage or loss of habitat.*

4. The special use permit application *is likely/is not likely* to cause adverse public health problems.

Comment: *The proposed in-home childcare facility is connected to Kuna public sewer and water therefore eliminating the occurrence of adverse public health problems.*

5. The application appears to avoid detriment to the present and potential surrounding uses; to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing adjacent uses.

Comment: *The special use permit request considers the location of the property and adjacent uses. The adjacent uses are residential and public – as referenced in the Kuna Comprehensive Plan Future Land Use Map.*

6. The existing utility services in proximity to the site are suitable and adequate for the proposed use.

Comment: *Utility services are suitable and adequate for an in-home childcare facility.*

I. Proposed Decision by the Commission:

Note: This motion is for approval, conditional approval or denial of these requests. However, if the Planning and Zoning Commission wishes to approve or deny specific parts of these requests as detailed in the report, those changes must be specified.

Based on the facts outlined in staff's report and public testimony as presented, the Planning and Zoning Commission of Kuna, Idaho, hereby (*approves, conditionally approves or denies*) Case No. 20-01-SUP, a Special Use Permit request by Aimerine Uwineza with the following conditions of approval:

1. As requested by the applicant, the Group Childcare facility is allowed to be open Monday through Friday from 8:00 am to 5:00 pm, with some variation to accommodate special circumstances.
2. Applicant shall ensure that fencing around the outside play area is in safe condition and complies with Idaho Code 39-1109.
3. The applicant shall provide the City with a copy of the Childcare License from the State of Idaho "Health and Welfare" Department within 30 days after approval and signing of the City's Findings of Fact, Conclusions of Law for the Special Use Permit or the approvals may be revoked.
4. The applicant shall provide a copy of all subsequent license renewals to Kuna's Planning and Zoning Department for the Group Childcare Facility.
5. Applicant shall install a door chime on the front door to indicate any opening.
6. Applicant shall install safety locks on doors and cabinets where chemicals are stored.
7. Applicant shall install a fire extinguisher with the correct class rating (5lb ABC) for a kitchen.
8. All electrical outlets shall be covered with safety devices.
9. In the event the uses or the building on this parcel are enlarged, expanded upon or altered in anyway (even for temporary purposes), the landowner/applicant/developer, and any future assigns having interest in the subject property, shall seek an amendment to the approvals of this Special Use Permit through the Planning and Zoning Department.
10. This Special Use Permit is valid if the conditions of approval are adhered to continuously. In the event the conditions are not continuously followed; the special use permit approval may be revoked.
11. The applicant shall maintain a Kuna City Business License through Kuna City Clerk's office once the Special Use Permit is acquired.
12. The Fire District, Building Inspector and Central District Health Department must perform their necessary inspections for final sign-off. The applicant shall provide the City with copies.
13. The Special Use Permit shall follow the proposed intent provided on the SUP application and divest when the applicant no longer operates a Group Childcare Facility on the property and/or no longer has any interest in the property or the business is discontinued for more than one (1) year. The applicant is obligated to advise the City of any changes in ownership or leasing agreements which would affect business operations.
14. The special use permit is not transferable from one parcel to another.
15. The applicant shall follow all staff and agency recommendations.
16. The applicant shall comply with all local, state and federal laws.

DATED: this 23rd day of June, 2020.



City of Kuna
Kuna Planning and Zoning Commission
Proposed Findings of Fact and Conclusions of Law

P.O. Box 13
Phone: (208) 922-5274
Fax: (208) 922-5989
www.kunacity.id.gov

Based upon the record contained in Case No. 20-01-SUP including the Comprehensive Plan, Kuna City Code, Staff's Memorandums, the exhibits, and the testimony during the public hearing, the Kuna Planning and Zoning Commission hereby (*approves/ conditionally approves/ denies*) Case No. 20-01-SUP, a request from Aimerine Uwineza to operate an in-home daycare. The site is located at 3040 W. Pear Apple Street, Kuna, ID 83634.

If the Planning and Zoning Commission wishes to approve, deny or modify specific parts of the Findings of Facts and Conclusions of Law as detailed below, those changes must be specified.

1. Based on the evidence contained in Case Nos. 20-01-SUP, this proposal **does/does not** generally comply with the City Code.

Staff Finding: *The applicants have submitted a complete application, and following staff review for technical compliance the application appears to be in general compliance with the special use standards, supplementary conditions and safeguards in Kuna City Code Title 5.*

2. Based on the evidence contained in Case Nos. 20-01-SUP, this proposal **does/does not** generally comply with the Comprehensive Plan.

Staff Finding: *The current zoning district is R-6 (Medium Density Residential). The Comp Plan Map designates this property as Medium Density Residential.*

3. The in-home daycare **does/does not** constitute a special use as established on the official schedule of district regulations for the zoning district involved.

Staff Finding: *According to the official schedule of district regulations, an in-home daycare does constitute a special use for an R-6 zoning district.*

4. The applicant **does/does not** plan to keep the residence harmonious within the subdivision.

Staff Finding: *The, the residence driveway features three parking spots, and the hours of operation will not interfere with quiet hours.*

5. The public notice requirements **were/were not** met and the public hearing was conducted within the guidelines of applicable Idaho Code and City Ordinances.

Staff Finding: *As noted in the process and noticing sections, notice requirements were met to hold a public hearing on June 23rd, 2020.*

DATED this 23rd day of June, 2020.

received
2.3.20



City of Kuna
Planning & Zoning
Department
P.O. Box 13
Kuna, Idaho 83634
208.922.5274
Fax: 208.922.5989
Website: www.kunacity.id.gov

Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

*Please submit the appropriate checklist (s) with application

Type of Review (check all that apply):

- Annexation
- Appeal
- Comprehensive Plan Amendment
- Design Review
- Development Agreement
- Final Planned Unit Development
- Final Plat
- Lot Line Adjustment
- Lot Split
- Planned Unit Development
- Preliminary Plat
- Rezone
- Special Use
- Temporary Business
- Vacation
- Variance

For Office Use Only	
File Number (s)	20-01-SUP
Project name	3040 W. Pear Apple In-home daycare
Date Received	2.3.20
Date Accepted/ Complete	3.4.20
Cross Reference Files	—
Commission Hearing Date	6.23.20
City Council Hearing Date	—

Contact/Applicant Information

Owners of Record: <u>M. Wine & Almerine</u>	Phone Number: <u>208 353 5676</u>
Address: _____	E-Mail: <u>Maimbine@cloud.com</u>
City, State, Zip: <u>3040 W. Pear Apple St Kuna Idaho 83634</u>	Fax #: _____
Applicant (Developer): _____	Phone Number: _____
Address: _____	E-Mail: _____
City, State, Zip: _____	Fax #: _____
Engineer/Representative: _____	Phone Number: _____
Address: _____	F-Mail: _____
City, State, Zip: _____	Fax #: _____

Subject Property Information

Site Address: <u>3040 W Pear Apple St</u>
Site Location (Cross Streets): <u>Ten mile & Mason</u>
Parcel Number (s): <u>R 79098 30020</u>
Section, Township, Range: _____
Property size : <u>2054 sqft</u>
Current land use: _____ Proposed land use: _____
Current zoning district: _____ Proposed zoning district: _____

Project Description

Project / subdivision name: _____
General description of proposed project / request: _____
Type of use proposed (check all that apply):
 Residential _____
 Commercial _____
 Office _____
 Industrial _____
 Other _____
Amenities provided with this development (if applicable): _____

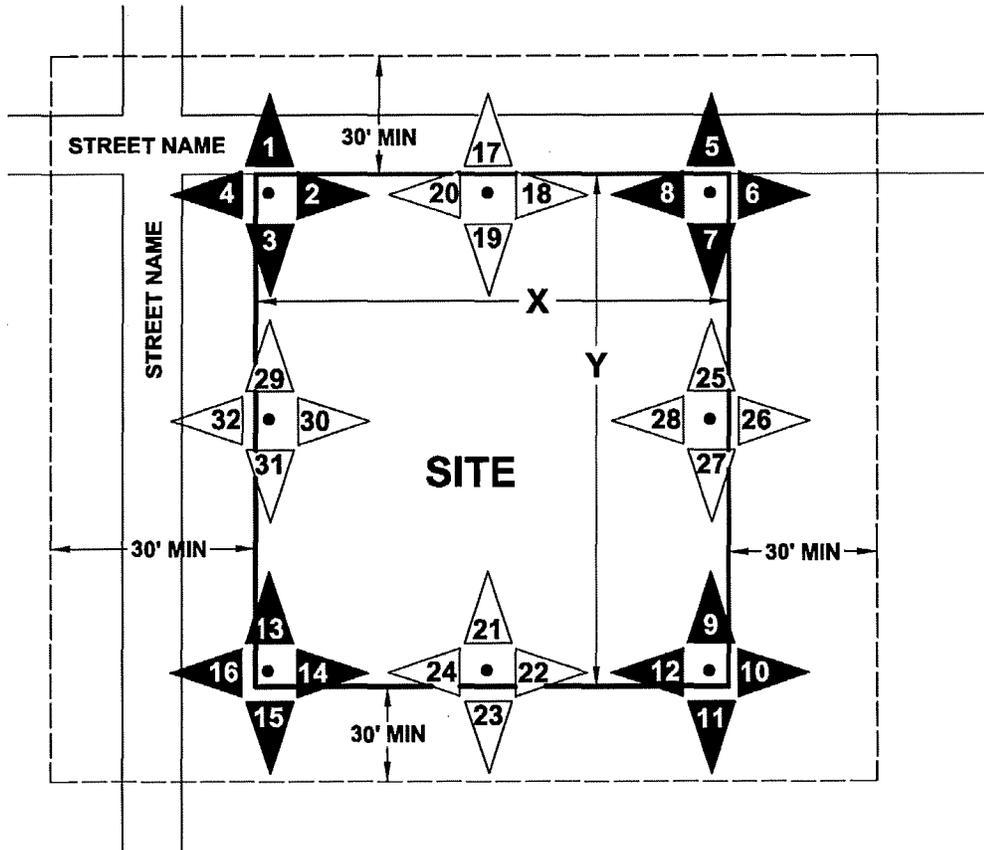
Residential Project Summary (if applicable)

Are there existing buildings? Yes No
Please describe the existing buildings: _____
Any existing buildings to remain? Yes No
Number of residential units: _____ Number of building lots: _____
Number of common and/or other lots: _____
Type of dwellings proposed:
 Single-Family _____
 Townhouses _____
 Duplexes _____
 Multi-Family _____
 Other _____
Minimum Square footage of structure (s): _____
Gross density (DU/acre-total property): _____ Net density (DU/acre-excluding roads): _____
Percentage of open space provided: _____ Acreage of open space: _____
Type of open space provided (i.e. landscaping, public, common, etc.): _____

Non-Residential Project Summary (if applicable)

Number of building lots: _____ Other lots: _____
Gross floor area square footage: _____ Existing (if applicable): _____
Hours of operation (days & hours): _____ Building height: _____
Total number of employees: _____ Max. number of employees at one time: _____
Number and ages of students/children: _____ Seating capacity: _____
Fencing type, size & location (proposed or existing to remain): _____
Proposed Parking: a. Handicapped spaces: _____ Dimensions: _____
b. Total Parking spaces: _____ Dimensions: _____
c. Width of driveway aisle: _____
Proposed Lighting: _____
Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.): _____

Applicant's Signature: _____ Date: 1.14.20



Project Information:
Name:
Project:.....
Gross Acre:.....

NOTE:
Provide Site Plan on an 8 1/2" x 11" paper—indicating placement of photo orientation.
All applicants are expected to provide COLOR photographs at a 1-16 minimum.
If Distance 'X' is GREATER than 500-feet, also take photos 17-24.
If Distance 'Y' is GREATER than 500-feet, also take photos 17-24.



City of Kuna
Special Use Permit
Child Care Facility Application
Fee: \$330.00 (Home/Group Care)/ \$800.00 (Center)

P.O. Box 13
Kuna, Idaho 83634
(208) 922-5274
Fax: (208) 922-5898
kunacity.id.gov

File No. : 20-01 SUP
Cross Ref. :
File Name: 3040 W Pear Apple In-home daycare

Definition of a Home Daycare:

Daycare Facilities: Any home where non-medical care, protection or supervision is regularly provided to children under twelve (12) years of age, for periods less than twenty four (24) hours per day, while the parents or guardians are not on the premises. Any facility providing daycare is required to have a special use permit and a State of Idaho basic daycare license.

- A. **Family Childcare Home:** A childcare facility which provides care for six (6) or fewer children throughout the day.
- B. **Group Childcare Home:** A childcare facility, which provides care for seven (7) to twelve (12) children throughout the day.
- C. **Childcare Center:** A childcare facility, which provides care for more than twelve (12) children throughout the day. *Note: Childcare Centers are subject to the Design Review process.*

It should be noted that, in determining the type of childcare facility that is being operated, the total number of children cared for during the day and not the number of children at the facility at any one time is determinative.

KCC 5-6-5: Supplementary Conditions and Safeguards:

In granting any special use, the planning and zoning commission may prescribe appropriate conditions, bonds and safeguards in conformity with this title. Violations of such conditions, bonds or safeguards, when made a par of the terms under which the special use is granted, shall be deemed a violation of this title.

KCC 5-6-6: Procedure for Hearing Notice:

Prior to granting a special use permit, at least one public hearing in which interested persons shall have an opportunity to be heard shall be held. At least fifteen (15) days prior to the hearing, notice of the time and place and a summary of the proposal shall be published in the official newspaper or paper of general circulations within the jurisdiction. Notice shall also be provided to

property owners and residents within three hundred feet (300') of the external boundaries of the land being considered, and any additional area that may be substantially impacted by the proposed special use as determined by the commission.

KCC 5-1A-8:

A:1: Posting of Hearing Notice on Property: Not less than ten (10) days prior to the hearing, the applicant shall post a copy of said notice of hearing of the application on the property under consideration; except as noted herein, posting of the property must be in substantial compliance.

KCC 5-6-7: Action by Commission:

Within thirty (30) days after the public hearing, the planning and zoning commission shall approve, conditionally approve or disapprove the applications as presented. If the application is approved or approved with modifications, the commission shall direct the director to issue a special use permit listing the specific conditions specified by the commission for approval.

Any special use permit so granted shall be personal to the applicant and shall not run with the land, shall not be transferable, and shall terminate when the applicant ceases to do business at the location stated in the permit.

Application Submittal Requirements

Applicant
Use

Staff
Use

- | | | |
|-------------------------------------|---|--------------------------|
| <input checked="" type="checkbox"/> | Copy of CPR and First Aid Training Certificate | <input type="checkbox"/> |
| <input type="checkbox"/> | A complete Special Use Permit Application form
<i>Note: It is the applicant's responsibility to use the most current application.</i> | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | Detailed letter of explanation or justification for the application, describing the project and design elements, and how the project complies with the Special Use conditions. | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | One (1) Vicinity Map (8 1/2" x 11") at 1" = 300' scale (or similar), label the location of the property and adjacent streets. | <input type="checkbox"/> |
| <input checked="" type="checkbox"/> | One 8 1/2" x 11" colored aerial photos depicting proposed site, street names, and surrounding area within five-hundred feet (500'). The purpose of these photos is to view the site for existing features and adjacent sites. | <input type="checkbox"/> |
| <input type="checkbox"/> | Copy of Deed; and , if the applicant is not the owner, an original notarized statement (Affidavit of Legal Interest) from the owner (and ALL interested parties) stating the applicant is authorized to submit this application. | <input type="checkbox"/> |
| <input type="checkbox"/> | Copy of Daycare License from the State of Idaho "Health and Welfare" Department | <input type="checkbox"/> |

Current Land Use: _____ Proposed Land Use: _____ Currently Zoning District: _____

Project Description / Summary

Is this facility in your principal residence? Yes No

Will you be hiring any employees who do not reside on the premises? Yes No

If yes, how many? _____

Project Description: Taking a good care for children

General Description of request: _____

Hours/Days of operation: 8 hours, 5 days a week

Number and ages of children: 7, from 0 - 11

Fencing type / size / & location: Hudson Vinyl Fence Panels

Existing or proposed lighting: Existing

Parking available: Yes Number of possible parking spots: 3

Off street parking available: Yes Designated pick-up area: Yes

Standard Conditions (Home/Group Care Only)

- Meet requirements of the International Fire Code (IFC)
Note: If the applicant is uncertain about a particular code and its application, they are responsible to seek that knowledge.
- Maintain fire safety standards.

- One (1) detailed site plan that includes the following: (8 1/2" x 11" minimum)
- All existing structures labeled as existing and proposed uses
- Size of parcel (acres or square feet)
- Special features such as sidewalks, fencing, retaining walls or berms.
- Parking areas with garage door widths shown
- Off street parking, circulation and driveway locations
- Proposed or existing types of outdoor lighting
- Child pick-up area
- Existing and proposed landscaping
- Dimensions of usable outdoor and indoor "play areas"
- Fences: Type and Height, including gates. Indicate if existing or proposed.
Note: All gates are required to be locked during business hours.
- Diagram showing uses within the home. (IE: bedroom, kitchen, etc.)
- Commitment of Property form signed by the applicant / agent
- Neighborhood Meeting Certificate
Note: Certificate and Neighborhood meeting list forms must accompany this application.
- Diagram for evacuation plans of house in case of fire or other disaster

Additional Information

1. Are there smoke detectors in every living area except the bedrooms and bathrooms? Yes ✓ No
2. Locks installed on all doors to the outside? Yes ✓ No
3. Door chime installed on the front door to indicate any opening? Yes ✓ No
4. Safety locks on doors and cabinets where chemicals are stored? Yes ✓ No
5. Fire extinguisher installed in kitchen? Yes ✓ No
6. Is the home daycare located on an arterial or collector street?
Note: If yes, there must be an on-site pick-up area designed to prevent vehicles from backing onto the roadway. This application must include a diagram which shows how this will be accomplished. Yes ✓ No ✓
7. Are there any indoor and/or outdoor pools? Yes No ✓
If a pool is present, what measures are taken to protect children from the pool area?

8. Are there stairs indoor/outdoor of proposed site?
 If yes, are there safety barriers installed?
9. Are electrical outlets covered with safety devices?

Yes No
 Yes No
 Yes No

Applicant Information

Applicant: UWINEZA AIMERINE Phone: 208355676
 Owner Purchaser Lessee

Fax/Email: uaimerine@icloud.com

Applicant's Address: 3040 W- Pear Apple st

Zip: 83634

Owner: UWINEZA AIMERINE Phone: 208355676

Owner's Address: 3040 W- Pear Apple st Email: uaimerine@icloud.com

Zip: _____

Represented By: *(if different from above)* _____ Phone: _____

Address: _____ Email: _____

Zip: _____

Please check the box that reflects the intent of the application:

FAMILY CHILDCARE HOME
 CHILDCARE CENTER

GROUP CHILDCARE HOME

Subject Property Information

Site Address: 3040 W- Pear Apple st / SEC TEN MILE RD MASON

Site Location (Cross Streets): _____

Parcel Number(s): 3040 Section, Township, Range: _____

Gross Floor Area: 2054 sqft Live-able Space (not for daycare use): _____

- Provide at least two (2) unblocked outside exits that remain unimpeded at all times. Staff and parents shall be advised where these exits are located and they need to be marked appropriately.
- Provide corridors and stairs that are a minimum of 36" wide and provide gates so children cannot access stairs.
- Flame source utilities shall not be accessible to children and I posses a carbon monoxide detector that is operable at all times and located in proximity to the flame source.
- Storage areas shall be free of excessive combustibles or highly flammable materials and be inaccessible to children.
- Smoke detectors shall be installed on the ceilings of each floor story, in front of the doors, to stairways and separated a maximum 30-foot in corridors or at other distance's required by code.
- Bathroom and closet doors shall be designed so they can be unlocked from the outside
- The site address on the side of the building fronting the street shall be numbered and illuminated so that it can be readily seen from the street
- Provide a flashlight on-site and other emergency supply, in anticipation of a power outage. These supplies need to readily accessible and maintained in good working order
- Ensure that all food preparation, serving and storage areas, equipment and utensils are clean, in good repair and kept out of the children's reach
- Ensure that all dishes and utensils are properly cleaned, rinsed, sanitized and air dried
- Ensure that all perishable foods are stored in a covered container, in an operating refrigerator, with a maximum temperature of 40 degrees
- Ensure that deep freezers or other refrigeration type units, which cannot be opened from the inside, are locked or stored in a locked room
- Ensure that no home-canned foods are served to the children
- All child care facilities are required to be inspected by Central District Health Department for compliance with Idaho Code §39-1110. The child care provider shall practice acceptable public health practices in order to curtail the spread of communicable diseases and maintain sanitary conditions
- Ensure that a minimum 40 square feet of habitable indoor dwelling area is provided for each child. The City staff shall review and determine which areas of the building are considered habitable
- Ensure that a minimum 80 square feet of outdoor play space is provided for each child. The City shall review and determine what outdoors areas meet this area requirement

- Ensure that all cleaning agents and other poisonous substances that pose danger to children are kept in locked storage or preferably removed from the premises. Chemical storage of chemicals underneath, over or near a sink should be avoided since many chemicals are affected by moisture and become hazardous through chemical change
- Ensure that child care rooms are clean and dry; that all floors, walls, ceiling and furniture are clean and kept in good repair; that all floors are swept and mopped daily with a sanitizing solution and carpeted areas vacuumed daily
- The facility must be free of exposed lead-based paint surfaces, that are chipped, flaking or peeling. If the residence has lead based paint, the applicant shall advise the City of this fact
- Ensure an onsite telephone is operable at all times. Post emergency phone numbers, including fire, rescue, police (or 911 or local equivalent where they are ready accessible to the daycare provider). Place City Planning Department and Poison Control phone numbers in a prominent location
- Ensure that play materials, equipment and furnishing are kept clean, in good repair; and do not possess sharp edges. Children shall be located in safe, sight-obstructing fenced outdoor play areas. The fences shall be sturdy with no sharp or jagged edges. All equipment shall be kept in good repair and well maintained. Equipment shall be sturdy, stable and free of hazards including sharp edges, lead based paint, loose nails, splinters, protrusions (excluding nuts and bolts on sides of fences) and pinch and crush points. Children shall not be allowed to play on outdoor equipment that is hot to the touch
- Ensure the building's used for child care meet the City's building and Fire District codes
- Ensure that all doors opening to the outside are self-closing (except for sliding glass doors) and all ventilating windows have locking screens
- Ensure that heating, ventilating and lighting facilities meet City code
- Ensure that child accessible electrical outlets are covered with safety caps, ground fault interrupters or have safety outlets' installed that meet City code
- All child care provider's refuse and garbage shall be collected, stored and disposed of in an appropriate manner with a minimum weekly solid waste pickup or disposal service. Garbage shall be contained so that it does not attract rodents or insects. Waste material will be placed in containers and locations approved by the City
- The childcare facility grounds will be kept neat and clean and free from rodents, hazards and other perils
- Smoking shall be prohibited in all areas of the facility during its hours of operation

- Ensure that children who are ill are excluded from the general population and sent home as soon as possible to minimize safety threat to fellow children. Provide the City with a protocol of how sick children will be attended. Report any health related concerns to either the City or the Health Department
- Ensure that sleeping, play areas and fixtures are maintained in a sanitary condition. Children shall not share unwashed bedding; and all bedding shall be washed after soiling and at least once a week
- Outdoor play areas shall adjoin, or be safely accessible to indoor areas
- All equipment openings, steps, decks and handrails shall be smaller than three and half inches (3 1/2") in spacing or diameter or greater than nine inches (9") to prevent child entrapment
- All upright angles shall be greater than 55 degrees to prevent the children's entrapment and entanglement
- The outdoor play area shall be enclosed by a private or semi-private fence constructed of approved building materials to a minimum height of five feet (5') but not to exceed six feet (6'). The fence shall include a minimum of two (2) operating exits. Semi-private fences shall not have openings exceeding 1 3/4 inch width
- All stationary outdoor equipment that is more than eighteen inches (18") in height shall be installed over a protective surfacing
- Play equipment shall be place at least six feet (6') away from buildings, fences, trees or other play equipment and kept in good repair. Swing seats shall be made of plastic, soft or flexible material
- Exterior balconies, porches, and stairs shall be of stable construction and any space under porches needs to be closed off in such a manner as to guard against children's curiosity
- Vertical offsets such as outsides basement window wells, stairways or retaining walls shall have guardrails or approved screening
- Area's inhabited by children, shall be free of electrical hazards (switchboxes, unfenced air conditioners, or power lines) and attractive hazards (vehicles, metal drums, pallets tools or wood piles)
- Wells, tool sheds and other hazards are to be fenced or closed off
- Areas inhabited by children are to be kept free of animal wastes and debris
- Remove any poisonous substances such as plants, berries or mushrooms from the premises

2/14/20

Aimerine Uwineza
3040 Pear Apple St.
Kuna, ID 83634

Proposal for Accessory Use Childcare – Letter of Intent

I am interested in establishing an in-home daycare facility within my home located at 3040 Pear Apple St., where I will serve no more than six children at any time, **including** my own

Although I will determine my own program services, hours, parent fees, etc, most programs operate weekdays from 6:30 a.m. to 7:00 p.m. Since parents' work schedules differ, children usually arrive over a period of two or more hours in the morning and leave during a similar period in the late afternoon. This reduces the number of vehicles likely to stop at the home at one time, as do siblings arriving together. Parents are encouraged to escort children safely to and from cars to the home.

While children are in my care, I will be responsible for their supervision at all times, including indoor activities, outdoor play, and on walks or vehicle trips away from my home. I anticipate outdoor play time to be limited to one hour after 9 am and one hour after 1 pm, and noise will be kept below the maximum stipulated by Kuna officials. I plan to have one employee, who is my husband and who also lives in the home. He will meet all licensing and ICCP standards of Kuna, Ada County and the state, including CPR certification and ongoing childcare training. I do not expect to have any additional employees. If I do eventually hire an employee, I would not increase the number of children in my care beyond the maximum described above.

My proposed childcare will be subject to regular inspections through the Central District Health (CDH). I have participated and will continue to participate in regular IdahoSTARS-approved trainings regarding health, safety/emergency planning, childcare best practices, and child development. I am CPR and pediatric first aid certified, and will renew this certification annually.

The next steps towards opening a childcare in my home will be approval from Kuna Planning Department, then scheduling an inspection with CDH. In the case that Kuna and CDH approve

me for an in-home daycare facility, I intend to seek clients immediately thereafter via personal networking.

Thank you for your review of my childcare proposal. I look forward to hearing from you.

Sincerely yours,

A handwritten signature in black ink, appearing to be 'Aimerine Uwineza', written over several horizontal lines.

Aimerine Uwineza

(208)353-5676

WE HEREBY CERTIFY THAT THIS IS A
TRUE AND EXACT COPY OF THE
ORIGINAL.
ALLIANCE TITLE ESCROW CORP.

By: _____

ADA COUNTY RECORDER Phil McGrane
BOISE IDAHO Pgs=2 LISA BATT
ALLIANCE TITLE - BOISE PRODUCTION CENTER

2019-004592
01/18/2019 12:46 PM
\$15.00

SPECIAL WARRANTY DEED

Order No.: 419189

FOR VALUE RECEIVED

Corey Barton Homes, Inc., an Idaho Corporation, dba CBH Homes

the grantor(s), do(es) hereby grant, bargain, sell and convey unto

**Aimerine Uwineza, an unmarried woman, and Ntwari Mugisha, an
unmarried man**

whose current address is

3040 W Pear Apple Street, Kuna, ID 83634

the grantee(s), the following described premises, in Ada County, Idaho, TO WIT:

**Lot 5 in Block 2 of Silver Trail Subdivision Phase 2, according to the official
plat thereof, filed in Book 111 of Plats at Page(s) 15983 through 15986,
records of Ada County, Idaho.**

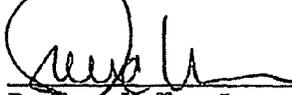
TO HAVE AND TO HOLD the said premises, with their appurtenances
unto the said Grantee, heirs and assigns forever. And the said Grantor does hereby
covenant to and with the said Grantee(s), that (s)he is/are the owner(s) in fee
simple of said premises; that no encumbrances were initiated during the ownership
of the undersigned nor is the undersigned aware of any such.

And that (s)he will warrant and defend the same from all lawful claims
whatsoever.

Dated: _____

1/17/19

Corey Barton Homes, Inc., an Idaho corporation, d/b/a CBH Homes

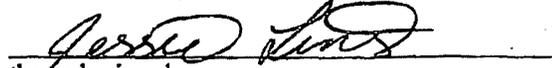


By: Tanya Hoffman-Lampman, Chief Closing Officer of the Corporation

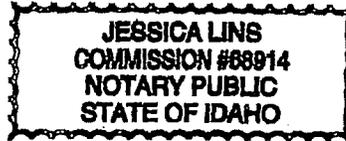
State of Idaho)ss.
County of Ada)

On this 17th day of January, 2019, before me, the undersigned, a Notary Public in and for said state, personally appeared Tanya Hoffman-Lampman known to me to be the Chief Closing Officer of the Corporation, and acknowledged to me that pursuant to a Resolution of the Board of Directors, he/she executed the foregoing in said Corporation name.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.



the undersigned
Notary Public for the State of Idaho
Residing at:
Commission Expires:



Residing in Boise, Idaho
Commission Expires 11-02-2022



Neighborhood Meeting List Request

CITY OF KUNA PLANNING & ZONING, 763 West Avalon, Kuna, Idaho 83634 * www.kunacity.id.gov * (208) 922-5274 * Fax: (208) 922-5989

GENERAL INFORMATION:

If you are applying for one of the uses listed below, you must conduct a Neighborhood Meeting. This meeting allows neighbors to learn more about your project before the public hearing (Kuna Planning & Zoning will notify surrounding property owners of the hearing). All involved property owners within *300 feet of the subject property boundary need to be invited to your meeting.

According to Kuna City Code, the meeting must be held either on a weekend between 10 a.m. and 7 p.m., or a weekday between 6 p.m. and 8 p.m. Meetings cannot be conducted on holidays, holiday weekends, or the day before or after a holiday or holiday weekend. The meeting must be held at one of the following locations:

- The Subject Property;
- The nearest available public meeting place (Examples include fire stations, libraries and community centers);
- An office space within a 1-mile radius of the subject property.

The meeting cannot take place more than 6 months prior to acceptance of the application and the application will not be accepted before the neighborhood meeting is conducted. You are required to send written notification of your meeting, allowing a reasonable amount of time before your meeting for property owners to plan to attend. **Please fill out the supplied certification form and include it with your application so we have written record of your meeting.** Contacting and/or meeting individually with residents will not fulfill Neighborhood Meeting requirements.

*PLEASE NOTE: A \$20.00 FEE IS REQUIRED FOR MAILING LABELS

PROPOSED USE:

I request a neighborhood meeting list for the following proposed use of my property (check all that apply):

<u>APPLICATION TYPE</u>	<u>BRIEF DESCRIPTION</u>
<input checked="" type="checkbox"/> Subdivision (Sketch Plat and/or Prelim. Plat)	_____
<input type="checkbox"/> Conditional Use	_____
<input type="checkbox"/> Variance	_____
<input type="checkbox"/> Expansion of Extension of a Nonconforming Use	_____
<input type="checkbox"/> Zoning Ordinance Map Amendment	_____

SITE INFORMATION:

Location: Quarter: _____ Section: _____ Township: _____ Range: _____ Total Acres: _____
 Subdivision Name: SILVERTRAD NO. 2 Lot(s): _____ Block(s): _____
 Site Address: SEC TEN MILE AND MASON CREEK STREET. Tax Parcel Number(s): _____

Please make sure to include all parcels & addresses included in your proposed use.

CURRENT PROPERTY OWNER:

Name: Uwizeza Aimerine / Ntwari Mugisha
 Address: 3040 W. Pear Apple St City: Kuna State: Idaho Zip: 83634

CONTACT PERSON (Mail recipient and person to call with questions):

Name: Uwizeza Aimerine Business (if applicable): Child Care
 Address: 3040 W. Pear Apple St City: Kuna State: Idaho Zip: 83634
 Fax: _____ Phone: _____ Cell: 2083535676

OFFICE USE ONLY			
File No.:	Received By:	Date:	Stamped:



Neighborhood Meeting Certification

CITY OF KUNA PLANNING & ZONING * 763 W. Avalon, Kuna, Idaho, 83634 * www.kunacity.id.gov * (208) 922-5274 * Fax: (208) 922-5989

GENERAL INFORMATION:

You must conduct a neighborhood meeting prior to application for variance, conditional use, zoning ordinance map amendment, expansion or extension of a nonconforming use, and/or a subdivision. Please see Section 5-1A-2 of the Kuna City Code or ask one of our planners for more information on neighborhood meetings.

The meeting must be held either on a weekend between 10 a.m. and 7 p.m., or a weekday between 6 p.m. and 8 p.m. Meetings cannot be conducted on holidays, holiday weekends, or the day before or after a holiday or holiday weekend. The meeting must be held at one of the following locations:

- The Subject Property;
- The nearest available public meeting place (Examples include fire stations, libraries and community centers);
- An office space within a 1-mile radius of the subject property.

The meeting cannot take place more than 2 months prior to acceptance of the application and the application will not be accepted before the neighborhood meeting is conducted. You are required to send written notification of your meeting, allowing a reasonable amount of time before your meeting for property owners to plan to attend. Contacting and/or meeting individually with residents will not fulfill Neighborhood Meeting requirements.

You may request a list of the people you need to invite to the neighborhood meeting from our department. This list includes property owners within 300 feet of the subject property. Once you have held your neighborhood meeting, please complete this certification form and include it with your application.

Please Note: The neighborhood meeting must be conducted in one location for attendance by all neighboring residents. Contacting and/or meeting individually with residents does not comply with the neighborhood meeting requirements.

Please include a copy of the sign-in sheet for your neighborhood meeting, so we have written record of who attended your meeting and the letter of intent sent to each recipient. In addition, provide any concerns that may have been addressed by individuals that attended the meeting.

Description of proposed project: Daycare
 Date and time of neighborhood meeting: 12-21-2019
 Location of neighborhood meeting: 3040 W. Pear Apple, Kuna, Idaho, 83634

SITE INFORMATION:

Location: Quarter: _____ Section: _____ Township: _____ Range: _____ Total Acres: _____
 Subdivision Name: SILVERTRAIL NO. 2 Lot: 5 Block: 2
 Site Address: 3040 W Pear Apple Tax Parcel Number(s): R7909830020

Please make sure to include all parcels & addresses included in your proposed use.

CURRENT PROPERTY OWNER:

Name: Uwinesa Aimerine / Ntwani Muzisha
 Address: 3040 W Pear Apple City: Kuna State: Idaho Zip: 83634

CONTACT PERSON (Mail recipient and person to call with questions):

Name: Uwinesa Aimerine Business (if applicable): Daycare
 Address: 3040 W. Pear Apple City: Kuna State: Idaho Zip: 83634

PROPOSED USE:

I request a neighborhood meeting list for the following proposed use of my property (check all that apply):

Application Type

Brief Description

- Annexation
- Re-zone
- Subdivision (Sketch Plat and/or Prelim. Plat)
- Special Use
- Variance
- Expansion of Extension of a Nonconforming Use
- Zoning Ordinance Map Amendment

Day care.
I will be taking a good care of
up to 5 children in my house.

APPLICANT:

Name: Musineza Aimenine
Address: 3040 W. pear Apple st.
City: Kuna State: Idaho Zip: 83634
Telephone: 208 353 5676 Fax: _____

I certify that a neighborhood meeting was conducted at the time and location noted on this form and in accord with Section 5-1A-2 of the Kuna City Code

Signature: (Applicant)  Date 12.21.19

SIGN IN SHEET

PROJECT NAME: DAYCARE

Date: 12.21-19

	<u>Name</u>	<u>Address</u>	<u>Zip</u>	<u>Phone</u>
1	Michelle Lowe	3056 W. Pear Apple St, Kuna	83634	(208) 749-1190
2	Jan Petersen	3061 W Pear Apple St	83634	775-219-0838
3	Payton Warner	3045 W Pear Apple St	83634	541-620-3066
4	Jane Campo	3029 W. Pear Apple	83634	(208) 899-6908
5	Anousone Sanirand	3024 W. Pear Apple St	83634	(208) 941-8349
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NEIGHBORHOOD MEETING MINUTES

Meeting Date: 12-21-2019 Number of Attendees: 5

Meeting Location: 3040 W- Pear Apple st, Kuna, Hilo, 83634

Description of Project Presented:

Child Care.
Taking a good care of 5 children.
It is a daycare, to provide care for up to 5 children throughout
the day.

Attendee's comments:

My neighbors said it is okay for me to go ahead and do this
project, that they do not see any problem it can cause to them.
They allowed me to do this business in this neighborhood.

I hereby certify that the above information is complete and correct to the best of my knowledge.

Muineza Aimenine
Printed Name


Signature

12-~~20~~21-2019
Date



City of Kuna
**COMMITMENT TO
PROPERTY POSTING**

City of Kuna
P.O. Box 13
Kuna, Idaho 83634

Phone: (208) 922-5274
Fax: (208) 922-5989
Web: www.kunacity.id.gov

Per City Code 5-1A-8, the applicant for all applications requiring a public hearing shall post the subject property not less than ten (10) days prior to the hearing. The applicant shall post a copy of the public hearing notice or the application(s) on the property under consideration.

The applicant shall submit proof of property posting in the form of a notarized statement and a photograph of the posting to the City no later than seven (7) days prior to the public hearing attesting to where and when the sign(s) were posted. Unless such Certificate is received by the required date, the hearing will be continued.

The sign(s) shall be removed no later than three (3) days after the end of the public hearing for which the sign(s) had been posted.

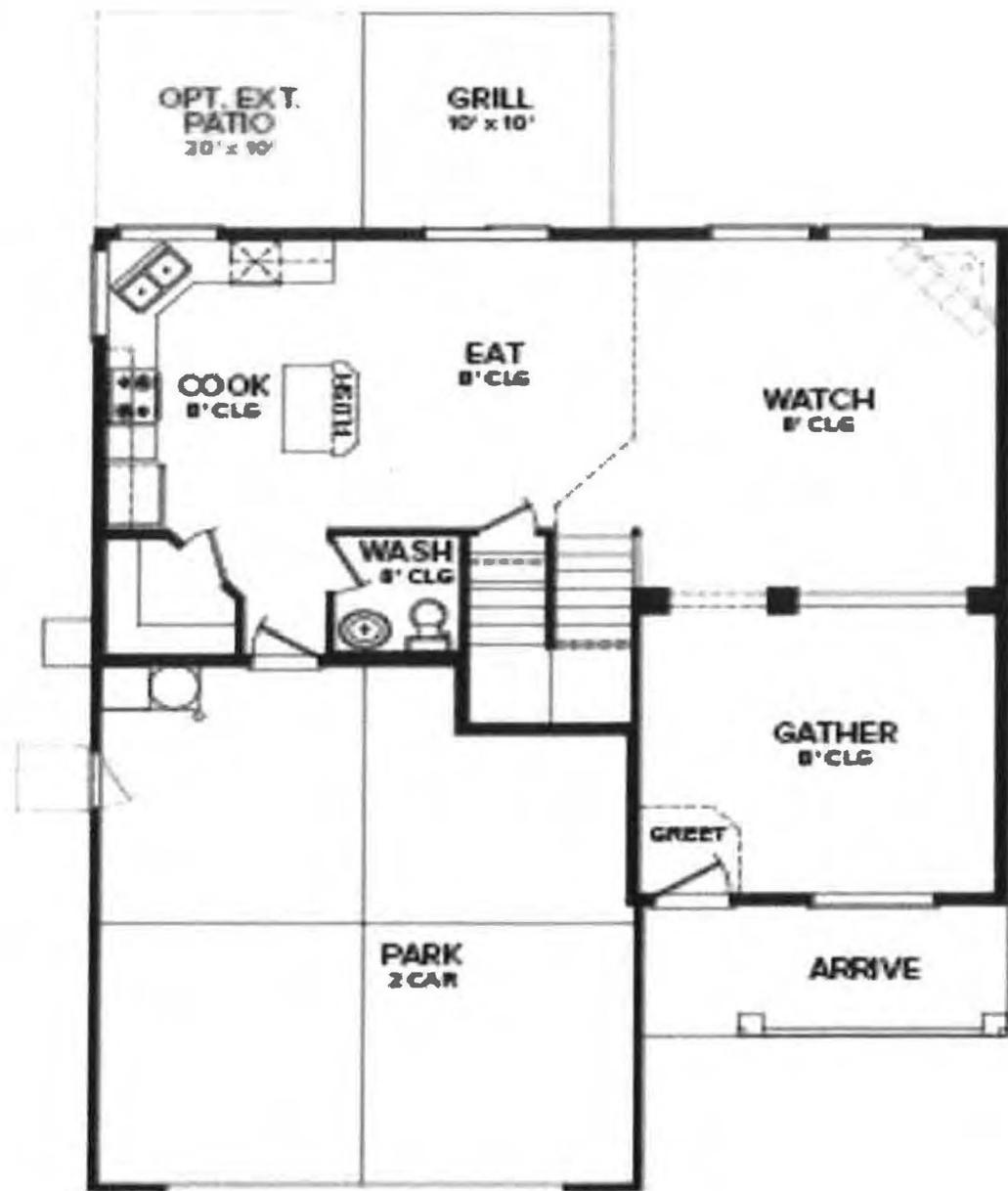
I am aware of the above requirements and will comply with the posting requirements as stated in Kuna City Code 5-1A-8.

Aimerine Uwineza

02/14/2020 2:28 PM MST

Applicant/agent signature:

Date:



MAIN LEVEL



 Realtor.com

3040 W Pear Apple St, Kuna, ID 83634 - realtor.com®

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Related images



Fire Safety Inspection for State Daycare Licensing

New Daycare License Applicant Daycare License Renewal Applicant

Date _____ Operator _____ Owner _____

Name of Facility _____

Address 3040 W. Pear Apple St

City Kuna State ID Zip 83634

Facility Phone Number _____ Land Line or Cellular Phone

Note: The licensing authority is the Idaho Department of Health and Welfare. The minimum standards as outlined in the state daycare licensing act will not preempt any local ordinance that is more stringent.

This inspection form was drafted within the confines of the legislated fire safety standards for daycare facilities and does not mean to infer that the provisions within provide for a level of fire safety that would meet nationally recognized standards. Nor does it mean that it would provide a level of fire safety that would meet our own adopted fire safety standards for other occupancies in Idaho.

II. GENERAL REQUIREMENTS FOR ALL DAYCARE OCCUPANCIES

Standard	Facility Meets Standard (Yes)	Facility does Not Meet Standard (No)
Exiting Requirements		
Are the required exits located to provide an unobstructed path outside the building to a public way or area of refuge?	X	
Can exit doors be opened from the inside without the use of a key or any special knowledge or effort?	X	
Are there at least two exits (travel distance between not to exceed 75 feet) located a distance apart, not less than one-half the diagonal dimension of the building or portion used for daycare? <i>Exception: In buildings with automatic fire sprinkler systems, the distance may be increased to 110 feet.</i>	X	
Are the required exits not less than 32 inches of clear exit width and not less than six feet, eight inches (6'8") in height? <i>Exception: Sliding patio doors will be accepted as a required second exit in "Family and Group Daycare Facilities" only.</i>	X	

Standard	Facility Meets Standard (Yes)	Facility does Not Meet Standard (No)
Exiting Requirements (cont.)		
<p>Are sleeping rooms provided with at least one emergency egress window having at least a minimum single net clear opening of 5.7 square feet, minimum height 24 inches, minimum width 20 inches, and maximum finished sill height not over 44 inches?</p> <p><i>Note: An approved exit door is acceptable in lieu of egress windows. Also, an approved piece of furniture or platform, if anchored in place, can be approved to sit in front of a window, if the sill height is over 44 inches</i></p>	X	
<p>Are approved egress windows from sleeping areas operable from the inside without the use of separate tools?</p>	X	
<p>Where children are located on a story below the level of exit discharge (basement), are there at least two exits provided, one of which is directly to the outside?</p> <p><i>Note: More than one exit from the basement opening directly to the outside may be required, depending on the structure of the building.</i></p>	N/A	
<p>Daycare is prohibited on any upper floor beyond the first floor. <i>Exception: Daycare is permitted at the second floor level, provided that the building has two (2) exits, one (1) of which must open directly to the outside and be in compliance with building codes. Is the facility in compliance?</i></p>		No daycare beyond 1st floor
Fire Extinguishers		
<p>For DAYCARE CENTERS:</p> <p>Is there a portable fire extinguisher (minimum 2A-10BC) mounted securely in the kitchen area <u>and</u> one other approved location that is visible, does not exceed five (5) feet from the floor to the top of the extinguisher, and not more than seventy five (75) feet travel distance, and is it maintained properly?</p> <p><i>Note: Fire extinguishers shall be maintained properly.</i></p>	N/A	
<p>For GROUP DAYCARE FACILITIES and FAMILY DAYCARE HOMES:</p> <p>Is there a portable fire extinguisher (minimum 2A-10BC) mounted securely in the kitchen area that is visible, does not exceed five (5) feet from the floor to the top of the extinguisher, and not more than seventy five (75) feet travel distance, and is it maintained properly?</p> <p><i>Note: Fire extinguishers shall be maintained properly.</i></p>	Yes Notice 3-6-2020	X
<p>Is there a hood-type fire suppression system installed in the kitchen area, if required?</p>	N/A	
<p>In facilities over three thousand (3,000) square feet are additional fire extinguishers present and approved by local fire official or designee?</p>	N/A	
<p>In Facilities greater than twenty thousand (20,000) square feet in area or when the number of children under the age of eighteen (18) month exceeds one hundred (100) is there an automatic sprinkler system?</p>	N/A	

Standard	Facility Meets Standard (Yes)	Facility does Not Meet Standard (No)
Telephone		
Is there an operable telephone on the premises?	cell phone X	
Smoke Detectors		
Is there a smoke detector installed in the basement having a stairway which opens from the basement into the facility (such detector shall be connected to a sounding device or other detector to provide an alarm which will be audible in the sleeping area)?		N/A
Are approved smoke detectors provided on the ceiling or wall outside each separate sleeping area or in the immediate vicinity of bedrooms?	✓	
Is there a smoke detector in each room used for sleeping purposes?	✓	
Is there a smoke detector in each story within the facility including the basement?	✓	
Fire Safety and Evacuation Plan <i>Note: Each daycare center, group daycare facility or family daycare home voluntarily licensed by the Department, must have an approved fire safety and evacuation plan prepared. Fire evacuation and safety plans must include the elements listed below.</i>		
Procedures and policies that accounts for all employees and children after an evacuation is completed.		
Identifies evacuation routes, locations of facility exits, and assembly point for an evacuation.	X	
Includes location of smoke detectors, fire alarm appliances and fire extinguishers.		X no extinguishers
A schedule of fire and emergency evacuation drills and annual reviews that all employees and children participate in with records of those drills available for reference and review.		
For Facilities with an Occupancy Load of Fifty or More <i>Note: In addition to the requirements above, those facilities with an occupancy load of fifty (50) or more occupants must also meet the criteria outlined below.</i>		
Do exit doors swing in the direction of egress?		
Do exit doors from rooms having an occupant load to fifty (50) or more, if provided with a latch, have panic hardware?		
Are Exit signs installed at required exit doorways and where otherwise necessary to clearly indicate the direction of egress?		
For facilities with over fifty (50) children, is an approved fire alarm system installed?		

Standard	Facility Meets Standard (Yes)	Facility does Not Meet Standard (No)
Occupant Load <i>Note: Occupant load is determined by the local fire official or designee. Only those areas used for daycare purposes will be used when determining occupant load.</i>		
<p>To determine occupant load, calculate the square footage of the space between the interior face of the exterior walls, assigned to daycare use, and divide by the occupant load factor of 35. Allowances for interior walls or partitions and furnishings have been taken into account in the occupant load factor, except fixed seating. The occupant load for fixed seating is determined by counting the seats.</p> <p style="text-align: center;">Enter Occupant Load: _____</p>		
<p>Is the facility in compliance?</p>		

Note: This inspection is for the purpose of meeting only the requirements of the Department of Health and Welfare. The operator/owner may also be required to meet; zoning, building code, fire code or other agency regulations within their local jurisdiction to conduct this type of business. In addition, a separate Health and Safety inspection is required on all facilities that are required to be licensed.

REMARKS: _____

Facility passes fire inspection: Yes No	Occupant Load: _____ <input type="checkbox"/> Residential <input type="checkbox"/> Commercial
---	--

INSPECTION MADE BY: T. J. Lawrence

TITLE AND AGENCY: Captain Luna Rural Fire District

Signature of Inspector:  Date: 2-28-2020

Name of facility operator/owner (please print): _____

Signature of facility operator/owner: _____ Date: _____

Pediatric
CPR, AED, and First Aid

NTWARI THIERY MUGISHA

has successfully completed and competently performed the required knowledge and skill objectives for this program.

- Child, Infant, and Adult
- Child and Infant

Card is void if more than one box is checked.



Pediatric
CPR, AED, and First Aid

Aimozile UWINEZA

has successfully completed and competently performed the required knowledge and skill objectives for this program.

- Child, Infant, and Adult
- Child and Infant

Card is void if more than one box is checked.



JEANNE WORDE

Authorized Instructor (Print Name)

61577

Registry No.

1/14/20

Class Completion Date

939-5624

Training Center Phone No.

1/14/22

Expiration Date

CPR113

Training Center I.D.

This card certifies the above named individual has successfully completed the required knowledge and hands-on skill objectives to the satisfaction of a currently authorized ASHI Instructor. This program meets national standards for pediatric first aid and CPR training by conforming with *Caring for Our Children: National Health and Safety Performance Standards; Guidelines for Early Care and Education Programs*, the 2015 AHA Guidelines Update for CPR and ECC and the 2015 AHA and ARC Guidelines Update for First Aid. Expiration date may not exceed two years from month of class completion.

JEANNE WORDE

Authorized Instructor (Print Name)

61577

Registry No.

1/14/20

Class Completion Date

939-5624

Training Center Phone No.

1/14/22

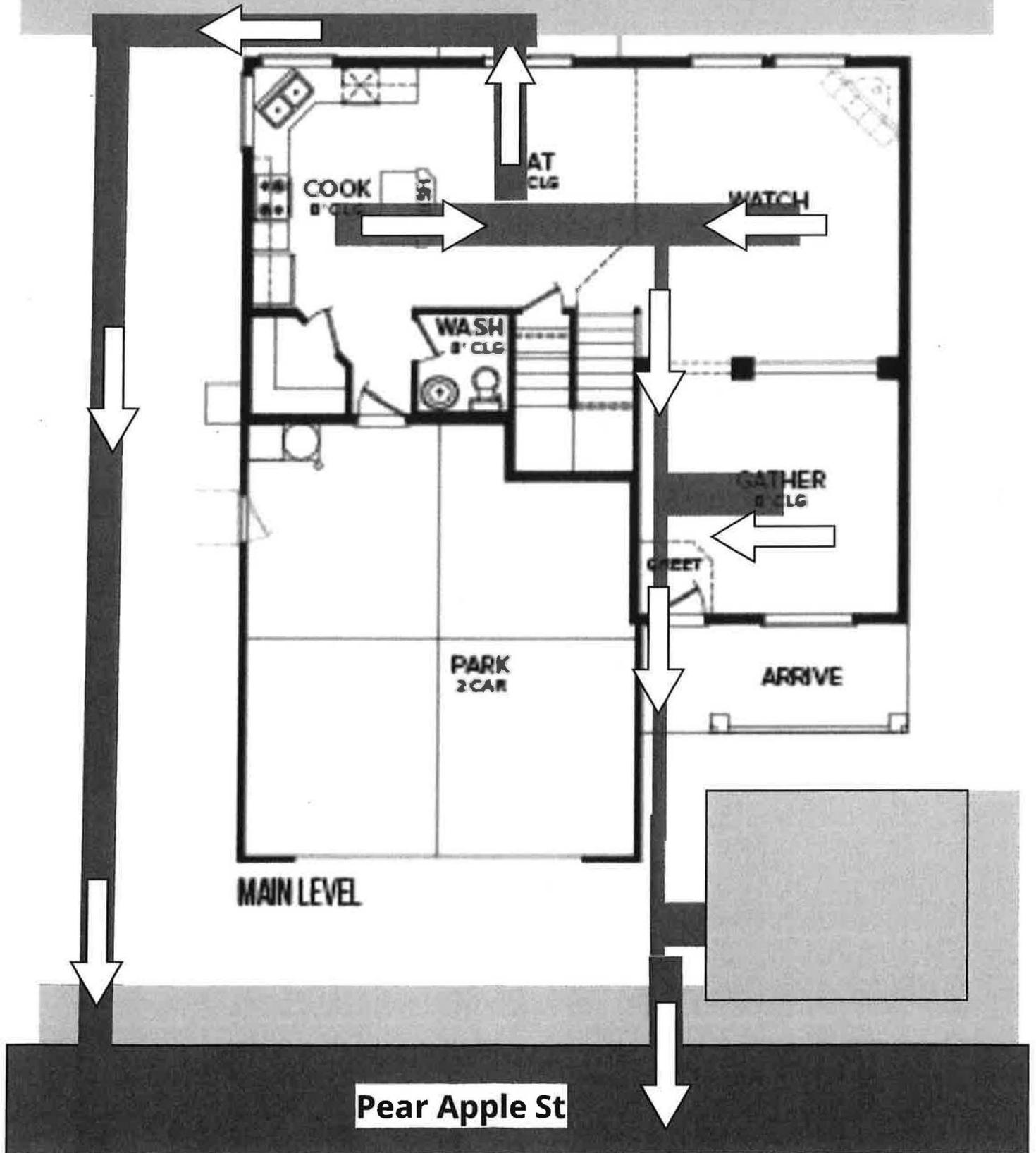
Expiration Date

CPR113

Training Center I.D.

This card certifies the above named individual has successfully completed the required knowledge and hands-on skill objectives to the satisfaction of a currently authorized ASHI Instructor. This program meets national standards for pediatric first aid and CPR training by conforming with *Caring for Our Children: National Health and Safety Performance Standards; Guidelines for Early Care and Education Programs*, the 2015 AHA Guidelines Update for CPR and ECC and the 2015 AHA and ARC Guidelines Update for First Aid. Expiration date may not exceed two years from month of class completion.

backyard



Aerial Map



S Ten Mile Rd

S Royal Gala Ave

W Ginger

Gold Dr

S Red Delicious Ave

W Pear Apple St

W Mason Creek St

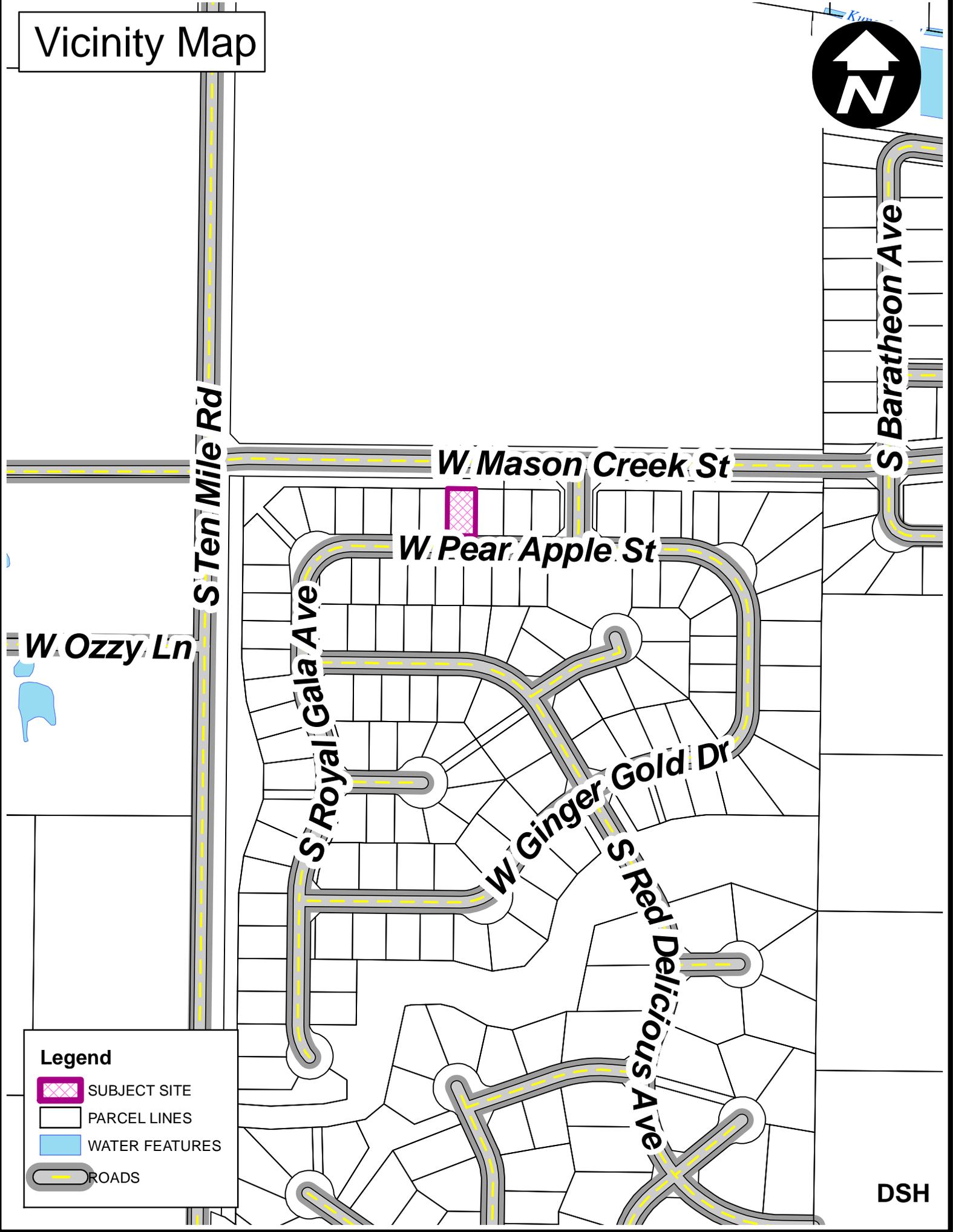
S Baratheon Ave

S Inara Ave

Legend

-  SUBJECT SITE
-  WATER FEATURES

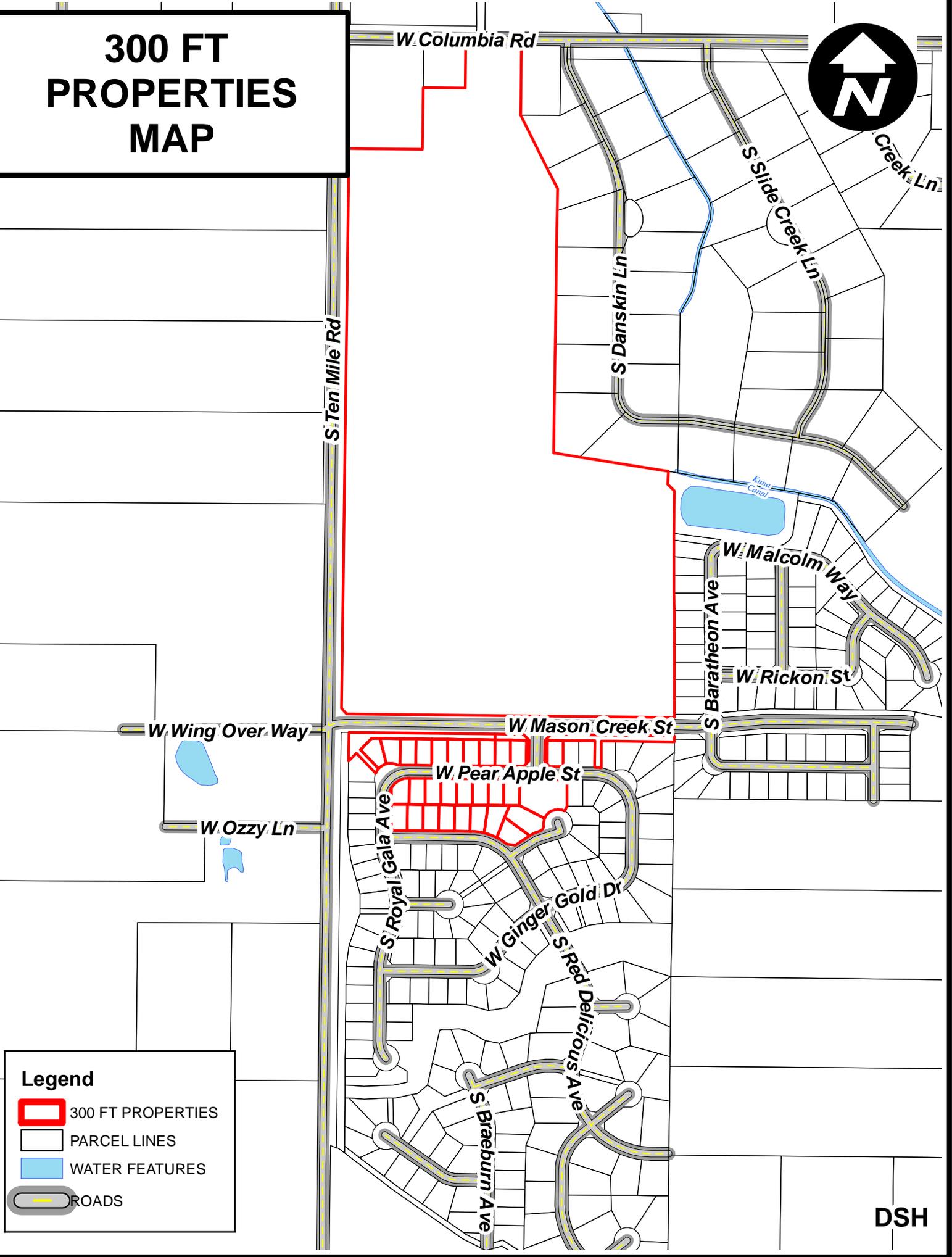
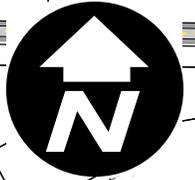
Vicinity Map



Legend

-  SUBJECT SITE
-  PARCEL LINES
-  WATER FEATURES
-  ROADS

300 FT PROPERTIES MAP



Legend

-  300 FT PROPERTIES
-  PARCEL LINES
-  WATER FEATURES
-  ROADS



City of Kuna
Planning & Zoning Department

City of Kuna
P.O. Box 13
Kuna, Idaho 83634
Phone: (208) 922-5274
Fax: (208) 922-5989
www.Kunacity.id.gov

Agency Transmittal

March 4, 2020

Notice is hereby given by the City of Kuna the following actions are under consideration:

FILE NUMBER:	20-01-SUP, (Special Use Permit) – 3040 W. Pear Apple In-Home Daycare
PROJECT DESCRIPTION	The applicant is seeking special use permit approval to operate an in-home daycare located at 3040 W. Pear Apple Street. (APN: R7909830020)
SITE LOCATION	3040 W. Pear Apple Street, Kuna, Idaho 83634.
APPLICANT	<i>Aimerine Uwineza</i> 3040 W. Pear Apple Street Kuna, ID 83634 208.353.5676
SCHEDULED HEARING DATE	Tuesday, April 14, 2020. 6:00 P.M.
STAFF CONTACT	Doug Hanson Dhanson@Kunald.Gov Phone: 922.5274 Fax: 922.5989

We have enclosed information to assist you with your consideration and response. ***No response within 15 business days will indicate you have no objection or comments for this project.*** We would appreciate any information as to how this action would affect the service(s) your agency provides. The hearing is scheduled to begin at 6:00 p.m. or as soon as it may be heard. Kuna City Hall is located at 751 W. 4th Street, Kuna, ID 83634. Please contact staff with questions. ***If your agency needs different plans or paper copies to review, notify our office know and we will send them. Please notify our office who future packets should be sent to, included their email as well.*** If your agency needs additional time for review, please let our office know ASAP.



CITY OF KUNA
P.O. BOX 13
KUNA, ID 83634
www.kunacity.id.gov

Paul A. Stevens, P.E.
Kuna City Engineer
208-287-1727

SPECIAL USE PERMIT REVIEW MEMORANDUM

Date: 24 March 2020
From: Paul A. Stevens, P.E.
To: Wendy Howell, Planning and Zoning Director
RE: Uwineza In Home Daycare 20-01-SUP

The Uwineza In Home Daycare 20-01-SUP request dated 3 February 2020 has been reviewed. A site plan of the home was provided. The following narrative is limited to the Special Use Permit request as applicable to public works infrastructure.

1. General

- a. This property is already a working component within the City of Kuna. Replacing residential use with an in-home day-care increases utility use and system demands. However, this increase is considered negligible.
- b. The modified use of this property will increase traffic movements. The modified traffic movements could impact the community especially at times of pick up and drop off.

2. Inspection Fees

- a. No Public Works inspection fees should be generated as a result of this SUP.

3. Right-of-Way

- a. Sufficient Right of Way exists to support the proposed use.

4. Sanitary Sewer & Potable Water

- a. Additional services should not be necessary.

5. Property Description

- a. The applicant provided a site plan and a cover letter.
- b. A vicinity map and an aerial photo were also provided.



STATE OF IDAHO
DEPARTMENT OF
ENVIRONMENTAL QUALITY

1445 North Orchard • Boise, ID 83706 • (208) 373-0550

Brad Little, Governor
John H. Tippetts, Director

March 11, 2020

City of Kuna
Planning & Zoning Department
P.O. Box 13
Kuna, Idaho 83634

RE: 3040 W. Pear Apple In-Home Day Care, 20-01-SUP

Thank you for the opportunity to respond to your request for comment. While DEQ does not review projects on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at: deq.idaho.gov/assistance-resources/environmental-guide-for-local-govts.

The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:

1. Air Quality

- Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), trade waste burning (58.01.01.600-617), and odor control plans (58.01.01.776).

For questions, contact David Luft, Air Quality Manager, at (208) 373-0550.

- IDAPA 58.01.01.201 requires an owner or operator of a facility to obtain an air quality permit to construct prior to the commencement of construction or modification of any facility that will be a source of air pollution in quantities above established levels. DEQ asks that cities and counties require a proposed facility to contact DEQ for an applicability determination on their proposal to ensure they remain in compliance with the rules.

For questions, contact the DEQ Air Quality Permitting Hotline at 1-877-573-7648.

2. Wastewater and Recycled Water

- DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.16 and IDAPA 58.01.17 are the sections of Idaho rules regarding wastewater and recycled water. Please review these rules to determine whether this or future projects will

require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the district health department.

All projects for construction or modification of wastewater systems require preconstruction approval. Recycled water projects and subsurface disposal projects require separate permits as well.

- DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss potential for development of a community treatment system along with best management practices for communities to protect ground water.
- DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

3. Drinking Water

- DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.

All projects for construction or modification of public drinking water systems require preconstruction approval.

- DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system (refer to the DEQ website at: deq.idaho.gov/water-quality/drinking-water.aspx). For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.
- If any private wells will be included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.
- DEQ recommends using an existing drinking water system whenever possible or construction of a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for protection of ground water resources.
- DEQ recommends cities and counties develop and use a comprehensive land use management plan which addresses the present and future needs of this area for adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for further discussion and

recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

4. Surface Water

- A DEQ short-term activity exemption (STAE) from this office is required if the project will involve de-watering of ground water during excavation and discharge back into surface water, including a description of the water treatment from this process to prevent excessive sediment and turbidity from entering surface water.
- Please contact DEQ to determine whether this project will require a National Pollution Discharge Elimination System (NPDES) Permit. A Construction General Permit from EPA may be required if this project will disturb one or more acres of land, or will disturb less than one acre of land but are part of a common plan of development or sale that will ultimately disturb one or more acres of land.
- If this project is near a source of surface water, DEQ requests that projects incorporate construction best management practices (BMPs) to assist in the protection of Idaho's water resources. Additionally, please contact DEQ to identify BMP alternatives and to determine whether this project is in an area with Total Maximum Daily Load stormwater permit conditions.
- The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call (208) 334-2190 for more information. Information is also available on the IDWR website at:
<http://www.idwr.idaho.gov/WaterManagement/StreamsDams/Streams/AlterationPermit/AlterationPermit.htm>
- The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.

For questions, contact Lance Holloway, Surface Water Manager, at (208) 373-0550.

5. Hazardous Waste And Ground Water Contamination

- **Hazardous Waste.** The types and number of requirements that must be complied with under the federal Resource Conservation and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.
- No trash or other solid waste shall be buried, burned, or otherwise disposed of at the project site. These disposal methods are regulated by various state regulations including Idaho's Solid Waste Management Regulations and Standards, Rules and Regulations for Hazardous Waste, and Rules and Regulations for the Prevention of Air Pollution.

- **Water Quality Standards.** Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA 58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.02.851 and 852).

Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.02.851.01 and 04. Hazardous material releases to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.

- **Ground Water Contamination.** DEQ requests that this project comply with Idaho's Ground Water Quality Rules (IDAPA 58.01.11), which states that "No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water quality standard to be exceeded, injures a beneficial use of ground water, or is not in accordance with a permit, consent order or applicable best management practice, best available method or best practical method."

For questions, contact Albert Crawshaw, Waste & Remediation Manager, at (208) 373-0550.

6. Additional Notes

- If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, the site should be evaluated to determine whether the UST is regulated by DEQ. EPA regulates ASTs. UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at (208) 373-0550, or visit the DEQ website deq.idaho.gov/waste-mgmt-remediation/storage-tanks.aspx for assistance.
- If applicable to this project, DEQ recommends that BMPs be implemented for any of the following conditions: wash water from cleaning vehicles, fertilizers and pesticides, animal facilities, composted waste, and ponds. Please contact DEQ for more information on any of these conditions.

We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any of our technical staff at (208) 373-0550.

Sincerely,



Aaron Scheff
Regional Administrator
Boise Regional Office

ec: CM#2020AEK78



CENTRAL DISTRICT HEALTH DEPARTMENT
Environmental Health Division

- Return to:
[] ACZ
[] Boise
[] Eagle
[] Garden City
[] Meridian
[X] Kuna
[] Star

Rezone # _____

Conditional Use # 20-01-SUP

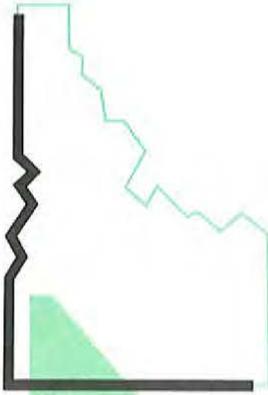
Preliminary / Final / Short Plat _____

Pear Apple In-home Daycare - City of Kuna

- 1. We have No Objections to this Proposal.
2. We recommend Denial of this Proposal.
3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
4. We will require more data concerning soil conditions on this Proposal before we can comment.
5. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
[] high seasonal ground water [] waste flow characteristics
[] bedrock from original grade [] other
6. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
7. This project shall be reviewed by the Idaho Department of Water Resources concerning well construction and water availability.
8. After written approvals from appropriate entities are submitted, we can approve this proposal for:
[] central sewage [] community sewage system [] community water well
[] interim sewage [] central water
[] individual sewage [] individual water
9. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
[] central sewage [] community sewage system [] community water
[] sewage dry lines [] central water
10. This Department would recommend deferral until high seasonal ground water can be determined if other considerations indicate approval.
11. If restroom facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
12. We will require plans be submitted for a plan review for any:
[] food establishment [] swimming pools or spas [X] child care center
[] beverage establishment [] grocery store
13. Infiltration beds for storm water disposal are considered shallow injection wells. An application and fee must be submitted to CDHD.
14. _____

Reviewed By: [Signature]
Date: 3/11/2020

B3



ORGANIZED 1904

Nampa & Meridian Irrigation District

1503 FIRST STREET SOUTH
FAX #208-463-0092

NAMPA, IDAHO 83651-4395
nmid.org

OFFICE: Nampa 208-466-7861
SHOP: Nampa 208-466-0663

March 12, 2020

Doug Hanson, Planner I
City of Kuna
751 W. 4th Street
Kuna, ID 83634

RE: 20-01-SUP/ Home Daycare; 3040 W. Pear Apple

Dear Doug:

Nampa & Meridian Irrigation District (NMID) has no comment on the above referenced application as it lies outside of our district boundaries. Please contact Thomas Ritthaler, Boise Project- Board of Control, at 208-344-1141 or 2465 Overland Road Room 202 Boise, ID 83705-3173.

All private laterals and waste ways must be protected. All municipal surface drainage must be retained on-site. If any surface drainage leaves the site NMID must review drainage plans. Developers must comply with Idaho Code 31-3805.

Sincerely,

David T. Duvall
Asst. Water Superintendent
Nampa & Meridian Irrigation District
DTD/ gnf

Cc:

Office/ file
T. Ritthaler, Board of Control

*Received
3/19/2020*



APPROXIMATE IRRIGABLE ACRES
RIVER FLOW RIGHTS - 23,000
BOISE PROJECT RIGHTS - 40,000



City of Kuna PROOF OF PROPERTY POSTING

received
6.12.20

City of Kuna
P.O. Box 13
Kuna, Idaho 83634

Phone: (208) 922-5274
Fax: (208) 922-5989
Web: www.kunacity.id.gov

This notice shall confirm that the Public Hearing Notice for 3040 W Pear Apple St. Kuna, ID 83634 (**NAME OF SUBDIVISION OR ADDRESS**) was posted as required per Kuna City Ordinance 5-1A-8. Sign posted FRIDAY, JUNE 12, 2020 (**DAY OF THE WEEK, MONTH, DATE AND YEAR**). This form is required to be returned three (3) calendar days subsequent to posting and signs are to be removed from the site three (3) calendar days after the hearing.

DATED this 12th day of June, 2020

Signature,

N. MA
Owner/Developer

STATE OF IDAHO)
County of Ada) : ss

On this 12th day of June, 2020, before me the undersigned, a Notary Public in and for said State, personally appeared before me (Owner, Developer).

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Andrea Murakami
Notary Public
Residing at Kuna, ID
Commission Expires 05-27-2024

ANDREA MURAKAMI
Notary Public - State of Idaho
Commission Number 20201965
My Commission Expires 05-27-2026

CITY OF KUNA PUBLIC HEARING NOTICE

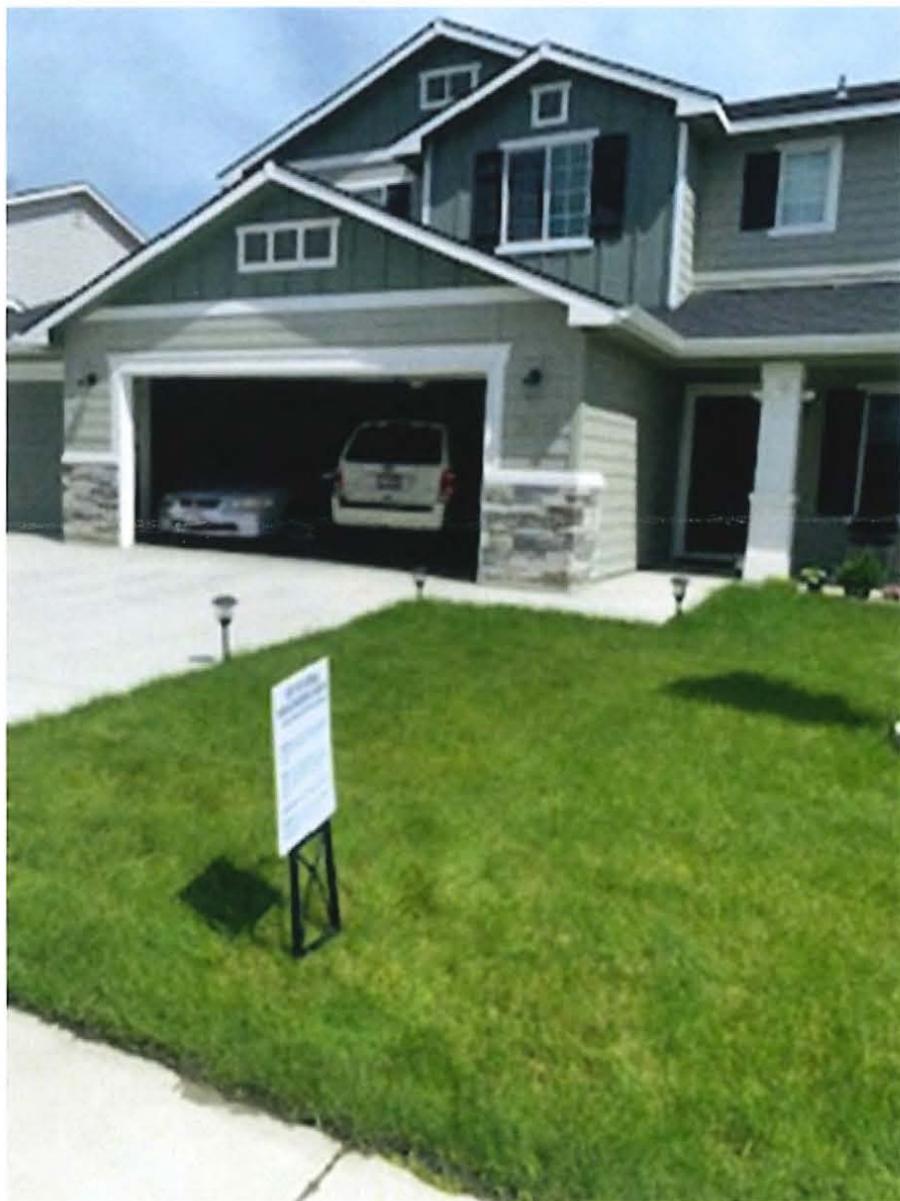
KUNA PLANNING AND ZONING COMMISSION

PURPOSE: Special Use Permit: in-home Daycare
Silverlake Subdivision NO 2 Zoning RR Lot 05
BLK 02

WHEN: The city of Kuna will hold a public
hearing on June 23, 2020 at Kuna City Hall at
6:00pm located at 751 W Arty St, Kuna, ID
83834.

APPLICATION BY: Asterine Uusmaa, Homeowner

CONTACT: City of Kuna Planning and Zoning
Department, Doug Hanson, Planner I
(208)822-6274





**CITY OF KUNA
PUBLIC HEARING NOTICE**
KUNA PLANNING AND ZONING COMMISSION

PURPOSE: Special Use Permit, informal, District 1, Ordinance Subdivision No. 2, zoning MS-LD-10, BLD 02;

WORK: The City of Kuna will hold a public hearing on June 22, 2020 at 7:00 PM at the City Office located at 753 W. 4th St., Kuna, ID 83644

APPLICATION BY: American Electric, Homeowner

CONTACT: City of Kuna Planning and Zoning Department, Greg Hansen, Planner 1, (208) 722-0274

3040

ReddyIce

ReddyIce

3040

CITY OF KUNA
P.O. Box 13 - Kuna, ID 83634
Phone: 922-5274 - Fax: 922-5989

Case # 20-01-SUP (Special Use Permit)

NOTICE IS HEREBY GIVEN, the Kuna Planning and Zoning Commission will hold a public hearing, **Tuesday June 23, 2020, at 6:00 pm**, or as soon as can be heard at Kuna City Hall, 751 W. 4th Street, Kuna, ID; in connection with a **Special Use Permit** request from Aimerine Uwineza to operate an **In-Home Daycare** located at 3040 W. Pear Apple Street, Kuna, Idaho (APN #: R7909830020).

The public is invited to present written or oral comments. Written testimony received by the close of business on **June 16, 2020** will be included in the packets distributed to the governing body. Late submissions (must include eight (8) copies) will be presented to the governing body at the time of the hearing. Please mail written comments to PO Box 13, Kuna, ID 83634, or drop them off at City Hall: 751 West 4th Street, Kuna, ID.

Please do not contact anyone who would be involved in this decision making process, which would include the Planning & Zoning Commissioners, City Council Members, or the Mayor; as such private conversations would be considered ex parte (one sided) and could jeopardize the public hearing process.

If you have any questions or require special accommodations, please contact the Kuna Planning & Zoning Department prior to the meeting at 922-5274.

Kuna Planning & Zoning Department

*(No need to print this portion) Please publish one time **June 3, 2020.***

(Sent 5/28/20)

Kuna P.O. #10098

IDAHO PRESS-TRIBUNE
EMMETT MERIDIAN KUNA BOISE WKLY
C/O ISJ PAYMENT PROCESSING CENTER
PO BOX 1570
POCATELLO ID 83204
(208)467-9251
Fax (208)475-2321

ORDER CONFIRMATION

Salesperson: LEGALS

Printed at 06/01/20 09:55 by sje14

Acct #: 345222

Ad #: 2017588

Status: New CHOLD

1 KUNA, CITY OF
P.O. BOX 13
KUNA ID 83634

Start: 06/03/2020 Stop: 06/03/2020
Times Ord: 1 Times Run: ***
LEG 1.00 X 58.00 Words: 230
Total LEG 58.00
Class: 0006 GOVERNMENT NOTICES
Rate: LG Cost: 47.92
Affidavits: 1

Contact: CHRIS ENGLER
Phone: (208)387-7727
Fax#:
Email: awelker@kunaid.gov; gsmith@k
Agency:

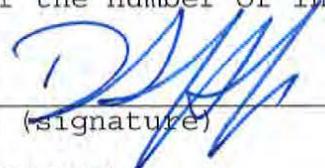
Ad Descrpt: 20-02-SUP
Given by: DOUG HANSON
P.O. #: 10098
Created: sje14 06/01/20 09:51
Last Changed: sje14 06/01/20 09:55

PUB ZONE EDT TP RUN DATES
KMN A 96 S 06/03

AUTHORIZATION

Under this agreement rates are subject to change with 30 days notice. In the event of a cancellation before schedule completion, I understand that the rate charged will be based upon the rate for the number of insertions used.

DOUGLAS HANSON
Name (print or type)


Name (signature)

(CONTINUED ON NEXT PAGE)

IDAHO PRESS-TRIBUNE
EMMETT MERIDIAN KUNA BOISE WKLY
C/O ISJ PAYMENT PROCESSING CENTER
PO BOX 1570
POCATELLO ID 83204
(208)467-9251
Fax (208)475-2321

ORDER CONFIRMATION (CONTINUED)

Salesperson: LEGALS

Printed at 06/01/20 09:55 by sje14

Acct #: 345222

Ad #: 2017588

Status: New CHOLD CHOI

LEGAL NOTICE

20-01

Case # 20-02-SUP
(Special Use Permit)

NOTICE IS HEREBY GIVEN, the Kuna Planning and Zoning Commission will hold a public hearing, **Tuesday June 23, 2020, at 6:00 pm**, or as soon as can be heard at Kuna City Hall, 751 W. 4th Street, Kuna, ID; in connection with a **Special Use Permit** request from Aimerine Uwineza to operate an **In-Home Daycare** located at 3040 W. Pear Apple Street, Kuna, Idaho (APN #: R7909830020).

The public is invited to present written or oral comments. Written testimony received by the close of business on **June 16, 2020** will be included in the packets distributed to the governing body. Late submissions (must include eight (8) copies) will be presented to the governing body at the time of the hearing. Please mail written comments to PO Box 13, Kuna, ID 83634, or drop them off at City Hall: 751 West 4th Street, Kuna, ID.

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If you have any questions or require special accommodations, please contact the Kuna Planning & Zoning Department prior to the meeting at 922-5274.

Kuna Planning & Zoning
Department

June 3, 2020 2017588

345222 2017588

1 KUNA, CITY OF

P.O. BOX 13
KUNA ID 83634

**AFFIDAVIT OF PUBLICATION
STATE OF IDAHO**

County of Ada

)
)SS.
)

Sharon Jessen
of Nampa, Canyon County, Idaho, being
first duly sworn, deposes and says:

1. That I am a citizen of the United States, and at all times hereinafter mentioned was over the age of eighteen years, and not a party to the above entitled action.
2. That I am the Principle Clerk of the Kuna Melba News, a weekly newspaper published in the City of Kuna, in the County of Ada, State of Idaho; that the said newspaper is in general circulation in the said County of Ada, and in the vicinity of Kuna and Melba, and has been uninterruptedly published in said County during a period of seventy-eight consecutive weeks prior to the first publication of this notice, a copy of which is hereto attached.
3. That the notice, of which the annexed is a printed copy, was published in said newspaper 1 time(s) in the regular and entire issue of said paper, and was printed in the newspaper proper, and not in a supplement.

That said notice was published the following:
06/03/2020

Sharon Jessen

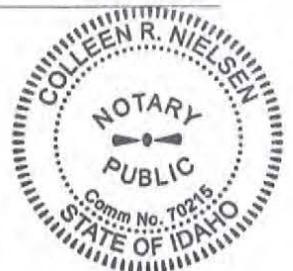
STATE OF IDAHO)

County of Canyon)

On this 3rd day of June in the year of 2020 before me a Notary Public, personally appeared Sharon Jessen, known or identified to me to be the person whose name is subscribed to the within instrument, and being by me first duly sworn, declared that the statements therein are true, and acknowledge to me that he/she executed the same.

Colleen Nielsen

Notary Public for Idaho
Residing at Canyon County
My Commission expires 06/28/2023



LEGAL NOTICE

Case # 20-01-SUP
(Special Use Permit)

NOTICE IS HEREBY GIVEN, the Kuna Planning and Zoning Commission will hold a public hearing, **Tuesday June 23, 2020, at 6:00 pm**, or as soon as can be heard at Kuna City Hall, 751 W. 4th Street, Kuna, ID; in connection with a **Special Use Permit** request from Almerine Uwineza to operate an **In-Home Daycare** located at 3040 W. Pear Apple Street, Kuna, Idaho (APN #: R7909830020).

The public is invited to present written or oral comments. Written testimony received by the close of business on **June 16, 2020** will be included in the packets distributed to the governing body. Late submissions (must include eight (8) copies) will be presented to the governing body at the time of the hearing. Please mail written comments to PO Box 13, Kuna, ID 83634, or drop them off at City Hall: 751 West 4th Street, Kuna, ID.

Please do not contact anyone who would be involved in this decision making process, which would include the Planning & Zoning Commissioners, City Council Members, or the Mayor; as such private conversations would be considered ex parte (one sided) and could jeopardize the public hearing process.

If you have any questions or require special accommodations, please contact the Kuna Planning & Zoning Department prior to the meeting at 922-5274.

Kuna Planning & Zoning
Department

June 3, 2020 2017588



CITY OF KUNA
PLANNING & ZONING DEPARTMENT
PO Box 13 • 751 W. 4th St • Kuna, Idaho • 83634
Phone (208) 922-5274 • Fax: (208) 922-5989
www.kunacity.id.gov

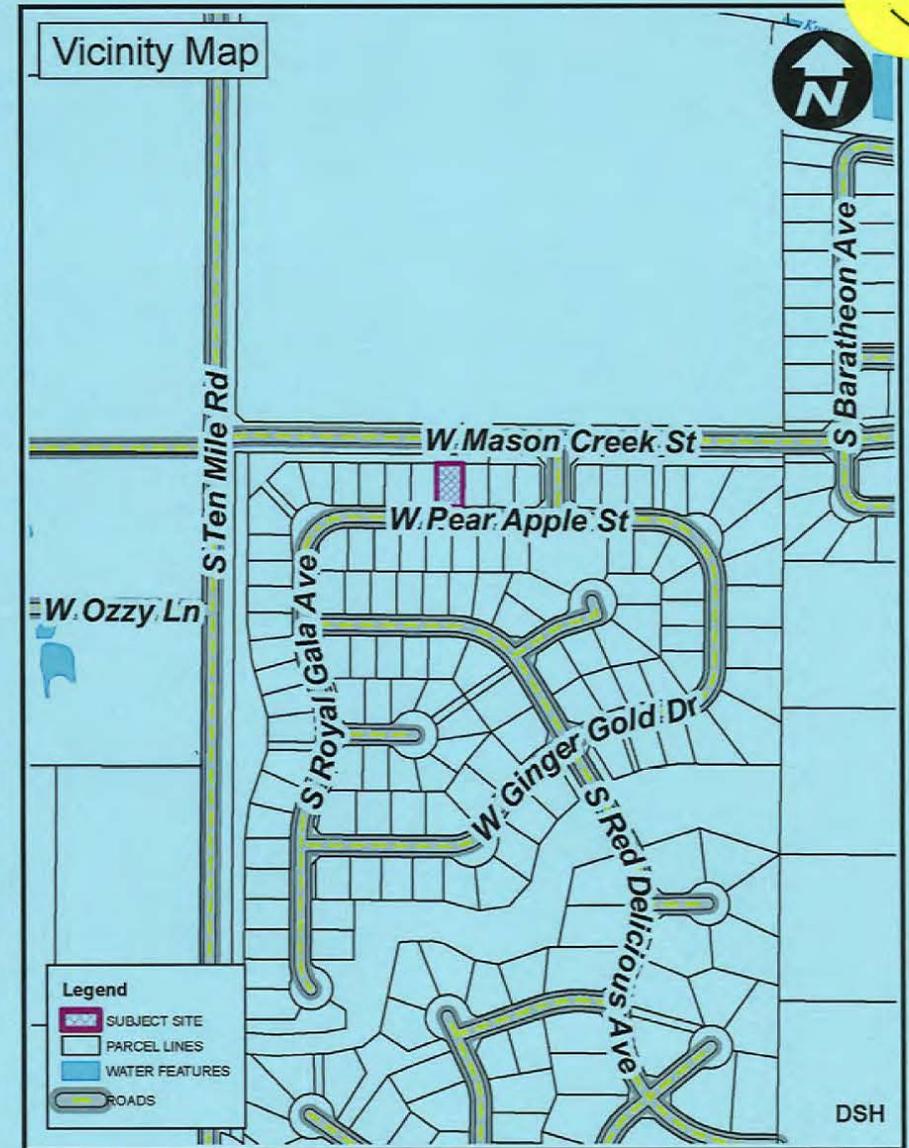
Dear Property Owner:

NOTICE IS HEREBY GIVEN that the City of Kuna **Planning and Zoning Commission** is scheduled to hold a public hearing on **June 23, 2020**, beginning at **6:00 pm** on the following case:

A Special Use Permit request from Aimerine Uwineza to operate an In-Home Daycare located at 3040 W. Pear Apple Street, Kuna, Idaho (APN #: R7909830020). The hearing will be held at **6:00 PM in the Council Chambers at City Hall located at 751 W. 4th Street, Kuna, Idaho.**

You are invited to provide oral or written comments. Written testimony received by the close of business on **June 16, 2020** will be included in the packet that is distributed to the governing body prior to the hearing. Late submissions (must submit eight (8) copies) will be presented to the governing body at time of the hearing. Please note oral comments made during the public hearing will be restricted to three (3) minutes per person. Mail written comments to PO Box 13, Kuna, ID 83634 or hand deliver them to City Hall.

If you have questions or need special assistance, please contact the Planning and Zoning Division at (208) 922-5274.



MAILED 6/3/20

City of Kuna
Planning and Zoning
PO Box 13
Kuna, ID 83634

NOTICE

Suggestions For Testifying at the Public Hearing:

Be informed . . .

Review the proposal, staff report, applicable provisions of the ordinance, comprehensive plan and Idaho State Code (Title 67, Chapter 65).

All items pertaining to the application can be found the Friday prior to the hearing at <http://kunacity.id.gov/240/Agendas-and-Meeting-Minutes>.

Be on time . . .

Although the item you are interested in may not be first on the agenda, you never know when it will be heard. The governing body has authority to adjust the schedule according to its discretion. Thus, anticipate attending from the beginning.

Speak to the point . . .

The governing body appreciates pertinent, well organized, factual and concise comments. Redundant testimony is prohibited. **The developer or their representative is given 10 minutes to present their project. Others wishing to testify are given three (3) minutes. The developer (or their representative) is given additional time for rebuttal to address issues raised during public testimony.** Long stories, abstract complaints, or generalities may not be the best use of time. Neighborhood groups are encouraged to organize testimony and have one (1) person speak on behalf of the group. The group representative will receive 10 minutes to make comments.

If you don't wish to speak, write . . .

Written testimony submitted one (1) week prior to the hearing will be included in the packet that is distributed to the governing body prior to the hearing. Late submissions must submit eight (8) copies, which will be presented to the governing body at time of hearing. As a reminder, it is unreasonable to submit extensive written comments or information at the hearing and expect them to be reviewed prior to a decision.



CITY OF KUNA
PLANNING & ZONING DEPARTMENT

751 West 4th Street
P.O. Box 13
Kuna, ID 83634
Phone: 208-922-5274
Fax: 208-922-5989
www.kunacity.id.gov

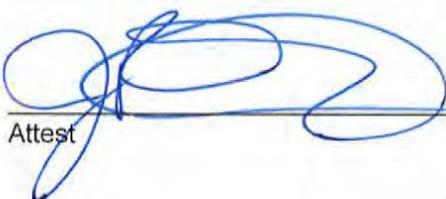
CERTIFICATE OF MAILING

Date: 06/3/2020
To: 300' Property Owners Other _____
Planner: Doug Hanson, Planner I
Case Name: 20-01-SUP 3040 W. Pear Apple In-Home Daycare

I HEREBY CERTIFY that on this 3rd day of June, 2020, I caused a true and correct copy of the foregoing instrument to be deposited in the United States mail, with prepaid postage.



Signature



Attest

AH4R Properties Two LLC
30601 Agoura Rd, Suite 200
Agoura Hills, CA 91301

Victor Campo
Debbie Campo
3029 W. Pear Apple St
Kuna, ID 83634

Corey Barton Homes Inc
1977 E. Overland Rd
Meridian, ID 83642

Marilyn Demarco
Anthony Demarco
2985 W. Pear Apple St
Kuna, ID 83634

Damon Ferris
2960 W. Margil Ct
Kuna, ID 83634

Matthew Franich
Kristine Franich
3077 W. Pear Apple St
Kuna, ID 83634

Taylor Friesz
Alyssa Friesz
3072 W. Pear Apple St
Kuna, ID 83634

Glenn Gross
Nataliya Gross
3109 W. Pear Apple St
Kuna, ID 83634

Ann Redel Hill
3136 W. Pear Apple St
Kuna, ID 83634

Kyle Johnson
Shameka Johnson
3088 W. Pear Apple St
Kuna, ID 83634

Iryna Kovalchuk
3093 W. Pear Apple St
Kuna, ID 83634

Kuna School District #3
711 E. Porter St
Kuna, ID 83634

Nicholas Lacross
8872 S. Red Delicious Way
Kuna, ID 83634

Gary Lowe
Michelle Lowe
3056 W. Pear Apple St
Kuna, ID 83634

Kara Medrano
2972 W. Margil Ct
Kuna, ID 83634

Michael Moseley
Denise Moseley
2994 W. Pear Apple St
Kuna, ID 83634

Vernon Mullins
Tamara Mullins
3104 W. Pear Apple St
Kuna, ID 83634

Tahnnner Van Pelt
8800 S. Red Delicious Way
Kuna, ID 83634

Jaime Peralta
Angela Arroyo
3120 W. Pear Apple St
Kuna, ID 83634

Gary Petersen
Janine Petersen
3061 W. Pear Apple St
Kuna, ID 83634

Cynthia Robertson
2930 W. Pear Apple St
Kuna, ID 83634

Joseph Shriver
Allison Shriver
2999 W. Pear Apple St
Kuna, ID 83634

Silver Trail HOA Inc
1977 E. Overland Road
Kuna, ID 83634

Cathylee Sly
Jamen Sly
8908 S. Red Delicious Ave
Kuna, ID 83634

Randell Smith
Denise Smith
33389 Barrington Dr
Temecula, CA 93592-8298

Megan Suter
Kevin White
8836 S Red Delicious Way
Kuna, ID 83634

Gary Thick
Debra Thick
8890 S Red Delicious Way
Kuna, ID 83634

Aimerine Uwineza
Ntwari Mugisha
3040 W. Pear Apple St
Kuna, ID 83634

Bounpakop Vorachack
Anousone Sanirand
3024 W. Pear Apple St
Kuna, ID 83634

Payton Warner
3045 W. Pear Apple St
Kuna, ID 83634

Mary Ann Waugh
8854 S. Red Delicious Way
Kuna, ID 83634

Doug Hanson

From: Wendy Howell
Sent: Tuesday, June 16, 2020 4:59 PM
To: Doug Hanson
Subject: FW: Online Form Submittal: Public Testimony Form

FYI

From: noreply@civicplus.com <noreply@civicplus.com>
Sent: Tuesday, June 16, 2020 4:58 PM
To: Wendy Howell <whowell@kunaid.gov>; City Clerk <cityclerk@kunaid.gov>
Subject: Online Form Submittal: Public Testimony Form

Public Testimony Form

Please complete the form with your testimony for the below referenced case for the Public Hearing record.

Case Number/Description	R7909830020 / Special Use Permit Request for Aimerine Uwineza
-------------------------	---

Public Hearing Date	6/23/2020
---------------------	-----------

Will you also be providing in person testimony at the Public Hearing	No
--	----

In Favor, Neutral or In Opposition	In Favor
------------------------------------	----------

Email	garylowe1122@gmail.com
-------	--

Phone Number	12082937589
--------------	-------------

First Name	Gary
------------	------

Last Name	Lowe
-----------	------

Address1	3056 West Pear Apple St.
----------	--------------------------

City	Kuna
------	------

State	Idaho
-------	-------

Zip	83634
-----	-------

Written Testimony

I live next door to Aimerine. I think it would be fine to have an in-home daycare next door. It could help others in the neighborhood with small children that have to work.

By checking the "I agree" box below, you agree and acknowledge that submitting, that this testimony will be a public record and a part of the case file for the governing body. Any testimony submitted after the public hearing Will Not be considered by the governing body.

Electronic Signature
Agreement

I Agree

Email not displaying correctly? [View it in your browser.](#)



City of Kuna

Planning and Zoning Commission

Staff Report

P.O. Box 13
Phone: (208) 922-5274
Fax: (208) 922-5989
www.Kunacity.id.gov

To: Planning and Zoning Commission

Planner: Wendy I. Howell, PCED

Hearing Date: June 9, 2020

Tabled To: **June 23, 2020**

Applicant: City of Kuna, Planning and Zoning
751 W. 4th St
Kuna, ID 83634
208.922.5274

Table of Contents:

- | | |
|--------------------------|--------------------------------|
| A. Course of Proceedings | D. Staff Analysis |
| B. Project Request | E. Applicable Standards |
| C. Agency Responses | F. Commission’s Recommendation |

A. Process and Noticing:

1. Kuna City Code (KCC), Title 1, Chapter 14, Section 3, states amendments are designated as a public hearing with the Planning and Zoning Commission as the recommending body and City Council as the decision-making body. This request was given proper public notice and followed the requirements set forth in Idaho Code, Chapter 65, Local Land Use Planning Act and Kuna City Code, Title 5.

a. Notifications

- | | |
|---------------------------|----------------|
| i. Agency Comment Request | March 24, 2020 |
| ii. Kuna Melba Newspaper | May 20, 2020 |
| iii. Kuna Melba Newspaper | May 27, 2020 |
| iv. 300 Ft Notices | June 9, 2020 |

B. Project Request:

The City of Kuna requests consideration from the Planning and Zoning Commission for the expansion of Kuna’s most northern boundary of its Area of City Impact (ACI) Boundary and to forward a recommendation to City Council. This expansion, if approved, will align Kuna’s ACI with the City of Meridian’s ACI by extending the boundary from its current location at West Lake Hazel road to encompass previous annexed parcels south of Amity Road and West of Meridian Road.

C. Agency Responses:

Idaho Transportation Department responded on March 5, 2020 stating that they did not have any objections.

D. Staff Analysis:

The City of Kuna has worked with Meridian city to come to an agreeable area of city impact on the most northern boundary of the approved area of city impact. The map in front of you depicts the agreed-on boundary between Kuna and Meridian.

There are two additional areas that Kuna is proposing to include in the area of city impact are adjacent to Highway 69 and W Aristocrat Drive. All of these areas include already annexed properties.

E. Applicable Standards:

1. City of Kuna Zoning Ordinance Title 5.
2. City of Kuna Comprehensive Plan.
3. Idaho Code, Title 67, Chapter 65- the Local Land Use Planning Act.

F. Commission's Recommendation:

Note: These motions are for the recommendation of approval, conditional approval or denial of the Ordinance Amendment to the City Council. However, if the planning and Zoning Commission wishes to approve or deny specific parts of these requests as detailed in the report, those changes must be specified.

Based on the facts outlined in staff's report and public testimony as presented, the Planning and Zoning Commission of Kuna, Idaho, hereby recommends (*approval/conditional approval/denial*) of the expansion of Kuna's most northern boundary of its Area of City Impact (ACI) Boundary and forward a recommendation to City Council. This expansion, if approved, will align Kuna's ACI with the City of Meridian's ACI by extending the boundary from its current location at West Lake Hazel road to encompass previous annexed parcels south of Amity Road and West of Meridian Road.

DATED this 23rd day of June, 2020.



City of Kuna
Planning and Zoning Commission
Proposed Findings of Fact and Conclusions of Law

P.O. Box 13
Phone: (208) 922-5274
Fax: (208) 922-5989
www.Kunacity.id.gov

Based upon the record contained in the expansion of Kuna's most northern boundary of its Area of City Impact (ACI) Boundary and forward a recommendation to City Council. This expansion, if approved, will align Kuna's ACI with the City of Meridian's ACI by extending the boundary from its current location at West Lake Hazel road to encompass previous annexed parcels south of Amity Road and West of Meridian Road.

If the planning and Zoning Commission wishes to approve, deny or modify specific parts of the Findings of Facts and Conclusions of Law as detailed below, those changes must be specified.

1. The public notice requirements have been met and the neighborhood meeting was conducted within the guidelines of applicable Idaho Code and City Ordinances.

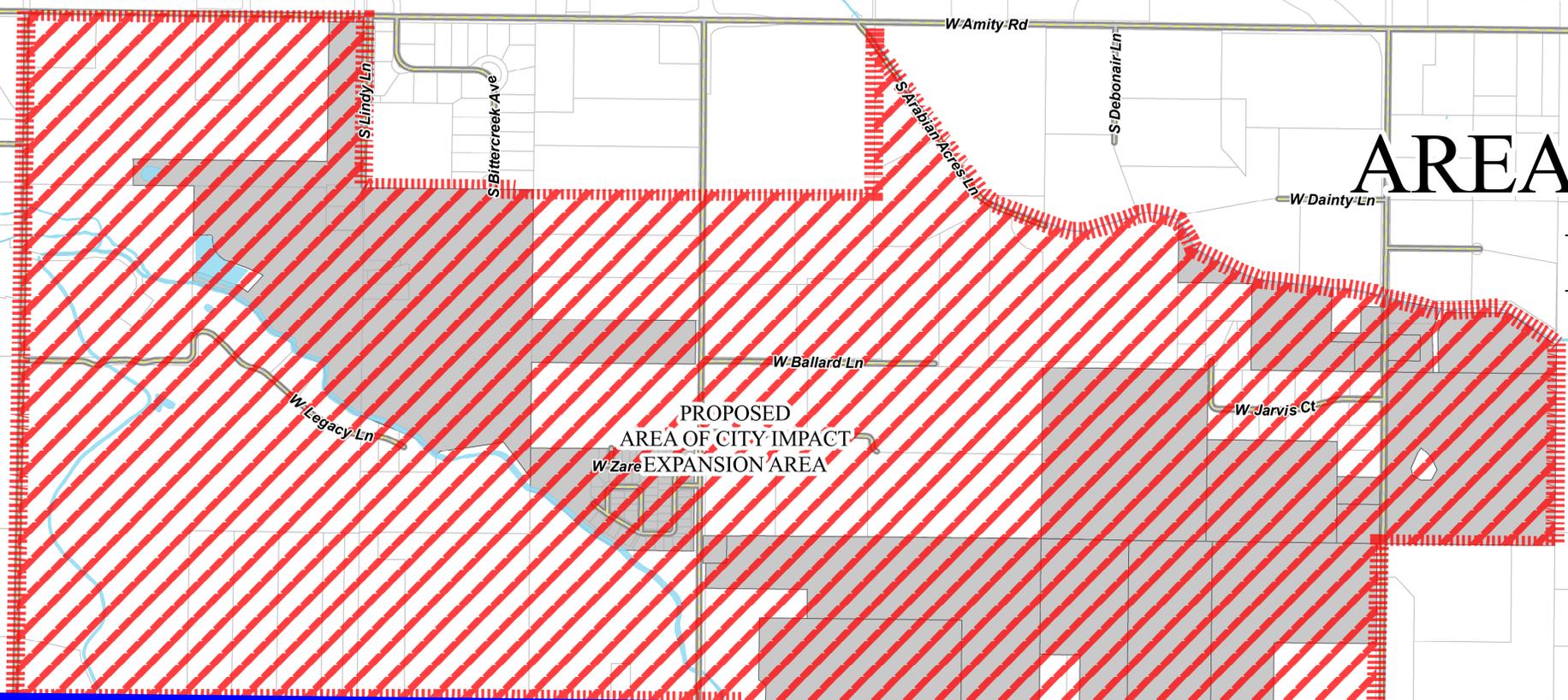
Staff Finding: 300 Ft notices were mailed out to residents on June 9, 2020. Legal notices were published in the Kuna Melba News on May 20, 2020 and May 27, 2020.

2. In accordance with KCC 5-1A-3 applicable agencies were notified and asked to provide comment.

Staff Finding: Applicable agencies were notified on and asked to provide comment on March 3, 2020. Staff has received no responses.

DATED this 23rd day of June, 2020

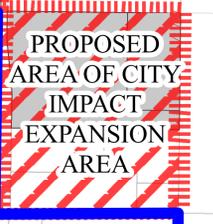
CITY OF KUNA PROPOSED AREA OF CITY IMPACT EXPANSION



PROPOSED
AREA OF CITY IMPACT
EXPANSION AREA



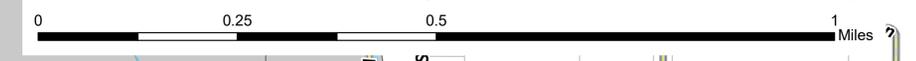
PROPOSED
AREA OF CITY
IMPACT
EXPANSION
AREA



PROPOSED
AREA OF CITY
IMPACT
EXPANSION
AREA

LEGEND

-  Proposed ACI Expansion
-  Current ACI
-  Kuna City Limits
-  Roads
-  Waterbodies



LEGAL DESCRIPTION FOR THE CITY OF KUNA'S AREA OF CITY IMPACT:

Commencing at the northwest corner of Section 4, Township 2 North Range 1 West also being the intersection of W Lake Hazel Rd and S McDermott Rd,

Thence south 7-½ miles to the corner common with Sections 8 & 9 of Township 1 North Range 1 West;

Thence east 6 miles to the corner common with Sections 8 & 9 of Township 1 North Range 1 East;

Thence south 1-½ miles to a point in the center of the E Poen Rd;

Thence east 4 miles along the E Poen Rd alignment;

Thence south ¼ mile along S Cole Rd;

Thence east ½ mile to the alignment of S Broken Sky Ln;

Thence north along said alignment ¼ mile to the alignment of E Poen Rd;

Thence east 1 ½ miles to the alignment of S Pleasant Valley Rd;

Thence north along said S Pleasant Valley Rd 5 miles more or less to the intersection of W Tenmile Creek Rd;

Thence in a northwesterly direction for 4.94 miles more or less along W Tenmile Creek to the intersection of W Hubbard Rd;

Thence west 1 mile along W Hubbard Rd to the intersection of S Cloverdale Rd;

Thence north ½ mile along S Cloverdale Rd;

Thence west 1-½ mile to the center of Section 8, Township 2 North Range 1 East;

Thence north ½ miles to a point in the center of E Columbia Rd;

Thence west 1-¼ miles along E Columbia Rd to the intersection of S Bryker Ln;

Thence north ½ of a mile;

Thence west ¼ of a mile to the centerline of S Meridian Rd and the alignment of W Aristocrat Dr;

Thence north approximately 1,150 feet more or less along said centerline of S Meridian Rd to the centerline of the Meridian Lateral;

Thence following said Meridian Lateral in a westerly direction for approximately 1,070 feet to the eastern boundary of the Western 12.5 acres of the SE ¼ of the NE ¼ of Section 1, Township 2 North, Range 1 West;

Thence north 57 feet more or less to the centerline of W Paint Horse Ln;

Thence west 1,742 feet west to the Center North 1/16 Corner of Section 1, Township 2 North, Range 1 West;

Thence north ¼ of a mile;

Thence west ½ of a mile;

Thence north $\frac{1}{4}$ of a mile;

Thence east $\frac{1}{4}$ of a mile;

Thence north approximately three tenths of a mile to the centerline of the Rawson Lateral;

Thence along the Rawson Lateral approximately 1.17 miles and coincident with S Arabian Acres Ln to the intersection of said Lane and the Eastern boundary of the northwest $\frac{1}{4}$ of the northwest $\frac{1}{4}$, Township 3 North, Range 1 West, Section 35;

Thence south .21 miles to the southern boundary of the northwest $\frac{1}{4}$ of the northwest $\frac{1}{4}$, Township 3 North, Range 1 West, Section 35;

Thence west $\frac{3}{4}$ of a mile to the alignment of S Lindy Ln;

Thence north $\frac{1}{4}$ of a mile to the centerline of W Amity Rd;

Thence along the centerline of West Amity Rd $\frac{1}{2}$ of a mile to the intersection of said road and S Black Cat Rd;

Thence south one mile to a point in center of W Lake Hazel Rd;

Thence west one mile along W Lake Hazel Rd to the Point of Beginning;

EXCEPTING THERFROM

Commencing at the northwest corner of Section 4, Township 2 North Range 1 West also being the intersection of W Lake Hazel Rd and S McDermott Rd,

Thence south 7- $\frac{1}{2}$ miles to the corner common with Sections 8 & 9 of Township 1 North Range 1 West;

Thence east 6 miles to the corner common with Sections 8 & 9 of Township 1 North Range 1 East;

Thence south 1- $\frac{1}{2}$ miles to a point in the center of the E Poen Rd;

Thence east 4 miles along the E Poen Rd alignment;

Thence south $\frac{1}{4}$ mile along S Cole Rd;

Thence east $\frac{1}{2}$ mile to the alignment of S Broken Sky Ln;

Thence north along said alignment $\frac{1}{4}$ mile to the alignment of E Poen Rd;

Thence east 1 $\frac{1}{2}$ miles to the alignment of S Pleasant Valley Rd;

Thence north along said S Pleasant Valley Rd 5 miles more or less to the intersection of W Tenmile Creek Rd;

Thence in a northwesterly direction for 4.94 miles more or less along W Tenmile Creek to the intersection of W Hubbard Rd;

Thence west 1 mile along W Hubbard Rd to the intersection of S Cloverdale Rd;

Thence north $\frac{1}{2}$ mile along S Cloverdale Rd;

Thence west 1-½ mile to the center of Section 8, Township 2 North Range 1 East;

Thence north ½ miles to a point in the center of E Columbia Rd;

Thence west 1-¼ miles along E Columbia Rd to the intersection of S Bryker Ln;

Thence north ¼ of a mile;

Thence west ¼ of a mile to the centerline of S Meridian Rd;

Thence north along said centerline of S Meridian Rd ¼ of a mile;

Thence west ¼ of a mile;

Thence north ¼ of a mile;

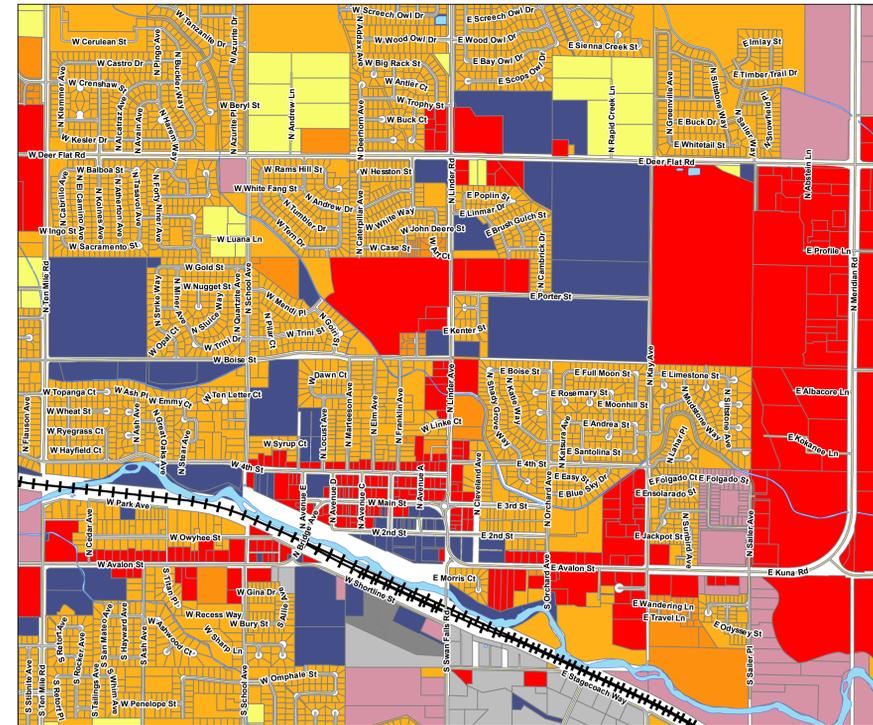
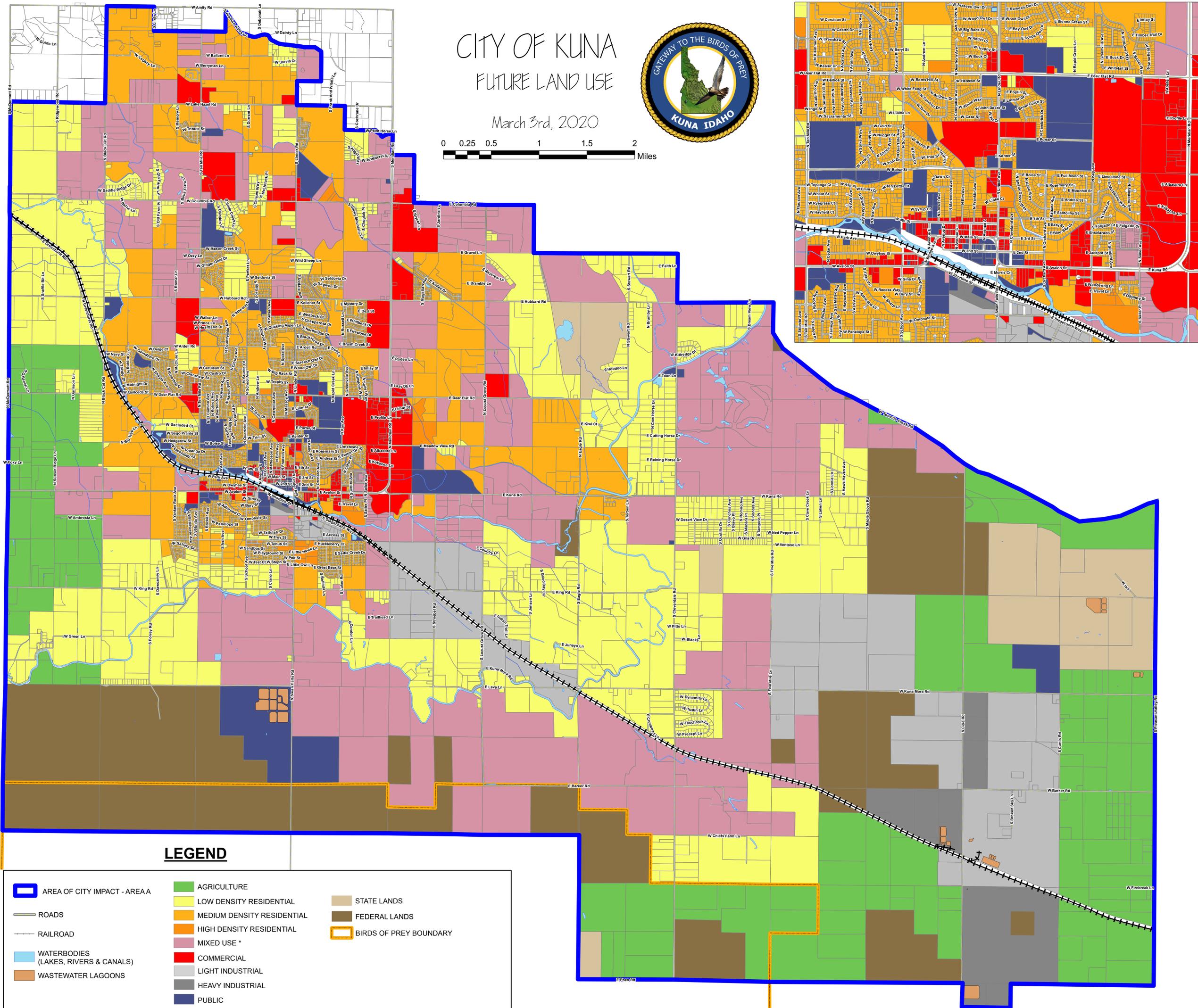
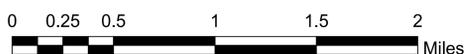
Thence west ¼ of a mile;

Thence north ¼ of a mile to a point in center of W Lake Hazel Rd;

Thence west 3-½ miles along W Lake Hazel Rd to the Point of Beginning;

CITY OF KUNA FUTURE LAND USE

March 3rd, 2020



LEGEND

- | | | |
|--------------------------------------|----------------------------|------------------------|
| AREA OF CITY IMPACT - AREA A | AGRICULTURE | STATE LANDS |
| ROADS | LOW DENSITY RESIDENTIAL | FEDERAL LANDS |
| RAILROAD | MEDIUM DENSITY RESIDENTIAL | BIRDS OF PREY BOUNDARY |
| WATERBODIES (LAKES, RIVERS & CANALS) | HIGH DENSITY RESIDENTIAL | |
| WASTEWATER LAGOONS | MIXED USE * | |
| | COMMERCIAL | |
| | LIGHT INDUSTRIAL | |
| | HEAVY INDUSTRIAL | |
| | PUBLIC | |

* SEE COMPREHENSIVE PLAN TEXT FOR MORE DETAIL.

Jace Hellman

From: Jace Hellman
Sent: Tuesday, March 3, 2020 11:20 AM
To: Ada County Engineer; Ada County Highway District; Adam Ingram; Becky Rone - Kuna USPS Addressing; Bob Bachman; Bobby Withrow; Boise Project Board of Control (TRitthaler@boiseproject.org); Brent Moore (Ada County); Cable One t.v.; Central District Health Dept. CDHD; COMPASS; David Reinhart; DEQ (Alicia.martin@deq.idaho.gov); Eric Adolfson; Idaho Power; Idaho Power Easements; 'Idaho Power Easments 2'; Intermountain Gas; ITD; J&M Sanitation - Chad Gordon; Jim Obert; jmcDaniel@adaweb.net; Julie Stanely - Regional Address Mgmt.; Kuna Postmaster - Marc C. Boyer; Lisa Holland; Megan Leatherman; Nampa Meridian Irrigation District; New York Irrigation; Paul Stevens; Phil Roberts; Planning Mgr: Ada County Development Services; Wendy; 'chood@meridiantcity.org'; 'jbongiorno@meridiantcity.org'; 'yochum.joe@westada.org'; 'harp.kimberly@westada.org'
Subject: City of Kuna Request for Comment - Northern Area of City Impact Expansion
Attachments: ACI Expansion Agency Packet.pdf

March 3, 2020

Notice is hereby given by the City of Kuna that the following action(s) are under consideration:

Case Name:	Northern Area of City Impact Boundary Expansion
Project Description	The City of Kuna is requesting to expand its most northern boundary of its Area of City Impact (ACI) Boundary. This expansion, if approved, will align Kuna's ACI with the City of Meridian's ACI by extending the boundary from its current location at West Lake Hazel road to encompass previous annexed parcels south of Amity Road and West of Meridian Road.
Site Location	See attached map and legal description
Applicant	City of Kuna – Planning and Zoning Department
Public Hearing Date	Tuesday, March 24, 2020 6:00 pm Kuna City Hall is located at 751 W. 4 th Street, Kuna, ID 83634
Staff Contact	Wendy Howell, Planning and Zoning Director Whowell@kunaid.gov Phone: 208.922.5274 Fax: 208.922.5989

Enclosed is information to assist you with your consideration and response. All comments as to how this action may affect the service(s) your agency provides, is greatly appreciated. Please contact staff with any questions. **If your agency needs different or additional information to review and provide comments please notify our office and they will be sent to you.** If your agency needs additional time for review, please let our office know as soon as possible. *No response within 15 business days will indicate you have no objection or comments for this project.*

Jace Hellman

From: D3 Development Services <D3Development.Services@itd.idaho.gov>
Sent: Thursday, March 5, 2020 8:00 PM
To: Jace Hellman
Subject: Northern Area of City Impact Expansion

Good evening,

ITD has received the proposed Northern Area of City Impact Boundary Expansion Agency Packet for review. ITD has no objections to the proposed changes in the application.

Thank you,

Sarah Arjona

Development Services Coordinator

ITD District 3

(208) 334-8338

From: Jace Hellman <jhellman@kunaID.gov>
Sent: Tuesday, March 3, 2020 11:20 AM
To: Ada County Engineer <agilman@adaweb.net>; Ada County Highway District <planningreview@achdidaho.org>; Adam Ingram <adam.ingram@cableone.biz>; Becky Rone - Kuna USPS Addressing <rebecca.i.rone@usps.gov>; Bob Bachman <bbachman@kunaid.gov>; Bobby Withrow <bwithrow@kunaid.gov>; Boise Project Board of Control (TRitthaler@boiseproject.org) <TRitthaler@boiseproject.org>; Brent Moore (Ada County) <bmoore@adacounty.id.gov>; Cable One t.v. <cheryl.goettsche@cableone.biz>; Central District Health Dept. CDHD <lbadigia@cdhd.idaho.gov>; COMPASS <cmiller@compassidaho.org>; David Reinhart <dreinhardt@kunaschools.org>; DEQ (Alicia.martin@deq.idaho.gov) <Alicia.martin@deq.idaho.gov>; Eric Adolfson <eadolfson@compassidaho.org>; Idaho Power <bwatson2@idahopower.com>; Idaho Power Easements <easements@idahopower.com>; Idaho Power Easments 2 <kfunke@idahopower.com>; Intermountain Gas <bryce.ostler@intgas.com>; D3 Development Services <D3Development.Services@itd.idaho.gov>; J&M Sanitation - Chad Gordon <Chad.Gordon@jmsanitation.com>; Jim Obert <jim@kunaschools.org>; jmcDaniel@adaweb.net; Julie Stanely - Regional Address Mgmt. <Julie.R.Stanley@usps.gov>; Kuna Postmaster - Marc C. Boyer <marc.c.boyer@usps.gov>; Lisa Holland <lholland@kunaid.gov>; Megan Leatherman <mleatherman@adaweb.net>; Nampa Meridian Irrigation District <nmid@nmid.org>; New York Irrigation <terri@nyid.org>; Paul Stevens <PStevens@kunaid.gov>; Phil Roberts <proberts@kunafire.com>; Planning Mgr: Ada County Development Services <jboal@adaweb.net>; Wendy Howell <whowell@kunaid.gov>; chood@meridiancity.org; jbongiorno@meridiancity.org; yochum.joe@westada.org; harp.kimberly@westada.org
Subject: [EXTERNAL] City of Kuna Request for Comment - Northern Area of City Impact Expansion

--- This email is from an external sender. Be cautious and DO NOT open links or attachments if the sender is unknown. ---

March 3, 2020

Notice is hereby given by the City of Kuna that the following action(s) are under consideration:

Case Name:	Northern Area of City Impact Boundary Expansion
-------------------	---

Project Description	The City of Kuna is requesting to expand its most northern boundary of its Area of City Impact (ACI) Boundary. This expansion, if approved, will align Kuna's ACI with the City of Meridian's ACI by extending the boundary from its current location at West Lake Hazel road to encompass previous annexed parcels south of Amity Road and West of Meridian Road.
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Applicant	City of Kuna – Planning and Zoning Department
Public Hearing Date	Tuesday, March 24, 2020 6:00 pm Kuna City Hall is located at 751 W. 4 th Street, Kuna, ID 83634
Staff Contact	Wendy Howell, Planning and Zoning Director Whowell@kunaid.gov Phone: 208.922.5274 Fax: 208.922.5989
<p>Enclosed is information to assist you with your consideration and response. All comments as to how this action may affect the service(s) your agency provides, is greatly appreciated. Please contact staff with any questions. If your agency needs different or additional information to review and provide comments please notify our office and they will be sent to you. If your agency needs additional time for review, please let our office know as soon as possible. <i>No response within 15 business days will indicate you have no objection or comments for this project.</i></p>	

Jace Hellman
Planner II
751 W 4th St
Kuna, ID 83634
jhellman@kunaid.gov



Jace Hellman

From: Jace Hellman
Sent: Wednesday, May 13, 2020 2:36 PM
To: 'IDAHO PRESS-TRIBUNE'
Subject: City of Kuna Request for Legal Publication
Attachments: KMN Legal, ACI Expansion.doc; PZ KMN Notice 20-01-OA.doc

Greetings:

We would like to request that you publish the attached legal notifications in the May 20, 2020 and May 27, 2020 cycles of the Kuna Melba News on behalf of the City of Kuna, Planning and Zoning Department. These notification needs to be published in both cycles.

The Kuna P.O. for this request is #10028 (if you need it).
Thank you!

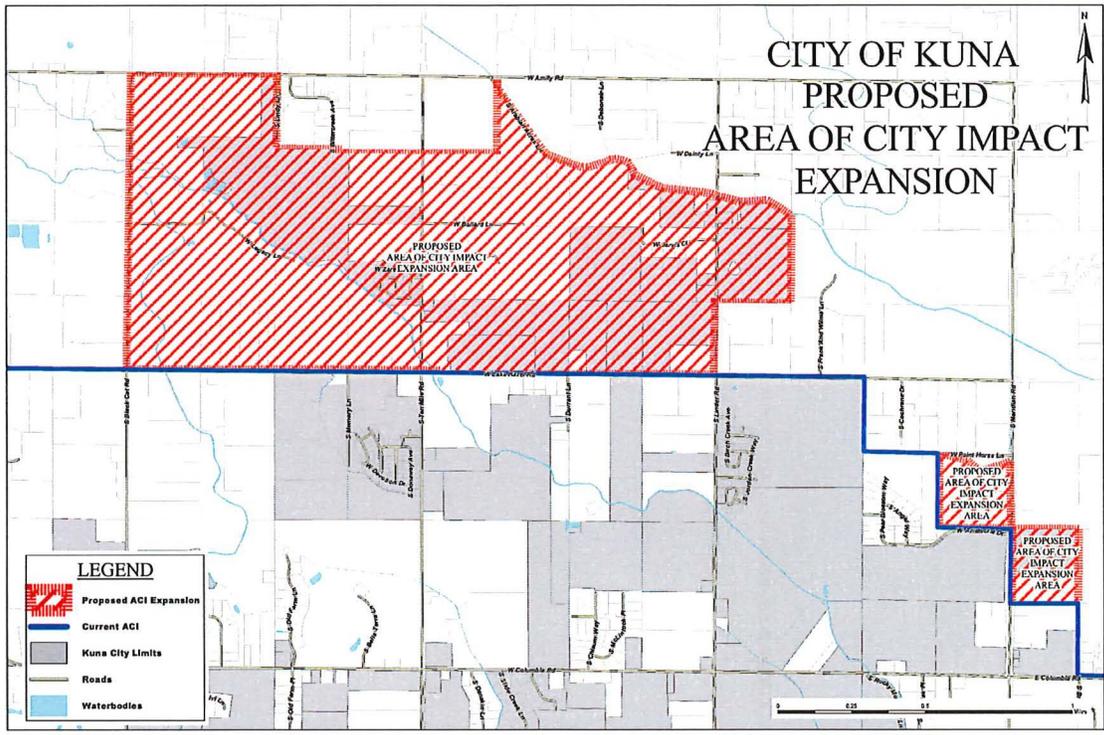
Jace Hellman
Planner II
751 W 4th St
Kuna, ID 83634
jhellman@kunaid.gov

KUNA
Planning & Zoning

CITY OF KUNA
PO Box 13 - Kuna, ID 83634
Phone: (208) 922-5274

City of Kuna – Northern Area of City Impact Boundary Expansion

NOTICE IS HEREBY GIVEN, that the **Kuna Planning and Zoning Commission** will hold a public hearing on **Tuesday, June 9, 2020 at 6:00 pm**, at Kuna city hall, 751 W 4th Street, Kuna, ID, to review the expansion of Kuna's most northern boundary of its Area of City Impact (ACI) Boundary and forward a recommendation to City Council. This expansion, if approved, will align Kuna's ACI with the City of Meridian's ACI by extending the boundary from its current location at West Lake Hazel road to encompass previous annexed parcels south of Amity Road and West of Meridian Road.



The public is invited to present written or oral comments. Written testimony received by the close of business on **June 2, 2020**, will be included in the packets distributed to the governing body. Late submissions (must include eight [8] copies) will be presented to the governing body at the time of the hearing. Please mail written comments to PO Box 13, Kuna, ID 83634, or City Hall: 751 W 4th Street, Kuna, ID.

If you have any questions or require special accommodations, please contact the Kuna Planning & Zoning Department prior to the meeting at (208) 922-5274.

Kuna Planning & Zoning Department

(No need to print anything below this line)

Please publish on May 20, 2020 and May 27, 2020
PO will be: #10028

(Sent 05/13/2020)

IDAHO PRESS-TRIBUNE
EMMETT MERIDIAN KUNA BOISE WKLY
C/O ISJ PAYMENT PROCESSING CENTER
PO BOX 1570
POCATELLO ID 83204
(208)467-9251
Fax (208)475-2321

ORDER CONFIRMATION

Salesperson: LEGALS

Printed at 05/14/20 10:15 by sje14

Acct #: 345222

Ad #: 2014041

Status: New WHOLD

1 KUNA, CITY OF
P.O. BOX 13
KUNA ID 83634

Start: 05/20/2020 Stop: 05/27/2020
Times Ord: 2 Times Run: ***
LEG 2.00 X 58.00 Words: 219
Total LEG 116.00
Class: 0006 GOVERNMENT NOTICES
Rate: L2 Cost: 185.33
Affidavits: 1

Contact: CHRIS ENGLER
Phone: (208)387-7727
Fax#:
Email: awelker@kunaaid.gov; gsmith@k
Agency:

Ad Descrpt: CITY IMPACT BOUNDARY
Given by: JACE HELLMAN
P.O. #:

Created: sje14 05/14/20 09:50
Last Changed: sje14 05/14/20 10:14

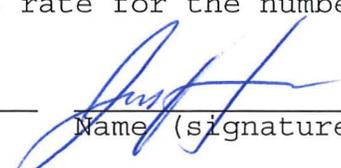
PUB ZONE EDT TP RUN DATES
KMN A 96 S 05/20,27

AUTHORIZATION

Under this agreement rates are subject to change with 30 days notice. In the event of a cancellation before schedule completion, I understand that the rate charged will be based upon the rate for the number of insertions used.

Jace Hellman

Name (print or type)


Name (signature)

(CONTINUED ON NEXT PAGE)

IDAHO PRESS-TRIBUNE
EMMETT MERIDIAN KUNA BOISE WKLY
C/O ISJ PAYMENT PROCESSING CENTER
PO BOX 1570
POCATELLO ID 83204
(208) 467-9251
Fax (208) 475-2321

ORDER CONFIRMATION (CONTINUED)

Salesperson: LEGALS

Printed at 05/14/20 10:15 by sje14

Acct #: 345222

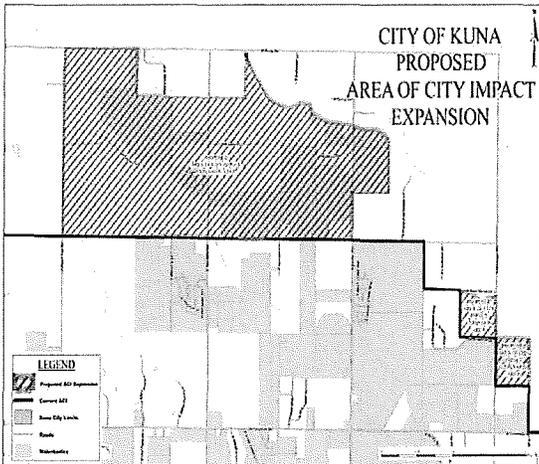
Ad #: 2014041

Status: New WHOLD WHOI

LEGAL NOTICE

**City of Kuna
Northern Area of City Impact Boundary Expansion**

NOTICE IS HEREBY GIVEN, that the Kuna Planning and Zoning Commission will hold a public hearing on Tuesday, June 9, 2020 at 6:00 pm, at Kuna city hall, 751 W 4 th Street, Kuna, ID, to review the expansion of Kuna's most northern boundary of its Area of City Impact (ACI) Boundary and forward a recommendation to City Council. This expansion, if approved, will align Kuna's ACI with the City of Meridian's ACI by extending the boundary from its current location at West Lake Hazel road to encompass previous annexed parcels south of Amity Road and West of Meridian Road.



The public is invited to present written or oral comments. Written testimony received by the close of business on June 2, 2020, will be included in the packets distributed to the governing body. Late submissions (must include eight [8] copies) will be presented to the governing body at the time of the hearing. Please mail written comments to PO Box 13, Kuna, ID 83634, or City Hall: 751 W 4th Street, Kuna, ID.

If you have any questions or require special accommodations, please contact the Kuna Planning & Zoning Department prior to the meeting at (208) 922-5274.

Kuna Planning & Zoning Department

May 20, 27, 2020

2014041

345222 1999514

1 KUNA, CITY OF

P.O. BOX 13
KUNA ID 83634

**AFFIDAVIT OF PUBLICATION
STATE OF IDAHO**

County of Ada

)
)SS.
)

Sharon Jessen
of Nampa, Canyon County, Idaho, being
first duly sworn, deposes and says:

1. That I am a citizen of the United States, and at all times hereinafter mentioned was over the age of eighteen years, and not a party to the above entitled action.
2. That I am the Principle Clerk of the Kuna Melba News, a weekly newspaper published in the City of Kuna, in the County of Ada, State of Idaho; that the said newspaper is in general circulation in the said County of Ada, and in the vicinity of Kuna and Melba, and has been uninterruptedly published in said County during a period of seventy-eight consecutive weeks prior to the first publication of this notice, a copy of which is hereto attached.
3. That the notice, of which the annexed is a printed copy, was published in said newspaper 2 time(s) in the regular and entire issue of said paper, and was printed in the newspaper proper, and not in a supplement.

That said notice was published the following:
03/04/2020 03/11/2020

Sharon Jessen

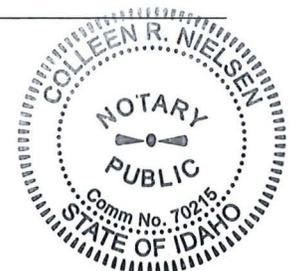
STATE OF IDAHO)

County of Canyon)

On this 11th day of March in the year of 2020 before me a Notary Public, personally appeared. Sharon Jessen, known or identified to me to be the person whose name is subscribed to the within instrument, and being by me first duly sworn, declared that the statements therein are true, and acknowledge to me that he/she executed the same.

Colleen Nielsen

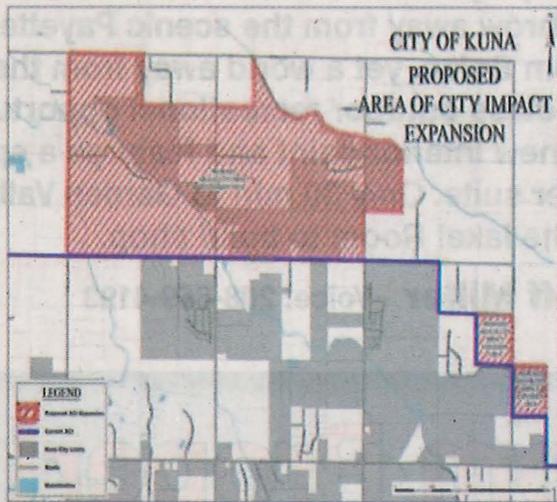
Notary Public for Idaho
Residing at Canyon County
My Commission expires 06/28/2023



LEGAL NOTICE

**City of Kuna
Northern Area of City Impact Boundary Expansion**

NOTICE IS HEREBY GIVEN, that the Kuna Planning and Zoning Commission will hold a public hearing on Tuesday, March 24, 2020, at 6:00 pm, at Kuna city hall, 751 W 4th Street, Kuna, ID, to review the expansion of Kuna's most northern boundary of its Area of City Impact (ACI) Boundary and forward a recommendation to City Council. This expansion, if approved, will align Kuna's ACI with the City of Meridian's ACI by extending the boundary from its current location at West Lake Hazel road to encompass previous annexed parcels south of Amity Road and West of Meridian Road.



The public is invited to present written or oral comments. Written testimony received by the close of business on March 17, 2020, will be included in the packets distributed to the governing body. Late submissions (must include eight [8] copies) will be presented to the governing body at the time of the hearing. Please mail written comments to PO Box 13, Kuna, ID 83634, or City Hall: 751 W 4th Street, Kuna, ID. If you have any questions or require special accommodations, please contact the Kuna Planning & Zoning Department prior to the meeting at (208) 922-5274.

Kuna Planning & Zoning Department

March 4, 11, 2020

1999514



CITY OF KUNA
PLANNING & ZONING DEPARTMENT
 PO Box 13 • 751 W. 4th St • Kuna, Idaho • 83634
 Phone (208) 922-5274 • Fax: (208) 922-5989
 www.kunacity.id.gov

Dear Property Owner:

NOTICE IS HEREBY GIVEN that the City of Kuna **Planning and Zoning Commission** is scheduled to hold a public hearing on **June 23, 2020**, beginning at **6:00 pm** on the following case:

The City of Kuna requests consideration from the Planning and Zoning Commission for the expansion of Kuna's most northern boundary of its Area of City Impact (ACI) Boundary and to forward a recommendation to City Council. This expansion, if approved, will align Kuna's ACI with the City of Meridian's ACI by extending the boundary from its current location at West Lake Hazel road to encompass previous annexed parcels south of Amity Road and West of Meridian Road.

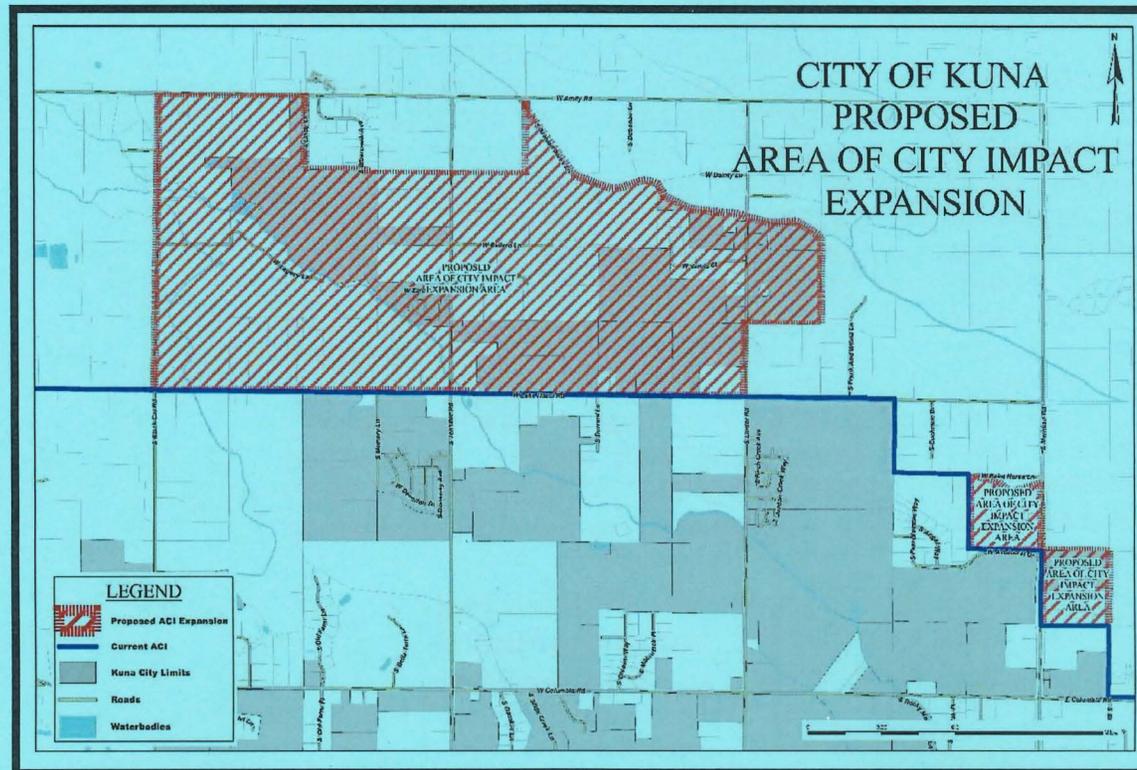
The hearing will be held at **6:00 PM in the Council Chambers at City Hall located at 751 W. 4th Street, Kuna, Idaho.**

Under the authority of the Governor's partial Open Meeting Law Suspension Proclamation dated March 13, 2020, and due to required social distancing protocol, **the Council Chambers Audience Occupancy Capacity is 15**. The first 15 persons who appear, in addition to the Planning and Zoning Commission and staff, will be allowed in Council Chambers. Virtual participation/testimony via Zoom and the submittal of written testimony are available as alternative forms of public testimony (please see attached instructions for more details). Written testimony received by the close of business on **June 17, 2020** will be included in the packet that is distributed to the governing body prior to the hearing. Please submit written testimony via mail, email or the City's website (<http://kunacity.id.gov/FormCenter/City-Clerk-13/Public-Testimony-Form-121>). Late submissions will be presented to the governing body at time of the hearing.

All other persons may access the meeting via live streaming on the City of Kuna's Facebook page.

Mail written comments to PO Box 13, Kuna, ID 83634 or hand deliver them to City Hall.

If you have questions or need special assistance, please contact the Planning and Zoning Division at (208) 922-5274, or email whowell@kunaid.gov.



MAILED 6/9/2020



Suggestions For Testifying at the Public Hearing:

Social distancing due to Covid-19...

Under the authority of the Governor's partial Open Meeting Law Suspension Proclamation dated March 13, 2020, and due to required social distancing protocol, the Council Chambers Audience Occupancy Capacity is 15. The first 15 persons who appear, in addition to the Governing Body and Staff, will be allowed in Council Chambers. Virtual participation/ testimony via zoom is available (please see attached instructions for more details). All other persons may access the meeting via live streaming on the City of Kuna's Facebook page.

Be informed . . .

Review the proposal, staff report, applicable provisions of the ordinance, comprehensive plan and Idaho State Code (Title 67, Chapter 65).

All items pertaining to the application can be found the Friday prior to the hearing at <http://kunacity.id.gov/240/Agendas-and-Meeting-Minutes>.

Be on time . . .

Although the item you are interested in may not be first on the agenda, you never know when it will be heard. The governing body has authority to adjust the schedule according to its discretion. Thus, anticipate attending from the beginning.

Speak to the point . . .

The governing body appreciates pertinent, well organized, factual and concise comments. Redundant testimony is prohibited. The developer or their representative is given 10 minutes to present their project. Others wishing to testify are given three (3) minutes. The developer (or their representative) is given additional time for rebuttal to address issues raised during public testimony. Long stories, abstract complaints, or generalities may not be the best use of time. Neighborhood groups are encouraged to organize testimony and have one (1) person speak on behalf of the group. The group representative will receive 10 minutes to make comments.

If you don't wish to speak, write . . .

Written testimony submitted one (1) week prior to the hearing will be included in the packet that is distributed to the governing body prior to the hearing. Please submit all written testimony via mail, email or the City's website(<http://kunacity.id.gov/FormCenter/City-Clerk-13/Public-Testimony-Form-121>)

Late submissions will be presented to the governing body at time of hearing. As a reminder, it is unreasonable to submit extensive written comments or information at the hearing and expect them to be reviewed prior to a decision.



Under the authority of the Governor's partial Open Meeting Law Suspension Proclamation dated March 13, 2020, and due to required social distancing protocol, the Council Chambers Audience Occupancy Capacity is 15. The first 15 persons who appear, in addition to the Governing Body and Staff, will be allowed in Council Chambers. Listed Below are alternative options and instructions that are available for public testimony:

APPLICANT PUBLIC WRITTEN AND ORAL HEARING TESTIMONY PROCESS:

Written - In Advance to be included in the Agenda Packet that is distributed to the Decision-Making body.

1. Submit any below stated option prior to 5:00 pm the Thursday before Public Hearing meeting. *Late submissions will not be included in the packet but will be provided at the meeting.*
2. Submit testimony via our website on the [Public Testimony Form](#). This form will email directly to the City for inclusion in the Agenda Packet.
3. Submit testimony via email to PublicHearingTestimony@KunaID.gov
4. Submit via mail to:
City of Kuna
Attention: Planning and Zoning Department
PO Box 13
Kuna ID 83634

Written – Up to noon the day of the Public Hearing

1. Submit any below stated option prior to noon the day of the Public Hearing meeting. *Late submissions will not be included.*
2. Submit testimony via our website on the [Public Testimony Form](#)
Kunacity.id.gov > Doing Business > Forms and Applications > Frequently Requested Applications and Forms > ONLINE Public Testimony Form
3. Submit testimony via email to PublicHearingTestimony@KunaID.gov
4. Submit via mail to:
City of Kuna
Attention: Planning and Zoning Department
PO Box 13
Kuna ID 83634

Oral – Via electronic call is allowed based on Governor Little's Open Meeting Law suspension proclamation of March 13, 2020 until testimony in person is allowed.

1. Submit request no later than noon the day of the Public Hearing meeting.
2. Email PublicHearingTestimony@KunaID.gov
 - ✓ Your name
 - ✓ Address
 - ✓ Phone Number you will be calling from to give testimony
 - ✓ Email Address
 - ✓ Date of Public Hearing
 - ✓ Case number or Identification of Public Hearing
3. Watch your email for a reply email with the information to join the meeting electronically. (Check your spam/junk folder as a precaution)
4. Follow the dial in information.
5. Call into the virtual lobby a minimum of 5 minutes prior to the meeting.

5501 LLC
5501 S Linder Road
Meridian, ID 83642

Robert & Carla Adams
4310 W Lake Hazel Road
Meridian, ID 83642

Brent & Leslie Anderson
3985 W Amity Road
Meridian, ID 83642

Donald Jr. & Harriet Ballard
5200 Arabian Acres Lane
Meridian, ID 83642

Dallin & Christy Bates
4613 E Concord Way
Nampa, ID 83686

Daniel & Shelia Beal
4130 W Beacon Light Road
Eagle, ID 83616

David & Alysia Bergette
4090 W Lake Hazel Road
Meridian, ID 83642

Michelle Berriochoa
2824 W Ballard Lane
Meridian, ID 83642

David & Cynthia Berryman
2705 W Berryman Lane
Meridian, ID 83642

Jacob & Heather Berryman
2905 W Berryman Lane
Meridian, ID 83642

James & Sarah Berryman
24621 SE 372nd Street
Enumclaw, WA 98022

Bittercreek Meadows Sub HOA, Inc
PO Box 1671
Meridian, ID 83642

Black Cat Dairy LLC
5655 S Black Cat Road
Meridian, ID 83642

Henry & Melynda Boswell Living Trust
Henry Boswell Trustee
1651 W Jarvis Court
Meridian, ID 83642

Jose & Maria Casanova
5380 S Ten Mile Road
Meridian, ID 83642

Tom & Mary Case
1784 W Jarvis Court
Meridian, ID 83642

Robert & Maggie Connolly
PO Box 1202
Meridian, ID 83642

Corey Barton Homes Inc
1977 E Overland Road
Meridian, ID 83642

Kim Cover
5755 S Linder Road
Meridian, ID 83642

Kimberly & Stanley Dalton
1650 W Jarvis Court
Meridian, ID 83642

DB Development LLC
2228 W Piazza St
Meridian, ID 83642

Dustin & Cynthia Doms
4707 W Thorn Creek St
Meridian, ID 83642

DreamCatcher Homeowners Association
4050 W Legacy Lane
Meridian, ID 83642

Drussel Family Living Trust
Zane Drussel Trustee
4875 S Arabian Acres Lane
Meridian, ID 83642

Jay & Nadene Edmunds Trust
Jay Edmunds Trustee
4100 W Lake Hazel Road
Meridian, ID 83642

William & Jennifer Etcheson
5340 S Black Cat Road
Meridian, ID 83642

Tim & Charlotte Evans
1852 W Jarvis Court
Meridian, ID 83642

David & Sharon Ferguson
3430 W Lake Hazel Road
Meridian, ID 83642

Craig French
PO Box 1232
Mountain Home, ID 83647

Lourdes Garibay
6370 S Black Cat Road
Meridian, ID 83642

George Gersema
356 Cummings Street
Buffalo, WY 82834

Lowell & Carla Glover
4050 W legacy Lane
Meridian, ID 83642

Goldie Family Trust
Michelle Goldie Trustee
1763 N Rosedust Drive
Kuna, ID 83634

Gran Prado HOA Inc
2228 W Piazza Drive
Meridian, ID 83646

Michael & Tobhiyah Green
1908 W Jarvis Court
Meridian, ID 83642

Grid Training Corporation
7600 S Meridian Road
Meridian, ID 83642

Robert & Louri Grover
1815 W Jarvis Court
Meridian, ID 83642

Jill & Jeremiah Hazen
4400 W Legacy Lane
Meridian, ID 83642

Tracy Herriott
Eric Fisher
5550 S Linder Road
Meridian, ID 83642

Ronald & Jane Higginbotham
2010 W Jarvis Court
Meridian, ID 83642

Charles & Sarah Johnson
4180 W Legacy Lane
Meridian, ID 83642

Warren & Coralee Johnson
5975 S Linder Road
Meridian, ID 83642

Robert & Virginia Kelsch
3188 W Ballard Lane
Meridian, ID 83642

Gavin & Jessica Kemp
6020 S Ten Mile Road
Meridian, ID 83642

Kubena Family Living Trust
1985 W Jarvis Court
Meridian, ID 83642

Linda Lake
John Moen
4616 W Grey Towers Street
Meridian, ID 83642

Kevin & Cheri Lindquist
5220 S Ten Mile Road
Meridian, ID 83642

M7 Development LLC
1135 W 6th Street S
Mountain Home, ID 83647

Terrence & Laura Mann
2255 E Independence Drive
Boise, ID 83706

Carl & Emily Marcum
937 W Riodosa Drive
Meridian, ID 83642

Mason Creek Farm LLC
6152 W Half Moon Lane
Eagle, ID 83616

Richard & Peggy Moss Trust
1800 W Lake Hazel Road
Meridian, ID 83642

Mary Mott
1995 W Jarvis Court
Meridian, ID 83642

Carol Pettit
PO Box 1013
Meridian, ID 83680

Roger & Andrea Preston
2370 W Lake Hazel Road
Meridian, ID 83642

R&S Investment Properties LLC
1998 W Jarvis Court
Meridian, ID 83642

Renascence Farm LLC
6152 W Half Moon Lane
Eagle, ID 83616

Riverside Homes LLC
4415 N Locust Grove Road
Meridian, ID 83646

Morgan Rodney Trust
Barry Greenfield CPA Trustee
10960 Wilshire BLVD STE 1900
Los Angeles, California 90024

Rene & Cheryl Schoop
3822 W Lake Hazel Road
Meridian, ID 83642

Brighton Investments LLC
2929 W Navigator Drive STE 400
Meridian, ID 83642

Busch Family Trust
1866 W Dainty Lane
Meridian, ID 83642

Gerald & Sherron Carlson
351 W Lake Hazel Road
Meridian, ID 83642

CEM-18 LLC
8819 Reflection Lane
Middleton, ID 83644

Citadel Broadcasting Company
1419 W Bannock Street
Boise, ID 83702

Charles & Helen Connolly
PO Box 1202
Meridian, ID 83860

Jackie & Cheryl Davis
7000 S Meridian Road
Meridian, ID 83642

Monte Davis
7775 S Meridian Road
Meridian, ID 83642

Robert & Leann Day
2557 W Lake Hazel Road
Meridian, ID 83642

Gwen Denton
4365 W Lake Hazel Road
Meridian, ID 83642

John & Mary Dixon
2255 W Lake Hazel Road
Meridian, ID 83642

Bruce & Caren Durrant
2865 W Lake Hazel Road
Meridian, ID 83642

Edwards Revocable Trust
Floyd Edwards Trustee
5042 W Amity Road
Nampa, ID 83687

Drew & Debra Eggers
2256 N Waggle Place
Meridian, ID 83646

Gary & Alice Eshelman Family Trust
1370 W Lake Hazel Road
Meridian, ID 83642

Eric & Shawna Exline
415 W Lake Hazel Road
Meridian, ID 83642

Thomas & Leanne Felzien
6150 S Frank and Wilma Lane
Meridian, ID 83642

Jose & Erica Duran
4565 W Lake Hazel Road
Meridian, ID 83642

Janet Ford
104 E Fairview Ave #232
Meridian, ID 83642

Full Gospel Slavic Church Inc
251 W Lake Hazel Road
Meridian, ID 83642

Genton Family Trust
5285 S Black Cat Road
Meridian, ID 83642

Greg Goodrich
Paula Cook
4771 S Ridgeview Drive
Meridian, ID 83642

GOW Corporation
11418 Dennis Road
Dallas, TX 75229

Jean & William Greenfield
2745 W Amity Road
Meridian, ID 83642

Grid Training Corporation
7600 S Meridian Road
Meridian, ID 83642

Karl Grigg
2495 W Lake Hazel Road
Meridian, ID 83642

Jose & Sara Guerrero
2005 W Moose Creek Drive
Nampa, ID 83686

Guinn Family Trust
195 W Lake Hazel Road
Meridian, ID 83642

Sheryl & Loren Gustafson
1735 W Lake Hazel Road
Meridian, ID 83642

Heatland Townhomes Property
Management LLC
9839 W Cable Cart Street STE 101
Boise, ID 83709

Claude & Gayle Sheffield
7015 S Meridian Road
Meridian, ID 83642

Hermis Sparks
5114 S Black Cat Road
Meridian, ID 83642

Melvin & Jeanne Spaulding Living Trust
3975 W Amity Road
Meridian, ID 83642

Roy & Angela Spaulding
3979 W Amity Road
Meridian, ID 83642

State of Idaho (Department of Lands)
300 N 6th Street
Boise, ID 83702

Marshall & Beth Stimpson
5831 S Linder Road
Meridian, ID 83642

Clifford Tatem Life Estate
Betty Tatem Life Estate
2865 W Lake Hazel Road
Meridian, ID 83642

Beaudreau Taysom Living Trust
David Taysom Trustee
355 W Paint Horse Lane
Meridian, ID 83642

Steven & Candess Taysom
6953 S Meridian Road
Meridian, ID 83642

Carolyn Titus
Joseph Kiester
2330 W Lake Hazel Road
Meridian, ID 83642

Jack Van Wyk
PO Box 1556
Meridian, ID 83680

Tracy Vedder
Robert Burns
5377 S Ten Mile Road
Meridian, ID 83642

Viper Investments LLC
1977 E Overland Road
Meridian, ID 83642

Dale & Patricia Voris
1710 W Jarvis Court
Meridian, ID 83642

CB & Rosemary Waide
5565 S Linder Road
Meridian, ID 83642

Ted & Abby Walker
4390 W Lake Hazel Road
Meridian, ID 83642

Waters Edge Farm LLC
1977 E Overland Road
Meridian, ID 83642

Scott Wennersten
2845 Stony Point Road
Santa Rosa, CA 95407

Norman Wesley
7208 S Meridian Road
Meridian, ID 83642

Wilmington Savings Fund Society FSB
15480 Laguna Canyon Road, STE 100
Irvine, CA 92618

Diane & Michael Wise
1855 W Jarvis Court
Meridian, ID 83642

Jeremy & Alyson Woodland
1990 W Jarvis Court
Meridian, ID 83642

Albano Family Living Trust
Albano Bienvenido
1945 N Little Salmon Way
Eagle, ID 83616

Anchor Baptist Church
Idaho Baptist College
7910 S Meridian Road
Meridian, ID 83642

Edward & Maryann Anderson
5162 S Bittercreek Avenue
Meridian, ID 83642

Kyle & Amy Armstrong
2647 S Garibaldi Avenue
Meridian, ID 83642

Maria & Miguel Arroyo
3015 N Burley Way
Meridian, ID 83642

Jose & Maria Aseguinolaza
5621 S Meridian Road
Meridian, ID 83642

Donna & Lance Beeson
4832 S Nickel Creek Avenue
Meridian, ID 83642

Kenneth Bricker Life Estate
Susan Bricker Life Estate
5020 S Country Life Lane
Meridian, ID 83642

Loren & Gayla Ross
1383 W Linderwood Drive
Meridian, ID 83642

Mark & Wanda Schewe
6181 S Frank and Wilma Lane
Meridian, ID 83642

Christopher Sears
3980 W Amity Road
Meridian, ID 83642

John Shipley
5137 S Bittercreek Avenue
Meridian, ID 83642

**James & Patricia Shuster Revocable
Living Trust**
4720 S Ridgeview Drive
Meridian, ID 83642

James & Cynthia Sparling
7206 S Angel Way
Meridian, ID 83642

Janalee Spring
2305 E Goodman St
Boise, ID 83712

David Stark
5111 S Black Cat Road
Meridian, ID 83642

Cory & Jennie Tanner
2619 W Lake Hazel Road
Meridian, ID 83642

James Taylor
1867 W Dainty Lane
Meridian, ID 83642

Mary Taysom
175 W Paint Horse Lane
Meridian, ID 83642

**Two Valley Investment Properties
LLC**
5311 N Ridgewood Drive
Nampa, ID 83687

Joel & Michelle Vanlith
18641 Chicken Dinner Road
Caldwell, ID 83607

Joseph Waite
4750 S Ten Mile Road
Meridian, ID 83642

John & Karin Wakefield
7837 S Tranquility Lane
Meridian, ID 83642

Alexander & Brett Webb
5181 S Bittercreek Avenue
Meridian, ID 83642

Christopher & Katie Wells
5199 S Bittercreek Avenue
Meridian, ID 83642

West Ada School District
1303 E Central Drive
Meridian, ID 83642

James Wilson
6220 S Linder Road
Meridian, ID 83642

Don Woodbury
4635 W Lake Hazel Road
Meridian, ID 83642

Marty & Jeannette Zantman
2770 W Amity Road
Meridian, ID 83642

Hennessey Properties LLC
223 E Crestline Dr
Boise, ID 83702

Carolyn Hertz
William Small
4965 S Nickel Creek Avenue
Meridian, ID 83642

Erica Hill
WD Fiedler
1775 W State Street #357
Boise, ID 83702

Hinrichs Family Trust
402 W Aristocrat Drive
Meridian, ID 83642

David & Rebecca Hirschi
1825 W Dainty Lane
Meridian, ID 83642

Aaron & Kelly Hestand
2765 W Lake Hazel Road
Meridian, ID 83642

Brandon & Heidi Hobbs
5124 S Bittercreek Ave
Meridian, ID 83642

Idaho Holdings LLC
839 S Bridgeway Place
Eagle, ID 83616

Idaho Power Company
PO Box 70
Boise, ID 83707

Danny & Diane Jenkins
6015 S Black Cat Road
Meridian, ID 83642

Charles & Sarah Johnson
4180 W Legacy Lane
Meridian, ID 83642

Matthew & Brandi Jones
5190 S Bittercreek Ave
Meridian, ID 83642

Timothy & Susan Kelly
3891 W Daisy Creek Street
Meridian, ID 83642

Troy & Suzanne Larsen
3856 W Daisy Creek Street
Meridian, ID 83642

Robert Levinson
5089 S Debonair Lane
Meridian, ID 83642

Erick Manda
2760 W Amity Road
Meridian, ID 83642

Robert & Rhonda McCarvel
4887 S Nickel Creek Avenue
Meridian, ID 83642

Daniel & Virginia McDaniel
6485 S Ten Mile Road
Meridian, ID 83642

Miller Acres LLC
6608 W Hummel Drive
Boise, ID 83709

Ladene Moffett
5075 S Black Cat Road
Meridian, ID 83642

Toby & Wendy Moore
7306 S Via Cabana
Tucson, AZ 85756

NE Kuna Farm LLC
6152 W Half Moon Lane
Eagle, ID 83616

Richard & Rachelle Niemann
6455 S Durrant Lane
Meridian, ID 83642

Pacific Crossroads International Inc
5402 Overland Road
Boise, ID 83705

Marcia Palmer
5245 S Black Cat Road
Meridian, ID 83642

Parkland Development LLC
PO Box 344
Meridian, ID 83680

Marilyn & David Richards
4707 W Lake Hazel Road
Meridian, ID 83642

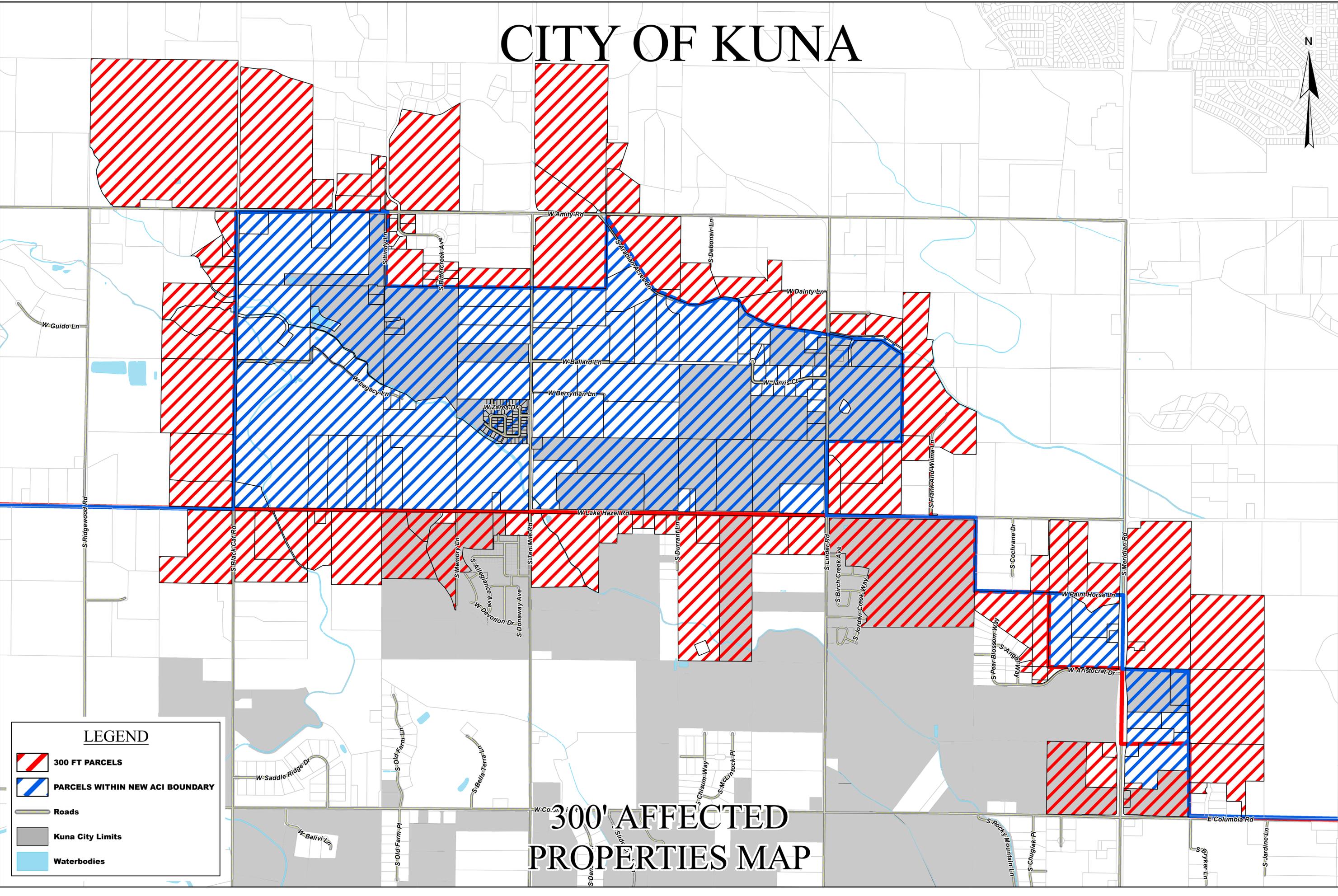
Zane & Connie Robertson
3922 E Summit Lane
Nampa, ID 83687

Adam & Risa Roe
7085 S Eagle Road
Meridian, ID 83642

John Roeder
6854 W Wright Street
Boise, ID 83709

CITY OF KUNA

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LEGEND

-  300 FT PARCELS
-  PARCELS WITHIN NEW ACI BOUNDARY
-  Roads
-  Kuna City Limits
-  Waterbodies

300' AFFECTED PROPERTIES MAP

W Guido Ln

S Ridgewood Rd

W Saddle Ridge Dr

W Balivi Ln

S Old Farm Ln

S Bella Terra Ln

W Co. Ln

S Dan Ln

S Chisum Way

S McKinstry Pl

W Amity Rd

S Lundy Ln

S Bitter Creek Ave

W Legacy Ln

W Zarea Dr

W Ballard Ln

W Berryman Ln

W Lake Hazel Rd

S Memorial Ln

S Algalata Ave

W Devoron Dr

S Donaway Ave

S Terra Mills Rd

S Duran Rd

S Lindero Rd

S Birch Creek Ave

S Jordan Creek Way

S Pear Blossom Way

S Arroyo Ln

S Cochrane Dr

W Aristocrat Dr

S Meridian Rd

W Paint Horse Ln

S Rocky Mountain Ln

S Chuglak Pl

S Ryker Ln

S Jardine Ln

W Dainty Ln

S Swain Rd

S Deborah Ln

S Frank and Wilma Ln



6-16-20

received
6.19.20

Attention City of Kuna:

We at 1990 Jarvis Ct do not agree to be annexed into the city of Kuna.

Jeremy and Alyson Woodland

WOODLAND
D JARVIS CT
IAN ID 83642

BOISE ID 837

17 JUN 2020 PM 2 L



City of Kuna
Planning + zoning
Po Box 13
Kuna ID 83634

RECEIVED
JUN 19 2020
CITY OF KUNA

8363430013

